



CITY OF  
**West  
Linn**

## PRE-APPLICATION CONFERENCE

Thursday, March 3, 2023

Webex\*

10:00 am: **Proposed Design Review**  
Applicant: **Keith Abel**  
Property Address: **1593 Willamette Falls Drive**  
Neighborhood Assn: **Willamette Neighborhood Association**  
Planner: **John Floyd & Ben Gardner**

Project #: PA-23-03



\*The pre-application conference will be conducted on Webex.



## Pre-Application Conference Request

For Staff to Complete:

**PA** PA-23-03

**Conference Date:** 3/2/23

**Time:** 10:00 am

**Staff Contact:** John Floyd & Ben Gardner

**Fee:** \$1,000

Pre-application conferences are held on the first and third Thursdays of the month between 9:00 am and 1:00 pm. Appointments must be made by 5:00 pm, 15 days before the meeting date. The applicant has a choice of an in-person or virtual meeting. To schedule a conference, submit this form, a site plan, and accompanying materials through the [Submit a Land Use Application](#) web page. The City will contact you to collect payment. Pre-application notes are valid for 18 months.

### Property Owner Information

Name:

Email:

Phone #:

Address:

### Applicant Information

Name:

Email:

Phone #:

Address:

Address of Subject Property (or tax lot):

### REQUIRED ATTACHMENTS:

- A project narrative with a detailed description of the proposed project. Briefly describe the physical context of the site.
- A list of questions or issues the applicant would like the City to address.
- A dimensional site plan that shows:
  - North arrow and scale
  - Location of existing trees (a tree survey is highly recommended)
  - Streets Abutting the property and width of right of way
  - Location of creeks and/or wetlands (a wetland delineation is highly recommended)
  - Property Dimensions, existing buildings, and building setbacks
  - Slope map (if slope is 25% or more)
  - Location of existing utilities (water, sewer, etc.)
  - Conceptual layout, design, proposed buildings, building elevations, and setbacks
  - Location of all easements (access, utility, etc.)
  - Vehicle and bicycle parking layout (including calculation of required number of spaces, based on use and square footage of building), if applicable
  - Location of existing and proposed access and driveways. Include the proposed circulation system for vehicles, pedestrians, and bicycles, if applicable.
  - Proposed stormwater detention system with topographic contours

I certify that I am the owner or authorized agent of the owner:

**APPLICANT:**

**DATE:**

The undersigned property owner authorizes the requested conference and grants city staff the **right of entry** onto the property to review the application.

**PROPERTY OWNER:**

**DATE:**

K E I T H R. A B E L

RESIDENTIAL DESIGN LLC. (503) 784-5815

February 7, 2023

1 of 1

TO: City of West Linn **Planning Dept.**

From: Keith R. Abel

**Walker Residence at 1593 Willamette Falls Dr.** in West Linn, Or.

**Mixed use proposal:** *in the Mixed use Transitional Zone*

We would like to add an attached 3,237 sf. mixed use structure to the existing 1,580 sf. residence that exists on our 100' x 100' double lot. The new portion of the addition would have 1,300 sf. of office space on the main level with a 515 sf. rear/alley loaded garage for off street parking. The 1,937sf. upper level would be three self-contained suites for living. The upper front unit would have a small balcony for street viewing and people watching. The main entry will have a 31'-6" x 9'-0" deep front porch for the same purpose and to fit in with the wonderful new streetscape. We will attach these two structures with a connecting roof. The landscape on this flat lot is already mature and we only plan to add new walkways from the new sidewalks to and between our structures. The new garage will have a new concrete driveway to the rear gravel alley. Seasonal plantings will line the front porch and between the old and new structures. No additional parking will be added to the front and the east side of the lot. We have all new parking on Willamette Falls Drive. If you view the 3D video, we have supplied you can see all the exterior details we plan to add to ensure this addition fits into the streetscape. You can also view the colors we plan to use.

Please give me a call if you have any questions. Please see all attached information and our 3D video.

