

**KEY LEGEND**

- 1 EXISTING TRACK AND FIELD
- 2 STADIUM EXPANSION
- 3 PARKING AREA
- 4 FIELD OVERLOOK
- 5 RAMP WITH STEEL HANDRAILS
- 6 STAIR WITH STEEL HANDRAILS
- 7 CONCESSIONS PLAZA
- 8 SLOPED WALKWAY, TYPICAL
- 9 RAMP LANDING AT TERRACED LAWN
- 10 SYNTHETIC TURF AND CONCRETE TERRACED LAWN
- 11 CONCRETE RETAINING WALL, TYPICAL
- 12 GUARDRAIL, TYPICAL
- 13 STANDING HEIGHT LEAN RAIL TABLES
- 14 ENTRY PLAZA
- 15 TICKETING BOOTH
- 16 BUILT-IN WOOD AND STEEL BENCH
- 17 BIKE RACKS
- 18 RENOVATED SHOT PUT
- 19 TRACK AND FIELD ENTRY
- 20 SHRUB AND GROUNDCOVER PLANTING AREA, TYPICAL

CLIENT  
**WEST LINN  
 WILSONVILLE SCHOOL  
 DISTRICT**

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IBI Group Professional Services (USA) Inc.  
 is a member of the IBI Group of companies

ISSUES		
No.	DESCRIPTION	DATE
1	SCHEMATIC DESIGN	06-19-2020
2	PRE-APPLICATION	08-05-2020

CONSULTANTS  
**Mayer/Reed**  
 Mayer/Reed, Inc.  
 319 SW Washington St.  
 Suite 820  
 Portland, Oregon 97204  
 503.223.5953

SEAL



PROJECT  
**WEST LINN HIGH SCHOOL  
 PARKING/STADIUM ADDITIONS**  
 5464 W A Street  
 West Linn, OR 97068

PROJECT NO: 124724	WL BID PACK
DRAWN BY: EK	CHECKED BY: RC
PROJECT MGR: RC	APPROVED BY: CMR

SHEET TITLE  
**LANDSCAPE GENERAL  
 ARRANGEMENT PLAN**

SHEET NUMBER  
**L000**

1 LANDSCAPE GENERAL ARRANGEMENT PLAN  
 Scale: 1" = 20'-0"



2020-08-XX.XX.XX.XX.XX

BIM 300/124724 - WLHS Stadium/Parking Improvements

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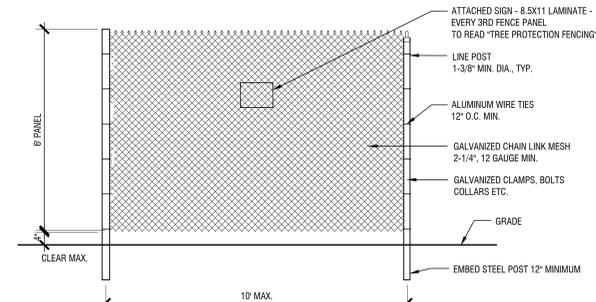
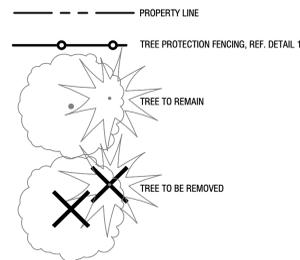
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SHEET TITLE  
**TREE PROTECTION AND  
 REMOVAL NOTES AND  
 LEGEND**

SHEET NUMBER  
**L001**

ISSUE

**TREE PROTECTION AND REMOVAL LEGEND**



**NOTES:**

1. LOCATE FENCING PER TREE PROTECTION PLAN AND SPECIFICATIONS.
2. EXISTING FENCING OR CONSTRUCTION FENCING MAY BE USED IN-LEU OF TREE PROTECTION FENCING WITH APPROVAL FROM OWNER.
3. TREE PROTECTION FENCING MUST BE IN PLACE THROUGHOUT CONSTRUCTION.
4. INSTALL BY FENCE TYPE IN LOCATIONS INDICATED ON TREE PROTECTION PLANS.

**1 TEMPORARY TREE PROTECTION FENCE**

SCALE: 1/2"= 1'-0"

