



CITY OF
**West
Linn**

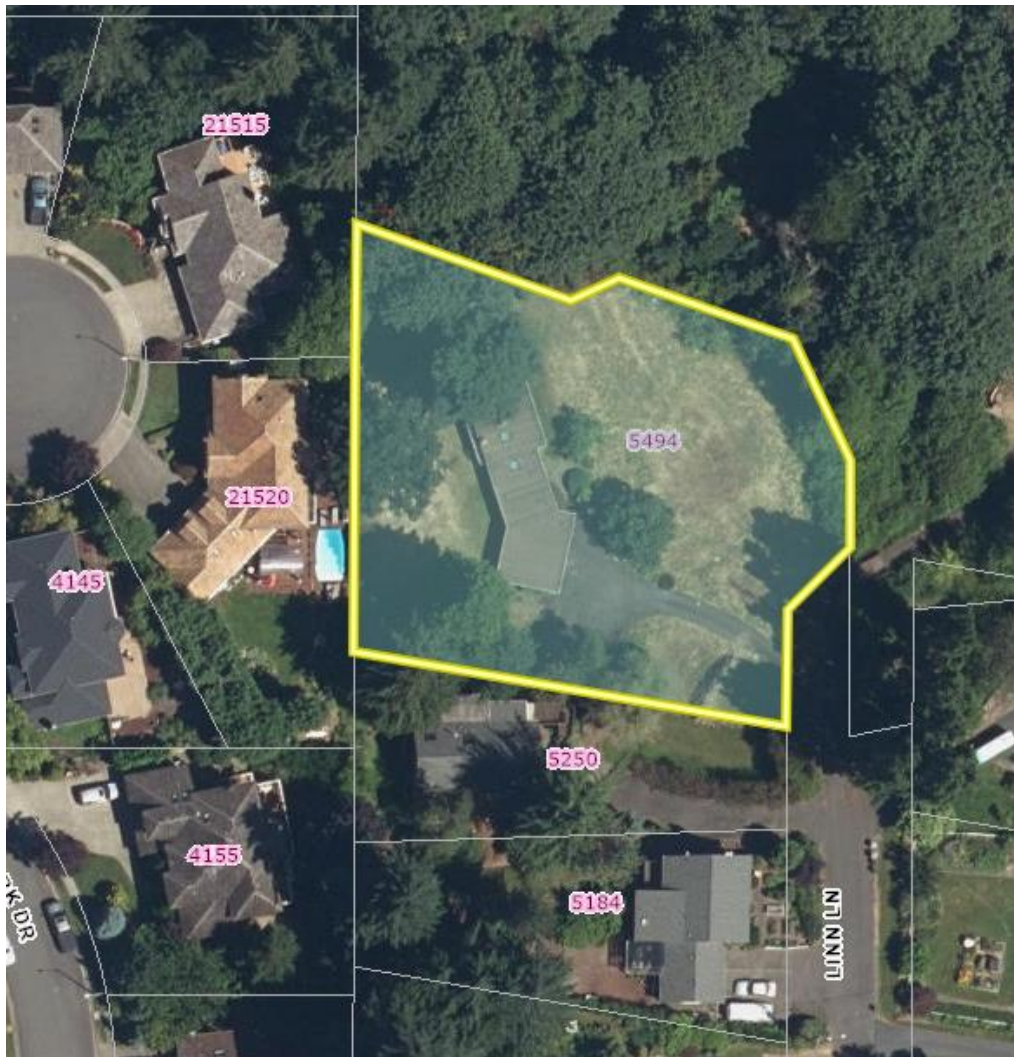
PRE-APPLICATION CONFERENCE

Thursday, July 20, 2023

Willamette Room
City Hall
22500 Salamo Rd

10:00 am: **Proposed Water Resource Area Permit**
Applicant: **Bob Easton**
Property Address: **5494 Linn Lane**
Neighborhood Assn: **Rosemont Summit Neighborhood Association**
Planner: **John Floyd**

Project #: PA-23-12



*The pre-application conference will be conducted in-person.