Thanks,

Keith R. Abel

**keith. abel @ comcast.net**

5757 RIDGETOP CT.

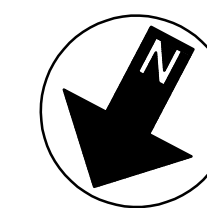
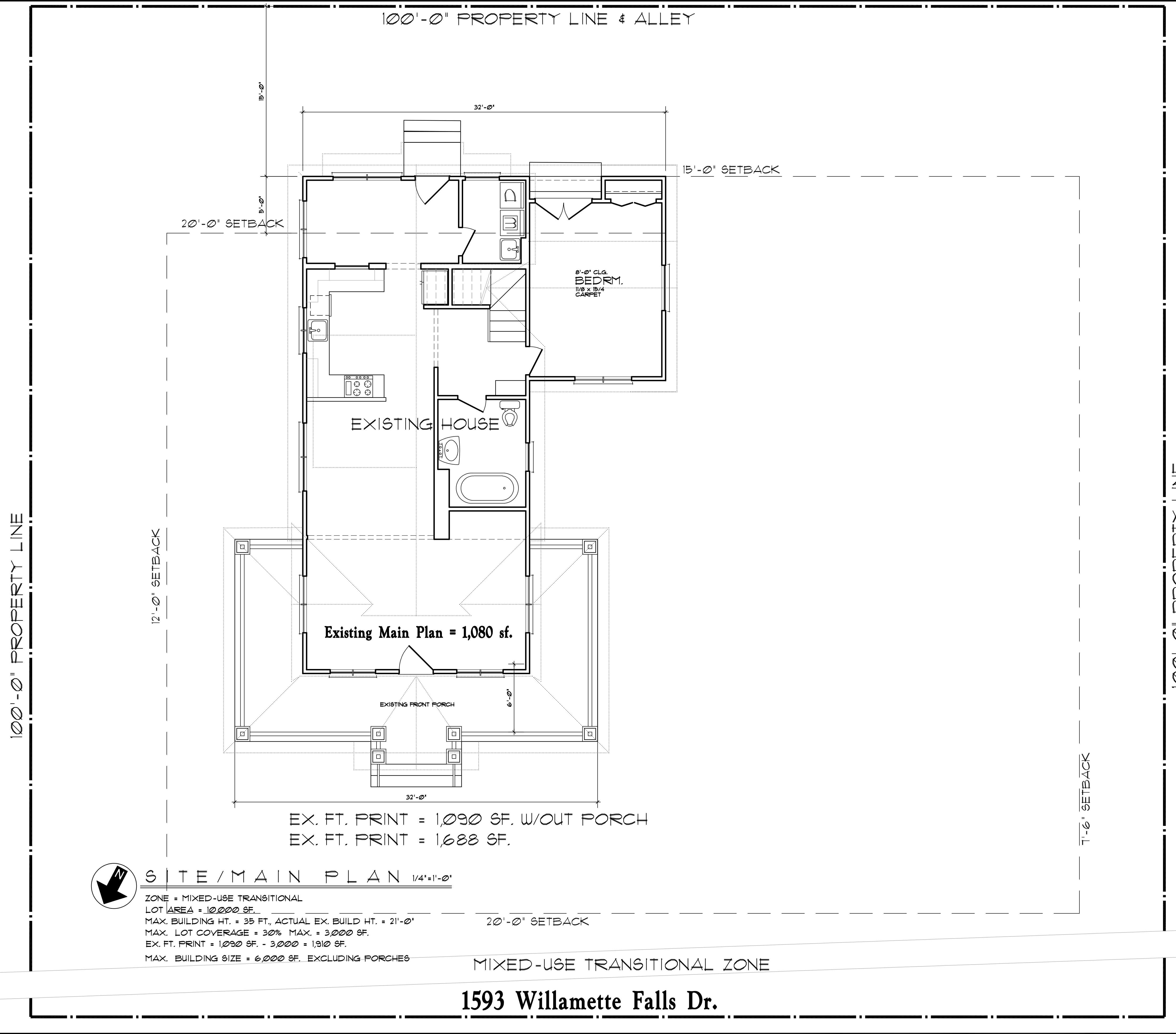
LAKE OSWEGO OR. 97035

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EXISTING LIVING	1,580 SQ. FT.
UPPER LIVING ADDITION	1,937 SQ. FT.
MAIN LIVING ADDITION	1,300 SQ. FT.
TOTAL ADDITION	3,237 SQ. FT.
TOTAL ALL LIVING	4,817 SQ. FT.
NEW GARAGE	515 SQ. FT.

**WALKER ADDITION**  
 1593 WILLAMETTE FALLS DR. IN WEST LIME, OR.  
 DESIGNED FOR:  
**Austin & Kaeli Walker**  
 (503) 516-1919

**KEITH ABEL**  
 ESSENTIAL DESIGN LLC  
 5757 HINDSTOP CT. LAKE OSWEGO, OR 97035 784-5815  
 keithabel@comcast.net



**SITE/MAIN PLAN 1/4"=1'-0"**

ZONE = MIXED-USE TRANSITIONAL  
 LOT AREA = 10,000 SF.  
 MAX. BUILDING HT. = 35 FT., ACTUAL EX. BUILD HT. = 21'-0"  
 MAX. LOT COVERAGE = 30% MAX. = 3,000 SF.  
 EX. FT. PRINT = 1,090 SF. - 3,000 = 1,910 SF.  
 MAX. BUILDING SIZE = 6,000 SF. EXCLUDING PORCHES

MIXED-USE TRANSITIONAL ZONE

GENERAL NOTES AND SPECIFICATIONS

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE CURRENT OREGON EDITION OF THE RESIDENTIAL SPECIALTY CODE AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE GENERAL CONTRACTOR SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

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THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 10' ABOVE SHOWER DRAINS.

INSTALL 'HYDROTEX' TWO PLY DRAINABLE WRB. UNDER ANY NEW EXPOSED SIDING.

INSULATE WASTE LINES FOR SOUND CONTROL.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 30 CFM (MIN.) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

ALL RECESSED LIGHTS IN INSULATED CEILING TO HAVE THE IC LABEL.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.

ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.

BUILDING THIS PLAN ON SITE CONDITIONS DIFFERENT FROM THOSE SHOWN ON THE PLANS MAY REQUIRE MODIFIED FOUNDATION AND FRAMING DETAILS. THE CONTRACTOR MUST REVIEW SPECIFIC SITE CONDITIONS WITH THIS OFFICE BEFORE CONSTRUCTION.