**TREE REMOVAL NOTES**

1. PROTECT ALL TREES INDICATED TO REMAIN, INCLUDING BARK AND ROOT ZONES. INSTALL PROTECTIVE FENCING WHERE INDICATED ON THE TREE PROTECTION PLAN. PROTECTIVE BARRIERS SHALL BE PLACED BEFORE PHYSICAL DEVELOPMENT STARTS AND SHALL STAY IN PLACE UNTIL AFTER PLANNING OFFICIAL AUTHORIZES THEIR REMOVAL OR A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED, WHICHEVER OCCURS FIRST.
2. TREE PROTECTION FENCING SHALL BE CHAIN LINK, MINIMUM OF 6' HEIGHT, SECURED WITH STEEL POSTS, INSTALLED 5' BEYOND THE EDGE OF THE ROOT ZONE OR AS INDICATED ON THE TREE REMOVAL AND PROTECTION PLAN.
3. EXCAVATION WITHIN THE TREE PROTECTION ZONE WILL BE PERFORMED USING ONLY NON-MOTORIZED HANDHELD TOOLS AND SHALL BE THE MINIMUM NECESSARY TO ACCOMPLISH THE PURPOSE FOR THE EXCAVATION AND TO ENSURE LONG-TERM SURVIVAL OF THE TREE.
4. TREE PROTECTION FENCING SHALL BE FLUSH WITH THE INITIAL UNDISTURBED GRADE.
5. APPROVED SIGNS SHALL BE ATTACHED TO PROTECTION FENCING, AND VISIBLY STATING THAT INSIDE THE FENCING IS A TREE PROTECTION ZONE, NOT TO BE DISTURBED UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE COUNTY MANAGER.
6. NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE, INCLUDING, BUT NOT LIMITED TO DUMPING OR STORAGE OF MATERIALS SUCH AS BUILDING SUPPLIES, SOIL, WASTE ITEMS, OR PARKED VEHICLES AND EQUIPMENT.
7. THE TREE PROTECTION ZONE SHALL REMAIN FREE OF CHEMICALLY INJURIOUS MATERIALS AND LIQUIDS SUCH AS PAINTS, THINNERS, CLEANING SOLUTIONS, PETROLEUM PRODUCTS, AND CONCRETE OR DRY WALL EXCESS, CONSTRUCTION DEBRIS, OR RUNOFF.
8. NO EXCAVATION, TRENCHING, GRADING, ROOT PRUNING OR OTHER ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE UNLESS DIRECTED BY AN ARBORIST PRESENT ON SITE AND APPROVED BY THE CITY MANAGER.
9. NO FILL OR COMPACTION SHALL OCCUR WITHIN THE CRITICAL ROOT ZONES OF ANY OF THE TREES. IF COMPACTION IS UNAVOIDABLE, MEASURES SHALL BE TAKEN AS RECOMMENDED BY A CERTIFIED ARBORIST TO REDUCE OR MITIGATE THE IMPACT OF THE FILL OR COMPACTION.
10. CONTRACTOR TO GIVE OWNER 30 DAYS NOTICE PRIOR TO REMOVAL OF PLANTS TO BE RELOCATED.

**NOTE:**

163 TREES ARE SHOWN FOR REMOVAL.  
 EXISTING TREE INFORMATION AND REQUIRED MITIGATION PENDING ARBORIST REPORT.

**GENERAL NOTES**

1. LANDSCAPE DOCUMENTS ARE BASED ON A SURVEY BY COMPASS LAND SURVEYORS DATED JANUARY 2020. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
2. REFERENCE CIVIL DRAWINGS FOR VEHICULAR AREAS, VEHICULAR PAVING, SITE UTILITIES, STORMWATER TREATMENT INFORMATION.
3. REFERENCE ELECTRICAL DRAWINGS FOR SITE LIGHTING INFORMATION.
4. REFERENCE ARCHITECTURAL DRAWINGS FOR BLEACHER AND GRANDSTAND IMPROVEMENT INFORMATION.
5. FOR TREE PROTECTION AND REMOVAL REFERENCE TREE PROTECTION AND REMOVAL PLANS.
6. FOR SITE REMOVALS REFERENCE SITE DEMOLITION PLANS.

**SITE NOTES**

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2. OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 852-001-0000. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. SO THAT UTILITIES MAY BE ACCURATELY LOCATED, OCCUPATORS MUST NOTIFY ALL PERTINENT COMPANIES OR AGENCIES WITH UNDERGROUND UTILITIES IN THE PROJECT AREA AT LEAST 48 BUSINESS-DAY HOURS BUT NOT MORE THAN 10 BUSINESS DAYS PRIOR TO COMMENCING AN EXCAVATION.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN ALL FACTS CONCERNING CONDITIONS TO BE FOUND AT THE LOCATION OF THE PROJECT INCLUDING PHYSICAL CHARACTERISTICS ABOVE AND BELOW THE SURFACE OF THE GROUND AND TO FULLY EXAMINE THE PLANS AND SPECIFICATIONS. ANY DISCREPANCIES IN DIMENSIONING OR LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE AGENCY PRIOR TO THE ALTERATION OF PLANTING.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO EACH PHASE OF CONSTRUCTION. NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH WORK. WHERE CONFLICT IS IDENTIFIED, COST OF PROCEEDING WITHOUT OWNER'S REPRESENTATIVE WRITTEN CLARIFICATION AND AUTHORIZATION TO PROCEED SHALL BE AT THE CONTRACTOR'S EXPENSE.



