



LAND USE PRE-APPLICATION CONFERENCE

Thursday, March 15, 2018

**City Hall
22500 Salamo Road**

Willamette Conference Room

11:00 am Proposed partial vacation of northern sanitary sewer easement – Lot 7 of Pynch Estates

Applicant: David Sparks, Encore Development LLC

Subject Property Address: 1475 Rosemont Road

Neighborhood Assn: Rosemont Summit and Parker Crest

Planner: Peter Spir

Project #: PA-18-08





CITY OF

West Linn

Planning & Development • 22500 Salamo Rd #1000 • West Linn, Oregon 97068
 Telephone 503.742.6060 • Fax 503.742.8655 • westlinnoregon.gov

PRE-APPLICATION CONFERENCE

THIS SECTION FOR STAFF COMPLETION

CONFERENCE DATE: 3-15-18

TIME: 11:00

PROJECT #: PA-18-08

STAFF CONTACT: Peter Spir

FEE: \$350

Pre-application conferences occur on the first and third Thursdays of each month. In order to be scheduled for a conference, this form including property owner's signature, the pre-application fee, and accompanying materials must be submitted at least **15** days in advance of the conference date. Twenty-four hour notice is required to reschedule.

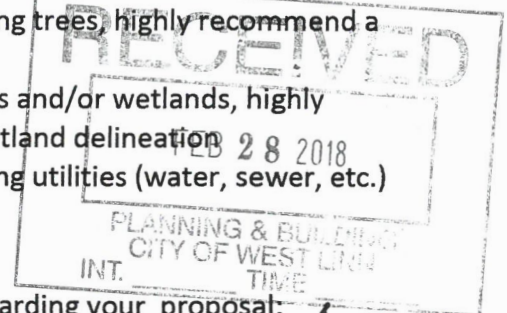
Address of Subject Property (or map/tax lot): 1475 ROSEMONT RD.

Brief Description of Proposal: PARTIAL VACATION OF NORTHERN
 SANITARY SEWER LOT 7 PYRCH ESTATES

Applicant's Name: ENCORE DEVELOPMENT LLC / DAVID SPARKS
 Mailing Address: 15881 PASTURE WAY OREGON CITY, OR 97145
 Phone No: 503 290.9813 Email Address: BROHOMELO AT YAHOO.COM

Please attach additional materials relating to your proposal including a site plan on paper up to 11 x 17 inches in size depicting the following items:

- North arrow
- Scale
- Property dimensions
- Streets abutting the property
- Conceptual layout, design and/or building elevations
- Easements (access, utility, all others)
- Access to and from the site, if applicable
- Location of existing trees, highly recommend a tree survey
- Location of creeks and/or wetlands, highly recommend a wetland delineation
- Location of existing utilities (water, sewer, etc.)



Please list any questions or issues that you may have for city staff regarding your proposal:

PDF'S ARE ON FILE FOR BOTH PYRCH ESTATES & ENCORE BUILDING PERMIT APPLICATION.

By my signature below, I grant city staff right of entry onto the subject property in order to prepare for the pre-application conference.

