



# LAND USE PRE-APPLICATION CONFERENCE

Thursday, February 6, 2020

City Hall  
22500 Salamo Road

Willamette Conference Room

**9:00 am: Proposed minor partition of existing 0.35-acre lot into a six-plex multi-family housing development.**

**Applicant: Jeremy Barnett**

**Property Address: 1791 Blankenship Road**

**Neighborhood Assn: Willamette**

**Planner: Darren Wyss**

**Project #: PA-20-01**





### PRE-APPLICATION CONFERENCE

THIS SECTION FOR STAFF COMPLETION		
CONFERENCE DATE: <u>02-06-2020</u>	TIME: <u>9:00 am</u>	PROJECT #: <u>PA-20-01</u>
STAFF CONTACT: <u>Darren Wyss</u>	FEE: <u>\$ 1,000.00</u>	

Pre-application conferences occur on the first and third Thursdays of each month. In order to be scheduled for a conference, this form including property owner's signature, the pre-application fee, and accompanying materials must be submitted at least **15** days in advance of the conference date. Twenty-four hour notice is required to reschedule.

Address of Subject Property (or map/tax lot): i791 Blankenship RD

Brief Description of Proposal: New 6-Plex,

Applicant's Name: Jeremy Barnett  
 Mailing Address: 19363 Willamette Dr. # 111 West Linn OR 97068  
 Phone No: 9704045141 Email Address: localbarnett@gmail.com

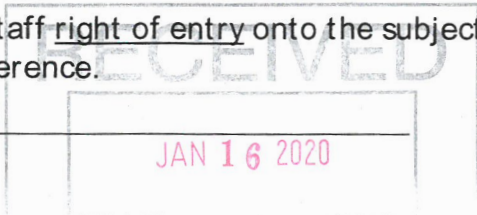
Please attach additional materials relating to your proposal including a site plan on paper up to 11 x 17 inches in size depicting the following items:

- North arrow
- Scale
- Property dimensions
- Streets abutting the property
- Conceptual layout, design and/or building elevations
- Easements (access, utility, all others)
- Access to and from the site, if applicable
- Location of existing trees, highly recommend a tree survey
- Location of creeks and/or wetlands, highly recommend a wetland delineation N/A
- Location of existing utilities (water, sewer, etc.)

Please list any questions or issues that you may have for city staff regarding your proposal:  
SDC fees, Zoning + setbacks, Parking Requirements

By my signature below, I grant city staff right of entry onto the subject property in order to prepare for the pre-application conference.

[Signature]  
Property owner's signature



1/15/2020  
Date

Property owner's printed name and mailing address (if different from above)

RECEIVED  
 JAN 16 2020  
 PLANNING & BUILDING  
 CITY OF WEST LINN  
 INT. TIME

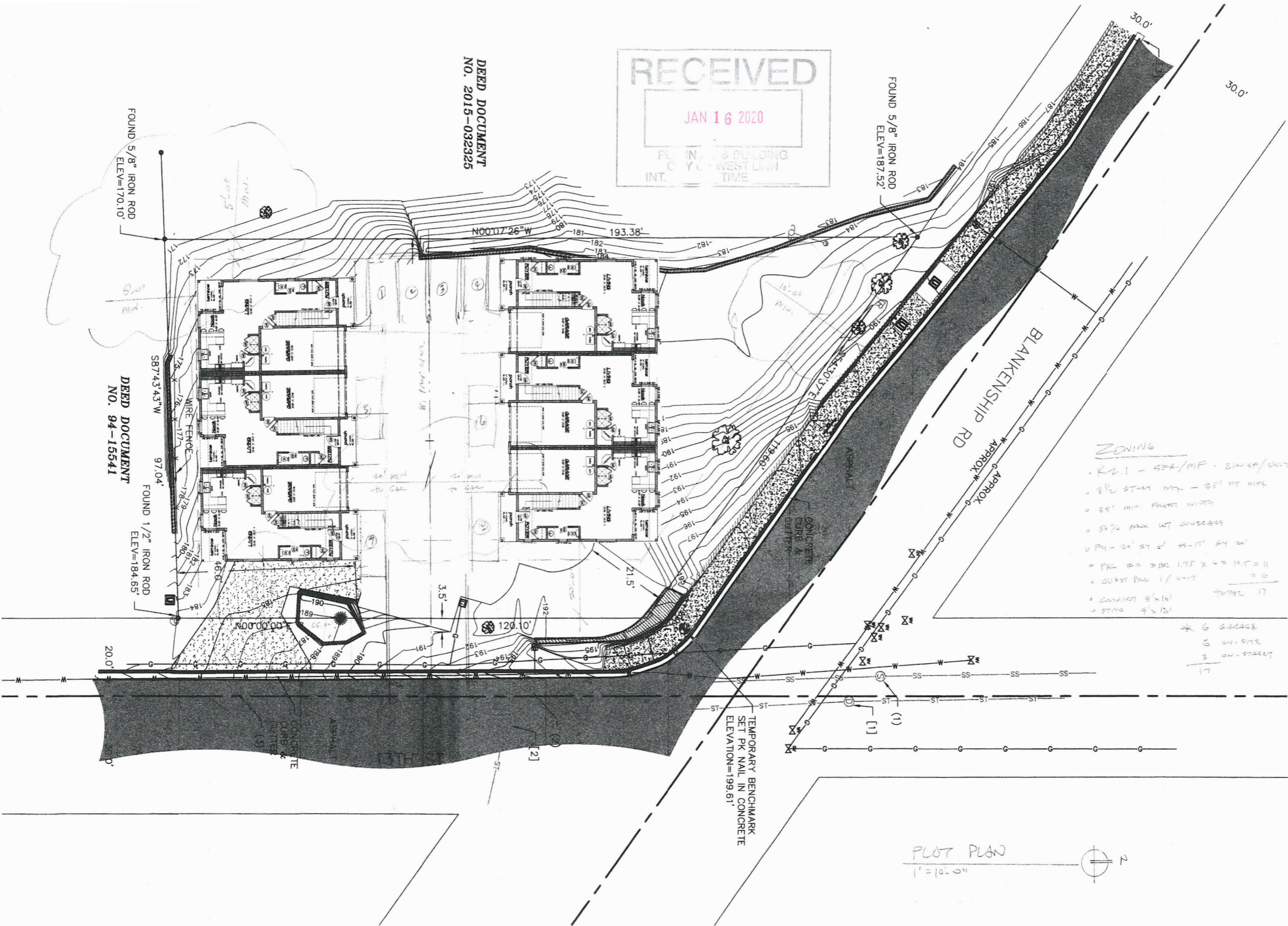
DEED DOCUMENT  
 NO. 2015-032325

FOUND 5/8" IRON ROD  
 ELEV=170.10'