FRAMING SPECIFICATIONS (UNLESS NOTED OTHERWISE)

FRAMING LUMBER:

JOIST / RAFTERS	DF-L 12
STUDS	DF-L 12
4x AND 6x BEAMS	DF-L 4 (12 AT FOUNDATION)
GLU-LAM BEAMS	GRADE 24F OR AS NOTED ON PLANS

SHEATHING MATERIALS:

ROOF SHEATHING	1/2" CDX INT-APA 32/16
WALL SHEATHING	1/2" CDX INT-APA 32/16
FLOOR SHEATHING	3/4" CDX 2-4-1 T&G EXT-APA

NAILING SCHEDULE:

JOIST TO SILL OR GIRDER	TOE NAIL (3)-8d
BRIDGING TO JOIST	TOE NAIL, EA. END (2)-8d
SOLE PLATE TO JOIST OR BLK'G.	FACE NAIL 16d @ 16' O.C.
TOP PLATE TO STUD	END NAIL (2)-16d
STUD TO SOLE PLATE	TOE NAIL (4)-8d
	END NAIL (2)-16d
DOUBLE STUDS	FACE NAIL 16d @ 24' O.C.
DOUBLED TOP PLATES	FACE NAIL 16d @ 16' O.C.
TOP PLATES, LAPS AND INTERSECTIONS	FACE NAIL (2)-16d
CONTINUOUS HEADER, TWO PIECES	16d @ 16' O.C. ALONG EA. EDGE

CEILING JOISTS TO PLATE	TOE NAIL (3)-8d
CONTINUOUS HEADER TO STUD	TOE NAIL (4)-8d
CEILING JOISTS, LAPS OVER PARTITIONS	FACE NAIL (3)-16d
CEILING JOISTS TO PARALLEL RAFTERS	FACE NAIL (3)-16d
RAFTER TO PLATE	TOE NAIL (3)-8d
1' BRACE TO EACH STUD AND PLATE	FACE NAIL (2)-8d
BUILT-UP CORNER STUDS	16d @ 24' O.C.
2" PLANKS	(2)-16d @ EA. BRG.

1/2" ROOF AND WALL SHEATHING	EDGES 8d @ 6' O.C.
	INTERMEDIATE 8d @ 12' O.C.
3/4" SUBFLOOR	EDGES 10d @ 6' O.C.
	INTERMEDIATE 10d @ 12' O.C.

2x MULTIPLE JOISTS - STAGGER @ 15' O.C. W/ (2) @ EA. END OR SPLICE	
(3) OR FEWER	16d NAILS
(4) OR MORE	1/2" DIA. MB. W/ STANDARD NUT AND WASHERS

FOUNDATION SPECIFICATIONS (UNLESS NOTED OTHERWISE)

SLOPE CRAWL SPACE TO DRAIN. MAXIMUM SLOPE IS 2 HORIZ: 1 VERT. BETWEEN FOOTINGS AT DIFFERENT ELEVATIONS.

ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. STEP FOOTINGS AS REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINISH GRADES.

CONCRETE STRENGTH:  
3500 P#F AT 28 DAYS FOR ALL SLABS.  
3000 P#F AT 28 DAYS FOR ALL OTHER CONDITIONS.  
MAXIMUM SLUMP: 4"

USE ASTM A-615 GRADE 60 DEFORMED REINFORCING BARS UNLESS NOTED OTHERWISE.

DO NOT BACKFILL FOUNDATION WALL UNTIL MAIN FLOOR AND WALL DIAPHRAGMS ARE IN PLACE AND FULLY NAILED. FOUNDATION WALLS HAVE BEEN CAST AND CURED FOR 28 DAYS.