Pre-Application Conference Request

For Staff to Complete:		
PA PA-23-12	Conference Date: 7/20/23	Time: 10:00am
Staff Contact: John Floyd		Fee: 350

Pre-application conferences are held on the first and third Thursdays of the month between 9:00 am and 1:00 pm. Appointments must be made by 5:00 pm, 15 days before the meeting date. The applicant has a choice of an in-person or virtual meeting. To schedule a conference, submit this form, a site plan, and accompanying materials through the Submit a Land Use Application web page. The City will contact you to collect payment. Pre-application notes are valid for 18 months.

Property Owner Information

Name: ROBERT EASTON
Email: BOBEASTON@COMCAST.NET
Phone #: 503-866-8810
Address: 21520 LUPINE CT 97068

Applicant Information

Name:
Email:
Phone #:
Address:

Address of Subject Property (or tax lot): 5494 LINN LANE 97068

REQUIRED ATTACHMENTS:

- A project narrative with a detailed description of the proposed project. Briefly describe the physical context of the site.
- A list of questions or issues the applicant would like the City to address.
- A dimensional site plan that shows:
 - North arrow and scale
 - Location of existing trees (a tree survey is highly recommended)
 - Streets Abutting the property and width of right of way
 - Location of creeks and/or wetlands (a wetland delineation is highly recommended)
 - Property Dimensions, existing buildings, and building setbacks
 - Slope map (if slope is 25% or more)
 - Location of existing utilities (water, sewer, etc.)
 - Conceptual layout, design, proposed buildings, building elevations, and setbacks
- Location of all easements (access, utility, etc.)
- Vehicle and bicycle parking layout (including calculation of required number of spaces, based on use and square footage of building), if applicable
- Location of existing and proposed access and driveways. Include the proposed circulation system for vehicles, pedestrians, and bicycles, if applicable.
- Proposed stormwater detention system with topographic contours

I certify that I am the owner or authorized agent of the owner:

APPLICANT: ROBERT EASTON

DATE: 6/21/23

The undersigned property owner authorizes the requested conference and grants city staff the **right of entry** onto the property to review the application.

PROPERTY OWNER:

DATE: 6/21/23



CITY OF WEST LINN
JOHN FLOYD ASSOC. PLANNER

RE: PLANNING CRITERIA FOR 5494 LINN LN.

REQUESTS:

1. APPROVE NEW DRAIN PIPE (PER SITE PLAN)
ALLOWING EXISTING PIPES TO BE CONNECTED
TO ALLOW NEW DRIVEWAY.
2. MINIMUM SETBACK TO ALLOW PROPOSED RESIDENCE
LOCATION.

THANK YOU VERY MUCH FOR YOUR CONSIDERATION.
PLEASE CONTACT IF YOU HAVE ANY QUESTIONS.