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SEAL

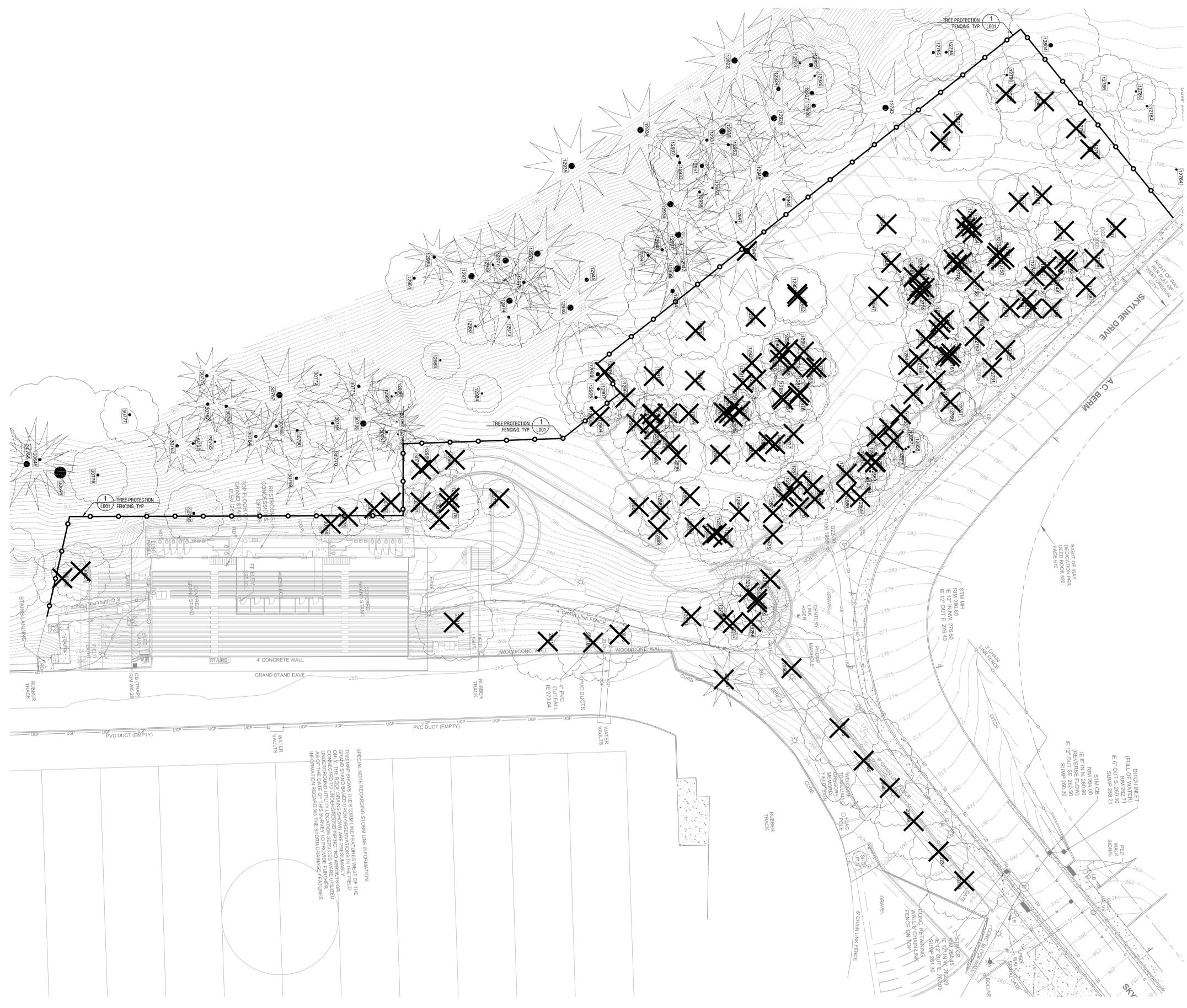


**PROJECT**  
**WEST LINN HIGH SCHOOL  
 PARKING/STADIUM ADDITIONS**  
 5464 W A Street  
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**PROJECT NO:** 124724 **WL BID PACK**  
**DRAWN BY:** EK **CHECKED BY:** RC  
**PROJECT MGR:** RC **APPROVED BY:** CMR

**SHEET TITLE**  
**TREE PROTECTION AND  
 REMOVAL PLAN**

**SHEET NUMBER**  
**L002**



**SPECIAL NOTE REGARDING STORM LINE INFORMATION:**  
 THIS MAP SHOWS THE STORM LINE FEATURES WEST OF THE  
 THIS MAP IS BASED UPON OBSERVATIONS IN THE FIELD  
 ONLY. THE ROOF DRAINAGE SHOWING IS AN ESTIMATE OF  
 CONNECTION UTILITY LOCATION SERVICES. REFER TO  
 AS OF THE DATE OF THIS STORM DRAINAGE FEATURES  
 INFORMATION REGARDING THE STORM DRAINAGE FEATURES

**1 TREE PROTECTION AND REMOVAL PLAN**  
 Scale: 1" = 20'-0"  
 NOTE: REFERENCE L001 FOR TREE PROTECTION LEGEND AND NOTES



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**GENERAL LEGEND**

- PROPERTY LINE
- RIGHT OF WAY EASEMENT LINE
- GB GRADE BREAK
- (FS XXXXX) EXISTING SPOT ELEVATION
- FS XXX.XX SPOT ELEVATION
- XX% SLOPE PERCENT
- FS FINISH SURFACE ELEVATION (HARDSCAPE)
- FG FINISH GRADE ELEVATION (SOFTSCAPE)
- TW TOP OF WALL ELEVATION
- TS TOP OF STAIR ELEVATION
- BS BOTTOM OF STAIR ELEVATION