Property owner's signature

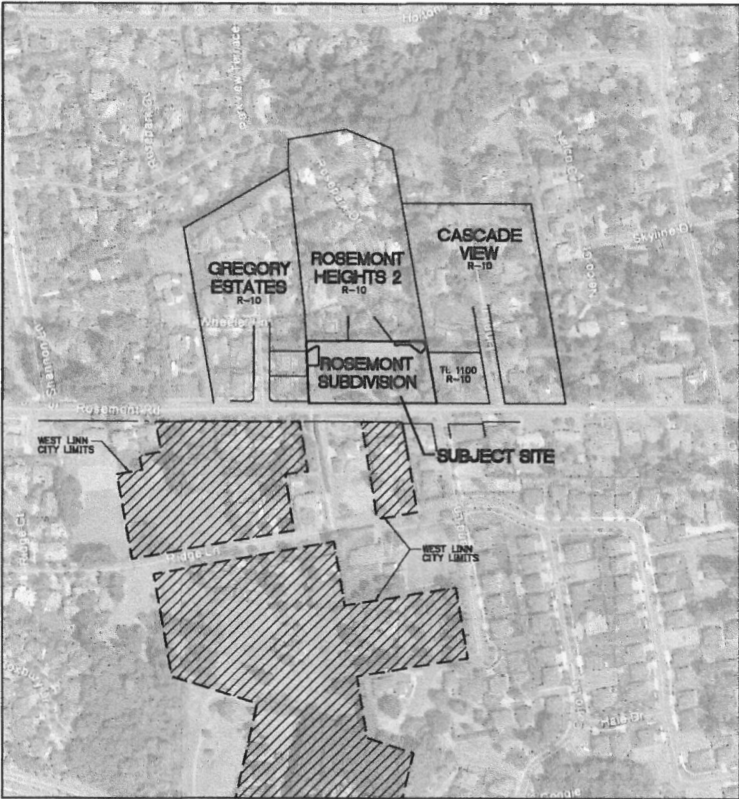
Date

DAVID W. SPARKS

Property owner's printed name and mailing address (if different from above)

ROSEMONT TENTATIVE SUBDIVISION PLAN

WEST LINN, OREGON



SHEET INDEX

COVER SHEET	C1.0
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RAIN GARDEN SECTIONS	C6.0
DETAIL SHEET	C7.0
DETAIL SHEET	C8.0
EROSION CONTROL PLAN	C9.0

OWNER

KELLY PIRCH
C.O. R&H CONSTRUCTION
1630 SW TAYLOR STREET
PORTLAND, OR 97205
PHONE: 503-228-7177

SURVEYOR

ANDY PARIS AND ASSOCIATES, INC.
CONTACT: HAROLD P. SALO
18057 BOONER FERRY ROAD
LAKE OSWEGO, OR 97036
PHONE: 503-838-3341

CIVIL ENGINEER

GROUP MACKENZIE
CONTACT: RALPH HENDERSON
1015 SE WATER AVE. #100
PORTLAND, OR 97214
PHONE: 503-224-9580

PROPERTY DESCRIPTION

TAX LOTS 1000, 1001 & 1002
TAX MAP 5-1C-2000
IN NW 1/4 SECTION 25, T.2S, R.1E, W.M.
CITY OF WEST LINN
CLATSOP COUNTY, OREGON
ZONING: SINGLE-FAMILY RESIDENTIAL DETACHED, R-10

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
LOT LINE	---	---
EASEMENT	---	---
TREE TO REMAIN		
REMOVE EXISTING TREE		
MAIL BOX		
WATER METER		
FIRE HYDRANT		
WATER VALVE		
SANITARY MANHOLE		
STORM MANHOLE		
CATCH BASIN		
OVERFLOW INLET		
POWER POLE		
STREET TREE		
STREET LIGHT		
DOMESTIC WATERLINE		
FIRE WATERLINE		
SANITARY SEWER LINE		
STORM SEWER LINE		
GAS LINE		
TELEPHONE LINE		
OVERHEAD POWER		
ROCK REINFORCED SLOPE		
VERTICAL CURB		
STORMWATER FACILITY		
CONCRETE PAVEMENT		
ASPHALT PAVEMENT		

GROUP MACKENZIE
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Landscape Architecture
Urban Planning
Landscape Architecture
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Vancouver, WA
Seattle, WA
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Client
R&H CONSTRUCTION

Project
ROSEMONT
SUBDIVISION
WEST LINN, OREGON



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REVISIONS:

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	08/14/13
2	ISSUED FOR RESUBMITTAL	08/14/13
3	ISSUED FOR RESUBMITTAL	08/14/13
4	ISSUED FOR RESUBMITTAL	08/14/13
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10	ISSUED FOR RESUBMITTAL	08/14/13

