



PRE-APPLICATION CONFERENCE

THIS SECTION FOR STAFF COMPLETION

CONFERENCE DATE: **November 4, 2020**

TIME: **10:00am**

PROJECT #: **PA-20-11**

STAFF CONTACT: **Darren Wyss**

FEE: **\$0**

Pre-application conferences occur on the first and third Wednesdays of each month. In order to be scheduled for a conference, this form including property owner's signature, the pre-application fee, and accompanying materials must be submitted by 4:00pm at least **15** days before the conference date. Twenty-four hour notice is required to reschedule.

Address of Subject Property (or map/tax lot): **1706 6th Ave, West Linn, OR 97068**

Brief Description of Proposal: **In an attempt to remedy sub standard interior stairway and second floor non-conforming bedrooms... This proposal is for the addition of a second floor gable dormer and a first floor addition both across the back of the lot, facing the alley way.**

Applicant's Name: **Denise Hoffner**

Mailing Address: **1706 6th Avenue**

Phone No: **(503) 891-4067**

Email Address: **denisenali@comcast.net**

Please attach additional materials relating to your proposal including a site plan on paper up to 11 x 17 inches in size depicting the following items:

- North arrow
- Scale
- Property dimensions
- Streets abutting the property
- Conceptual layout, design and/or building elevations
- Easements (access, utility, all others)
- Access to and from the site, if applicable
- Location of existing trees, highly recommend a tree survey
- Location of creeks and/or wetlands, highly recommend a wetland delineation
- Location of existing utilities (water, sewer, etc.)

Please list any questions or issues that you may have for city staff regarding your proposal:

1. Due to increased traffic and parking issues in the area, I am wondering if i should secure a permit for a garage and driveway and how long that permit would be good for (not a project i can do at this time). 2. I will also be replacing my existing fence when this project is complete, do I need to include this in my application?

By my signature below, I grant city staff right of entry onto the subject property in order to prepare for the pre-application conference

Permission granted upon scheduled request

10/6/2020

Denise Hoffner

Property owner's printed name and mailing address
(if different from above)

GENERAL REQUIREMENTS & NOTES

DO NOT MARK OR AMEND THESE DRAWINGS WITHOUT WRITTEN PERMISSION FROM THE PROFESSIONAL OF RECORD. UNAUTHORIZED ANNOTATIONS RENDER THE SHEET NULL AND VOID.

1.

ALL NOTES ON DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS NOTED OTHERWISE.

2.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE.

3.

THE DETAILS SHALL BE USED WHEREVER APPLICABLE UNLESS OTHERWISE NOTED.

4.

ALL CONSTRUCTION, WORKMANSHIP AND MATERIALS TO BE IN CONFORMANCE WITH ALL CURRENT APPLICABLE CODES.

5.

ALL ASTM DESIGNATIONS SHALL BE AS AMENDED TO DATE UNLESS OTHERWISE NOTED.

6.

THE ARCHITECT WILL NOT BE RESPONSIBLE FOR ANY ACTION TAKEN BY ANY PERSON ON THE PROJECT IF THAT PERSON HAS KNOWLEDGE OF ANY DISCREPANCY, ERROR, OMISSION OR AMBIGUITY IN THE CALCULATIONS, DRAWINGS AND/OR SPECIFICATIONS UNTIL THE ARCHITECT HAS BEEN NOTIFIED AND HAS CORRECTED, MADE THE INCLUSION OR HAS MORE CLEARLY EXPLAINED THE INTENT OF THE DRAWINGS, CALCULATIONS AND/OR SPECIFICATIONS.

7.

THE GENERAL CONTRACTOR SHALL CONSTRUCT BARRICADES AS REQUIRED BY CODE.

8.

FIELD OBSERVATION BY ARCHITECT SHALL BE PREARRANGED WITH THE ARCHITECT TO ALLOW FOR SCHEDULING.

9.

THE GENERAL CONTRACTOR SHALL OBTAIN THE REQUIRED BUILDING PERMITS.

10.

THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES AS INSTALLED ON JOB AS REQUIRED BY CODE.

11.

THE OWNER AND/OR THE ARCHITECT RESERVE THE RIGHT TO REVIEW AND APPROVE ALL SUBCONTRACTORS AND BIDS PRIOR TO THE LETTING OF WORK BY THE CONTRACTOR.

12.

THE ARCHITECT RESERVES THE RIGHT OF FINAL APPROVAL OF ALL MATERIALS AND WORKMANSHIP.

13.

ALL APPLICABLE PARTS AND MATERIALS SHALL BE SUPPLIED AND INSTALLED FOR SPECIFIED MATERIALS.

14.

IN ACCORDANCE WITH THE OSGC, IF ADHESIVES OR CERTAIN TYPES OF EXPANSION ANCHORS ARE NECESSARY, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ARRANGE FOR SPECIAL STRUCTURAL INSPECTION PRIOR TO THE COMMENCEMENT OF WORK.

15.

VERIFY ALL SITE UTILITY LOCATIONS PRIOR TO ANY CONSTRUCTION.

16.

DESIGN/BUILD DOCUMENTS SHALL INCLUDE BUT NOT BE LIMITED TO:

- ALL BELOW GROUND UTILITIES AND SERVICES

- ALL ELECTRICAL PLANS AND SPECIFICATIONS OTHER THAN THE GENERAL NOTES PROVIDED

- ALL MECHANICAL PLANS AND SPECIFICATIONS OTHER THAN THE GENERAL NOTES PROVIDED

- ALL OFF-SITE IMPROVEMENT PLANS AND SPECIFICATIONS THAT MAY BE REQUIRED BY THE CITY.

- STRUCTURAL STEEL SHOP DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT PRIOR TO SUBMISSION TO THE CITY.

17.

CONTRACTOR WILL NOT DISCHARGE STORMWATER INTO THE CITY STORMWATER SYSTEM DURING CONSTRUCTION. STORMWATER MUST BE CONTAINED ON SITE.

18.

THE GENERAL CONTRACTOR SHALL SCHEDULE A FIRESTOPPING MEETING WITH THE BUILDING INSPECTOR AND ALL SUBCONTRACTORS THAT WILL BE INSTALLING FIRESTOPPING MATERIALS. EACH SUBCONTRACTOR WILL PROVIDE A LIST OF FIRESTOP MATERIALS/ASSEMBLIES THAT WILL BE USED, THE TYPE OF PENETRATIONS WHERE EACH MATERIAL/ASSEMBLY WILL BE USED; AND THE LISTING AND APPROVAL INFORMATION (I.E. UL, ICC OR OTHER APPROVED REPORT/LISTING NUMBERS.) THIS INFORMATION MUST BE SUBMITTED TO, AND APPROVED BY, THE BUILDING INSPECTOR PRIOR TO ANY INSTALLATION.