**GENERAL ABBREVIATIONS**

- ARCH ARCHITECTURAL/ARCHITECT
- CAL CALIPER
- CONC CONCRETE
- DIA DIAMETER
- DBH DIAMETER AT BREAST HEIGHT
- DWG DRAWINGS
- EQ EQUAL
- HT HEIGHT
- L.A. LANDSCAPE ARCHITECT
- N/A NOT APPLICABLE
- NO. NUMBER
- O.C. OR CENTER
- PA PLANTING AREA
- R RADIUS
- SF SQUARE FEET
- SIM SIMILAR

**GENERAL NOTES**

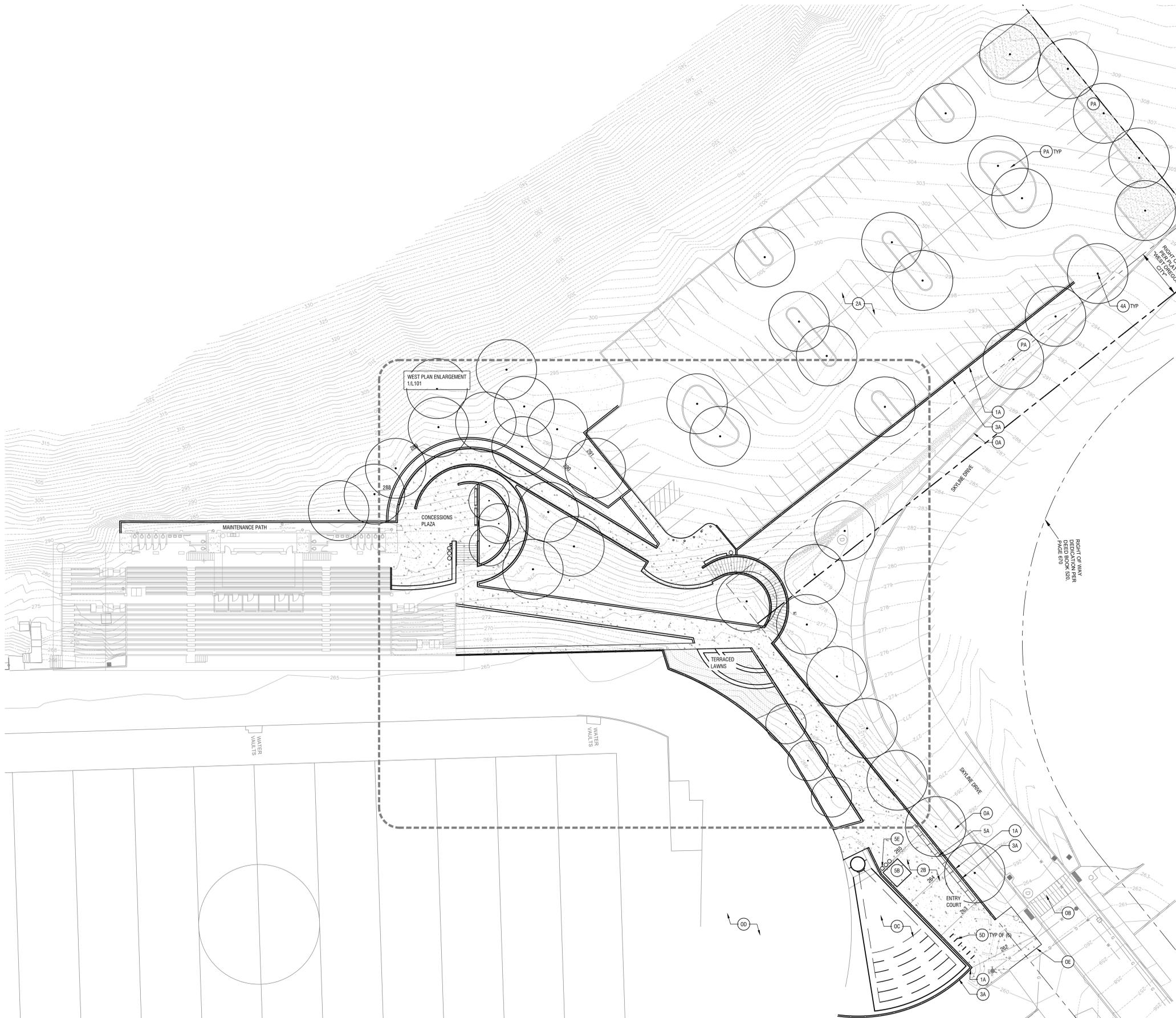
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**SITE NOTES**

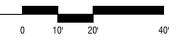
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**SHEET NOTES - MATERIALS PLAN**