SHEET TITLE:
COVER SHEET

DRAWN BY: MAG

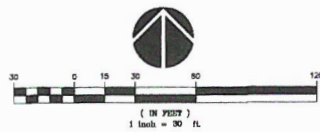
CHECKED BY: RJH

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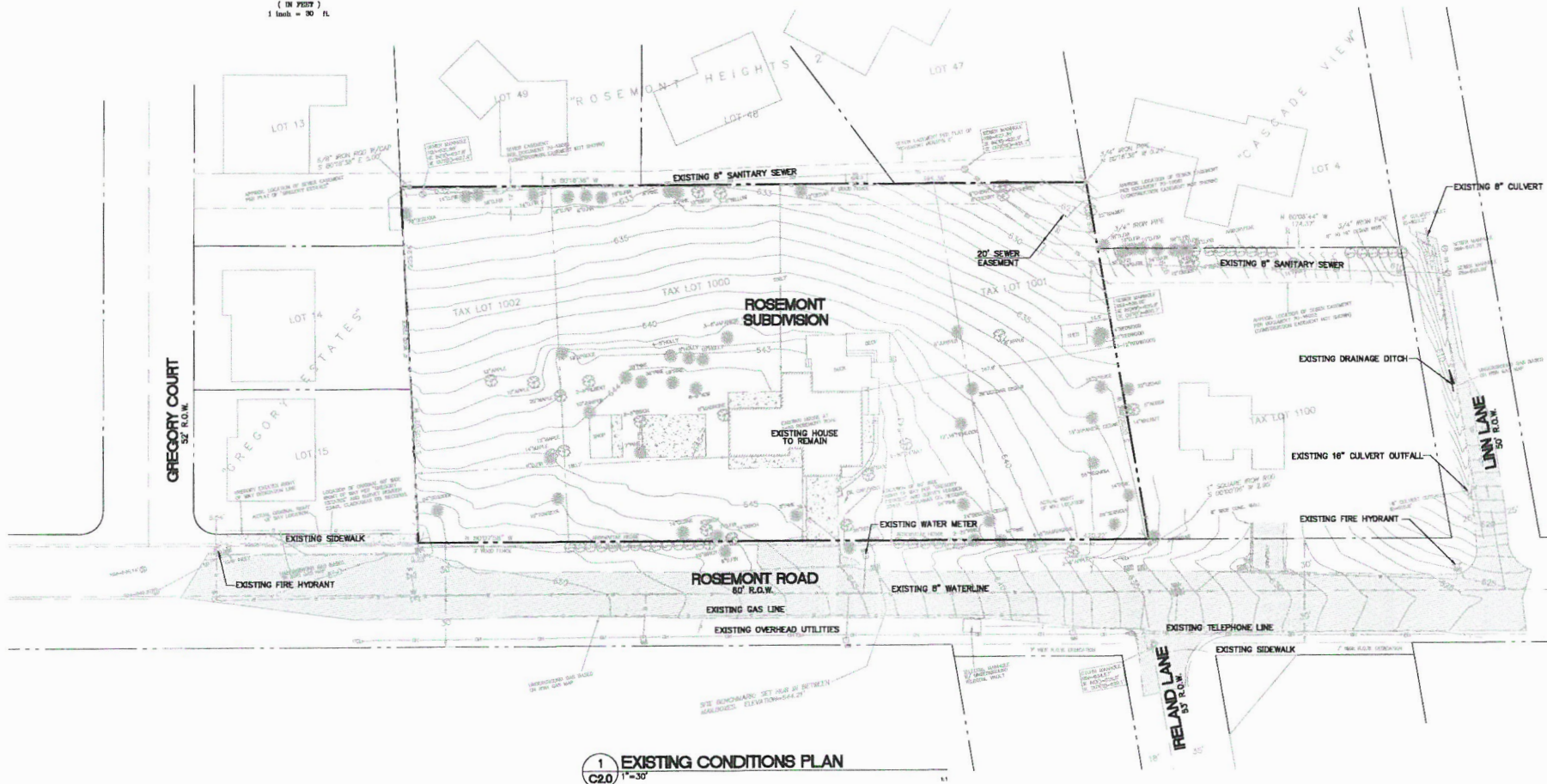
C1.0