DEED DOCUMENT  
 NO. 94-15541

FOUND 1/2" IRON ROD  
 ELEV=184.65'

FOUND 5/8" IRON ROD  
 ELEV=187.52'



ZONING

- R2.1 - SFR/MF - 2100 SF/UNIT
- 3 1/2' STORY MAX - 25' HT MAX
- 35' MIN. FRONT WIDTH
- 50% MAX WT COVERAGE
- P4 - 20' ST 2' 45-15' BY 20'
- PKL PA 300 1.75 X 4 = 10.5 = 11
- 60 SF ST 1 / UNIT = 6
- GARAGE 8'x16'
- STNG 9'x15'

TOTAL 17

\* 6 GARAGE  
 3 ON-SITE  
 3 ON-STREET



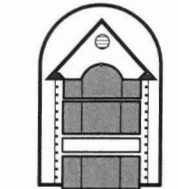
THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE REPRODUCED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE ARCHITECT. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND REPORT ANY ERRORS OR OMISSIONS TO THIS OFFICE PRIOR TO THE START OF CONSTRUCTION. WRITTEN DIMENSIONS ALWAYS HAVE PRECEDENCE OVER SCALED DIMENSIONS.  
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TITLE: COVER SHEET, PLOT PLAN & VICINITY MAP  
 PROJECT: 13TH STREET TRI-PLEX  
 OWNER: JEREMY BARNETT  
 13TH STREET  
 WEST LINN, OREGON 97068

DATE: NOVEMBER 13 2019  
 PROJECT NO.: 1910  
 REVISIONS:  
 11-25-2019  
 12-5-2019

PLOT PLAN  
 1" = 10'-0"





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13TH STREET  
 WEST LINN, OREGON 97068

TITLE:  
 EXTERIOR ELEVATIONS - FRONT & LEFT

PROJECT:  
 13TH STREET TRI-FLEX

OWNER:  
 JEREMY BARNETT

DATE:

NOVEMBER 13, 2019

PROJECT NO.:

19110

REVISIONS:

11-18-2019

NO:

**A2**  
 OF NINE



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

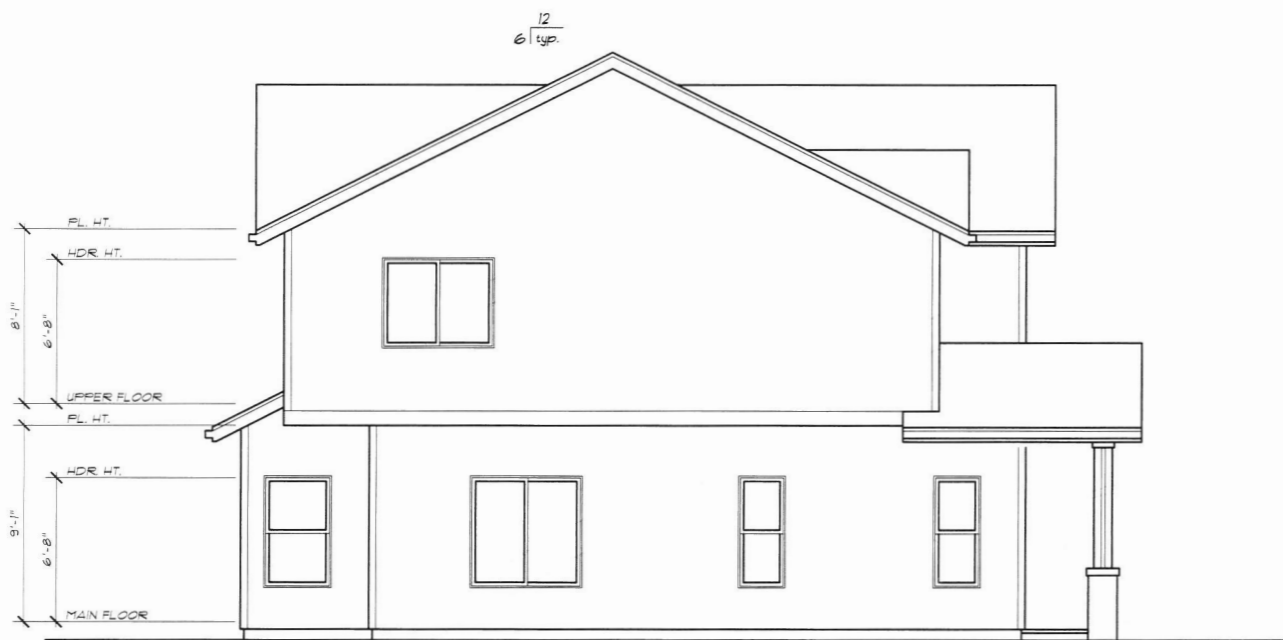
BUILDING FACADE OFFSETS (1/8" @ 16" O.C.) RECESSED ENTRANCES (AT 20' INTERVALS MIN.) AT EACH DWELLING UNIT, 8FT MIN. REQ'D W/ 20% REDUCTION ALLOWED = 6'-6" PROVIDED

**NOTE:**

EXTEND ALL FLUES A MIN. OF 2'-0" ABOVE ANY PART OF THE BLDG W/ IN A 10'-0" HORIZONTAL RADIUS

**NOTE:**

ALL GRADES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL EXISTING AND FINISH GRADES.