DISCLAIMER

THESE PLANS HAVE BEEN LICENSED TO THE CUSTOMER FOR USE IN THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE SUBJECT TO THE CONDITIONS OF LICENSE ACCEPTED BY THE CUSTOMER. USE OF ANY PART OF THE PLANS BY ANY PARTY OTHER THAN THE CUSTOMER, EXCEPT THOSE ON LOAN BY THE CUSTOMER TO THIRD PARTIES NECESSARY IN THE ERECTION THE PROJECT IS STRICTLY PROHIBITED. THE PLANS MAY NOT BE RE-USED OR COPIED, IN WHOLE OR IN PART, WITHOUT WRITTEN PERMISSION FROM ICON ARCHITECTURE/PLANNING LLC/ DAN L. GOODRICH AIA, WHICH RETAINS COPYRIGHTS TO, AND OWNERSHIP OF THE PLANS.

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ARCHITECTURAL SYMBOLS

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STRUCTURAL GRID

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ELEVATION DATUM HEIGHT

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SHEET NUMBER

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REFERENCE NOTE

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DETAIL NUMBER

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SHEET NUMBER

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REFERENCE NOTE

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SECTION CALL OUT

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DIRECTION OF VIEW

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SHEET NUMBER

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WALL TAG

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WINDOW TAG

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DOOR TAG

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ROOM TAG

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CEILING TAG

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NORTH ARROW

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ELEVATION DATUM HEIGHT

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PLAN DATUM HEIGHT

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DIRECTION OF TRAVEL

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DIRECTION OF SLOPE

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GD REVISION TAG

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CA REVISION TAG

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KEYNOTE TAG

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FIRE LIFE SAFETY LEGEND:

1706 6TH AVE, WEST LINN, OREGON 97068

PROJECT DIRECTORY

PRELIMINARY
DRAWING

NOT FOR
CONSTRUCTION

1706 6TH AVE
WEST LINN, OR 97068

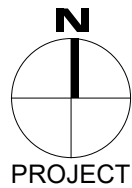
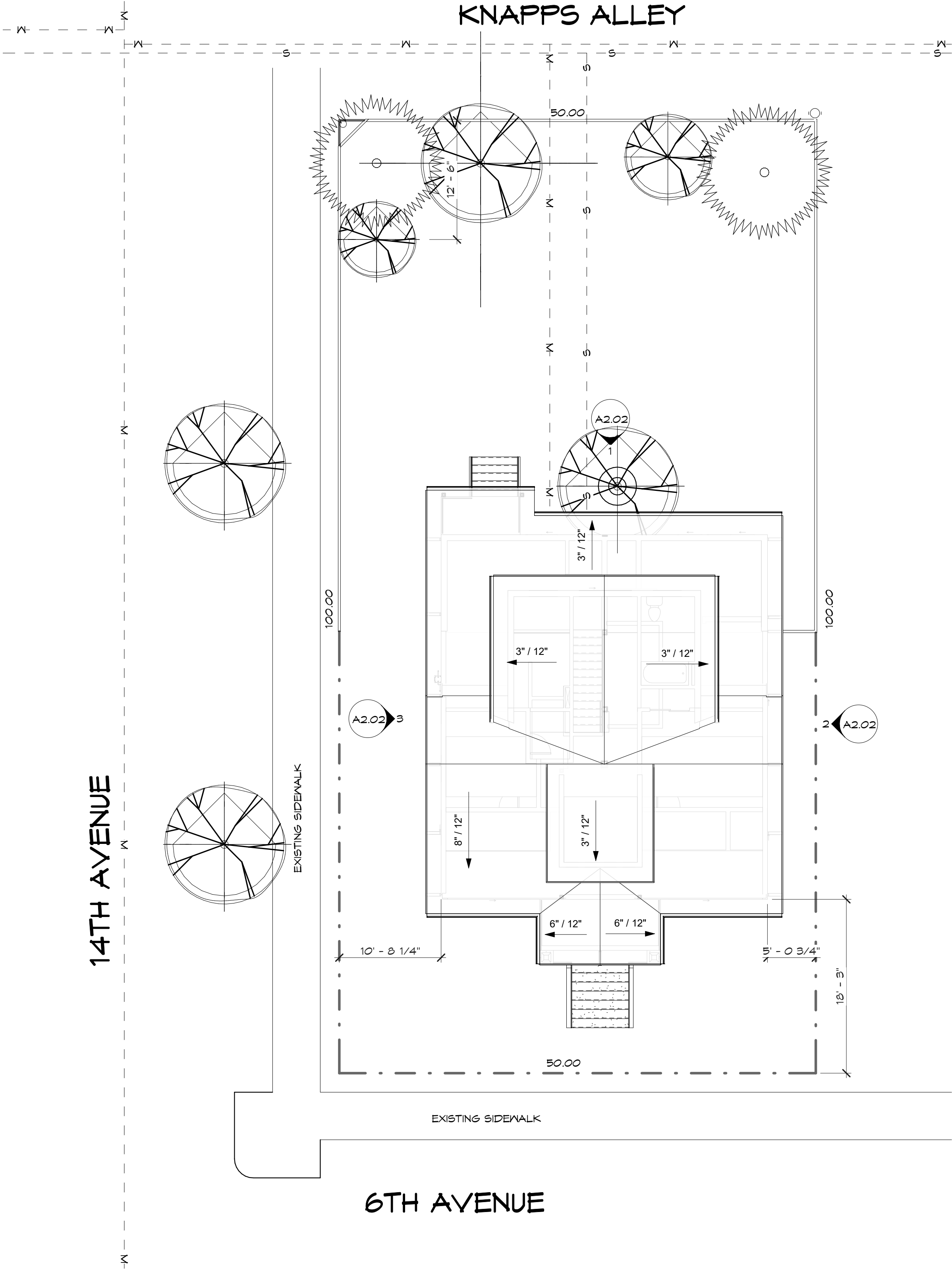
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ISSUE DATE:	10/05/2020
JOB NUMBER:	10124.01
DRAWN BY:	NTW
CHECKED BY:	DLG

SHEET CONTENTS:
COVER SHEET

A0.00

SHEETS TOTAL

1 SITE PLAN
1/8" = 1'-0"



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No.	Description	Date

DATA:	
ISSUE DATE:	10/05/2020
JOB NUMBER:	10124.01
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SHEET CONTENTS:
SITE PLAN