MIKE BARCLAY (503) 970-4257

STATE OF OREGON 94-094779

CLACKAMAS COUNTY

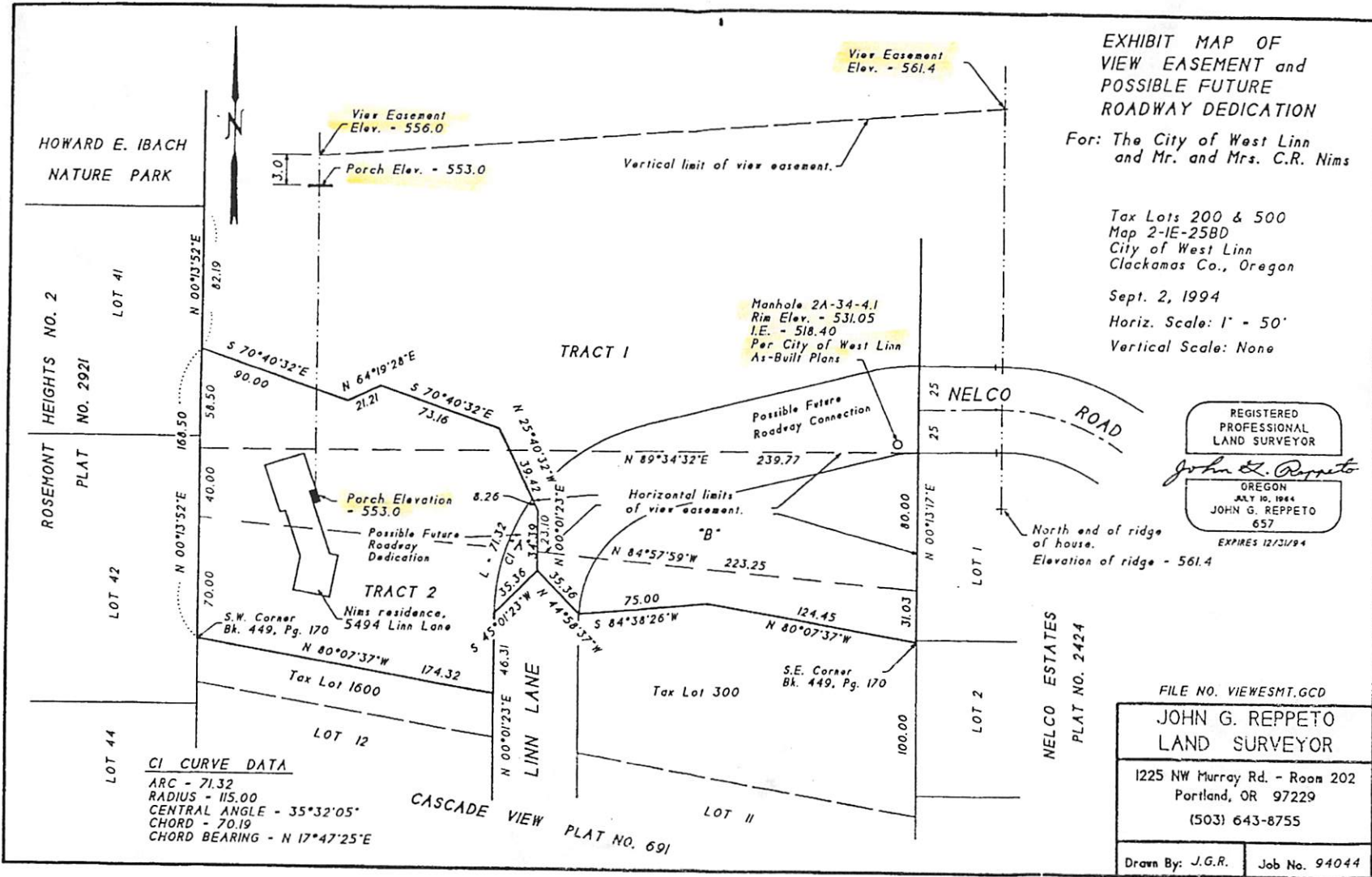
Received and placed in the public records of Clackamas County