TAG #	DETAIL TITLE	DETAIL #	SHEET #
0	EXISTING CONDITIONS	---	---
0A	EXISTING R.O.W. TO REMAIN	---	---
0B	EXISTING CROSSWALK TO REMAIN	---	---
0C	EXISTING SHOT PUT TO BE RENOVATED	---	---
0D	EXISTING TRACK AND FIELD TO REMAIN	---	---
0E	SAWCUT EXISTING CONC PAVING FOR CLEAN TRANSITION	---	---
1	RETAINING WALLS	---	---
1A	9" WIDE CONCRETE RETAINING WALLS, REF GRADING INFO FOR HEIGHTS, REF STRUCTURAL FOR FOOTINGS AND REINFORCEMENT	---	---
1B	24" WIDE REINFORCED CONCRETE RETAINING WALLS, REF GRADING INFO FOR HEIGHTS	---	---
2	PAVING	---	---
2A	VEHICULAR ASPHALT PAVING, REF CIVIL	---	---
2B	4" THICK PEDESTRIAN CONCRETE PAVING, REF GRADING INFORMATION	---	---
2C	SYNTHETIC TURF SURFACING, SELECT EL D'UPONT FOREVER LAWN	---	---
2D	REINFORCED CONCRETE STAIR, 6" RISE, 14" TREAD	---	---
3	FENCING, GATES AND RAILINGS	---	---
3A	6" HT. STEEL PICKET GUARDRAIL, AMERSTAR MONTAGE PLUS	---	---
3B	1.5" DIA. SS TUBE HANDRAIL, CONTINUOUS, BOTH SIDES	---	---
3C	6" HT. PEDESTRIAN GATE	---	---
4	LANDSCAPE AREAS - ALL PLANTING AREAS TO RECEIVE FULLY AUTOMATIC IRRIGATION	---	---
PA	SHRUB AND GROUNDCOVER PLANTING AREA, 24" DEPTH AMENDED TOPSOIL	---	---
4A	2.5" DIA. DECIDUOUS TREE, 36" DEPTH AMENDED TOPSOIL	---	---
5	SITE FEATURES AND FURNISHINGS	---	---
5A	18" - 24" HT. SLATTED WOOD AND STEEL FRAME STEPPED BENCH	---	---
5B	TICKETING BOOTH	---	---
5C	LEAN BAR, JESSE RAIL W/ MESH INFILL, LANDSCAPE FORMS	---	---
5D	BIKE RACK, HUNTOO, THE STAPLE	---	---
5E	WASTE RECEPTACLE, HUNTOO, THE CLASSIC 61	---	---
5F	REMOVABLE BOLLARD, R-4664 BY RELIANCE FOUNDRY	---	---



**1 OVERALL LANDSCAPE SITE PLAN**  
 Scale: 1" = 20'-0"



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**SHEET TITLE**  
**OVERALL LANDSCAPE  
 SITE PLAN**