A0.03

10 SHEETS TOTAL

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DRAWING

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CONSTRUCTION

ADDITION/REMODEL
HOFFNER RESIDENCE
1706 6TH AVE
WEST LINN, OR 97068

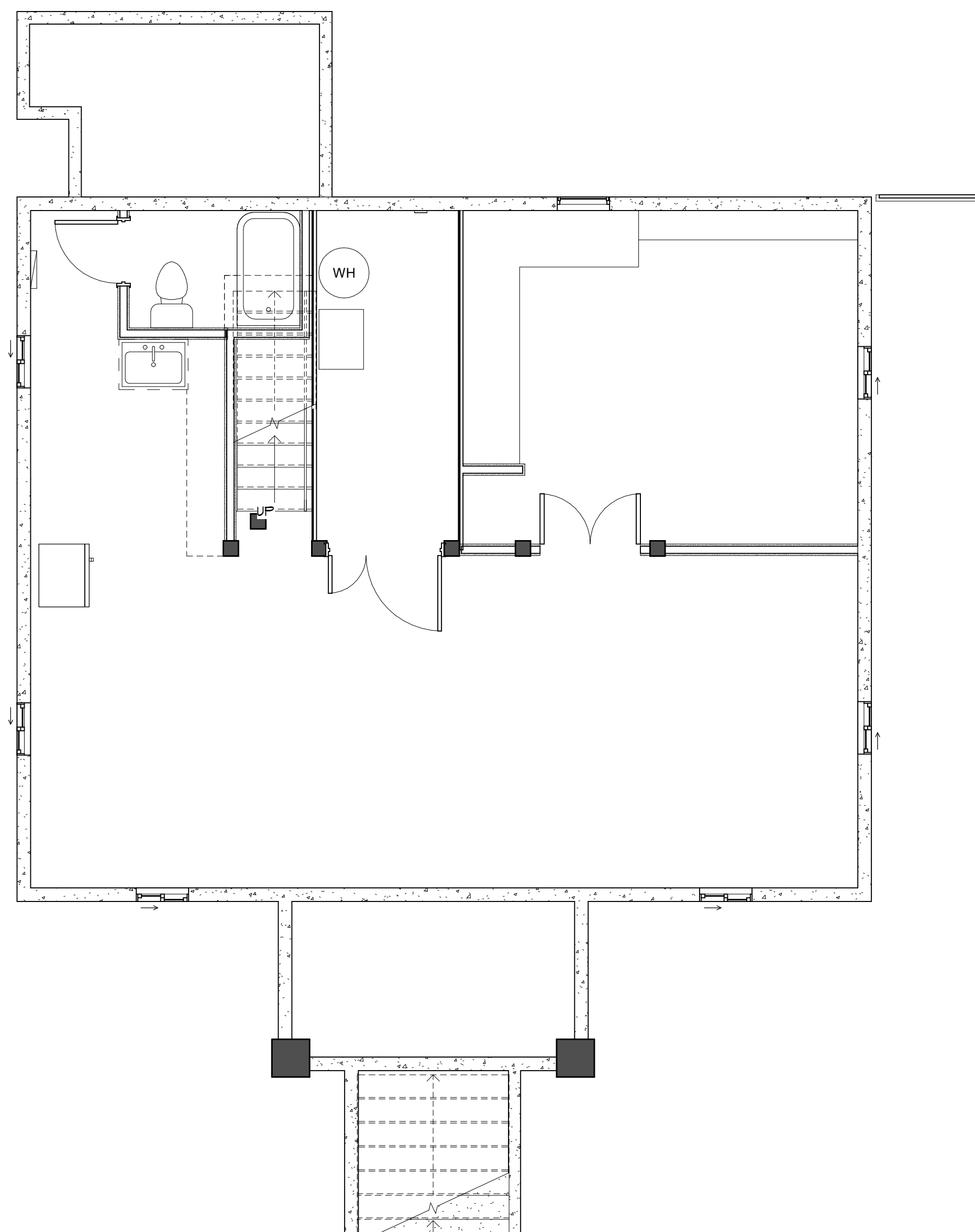
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1825 George East Road, Suite 207
Lake Oswego, Oregon 97035
NS 503.53A.0327

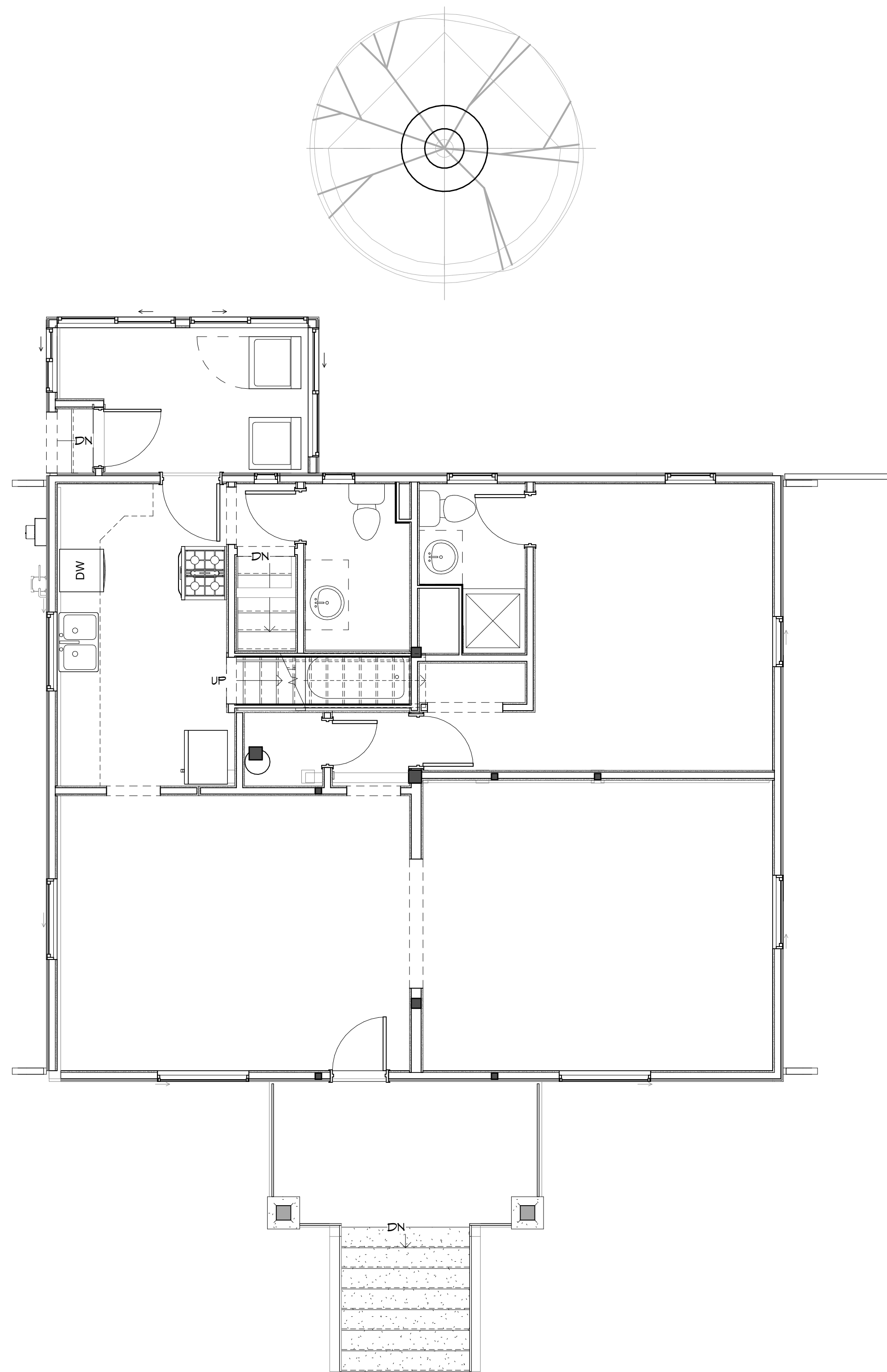
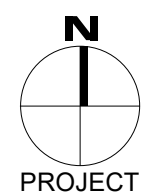
American Institute of Architects
NCARB
www.iconarchitect.com
info@iconarchitect.com