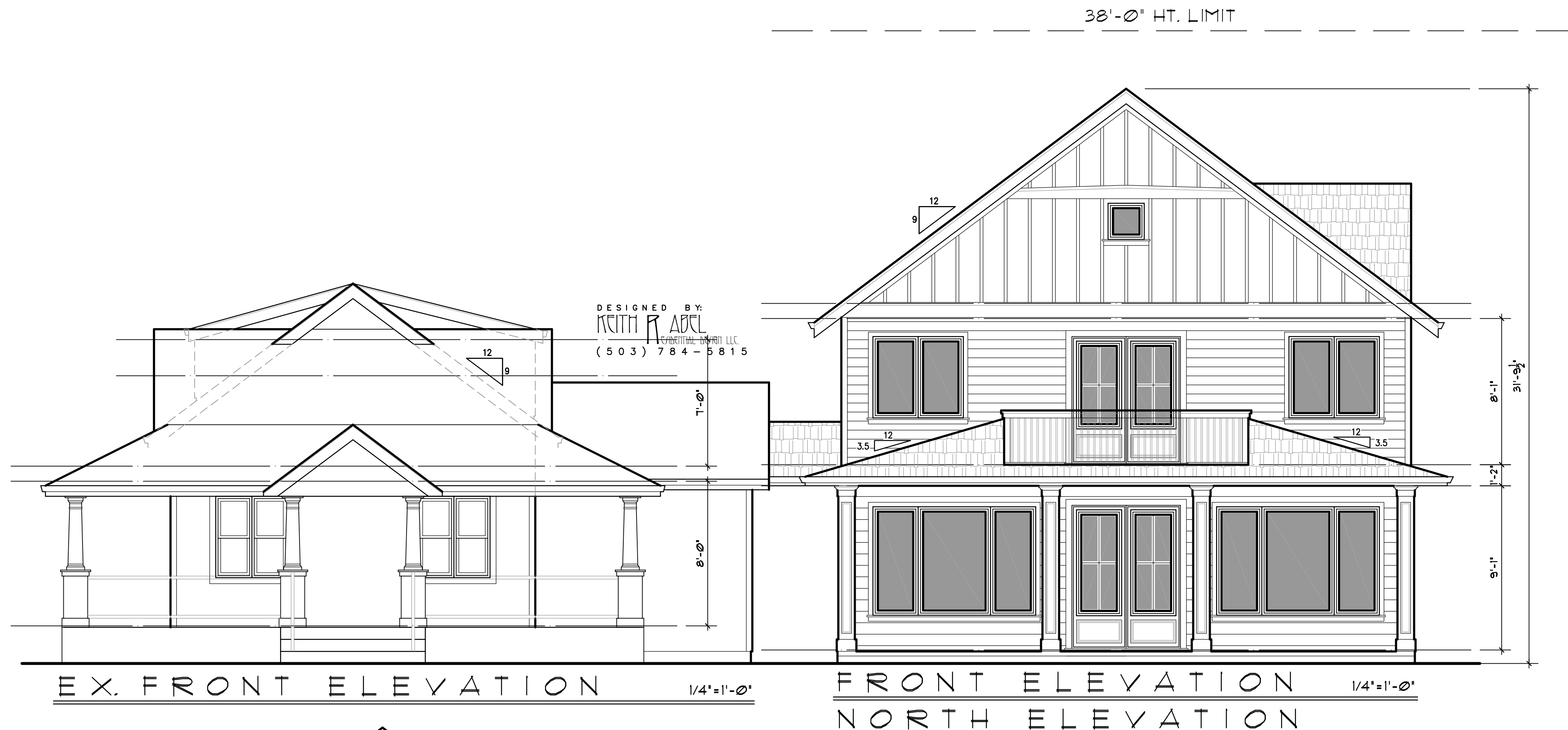
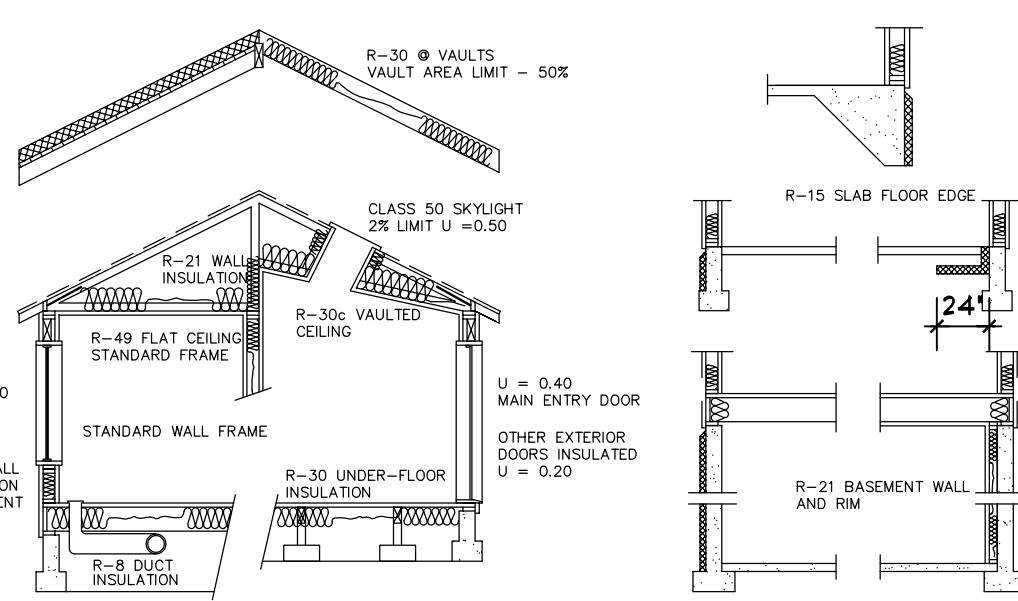
DESIGN LIVE LOADS:

ROOF	25 P#F
FLOORS	40 P#F
GARAGE FLOOR	50 P#F OR 2000# FT. LOAD ON 2' SQ.
EXTERIOR DECKS	75 P#F
STAIRS	100 P#F

SOIL BEARING CAPACITY (ASSUMED): 1500 P#F

INSULATION DIAGRAM

NOTE: ADD NEW R-49 TO EXISTING ATTIC AREA



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RIGHT "WEST-SIDE" ELEVATION

1/4"=1'-0"



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LEFT "EAST-SIDE" ELEVATION

1/4"=1'-0"