RECEIPT# AND FEE: 11485 \$25.00

DATE AND TIME: 12/12/94 02:37 PM

JOHN KAUFFMAN, COUNTY CLERK

5

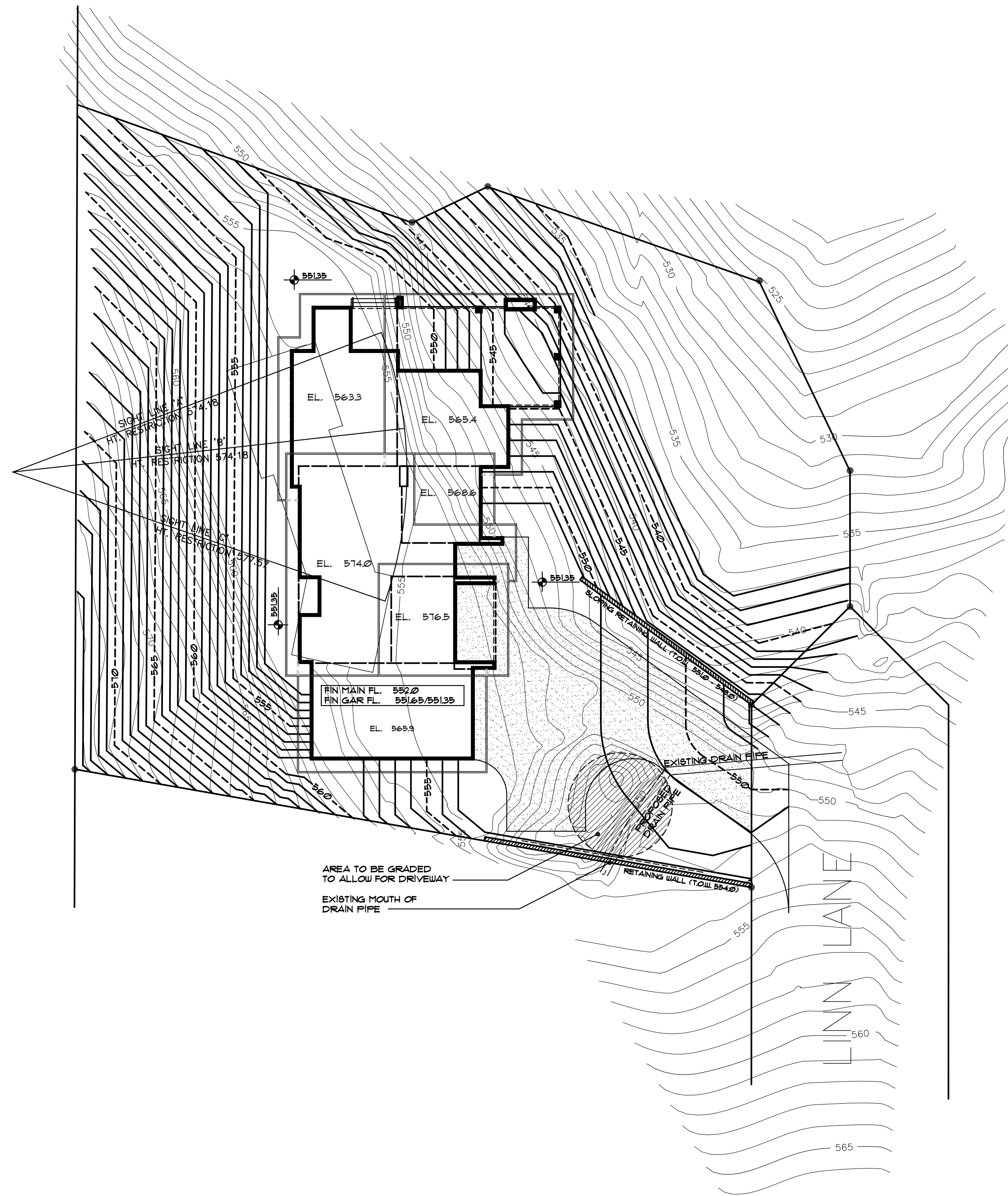


GRADING PLAN

5494 LINN LN,
WEST LINN, OR

SCALE: 1" = 20'

A RESIDENCE FOR: THE JANSSEN FAMILY

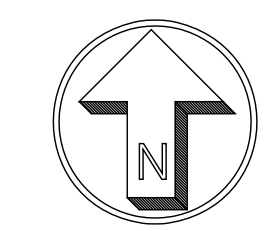


General Notes and Disclaimers: These drawings have been prepared to meet generally accepted professional standards. However, local variations may require changes. Likewise, building code requirements vary with location and change from time to time. Before starting construction, the builder must review and be responsible for all details and dimensions, and ensure that these plans meet all current requirements in your area. It is also suggested that a local architect and/or engineer be consulted for any local requirements and the current editions of the International Building Code, the International Residential Code, the International Mechanical Code, or the "BOCA Basic Building Code," or any other locally required code. Codes govern over drawings. Dimensions govern over scale. Verify all mechanical requirements before framing. Verify topographic and subsurface conditions, and adapt foundation plans accordingly.

All other measurements, drawings and dimensions on this sheet are the original work product of and used by the property of Barclay Home Designs Inc. Barclay Home Designs Inc. is not responsible for any errors or omissions in these drawings. The use of this said work product is limited to a specified project of the purchaser and for the construction of one building. Any other reuse or disclosure of Barclay Home Designs Inc. drawings, ideas, designs, and/or arrangements, other than by Barclay Home Designs Inc. is strictly prohibited by law without the written permission of Barclay Home Designs Inc. Contractors shall verify and be responsible for all dimensions and conditions on the job. This office must be notified of any variations and discrepancies or and from these drawings prior to work on the job.