JOB NO. 2130073.00

SUBDIVISION RESUBMITTAL - AUGUST 1, 2013



LEGEND
SEE SHEET C1.0 FOR LEGEND



1 EXISTING CONDITIONS PLAN
C2.0 1\"/>

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Structural Engineering
Transportation Planning
Landscape Architecture
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Seattle WA
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SHEET TITLE:
EXISTING CONDITIONS PLAN

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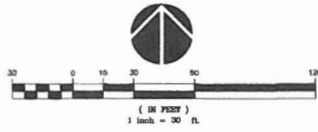
C2.0

JOB NO. **2130073.00**

SURVEYED BY:
ANDY FARIS AND ASSOCIATES, INC.
16057 BOONES FERRY ROAD
LAKE OSWEGO, OREGON 97035
PH: 503-638-3341

SUBDIVISION RESUBMITTAL - AUGUST 1, 2013

SEE SURVEY INFORMATION SHEET AS A BACKGROUND SHEET IN
THIS SHEET IS SHOWN FOR INFORMATION ONLY AND IS BASED ON
A SURVEY BY ANDY FARIS & ASSOCIATES, INC. DATE 5/20/13

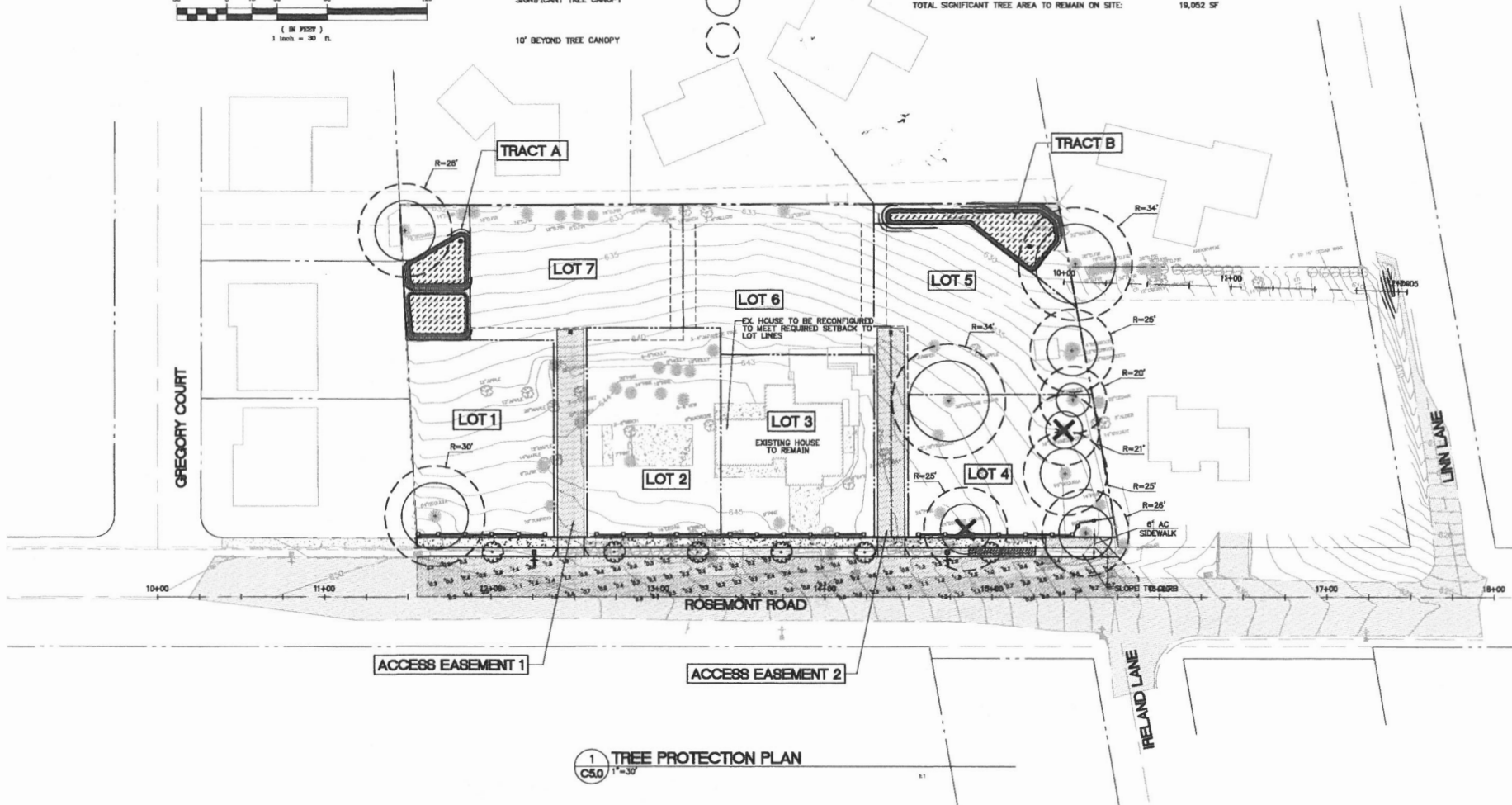


LEGEND

- SIGNIFICANT TREE PROPOSED TO BE REMOVED
- SIGNIFICANT TREE CANOPY
- 10' BEYOND TREE CANOPY

TREE INFORMATION

TOTAL SIGNIFICANT TREE AREA ON SITE (CANOPY PLUS 10 FT): 21,290 SF
 TOTAL SITE AREA (NET OF DEDICATION AND RAIN GARDENS) 75,181 SF
 PERCENTAGE OF SITE COVERED BY SIGNIFICANT TREE AREA: 28%
 TOTAL SIGNIFICANT TREE AREA TO REMAIN ON SITE: 19,052 SF



1 TREE PROTECTION PLAN
 C5.0 1"=30'

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 Mechanical Engineering
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 WEST LINN, OREGON