**SHEET NUMBER**  
**L100**

2020-06-XX.X.XX.XX.XX

BM 3007124724 - WLHS Stadium/Parking Improvements

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**GENERAL NOTES**

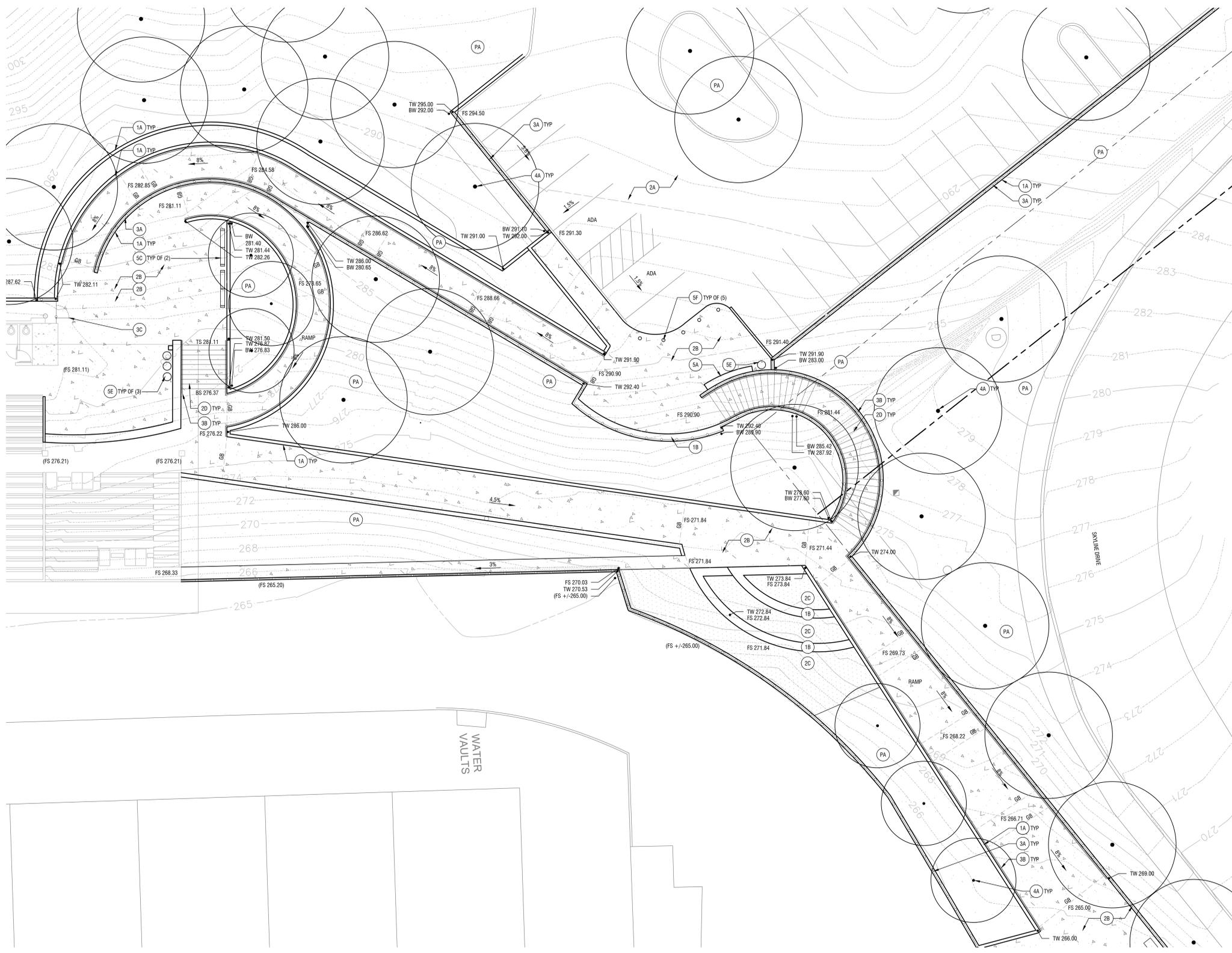
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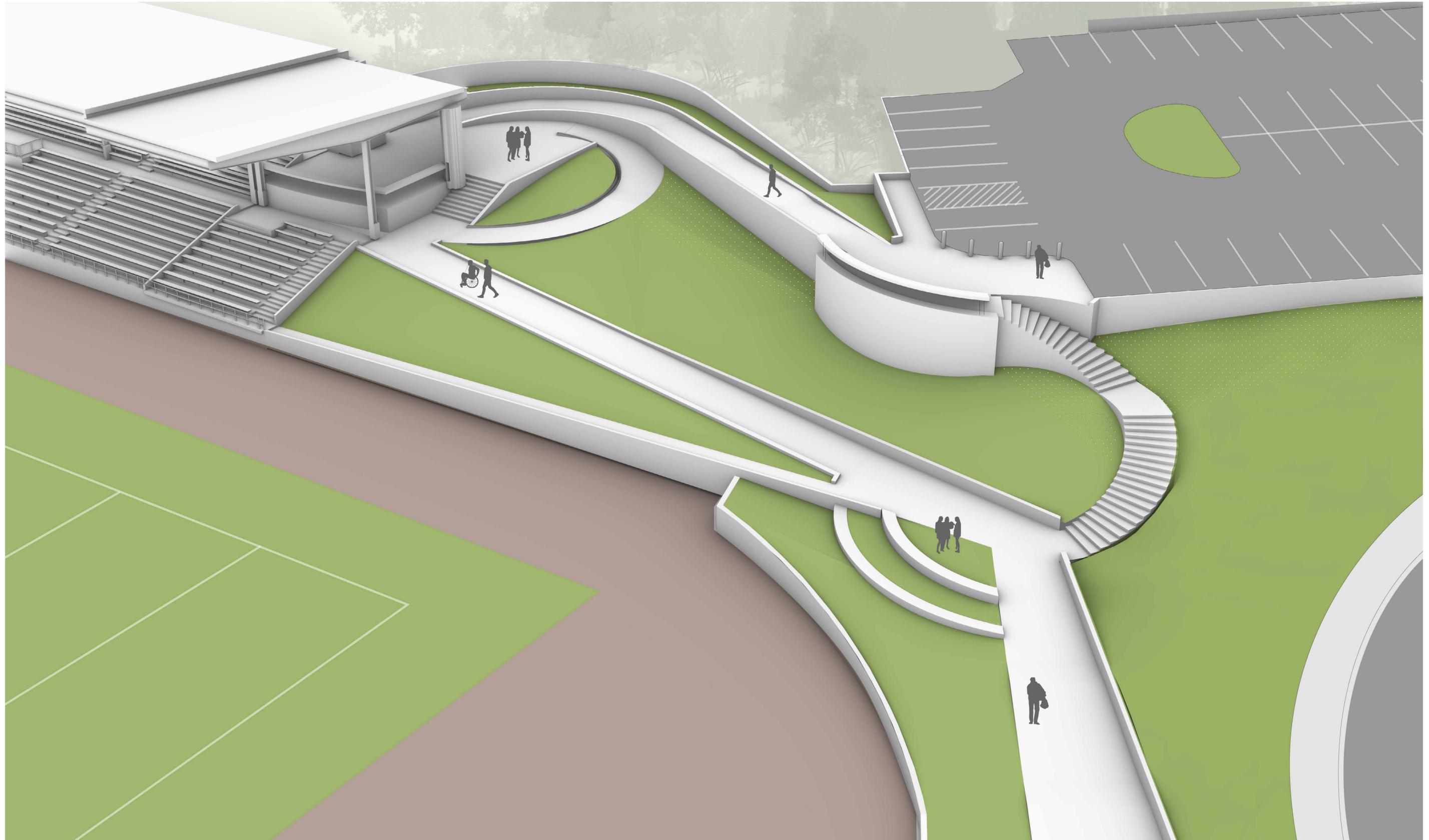