**LEFT-SIDE ELEVATION**

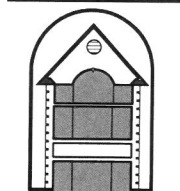
SCALE: 1/4" = 1'-0"

ARCH 80" COMPOSITION SHINGLES

1/2" X 8" H.P. LAP SIDING

1 X 4 R/S CEDAR TRIM

JE KRAUSE ARCHITECT P.C. ASSUMES NO RESPONSIBILITY FOR THE ACCURACY / VALIDITY OF CONTRACTOR / OWNER SUPPLIED INFORMATION. THE CONTRACTOR / OWNER IS RESPONSIBLE TO CHECK THE PLANS, EXISTING SITE CONDITIONS, DIMENSIONS, AND TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION. DISCREPANCIES MAY RESULT IN ADDITIONAL COST TO THE OWNER.



**J.E. KRAUSE**  
 ARCHITECT P.C.  
 (503) 656-4111  
 Fax (503) 656-6297  
 15259 SE 82 Dr.  
 Suite 202  
 Clackamas, Oregon 97015

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TITLE: **EXTERIOR ELEVATIONS - REAR & RIGHT**  
 PROJECT: **13TH STREET TRI-FLEX**  
 OWNER: **JEREMY BARNETT**  
 13TH STREET  
 WEST LINN, OREGON 97068

DATE: **NOVEMBER 13, 2019**  
 PROJECT NO.: **19110**  
 REVISIONS:  
 11-18-2019

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NO: **A3**  
 OF NINE



**REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"

**NOTE:**  
 EXTEND ALL FLUES A MIN. OF 2'-0" ABOVE ANY PART OF THE BLDG W/ IN A 10'-0" HORIZONTAL RADIUS

**NOTE:**  
 ALL GRADES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL EXISTING AND FINISH GRADES.



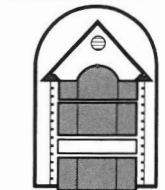
**RIGHT-SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"

1/2" ARCH 80" COMPOSITION SHINGLES

1/2" X 8" HP LAP SIDING

1 X 4 R/S CEDAR TRIM

5/4 X 8 R/S CEDAR TRIM



**J.E. KRAUSE**  
ARCHITECT P.C.

(503) 656-4111  
Fax (503) 656-6297  
18359 SE 82 St  
Salem, Oregon 97315

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13TH STREET  
WEST LINN, OREGON 97068

TITLE: **MAIN FLOOR PLAN**  
PROJECT: **13TH STREET TRI-PLEX**  
OWNER: **JEREMY BARNETT**

DATE: **NOVEMBER 13, 2019**  
PROJECT NO.: **19110**  
REVISIONS: **11-18-2019**

NO: **A4**  
OF NINE

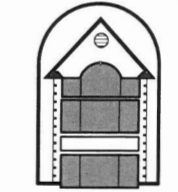


**GENERAL NOTES:**

1. ALL EXTERIOR WALLS TO BE 2 X 6 STUDS AT 16" O.C. (TYP. UNO.)
2. ALL INTERIOR WALLS TO BE 2 X 4 STUDS AT 16" O.C. (TYP. UNO.)
3. ASSURE A MINIMUM OF (2) 2 X 4 STUDS AS BEAT SUPPORTS AT BEARING WALLS
4. ALL WINDOWS AND SLIDING GLASS DOORS SHOWN ARE TO BE VINYL BASH (VERIFY ALL ROUGH OPENINGS)
5. [Hatched pattern] DENOTES INTERIOR BEARING WALL(S)
6. PROVIDE OUTSIDE COMBUSTION AIR FOR ALL FIREPLACES AND FURNACE
7. CONNECT ALL SMOKE DETECTORS TOGETHER AND TO HOUSE POWER SOURCE
8. PROVIDE 5/8" TYPE "X" GIBBS AT ALL ACCESSIBLE AREAS UNDER STAIRS
9. PROVIDE UL LISTED FLUES AT ALL FURNACE AND METAL FIREPLACE LOCATIONS AS REQUIRED BY MANUFACTURER
10. PROVIDE 18" HIGH NON-COMBUSTIBLE PLATFORM FOR ALL GAS FIRED APPLIANCES LOCATED IN GARAGE
11. PROVIDE 3" DIA X 5'-0" CONCRETE FILLED STEEL PIPE BOLLARD IN GARAGE FOR PROTECTION OF FURNACE AND WATER HEATER (EMBED IN 12" DIA X 24" CONCRETE FOOTINGS)
12. PROVIDE WATER HEATER SEISMIC ATTACHMENT STRAPPING AS PER MECHANICAL CODE M 13012
13. STRUCTURES OVER 3600 SQUARE FEET SHALL BE SPRINKLED, NFPA 13 D SYSTEM OR EQUAL AS PER FIRE CODES
14. FIRE BLOCKING REQUIRED AT CONSTRUCTION VOIDS AND WALL CAVITIES EXCEEDING 18" IN HEIGHT AS PER 2011 ORSC 906.2.8
15. MINIMUM 3" X 3" X 1/4" PLATE WASHERS ON FULL LENGTH OF BRACED WALL LINES PER ORSC 2011 R602.11
16. ALL ROOMS CONTAINING BATHING OR SPA FACILITIES SHALL BE PROVIDED A MECHANICAL VENTILATION SYSTEM CONTROLLED BY A DEHUMIDISTAT, TIMER OR SIMILAR MEANS OF AUTOMATIC CONTROL, AS PER 2011 ORSC 906.2.4
17. PROVIDE CARBON MONOXIDE ALARMS PER R326
18. ALL ATTIC ACCESS DOORS/HATCHES TO BE INSULATED PER N1102.3
19. ALL BUMP W/ GS-105P TO BE PER TABLE R602.2.4.2 (PAGE 7 CALC5)

**MAIN FLOOR PLAN** EACH UNIT  
SCALE: 1/4" = 1'-0"  
586 SF.

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**THE KRAUSE**  
ARCHITECT P.C.