ISSUED: 10/05/2020
Prepared by: NTW
Reviewed by: DLG
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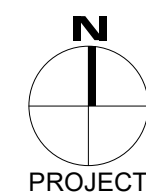
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2 AS-BUILT - BASEMENT
1/4" = 1'-0"



1 AS-BUILT - LEVEL 1
1/4" = 1'-0"



PRELIMINARY
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NOT FOR
CONSTRUCTION

ADDITION/ REMODEL
HOFFNER RESIDENCE
1706 6TH AVE
WEST LINN, OR 97068

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JOB NUMBER:	10124.01
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SHEET CONTENTS:
AS-BUILT - FLOOR
PLANS

A1.01

SHEETS TOTAL

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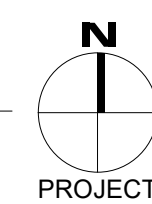
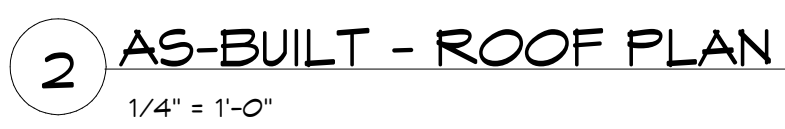
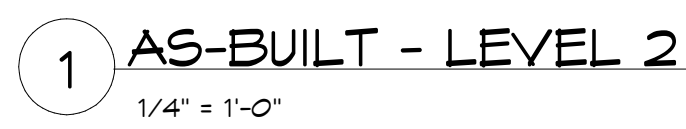
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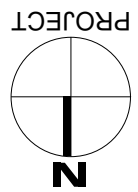
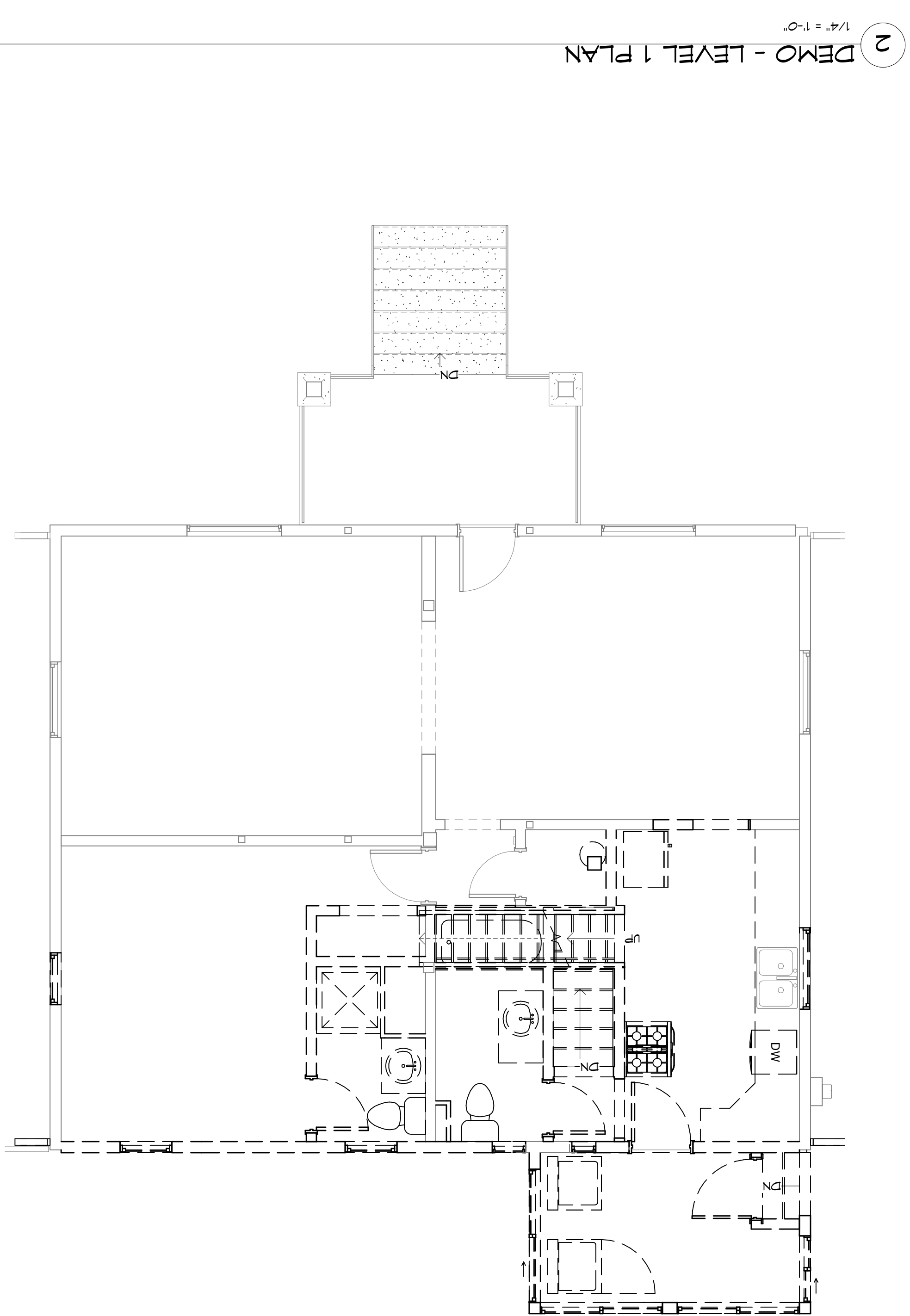
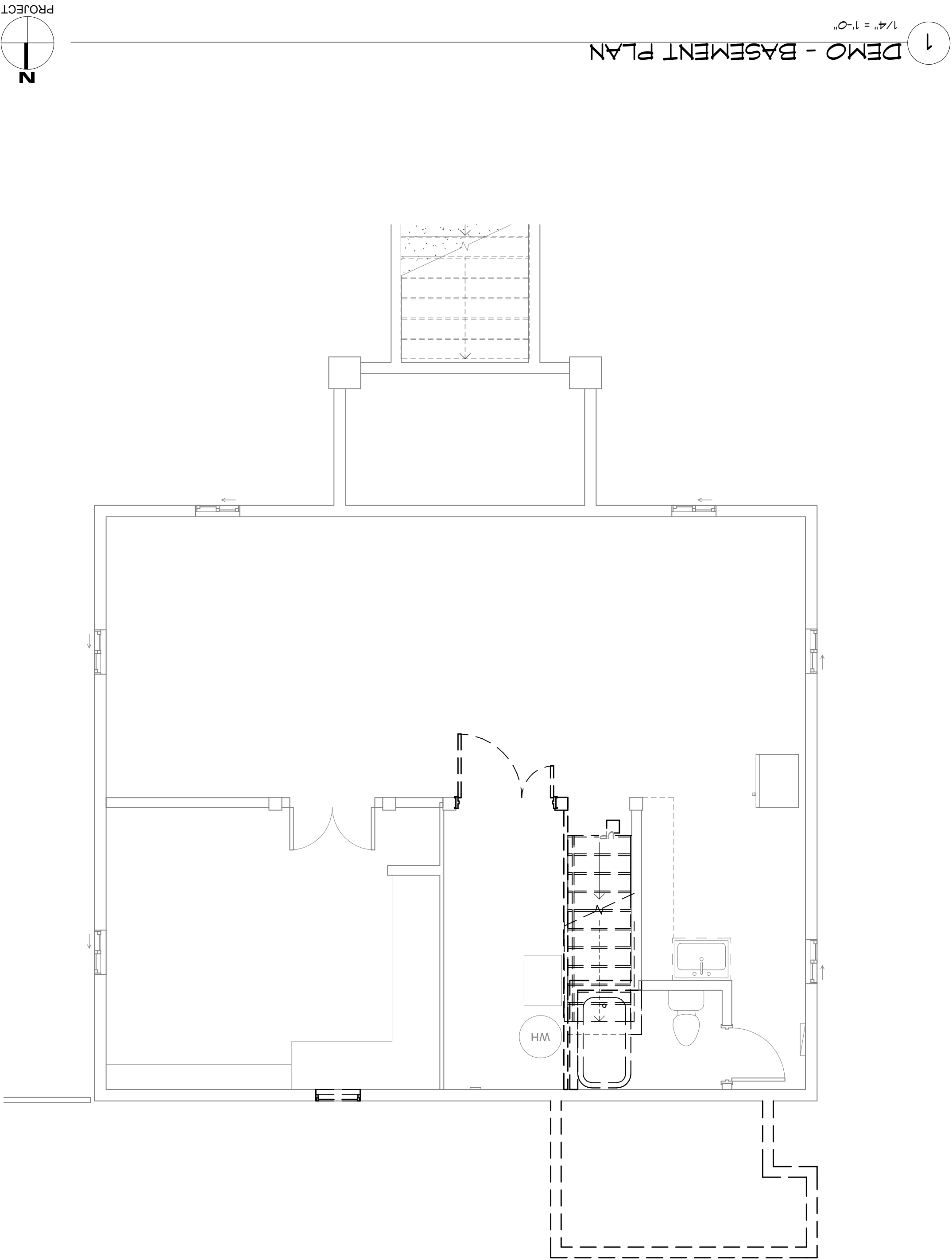