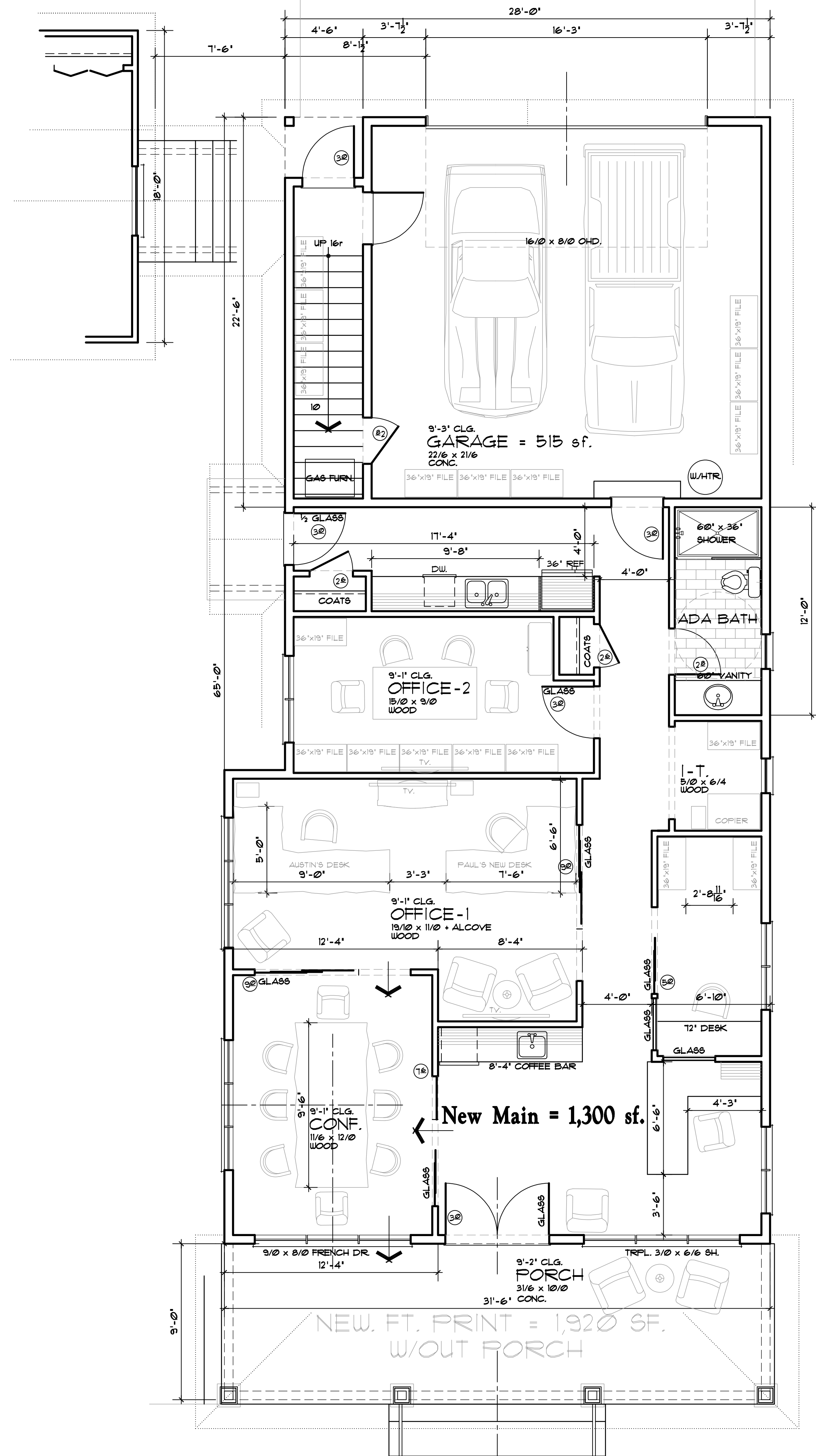
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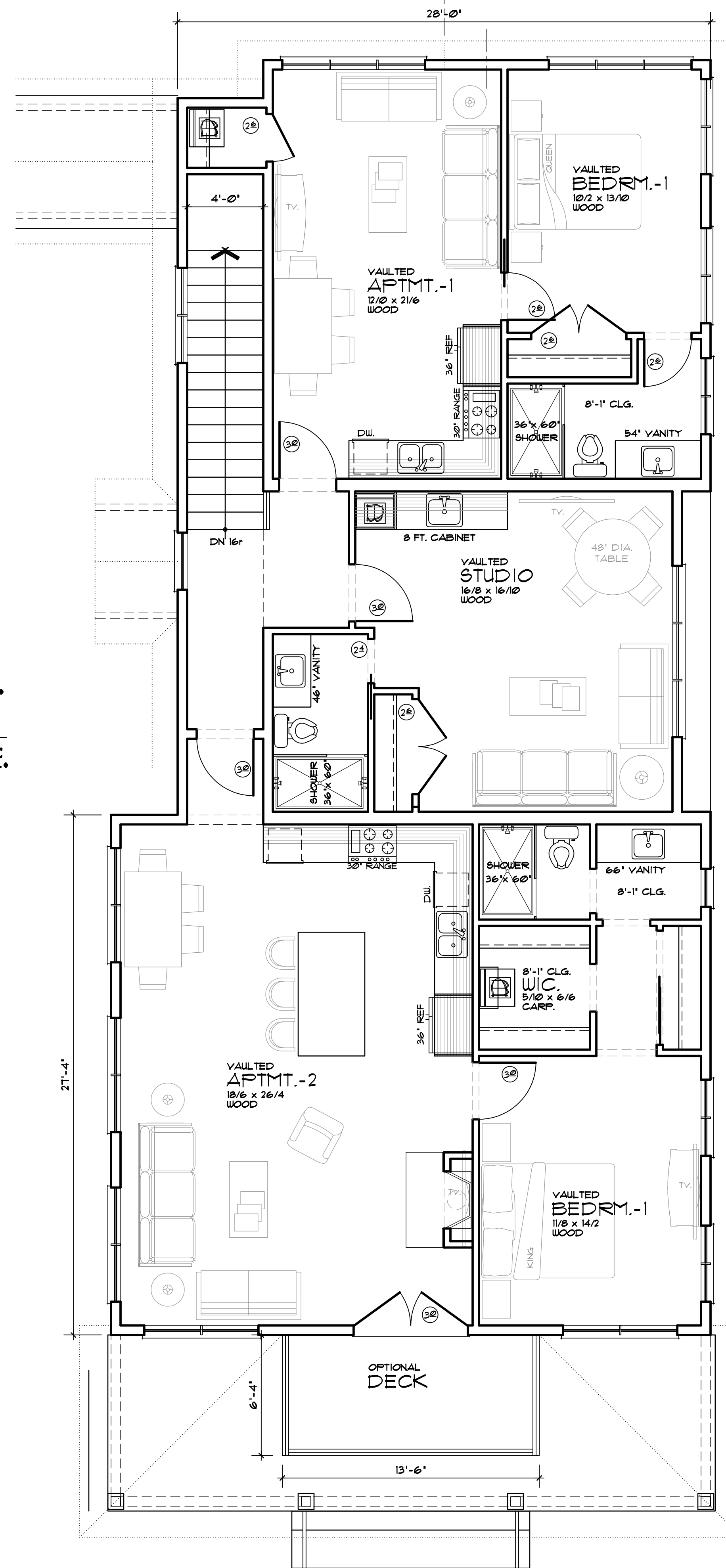
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NEW MAIN FLOOR PLAN 1/4"=1'-0"