(503) 656-4111  
Fax (503) 656-6297  
15299 SE 82 Dr.  
Suite 202  
Clackamas, Oregon 97015

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13TH STREET  
WEST LINN, OREGON 97068

TITLE: **UPPER FLOOR PLAN**  
PROJECT: **13TH STREET TRI-PLEX**  
OWNER: **JEREMY BARNETT**

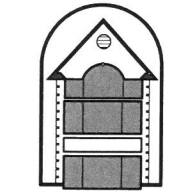
DATE: **NOVEMBER 13, 2019**  
PROJECT NO.: **19110**  
REVISIONS: **11-18-2019**



**UPPER FLOOR PLAN** EACH UNIT  
SCALE: 1/4" = 1'-0" 726 SF.

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NO: **A5**  
OF NINE



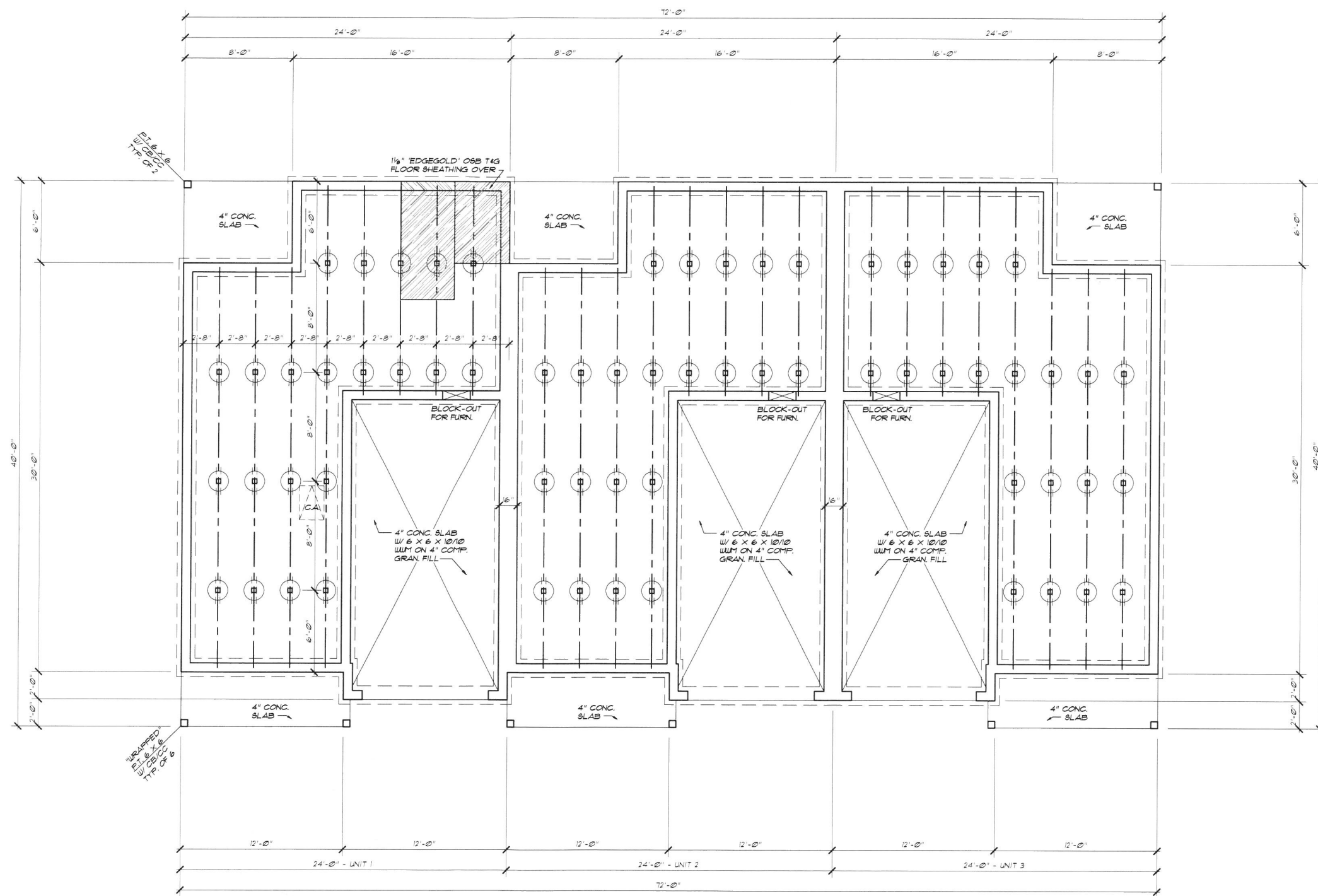
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13TH STREET  
WEST LINN, OREGON 97106

TITLE: **FOUNDATION PLAN**  
PROJECT: **13TH STREET TRI-PLEX**  
OWNER: **JEREMY BARNETT**

DATE: **NOVEMBER 13, 2019**  
PROJECT NO.: **19110**  
REVISIONS: **11-18-2019**

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**CONCRETE FOOTINGS**

(SOIL PRESSURE = 1500 psf)

	L X	W X	THICKNESS
12	12	12	6
14	14	14	7
16	16	16	8
18	18	18	9
20	20	20	10
22	22	22	11
24	24	24	12
26	26	26	13
28	28	28	14
30	30	30	15
32	32	32	*
34	34	34	*
36	36	36	*
38	38	38	*
40	40	40	*
42	42	42	*
44	44	44	*
46	46	46	*
48	48	48	*
12	12 IN. DIA.	6	
16	16 IN. DIA.	8	
18	18 IN. DIA.	9	
20	20 IN. DIA.	10	
24	24 IN. DIA.	12	
30	30 IN. DIA.	15	
*	16" THK. FTG. REINFORCED W/ #4 @ 12" O.C. EA. WAY		

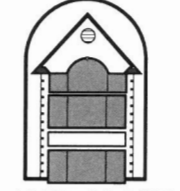
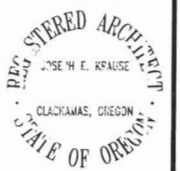
**FOUNDATION NOTES:**