Barclay
HOME DESIGNS
FAIBD.
12112 S NEW ERA RD
OREGON CITY, OR 97045
(503)970-4257

B
JANSSEN





VIEW LOOKING SOUTH ONTO TAX LOT 1600.
A STORM CULVERT RELEASES WATER THAT FLOWS
TOWARDS THE SUBJECT SITE



2ND VIEW FACING SOUTH ONTO TAX LOT 1600. A STORM CULVERT RELEASES WATER TOWARDS THE SITE. IN VIEW IS A DITCH THAT DIRECTS STORM WATER TO A CULVERT ON THE SUBJECT SITE UNDER THE EXISTING DRIVEWAY. THE WATER FLOWS NORTHEAST UNDER THE DRIVEWAY TO SAHALLIE PARK ENTIRLY WITHIN A CULVERT.



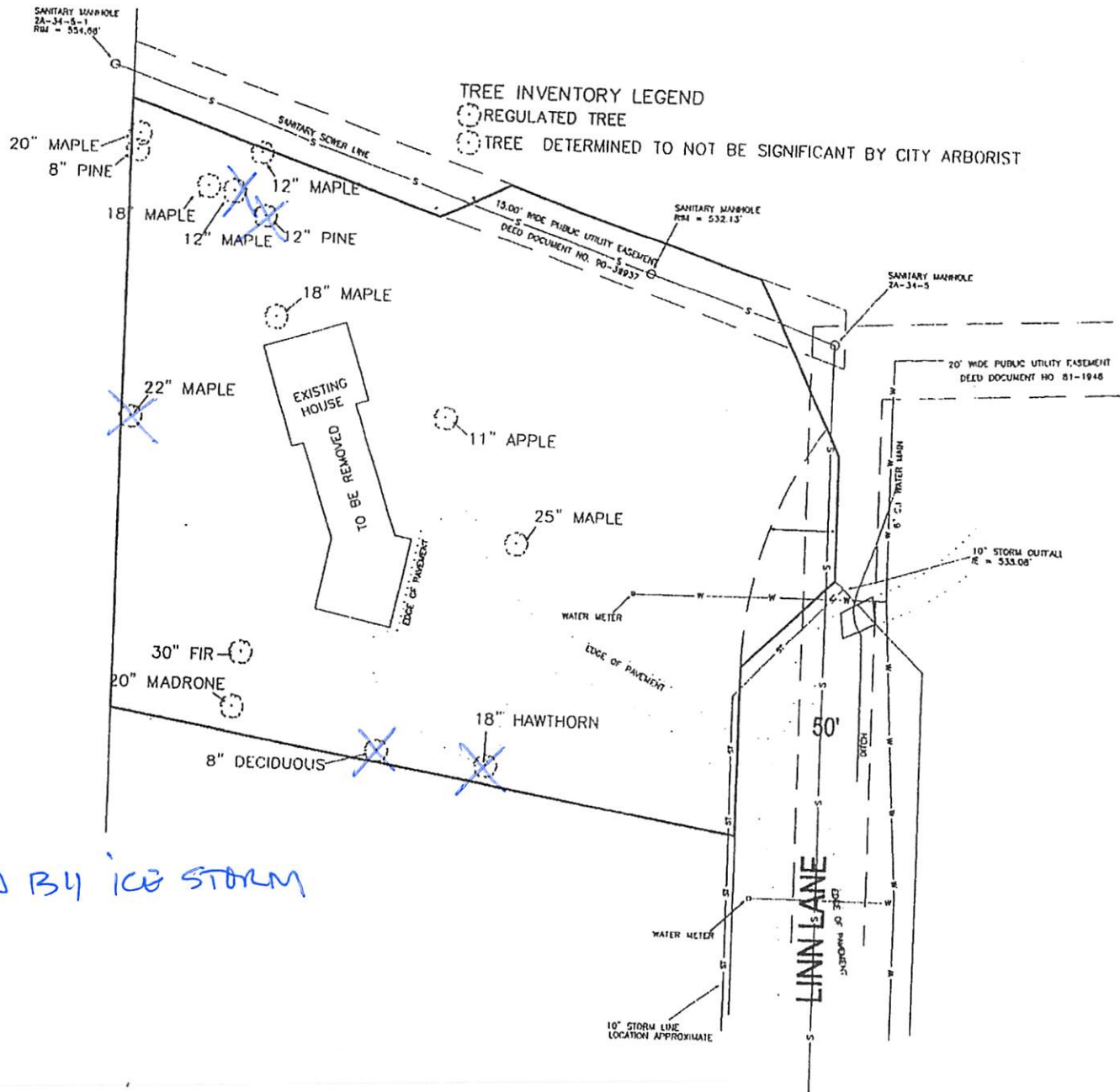
VIEW OF CULVERT UNDER THE EXISTING DRIVEWAY. THE WATER FLOWS NORTHEAST UNDER THE DRIVEWAY TO SAHALLIE PARK ENTIRLY WITHIN A CULVERT SYSTEM. THE CULVERT THEN RELEASES WATER INTO A DITCH UNDER A BRIDGE LEADING TO THE PARK THAT IS OFFSITE. THE BRIDGE IS SHOWN ON THE PLAN LABELED SLOPE ANALYSIS.