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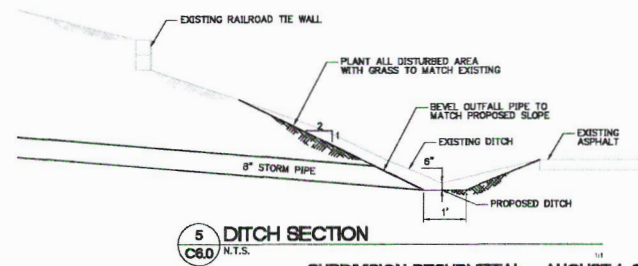
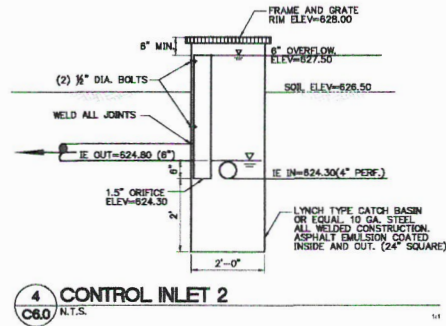
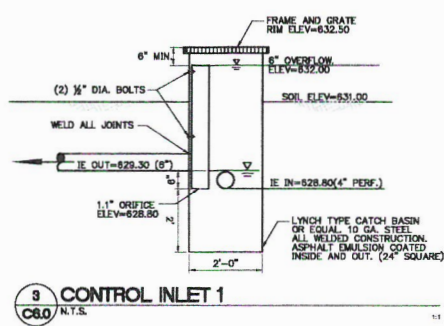
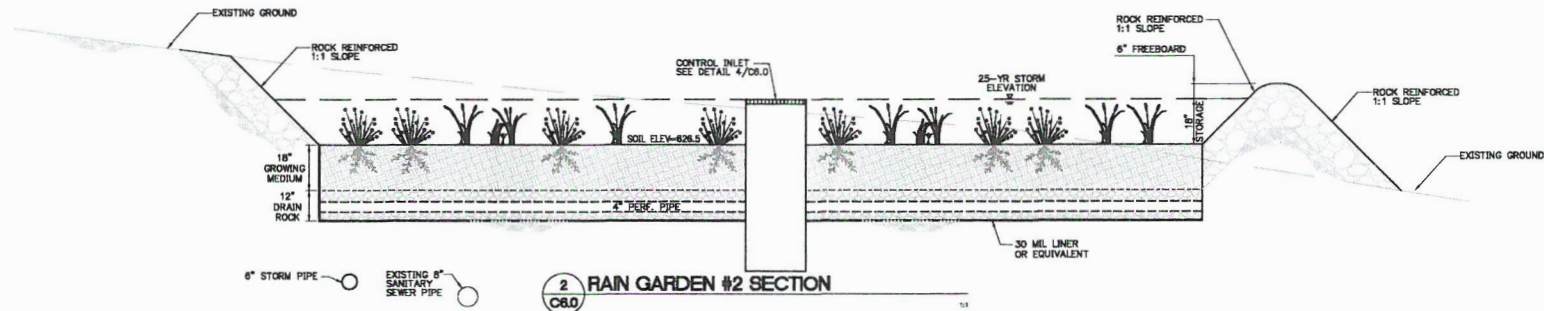
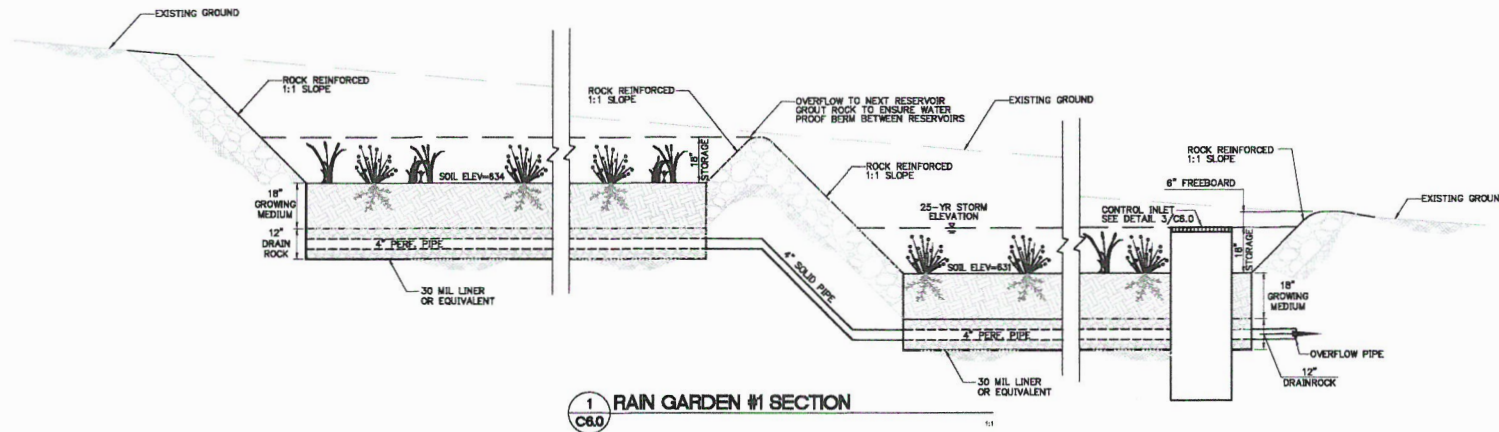
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9	REVISION	08/01/13
10	REVISION	08/01/13

SHEET TITLE:
TREE PROTECTION PLAN

DRAWN BY: MAG
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 SHEET:

C5.0
 JOB NO. 2130073.00

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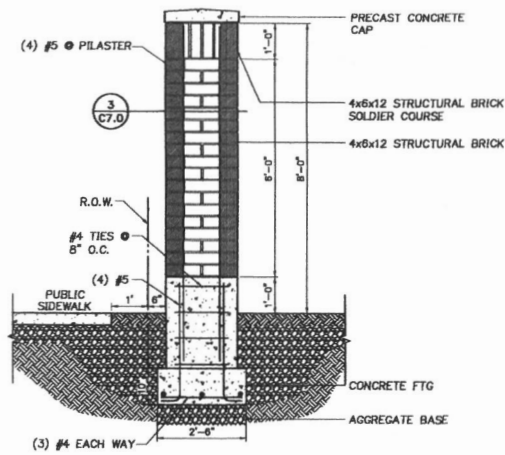
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RAIN GARDEN SECTIONS