- CONTRACTOR TO EXCAVATE AS TO MAINTAIN 18" MIN. GROUND TO GIRDER CLEARANCE
- COVER ENTIRE GROUND AREA OF CRAWLSPACE W/ 6 MIL. "VISQUEEN", EXTEND A MIN. OF 1'-0" UP FOUNDATION WALL.
- GIRDERS TO HAVE 3" MIN. BEARING ON ASPHALT COMPOSITE SHINGLE W/ 1/2" AIR SPACE AT ENDS AND SIDES OF GIRDER AND FOUNDATION WALL.
- FOUNDATION VENTS TO 16" X 8" W/ #4 MESH CORR. RESIST. SCREEN (CLOSABLE) REQUIRED.
- PROVIDE 18" X 24" CRAWLSPACE ACCESS AS PER 2011 ORSC R400.3 (22" X 30" RECOMMENDED).
- PROVIDE CRAWLSPACE DRAIN AS PER 2011 ORSC R405, R406 & 408.5.
- MIN. REBAR PER CODE, 1-#4 TOP & BOTTOM (CONT.) W/ #4 @ 48" O.C. VERT. STANDARD FOOTING (TYF.) W/ 1.1 AFS PER R404.13.3.75
- MINIMUM 3" X 3" X 1/4" PLATE WASHERS ON FULL LENGTH OF BRACED WALL LINES PER ORSC 2011 R602.11.1.
- PROVIDE RADON MITIGATION PER APPENDIX F 2011 ORSC IN COUNTIES AS REQUIRED PER CODE.

**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"





**J. KRAUSE**  
ARCHITECT P.C.

5033 656-4111  
Fax 5033 656-4297  
15229 SE 82 Dr  
Suite 302  
Clackamas, Oregon 97015

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13TH STREET  
WEST LINN, OREGON 97106

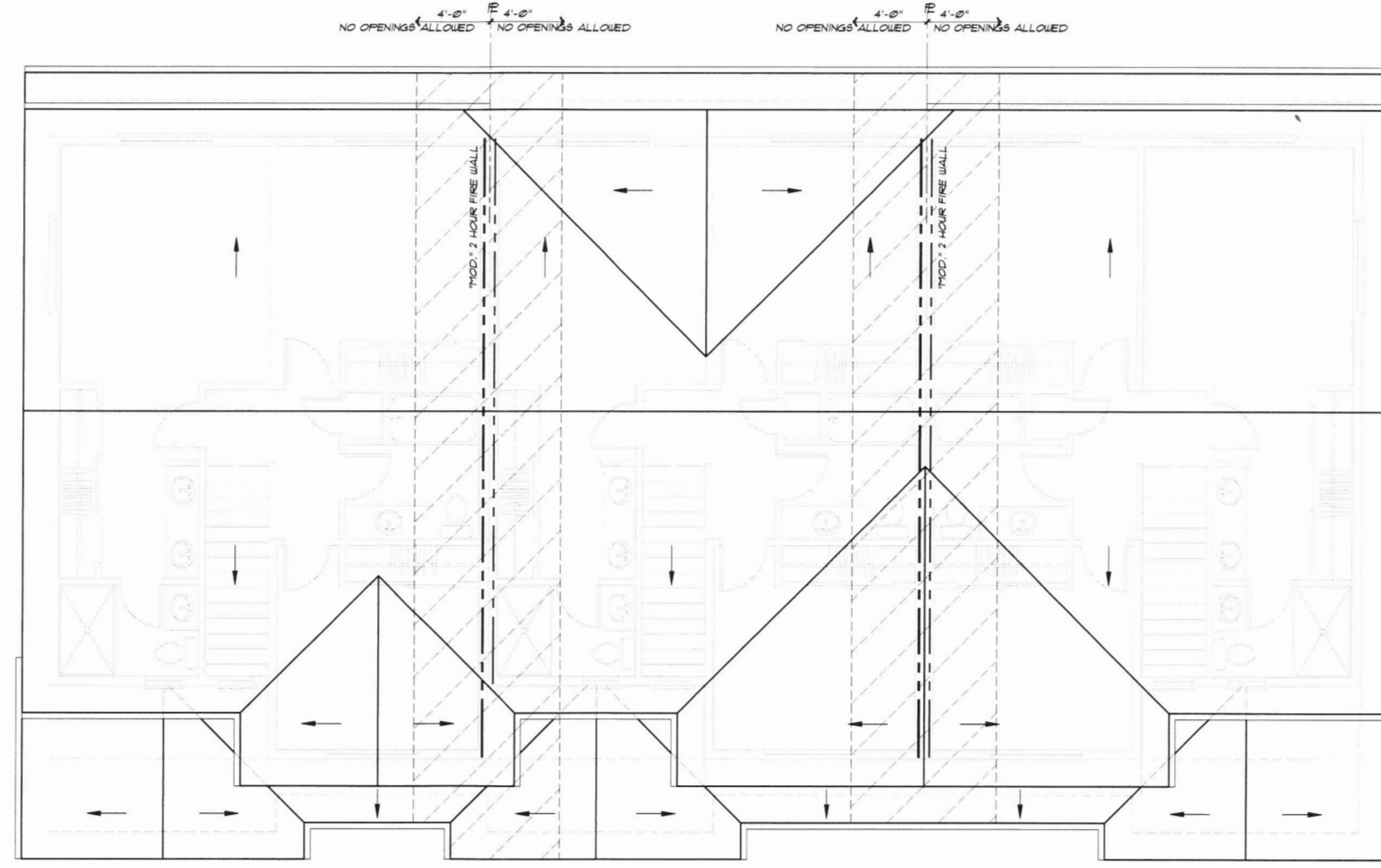
TITLE: **ROOF FRAMING PLAN**  
PROJECT: **13TH STREET TRI-FLEX**  
OWNER: **JEREMY BARNETT**