New Upper = 1,937 sf.  
 New Main = 1,300 sf.  
 New Living = 3,237 sf.



NEW UPPER FLOOR PLAN 1/4"=1'-0"

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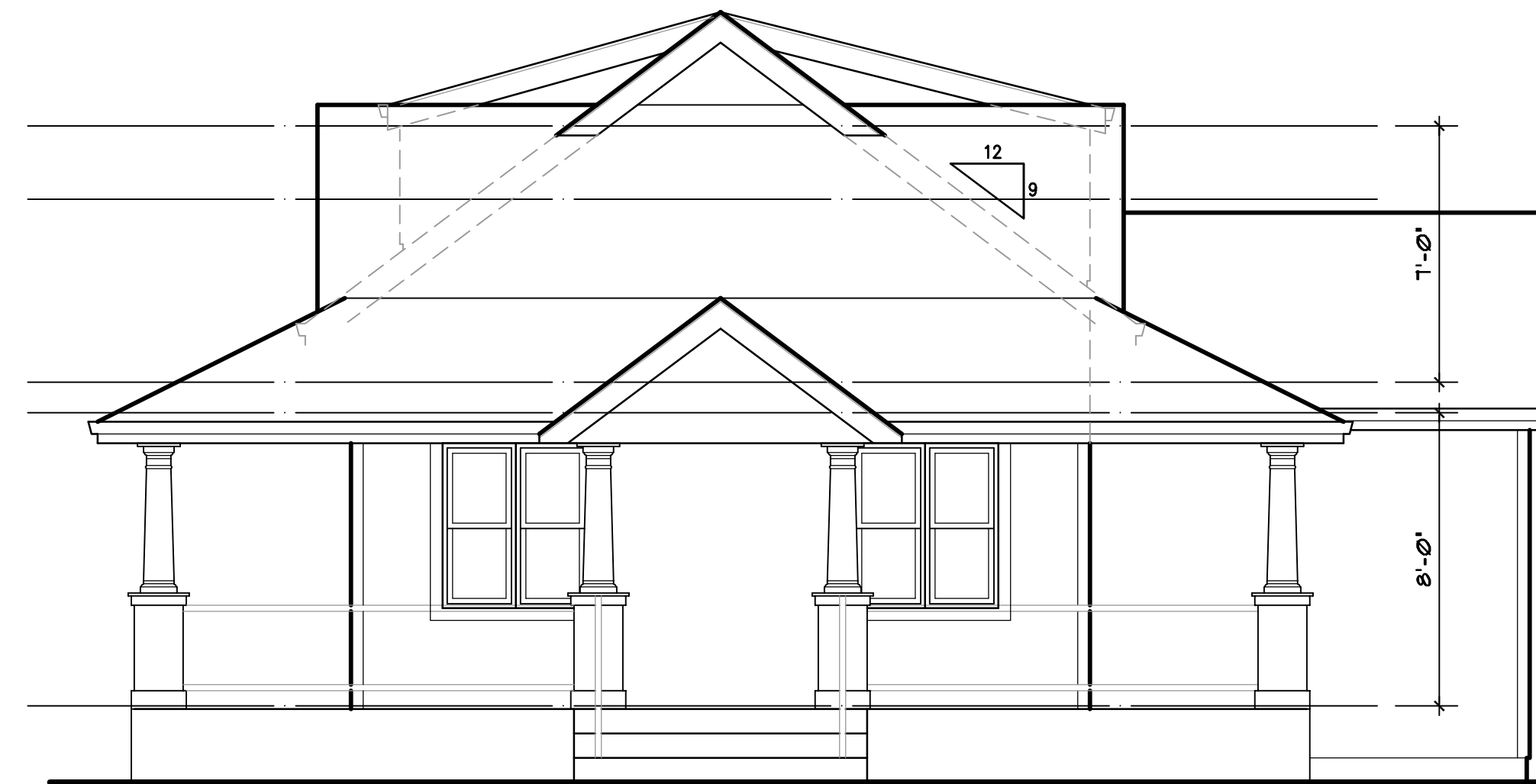