ADDITION/ REMODEL
HOFFNER RESIDENCE
1706 6TH AVE
WEST LINN, OR 97068

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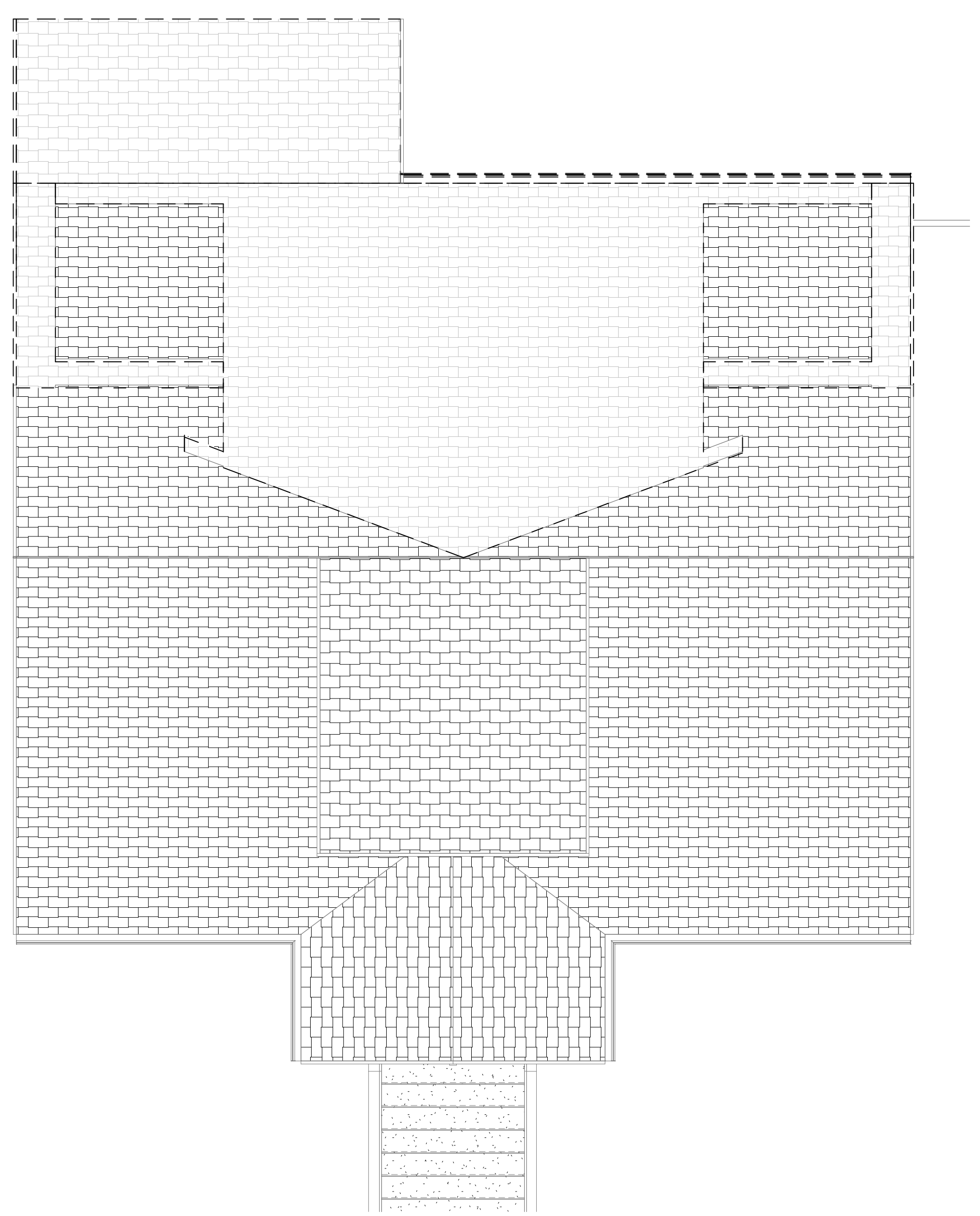
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CHECKED BY:	DLG