DATE: **NOVEMBER 13, 2019**  
PROJECT NO.: **19110**  
REVISIONS: **11-18-2019**

NO: **A7**  
OF NINE

**ROOF FRAMING LEGEND (COMP/METAL)**

- ////// BEARING WALL BELOW 40 PSF. + 15 PSF. (DL) + 25 PSF. (SL)
- ▭ ALL HIP, VALLEYS AND RIDGES TO BE 2 X 10 UNLESS NOTED OTHERWISE
- 1 2 X 8 RAFTERS @ 24" O.C. (12'-4" MAXIMUM SPAN)
- 2 2 X 8 RAFTERS @ 12" O.C. (11'-5" MAXIMUM SPAN)
- 3 2 X 10 RAFTERS @ 24" O.C. (15'-1" MAXIMUM SPAN)
- 4 2 X 12 RAFTERS @ 24" O.C. (17'-6" MAXIMUM SPAN)
- 5 - - - - 2X FURLINS @ 24" O.C. @ 45" MAX. FROM VERTICAL, SUPPORT FROM BEARING TO RAFTERS
- 6 OVERFRAME W/ 2 X 8 RAFTERS @ 24" O.C.
- 7 POST UP FROM BEARING POINT BELOW
- 8 AT ALL VAULTED 2 X 8 CEILINGS, USE 2 X 4 FURRING BELOW FOR INSULATION REQMTS.
- 9 MANUF. TRUSSES @ 24" O.C.
- 10 MANUF. "SCISSOR" TRUSSES @ 24" O.C.
- 11 MANUF. "STUB" TRUSSES @ 24" O.C.
- 12 MANUF. "ATTIC" TRUSSES
- E EXISTING ROOF SYSTEM



**ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

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# GENERAL NOTES

## GENERAL CONDITIONS

- All work shall comply with the latest adopted issue of the International Residential Code and any applicable state, county or local regulations.
- The contractor is responsible to check the plans and site conditions and to notify the architect of any errors or omissions prior to the start of construction.
- Written dimensions have precedence over scaled dimensions.
- "DO NOT" scale drawings.

## SITE WORK

- Remove top soil and organic material from the building site, stockpiling it if possible for use in final grading.
- Footings are to bear on undisturbed level soil, stepped as required to maintain the required depth below finish grade.
- Any fill under grade supported concrete slabs to be 4" (min) gravel compacted to 95%.
- Concrete slabs to be 4", 2500 p.s.i. at 28 days with control joints at 25'-0" o.c. (max.) each way as per Table R402.2 - Moderate. Provide 3/4" cooled joints at 5'-0" o.c. in concrete sidewalks.
- Finish grades are to remain at least 6" below wood siding.

## FOUNDATIONS

- All concrete to have a minimum compressive strength of 2500 p.s.i. after 28 days with a minimum of 6 sacks of cement per yard and a maximum slump of 4".
- All reinforcing steel to be A-615 grade 40. Welded wire fabric to be A-195.
- Min. rebar per code, 1-#4 top & bottom (cont.) w/ #4 @ 48" o.c. vert. standard footing. (typ.)
- Lap all continuous bars 30 X dia. (min.)
- Provide a minimum clearance of 18" under girders.
- Cover entire crawlspace with 6 mil. polyethylene vapor barrier black "Visqueen" and extend up foundation walls and fasten to pressure treated sill plate.
- Provide a minimum of 1 sq ft of net ventilation area for each 150 sq ft of crawlspace area. Vents are to be closable and have 1/4" openings in corrosive resistant screen. Post notices about ventilation vents by electrical panel.
- All wood in contact with concrete to be pressure treated or protected with 55 lbs. roll roofing w/ corrosion resistant fasteners per 2005 ORSC R313.3
- Beam pockets in concrete walls to have 1/2" air space at sides and ends and provide a minimum bearing of 3".
- Sill plates to be 2 X pressure treated wood with 1/2" X 10", "J" type anchor bolts at 6'-0" o.c., within 12" of corners with "minimum T" embed w/ 3" X 3" X 1/4" plate washers.
- Waterproof basement walls before backfilling, providing 4" perforated drain tile below the top of the footing.
- Apply soil desanding solution at areas to receive concrete floor slabs.

## CARPENTRY

- Wood framing member grades are as follows unless otherwise noted on the plans:

A. Posts, beams, headers	no. 2 Douglas Fir - Larch
B. Joists and rafters	no. 2 Douglas Fir - Larch
C. Plates, blocking and bridging str.	no. 3 Douglas Fir - Larch
D. Studs	stud grade Douglas Fir - Larch
E. Post and Beam decking	utility grade Douglas Fir - Larch
F. Ply sheathing	CD Douglas Fir Ply 32/16 (EXT.)
G. Glulam Beams	24F-V4 UNO.

- Unless otherwise noted on plans, all exterior window and door headers are to be 4 X 12, no. 2 Douglas Fir.
- Provide double joists under all parallel bearing partitions (uno.).
- Design loads:
 

LIVE LOAD	
Roof	25 p.s.f.
Floor	40 p.s.f.
Stairs	40 p.s.f.
Garage floor	50 p.s.f.
Decks	40 p.s.f.
Exterior Balconies	60 p.s.f.

 If your local area requires different live loads, appropriate changes to the structural members will have to be made. Consult with a local structural engineer.
- Soil bearing pressure is assumed to be 1500 p.s.f.
- Nailing schedule as per table R602.3(1) Typical plywood nailing with 8d nails at 6" o.c. at edges and 12" o.c. interior.
- Deck and balcony guardrails to be 36" high with maximum opening spaces so that a 4" sphere can not pass through.
- Provide metal truss and rafter tie-downs, (hurricane anchors) such as "Simpson" H25 at top plate per ORSC R502.1 & R602.10.9.3

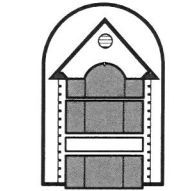
## INSULATION

Exterior walls	R - 21
Flat ceilings	R - 38
Vaulted ceilings	R - 38
Floors (over unheated areas)	R - 30
Basement walls (that do not extend more than 24" above grade)	R - 15
Basement walls (that extend more than 24" above grade)	R - 21
Slab-on-grade (24" from ext. wall)	R - 15

- All exposed insulation to have a flame-spread index not to exceed 25 and a smoke density of less than 450 per ORSC R316.1
- Provide insulation baffles at roof vents under eaves.
- Provide a total of 1/300 of attic area ventilation with 50% at the cornice and 50% at ridge or gable vents.
- All exterior windows to be double glazed (U = 0.35).
- All exterior doors to be solid core with weatherstripping (U = 0.30 except main entry door U = 0.34).