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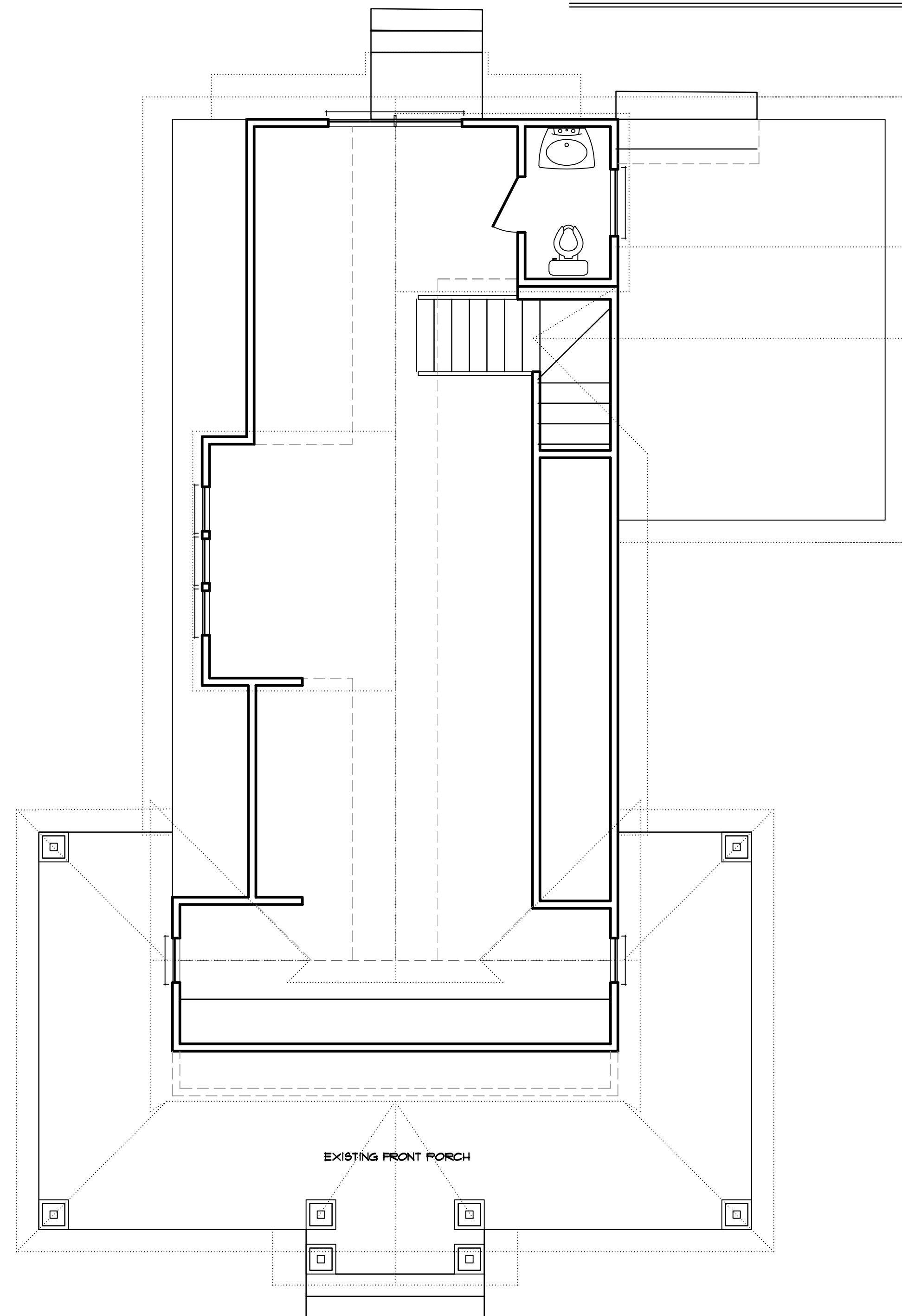
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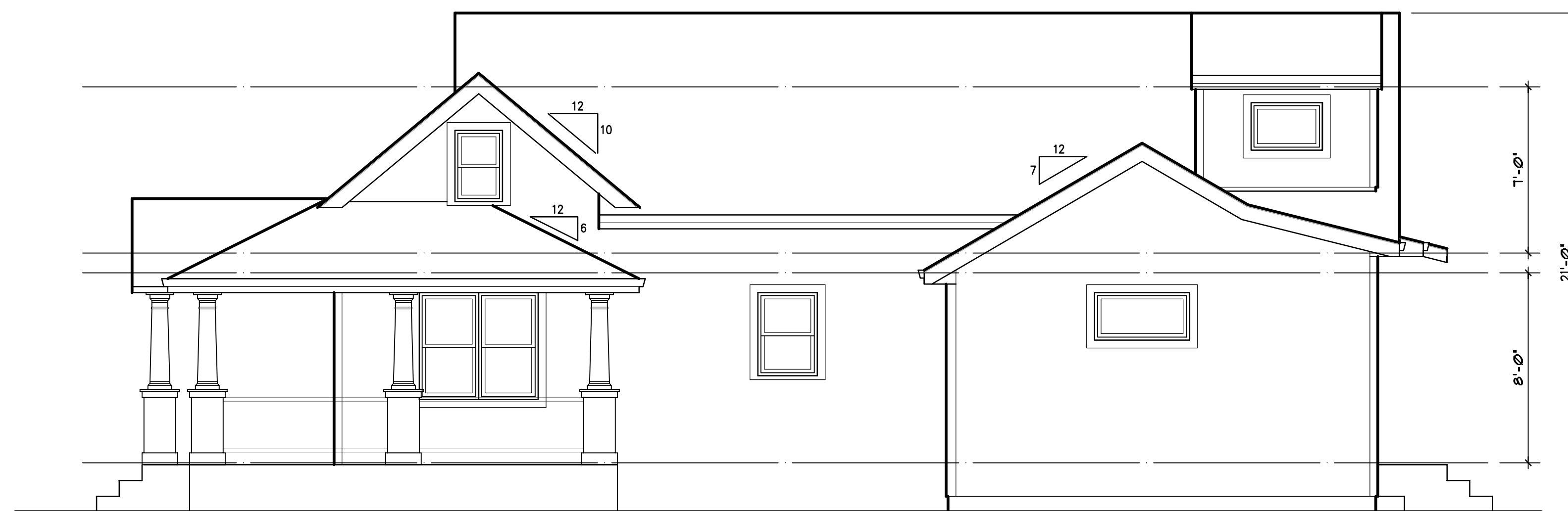
REAR ELEVATION 1/4"=1'-0"