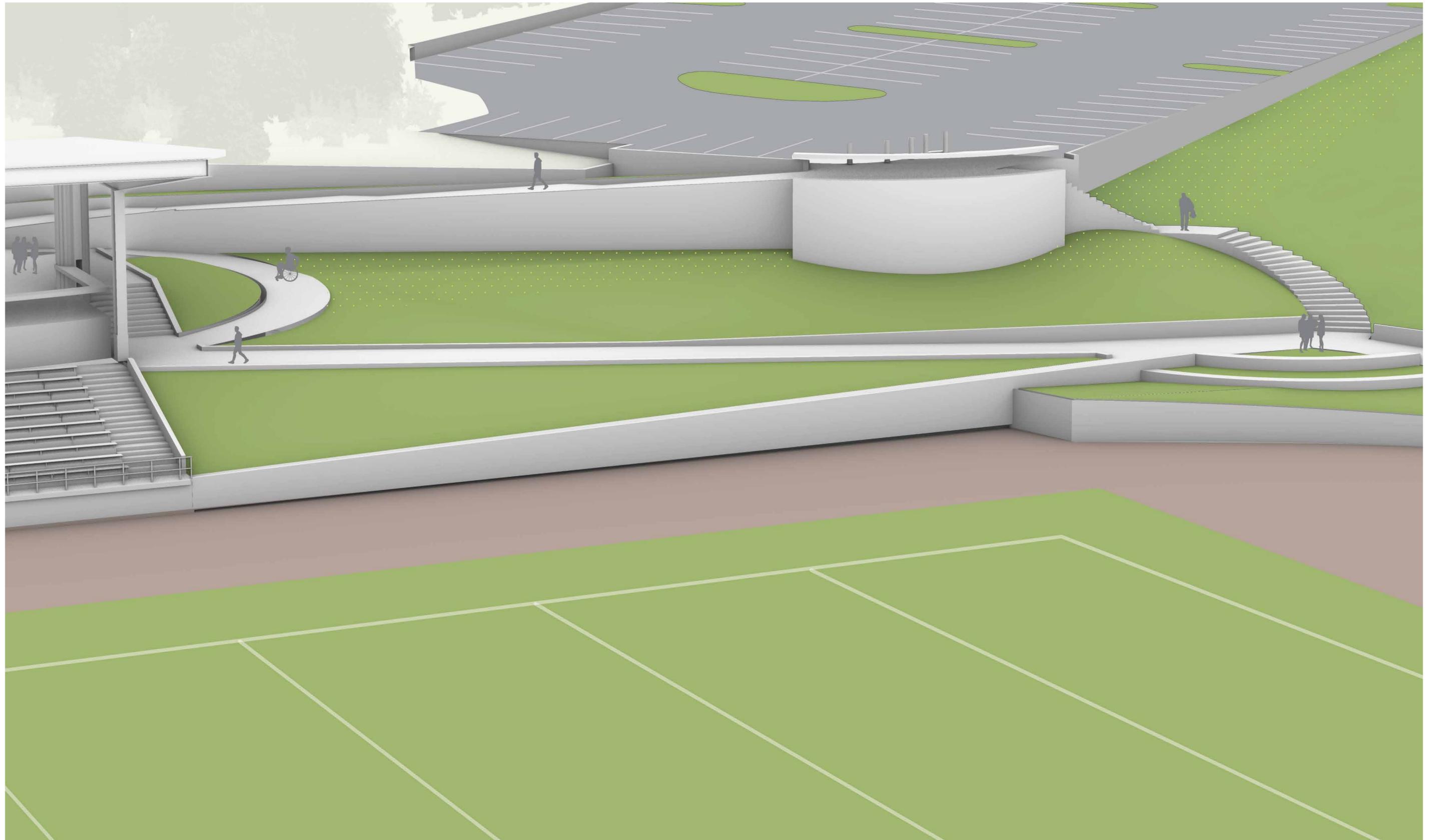
1 LANDSCAPE SITE PLAN - WEST ENLARGEMENT  
Scale: 1" = 10'-0"