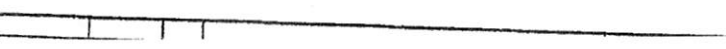
PATH TO SAHALLIE PARK LOOKING DOWN EXISTING DRIVEWAY. THE BRIDGE IS OFF TO THE LEFT JUST BEHIND THE ROCKS TO THE RIGHT IS THE DITCH AREA THAT RECEIVES WATER FROM THE CULVERT ON TAX 1600 TO THE SOUTH. VIEW FACING DUE EAST FROM THE SUBJECT SITES EXISTING DRIVEWAY.



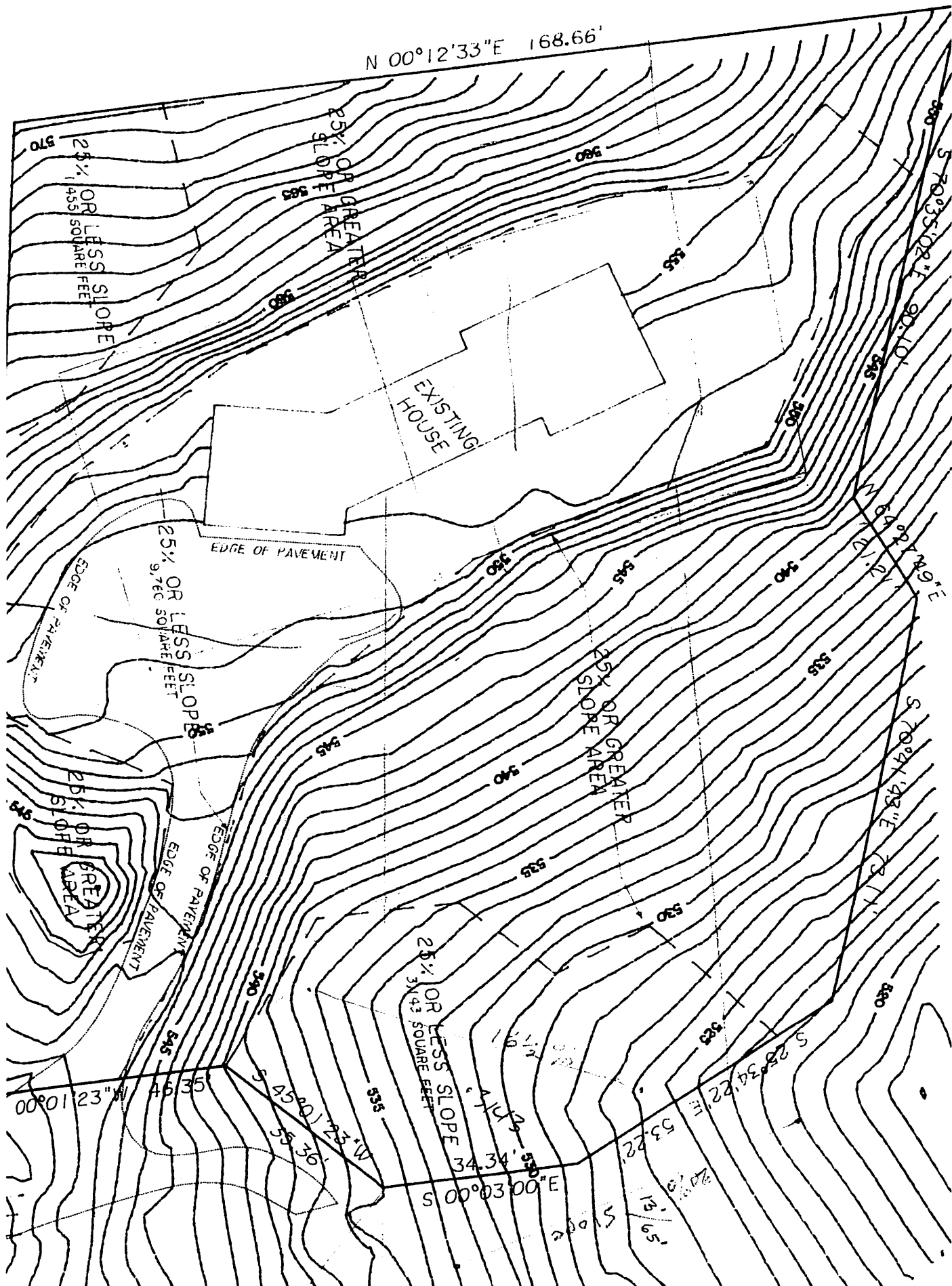
BRIDGE LEADING TO SAHALLIE PARK FROM THE SUBJECT SITE VIA A ASPHALT PATH. THE BRIDGE IS OFF THE PROPERTY AND TO THE LEFT UNDER THE BRIDGE IS WHERE THE CULVERT DISPOSES WATER FROM UNDER THE DRIVEWAY OF THE SITE AS WELL AS ALL OTHER TAX LOTS TO THE SOUTH. THIS VIEWPOINT IS LOOKING NORTHEAST FROM THE SUBJECT SITES EXISTING DRIVEWAY. NOTE NO DRAINAGE CHANNEL OR DITCH OF ANY KIND IS IN VIEW