SHEET CONTENTS:
AS-BUILT - FLOOR
PLANS
A1.03
10 SHEETS TOTAL



ISSUED FOR:			
No.	Description	Date	

A circular north arrow with a vertical line pointing upwards. The letter 'N' is at the top, and the word 'PROJECT' is at the bottom.



PRELIMINARY
DRAWING

NOT FOR
CONSTRUCTION

HOFFNER RESIDENCE
1706 6TH AVE
WEST LINN, OR 97068

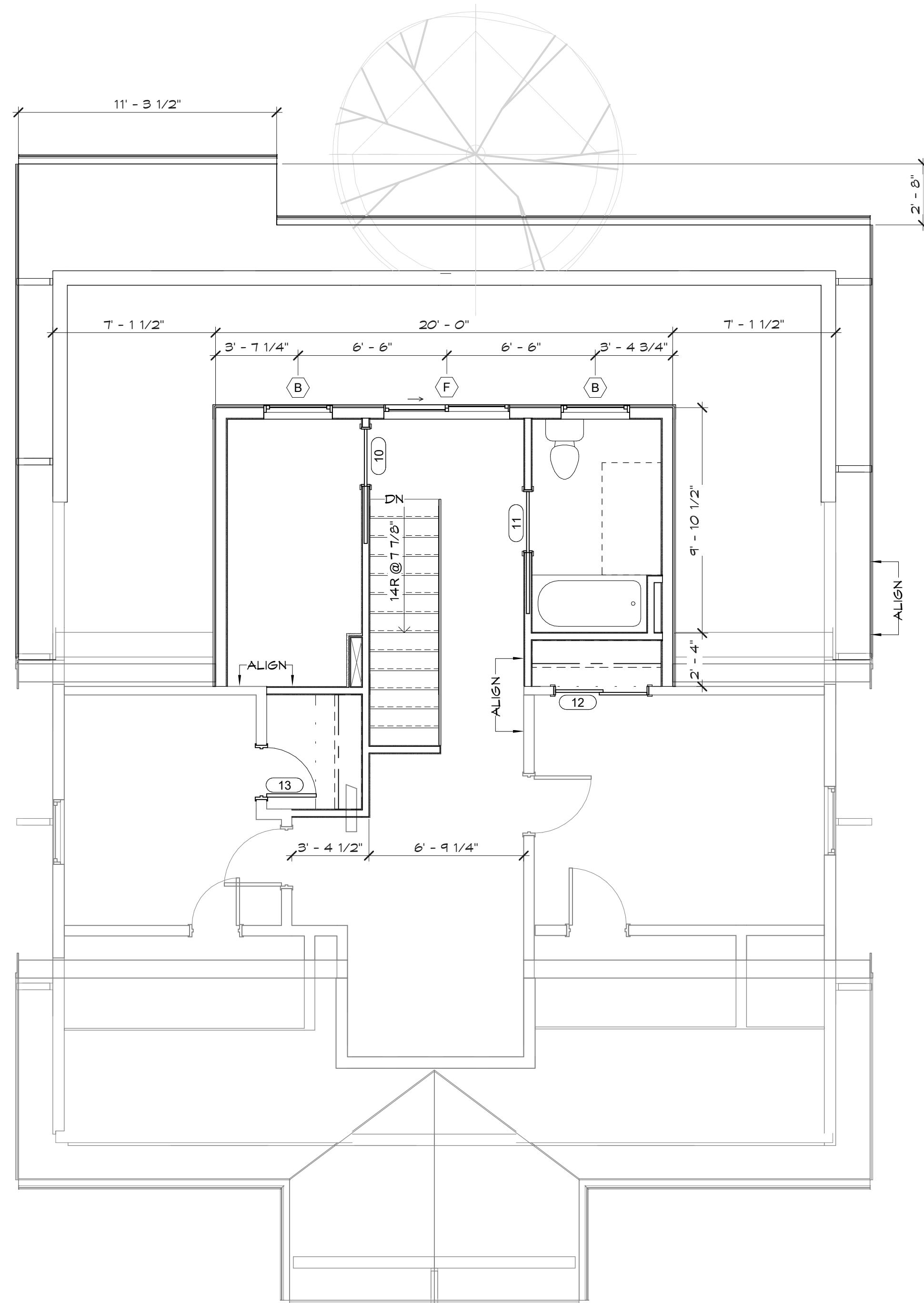
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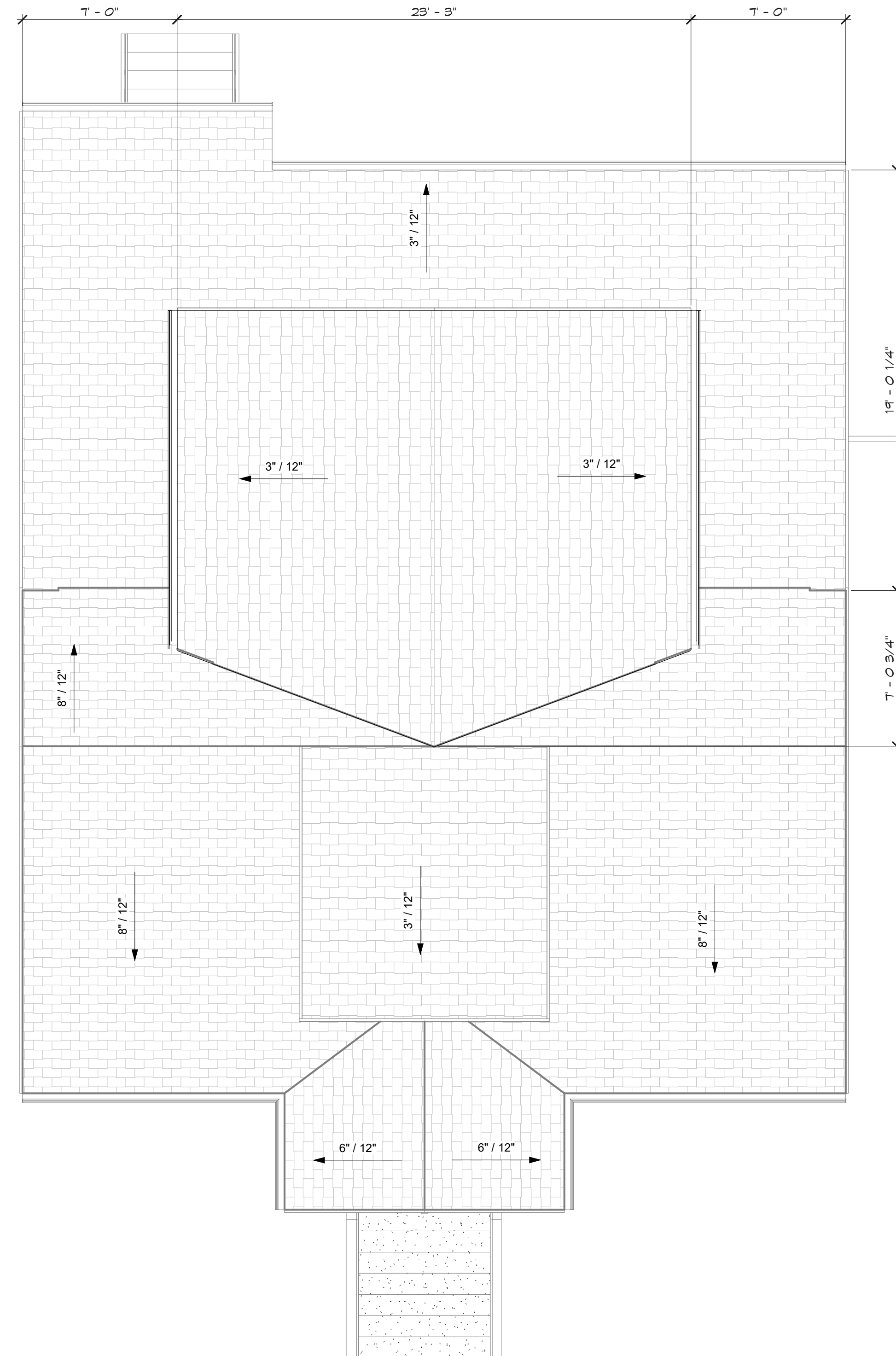
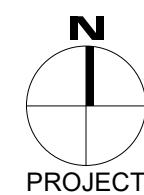
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DEMOLITION PLANS