2020-06-XX.X.XX.XX.XX

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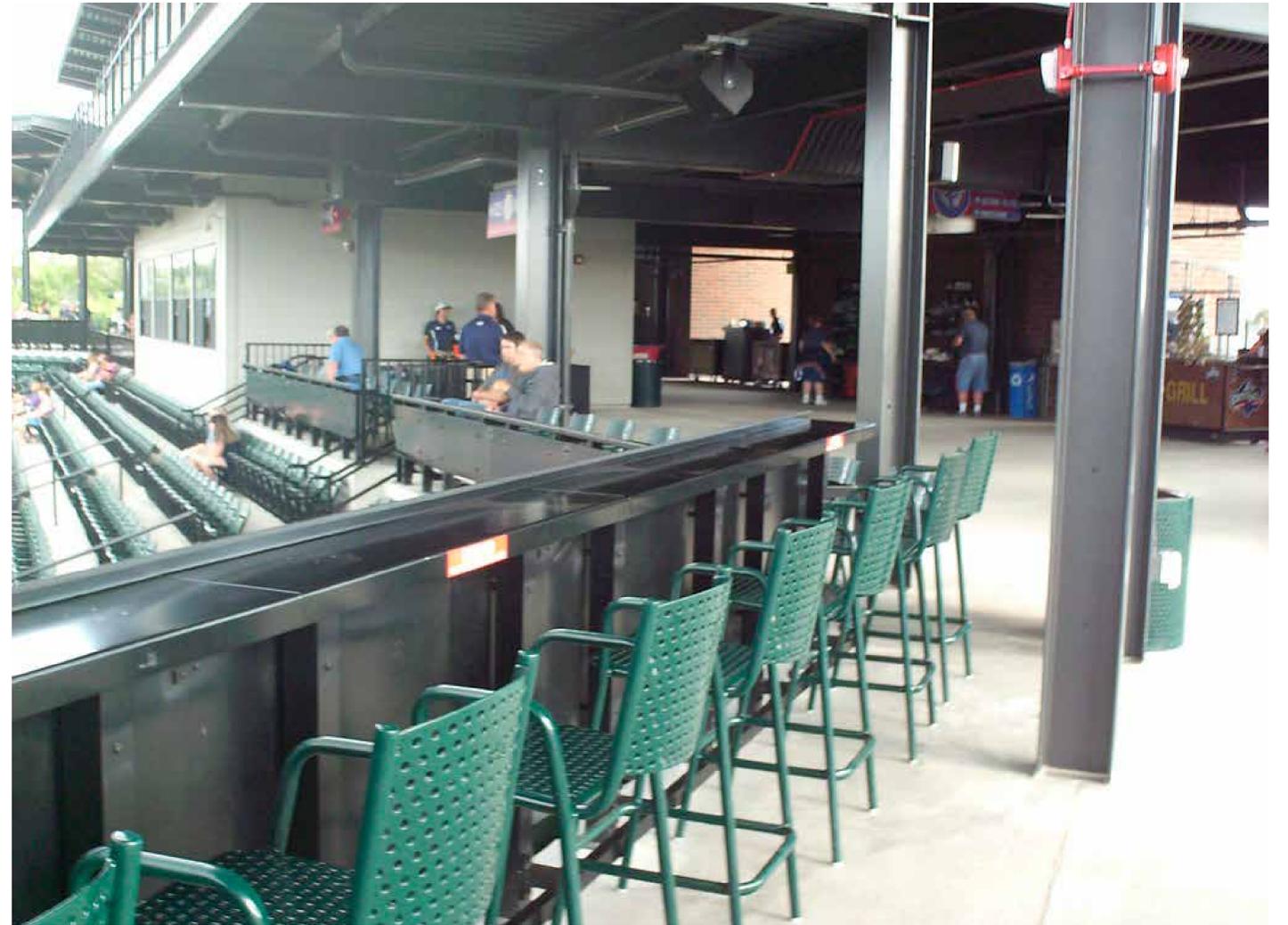








EXAMPLE PROMENADE



EXAMPLE CONCESSIONS AREA



EXAMPLE OVERLOOK



EXAMPLE TERRACED WALLS

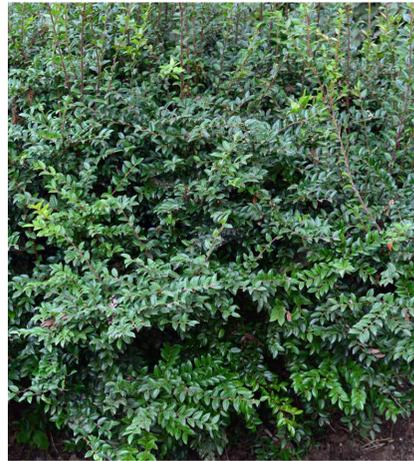
Preliminary Planting Palette



Douglas Fir  
*Pseudotsuga menziesii*



*Acer circinatum*  
Vine Maple



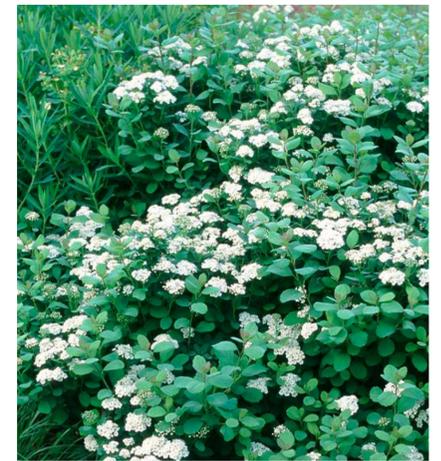
Evergreen Huckleberry  
*Vaccinium ovatum*



Red-flowering Currant  
*Ribes sanguineum*



Sunset Manzanita  
*Arctostaphylos* x 'Sunset'



Birchleaf Spirea  
*Spiraea betulifolia*



Douglas Spirea  
*Spiraea douglasii*



Kelsey's Dwarf Red-Osier Dogwood  
*Cornus sericea* 'Kelseyi'



David Viburnum  
*Viburnum davidii*



Dwarf Mugo Pine  
*Pinus mugo* var. *pumilio*



Western Sword Fern  
*Polystichum munitum*



Oregon White Oak  
*Quercus garryana*



Creeping Juniper  
*Juniperus horizontalis* 'Youngstown'



Mr. Bowling Ball Arborvitae  
*Thuja occidentalis* 'Bobozam'



Abbotswood Potentilla  
*Potentilla fruticosa* 'Abbotswood'



Low Oregon Grape  
*Mahonia nervosa*



*Arctostaphylos uva-ursi*  
Kinnikinnick