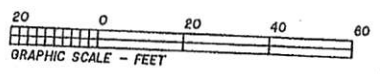
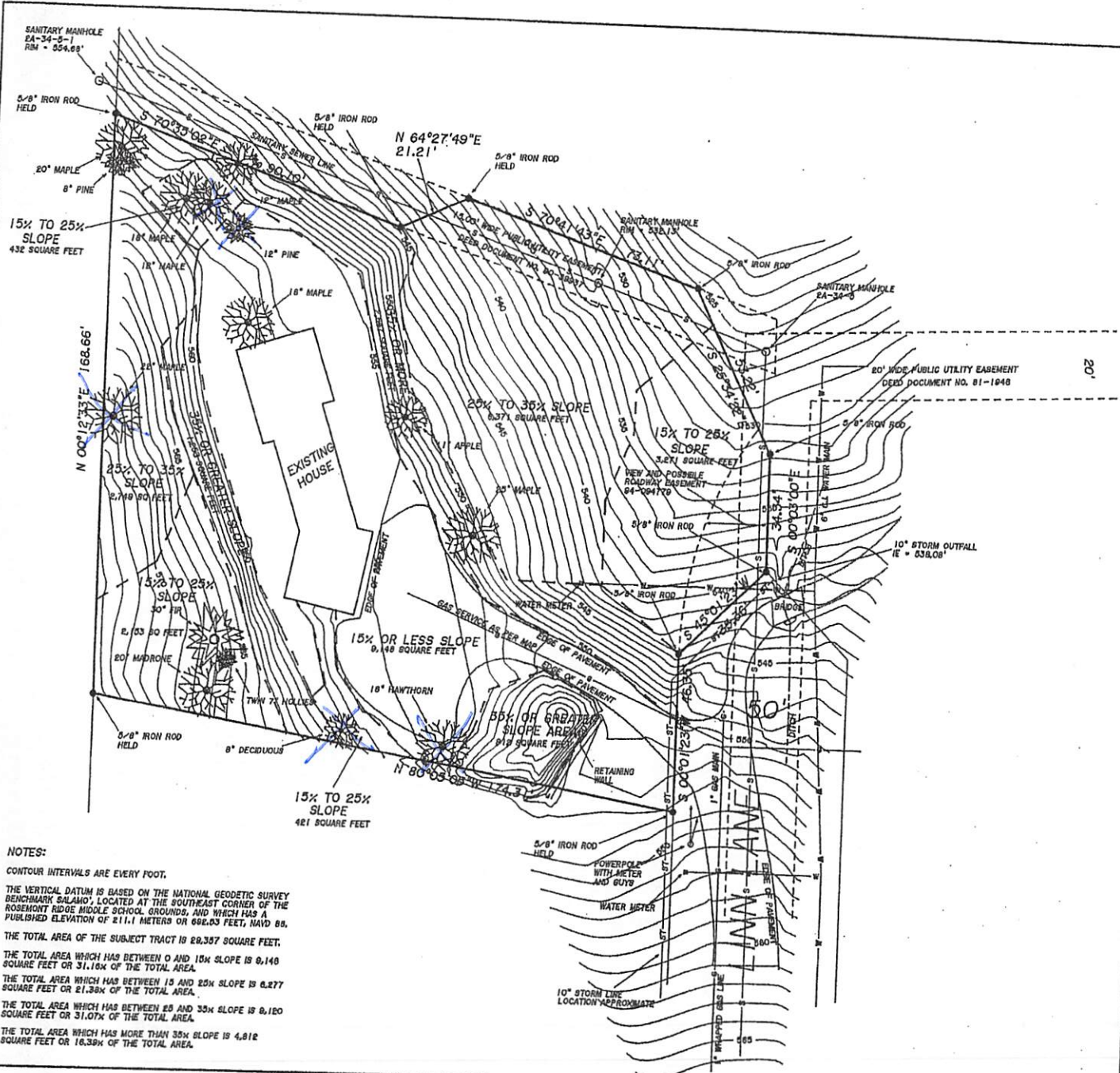