## MISCELLANEOUS

- All windows within 18" of floor or within 24" of doors are to be tempered.
- All shower or tub enclosures are to have safety glazing (tempered).
- Provide 1/2" moisture resistant gypsum board around tub and shower enclosures, with a hard moisture resistant surface to 6'-0" min. above wet area.
- Each bedroom to have a minimum window opening of 5.7 sq. ft. with a minimum width of 20" and a minimum height of 24". The sill is to be no more than 44" off the floor per ORSC R310.1
- All skylights to be made with approved materials as per ORSC R308.6.2
- Provide combustion air vents to all fireplaces, wood stoves and any heating appliances using open flame.
- Bathrooms, utility rooms and spas are to be vented with a min. 80 c.f.m. fan exhausted to the outside and controlled by a dehumidistat, timer or similar means of automatic control. Range hoods and clothes dryers are to be vented to the outside.
- The lighting layout, when shown on the plans, is meant to be used as a guide only. Electrical switches and outlets are to be installed per The National Electric Code and the owners requirements.
- Cabinet elevations are not generally shown on the plans however, they can be furnished upon request as an additional service.



**J. H. KRAUSE**  
ARCHITECT P.C.  
1374 STREET  
WEST LINN, OREGON 97136  
(503) 656-1111  
Fax (503) 656-6297  
10299 SE 82 Dr.  
Suite 202  
Clackamas, Oregon 97015

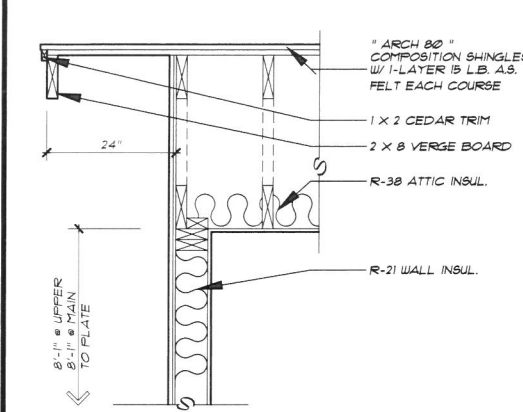
THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE REPRODUCED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE ARCHITECT. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND REPORT ANY ERRORS OR OMISSIONS TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION. WRITTEN DIMENSIONS ALWAYS HAVE PRECEDENCE OVER SCALED DIMENSIONS.  
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WEST LINN, OREGON 97136

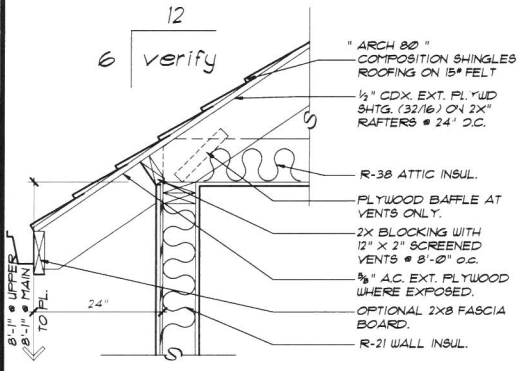
**DETAILS and SPECIFICATIONS**  
PROJECT: 1374 STREET TRI-PLEX  
OWNER: JEREMY BARNETT

TITLE:  
DATE: NOVEMBER 13, 2019  
PROJECT NO.: 19110  
REVISIONS:

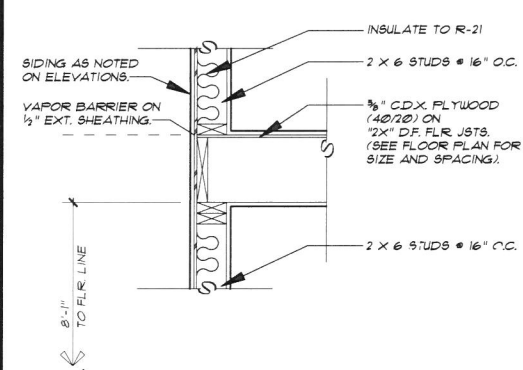
NO. **A9**  
OF NINE



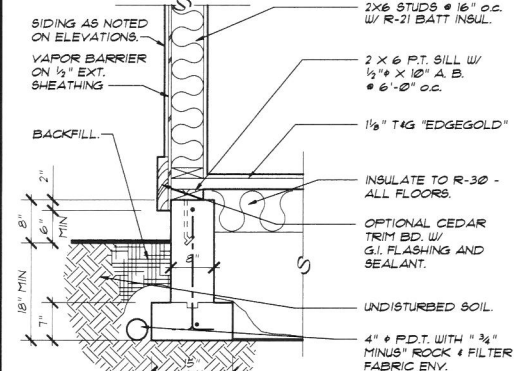
**1 RAKE DETAIL**  
SCALE: 3/4" = 1'-0"



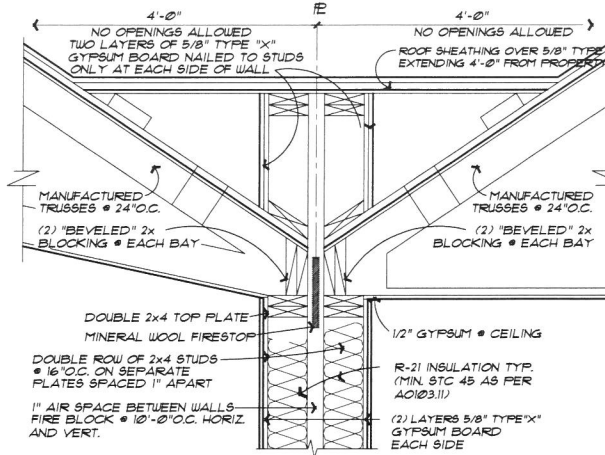
**2 EAVE DETAIL**  
SCALE: 3/4" = 1'-0"