A1.05

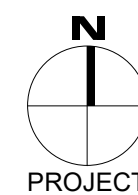
10 SHEETS TOTAL



1 FLOOR PLAN - LEVEL 2
1/4" = 1'-0"



2 ROOF PLAN
1/4" = 1'-0"



PRELIMINARY
DRAWING

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CONSTRUCTION

HOFFNER RESIDENCE
1706 6TH AVE
WEST LINN, OR 97068

[illegible]

DATA:	
ISSUE DATE:	10/05/2020
JOB NUMBER:	10124.01
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SHEET CONTENTS:
FLOOR PLANS

A1.07

SHEETS TOTAL



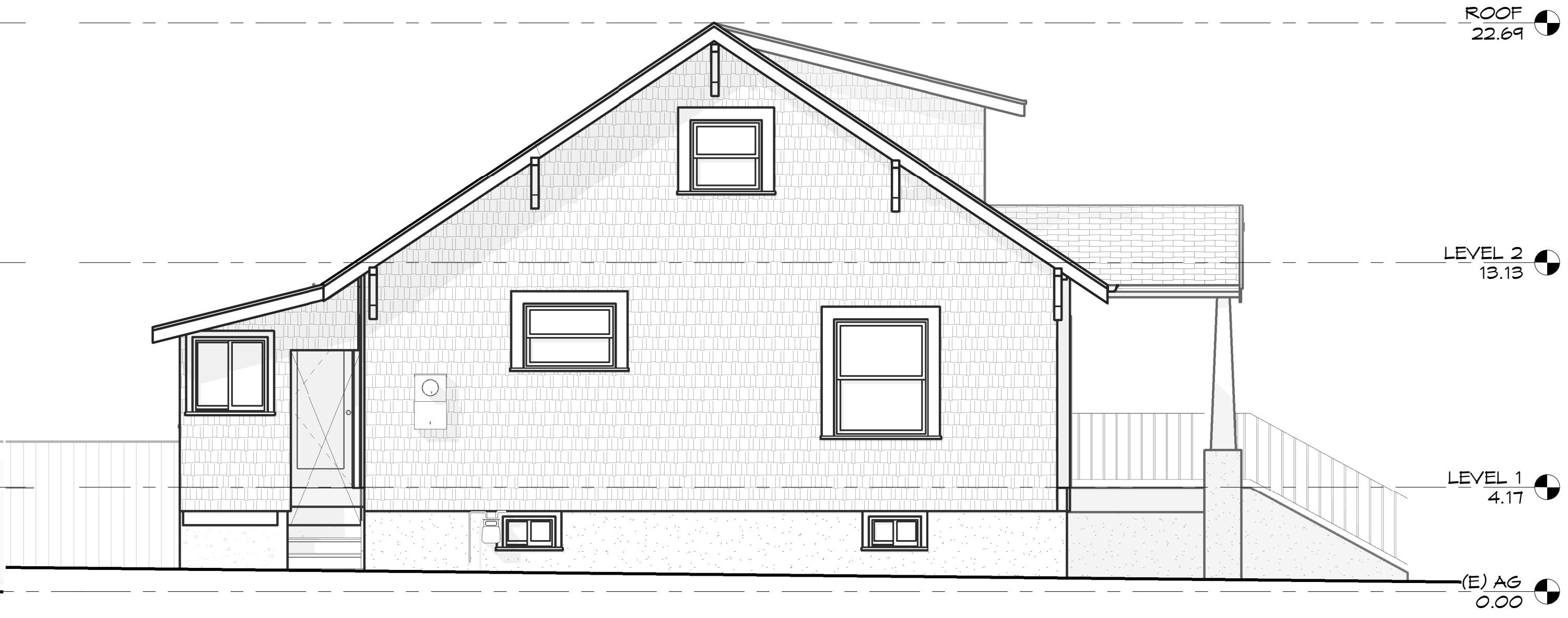
1 EXISTING - NORTH
1/4" = 1'-0"