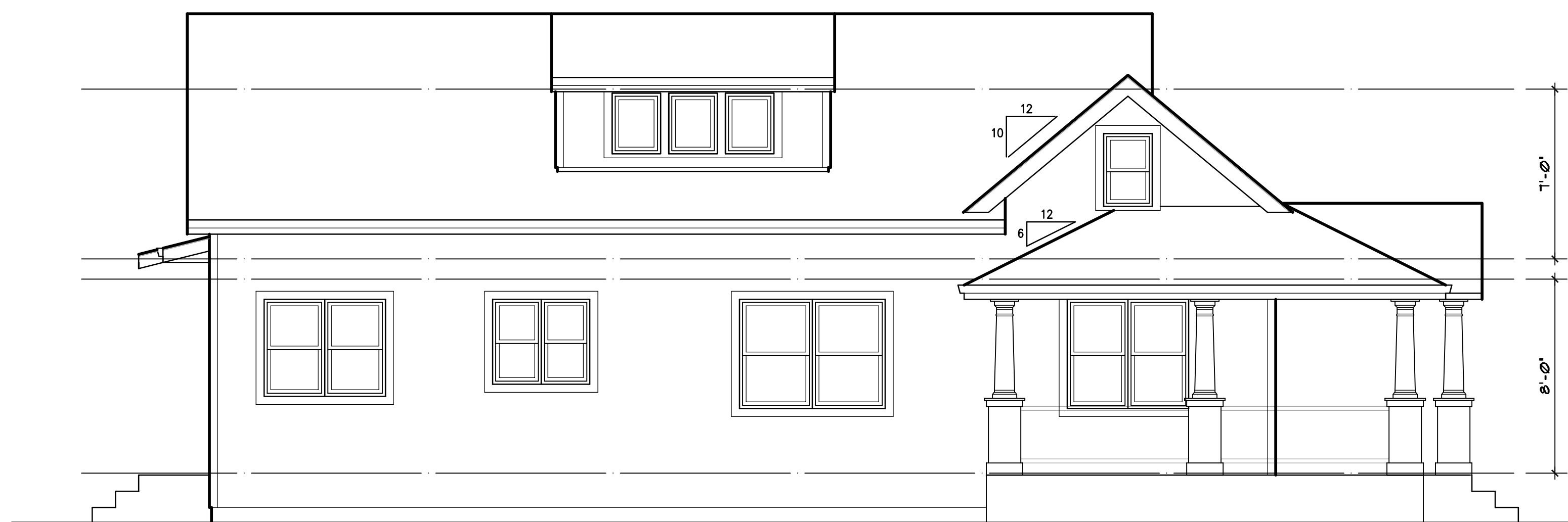
FRONT ELEVATION 1/4"=1'-0"



UPPER LVL FLOOR PLAN  
Existing Upper Plan = 500 sf. 1/4"=1'-0"



RIGHT ELEVATION 1/4"=1'-0"



LEFT ELEVATION 1/4"=1'-0"

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