X = TREES FELLEED BY ICE STORM



N 00°12'33"E 168.66'





SCALE: 1" = 20'

REGISTERED
PROFESSIONAL
LAND SURVEYOR
Richard G. Love
OREGON
RICHARD G. LOVE
EXPIRES 12/31/06

NOTES:
 CONTOUR INTERVALS ARE EVERY FOOT.
 THE VERTICAL DATUM IS BASED ON THE NATIONAL GEODETIC SURVEY BENCHMARK BALAMO, LOCATED AT THE SOUTHEAST CORNER OF THE ROSEMONT RIDGE MIDDLE SCHOOL GROUNDS, AND WHICH HAS A PUBLISHED ELEVATION OF 211.1 METERS OR 692.63 FEET, NAVD 88.
 THE TOTAL AREA OF THE SUBJECT TRACT IS 28,397 SQUARE FEET.
 THE TOTAL AREA WHICH HAS BETWEEN 0 AND 10% SLOPE IS 6,140 SQUARE FEET OR 21.6% OF THE TOTAL AREA.
 THE TOTAL AREA WHICH HAS BETWEEN 15 AND 25% SLOPE IS 6,277 SQUARE FEET OR 21.9% OF THE TOTAL AREA.
 THE TOTAL AREA WHICH HAS BETWEEN 25 AND 35% SLOPE IS 6,150 SQUARE FEET OR 21.7% OF THE TOTAL AREA.
 THE TOTAL AREA WHICH HAS MORE THAN 35% SLOPE IS 4,812 SQUARE FEET OR 16.9% OF THE TOTAL AREA.

PROJECT: SITE PLAN AND TOPOGRAPHY MAP 2 IE 258D	
LOCATION: NW 1/4 OF SECTION 25, T.2S., R.1E., W.1M. CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON	
CLIENT: BOB EASTON	DATE: APRIL 4, 2008
	SCALE: 1" = 20'
	JOB NUMBER: 06-4356
LOVE LAND SURVEYS, INC. P.O. BOX 807 GLADSTONE, OR 97037 (503)-856-4915	