3 EXISTING - SOUTH
1/4" = 1'-0"



2 EXISTING - EAST
1/4" = 1'-0"



4 EXISTING - WEST
1/4" = 1'-0"

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CONSTRUCTION

HOFFNER RESIDENCE
1706 6TH AVE
WEST LINN, OR 97068

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No.	Description	Date

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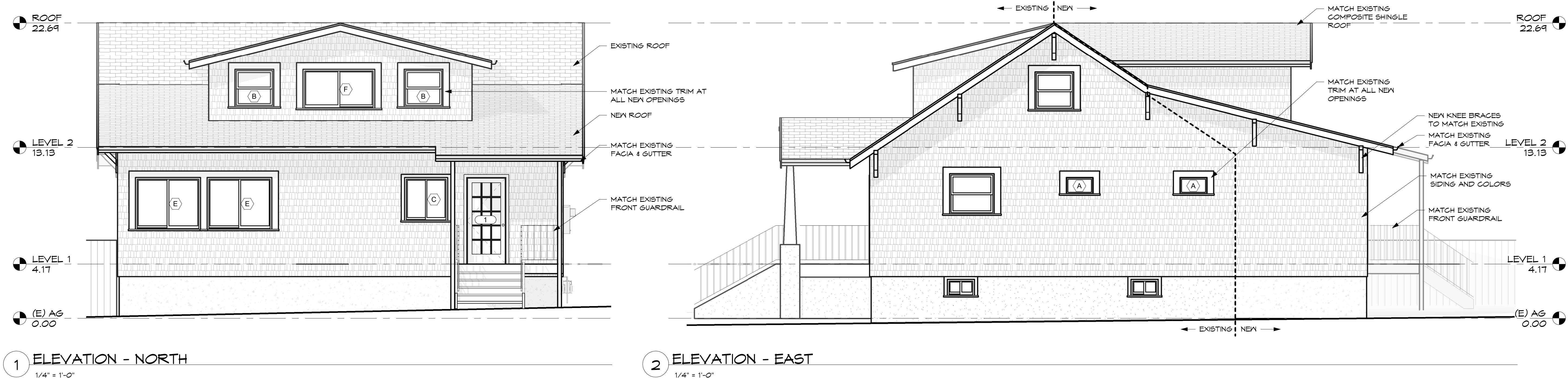
SHEET CONTENTS:
EXISTING BUILDING
ELEVATIONS

A2.01

10 SHEETS TOTAL

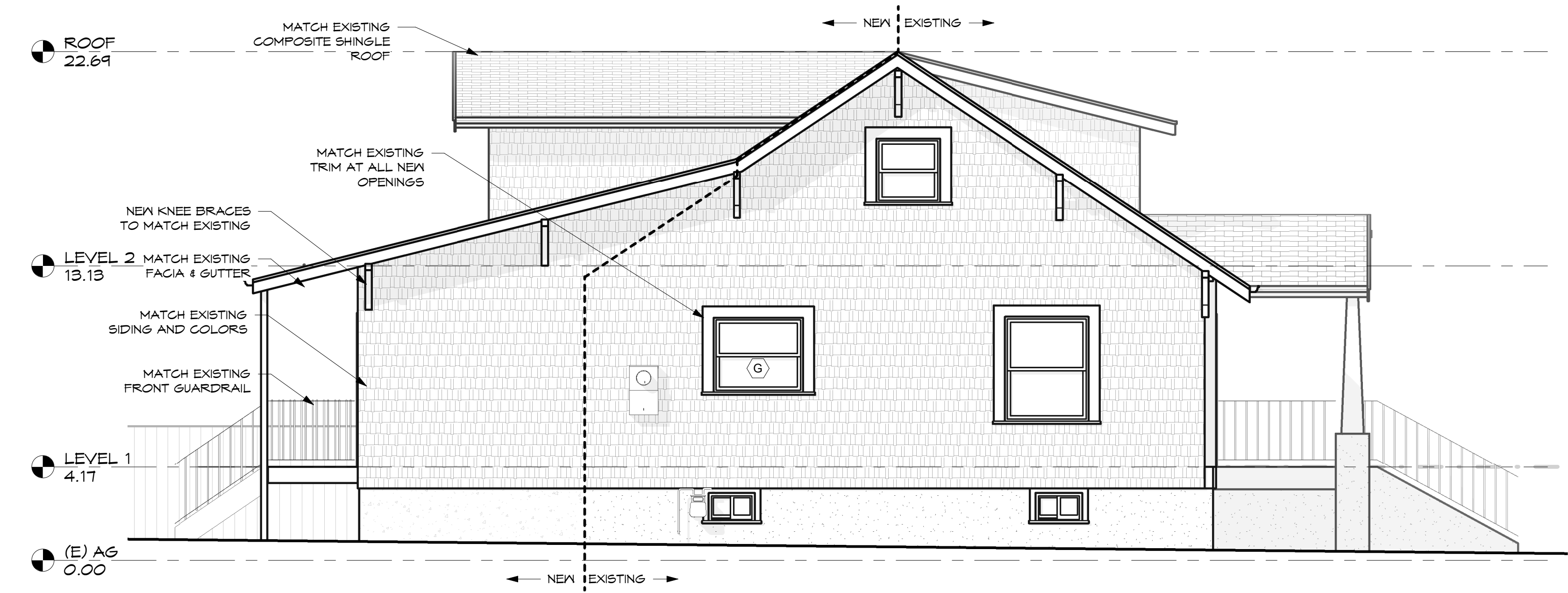
DOOR SCHEDULE						
SYM.	TYPE	SIZE		HRDWR.	NOTES	Count
		W	H		(DOORS CTR UNO)	
LEVEL 1						
1	B	3' - 0"	6' - 0"		REUSE EXISTING?	1
2	A	3' - 0"	6' - 0"		SWING	1
3	A	2' - 0"	6' - 0"		EXISTING, REUSED	1
4	C	2' - 2"	6' - 0"		POCKET	1
5	C	2' - 0"	6' - 0"		POCKET	1
36	C	2' - 0"	6' - 0"		POCKET	1
LEVEL 2						
10	C	2' - 0"	6' - 0"		POCKET	1
11	C	2' - 0"	6' - 0"		POCKET	1
12	D	4' - 0"	6' - 0"		BYPASS	1
13	A	2' - 2"	6' - 0"		SWING	1
						10

WINDOW SCHEDULE					
TYPE	UNIT SIZE		HEAD HEIGHT	QTY.	OPERATION
	W	H			
A	2' - 1"	1' - 3"	6' - 0"	2	FIXED
B	3' - 0"	2' - 10 1/2"	6' - 0"	2	SINGLE HUNG
C	3' - 4"	3' - 4"	6' - 0"	1	SLIDER
E	5' - 0"	4' - 0"	6' - 0"	2	SLIDER
F	5' - 6"	3' - 0"	6' - 0"	1	SLIDER
G	4' - 0"	3' - 4"	6' - 0"	1	SLIDER
					9



1 ELEVATION - NORTH
1/4" = 1'-0"

2 ELEVATION - EAST
1/4" = 1'-0"



3 ELEVATION - WEST
1/4" = 1'-0"

ISSUED FOR:		
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