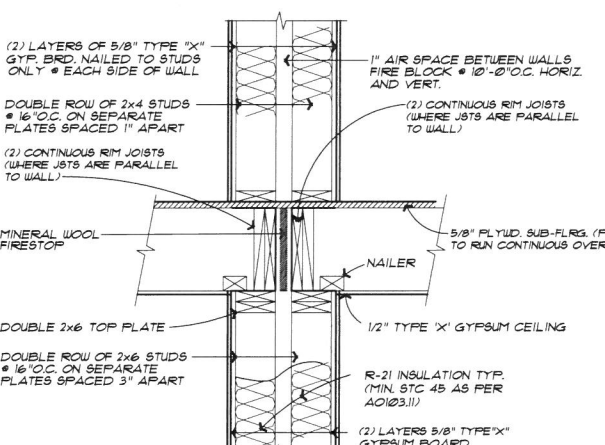
**3 RIM JOIST**  
SCALE: 3/4" = 1'-0"



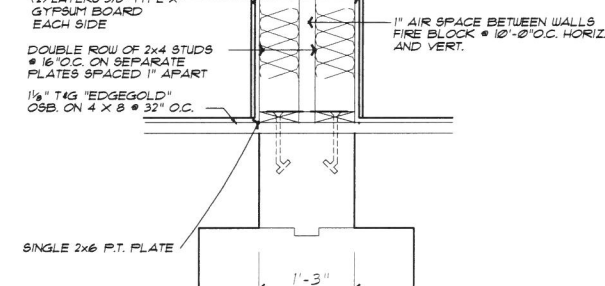
**4 FOUNDATION DETAIL**  
SCALE: 3/4" = 1'-0"



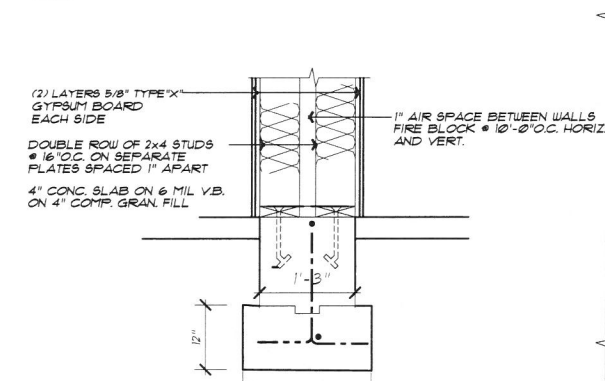
**5 "MOD." 2 HOUR FIREWALL**  
SCALE: 1/4" = 1'-0"



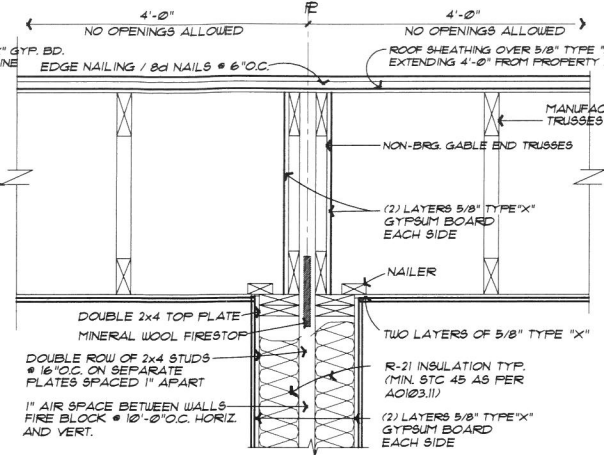
**6 "MOD." 2 HOUR FIREWALL**  
SCALE: 1/4" = 1'-0"



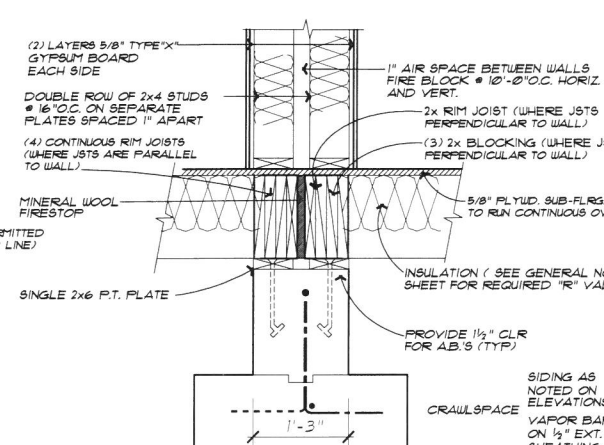
**7 "MOD." 2 HOUR FIREWALL**  
SCALE: 1/4" = 1'-0"



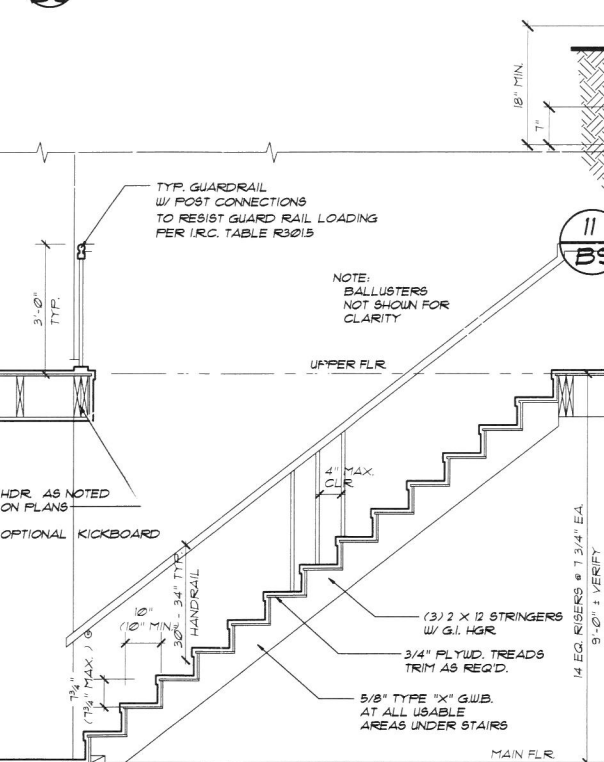
**8 "MOD." 2 HOUR FIREWALL**  
SCALE: 1/4" = 1'-0"



**9 "MOD." 2 HOUR FIREWALL**  
SCALE: 1/4" = 1'-0"



**10 "MOD." 2 HOUR FIREWALL**  
SCALE: 1/4" = 1'-0"



**11 FOUNDATION DETAIL**  
SCALE: 3/4" = 1'-0"



**STAIR SECTION**  
SCALE: 1/2" = 1'-0"