DRAWN BY: MAG
 CHECKED BY: RJH
 SHEET:

C6.0

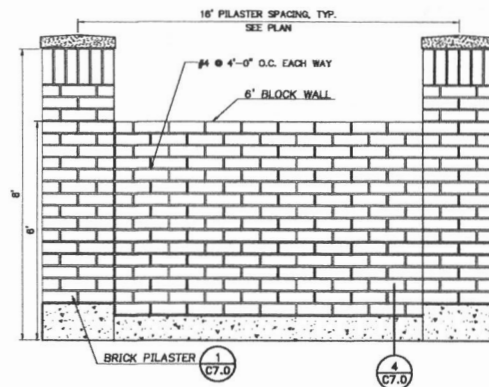
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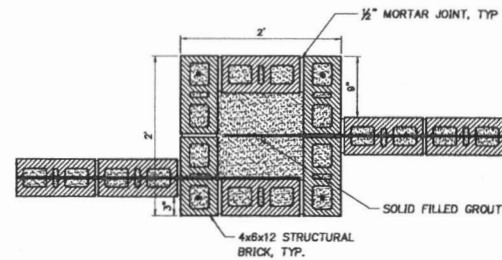
1 C7.0 6' BRICK PILASTER

N.T.S.



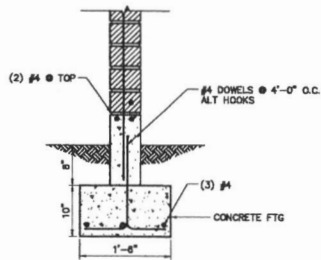
2 C7.0 6' BRICK WALL ELEVATION

N.T.S.



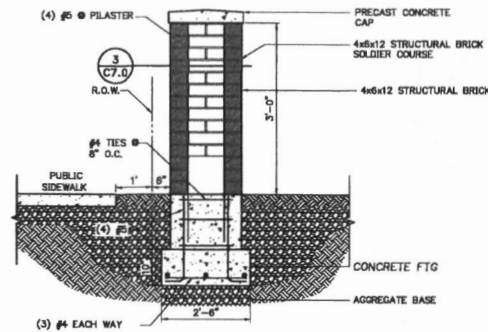
3 C7.0 BRICK PILASTER

N.T.S.



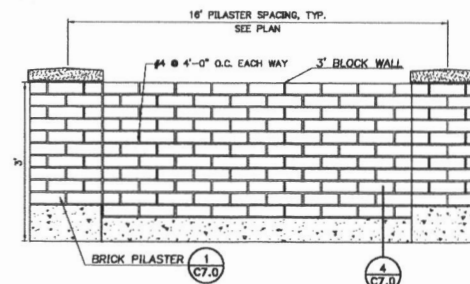
4 C7.0 BLOCK WALL FOOTING

N.T.S.



5 C7.0 3' BRICK PILASTER

N.T.S.



6 C7.0 3' BRICK WALL ELEVATION

N.T.S.

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Transportation Planning
Landscape Architecture
Land Use Planning
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Vancouver WA 360.686.7878
Portland OR 503.224.8880

Client:
RHH CONSTRUCTION

Project:
ROSEMONT
SUBDIVISION
WEST LINN, OREGON



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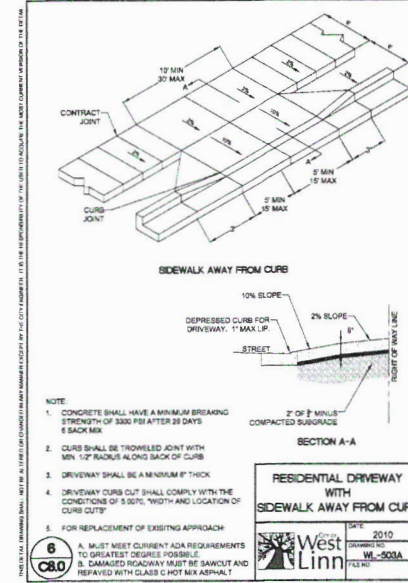
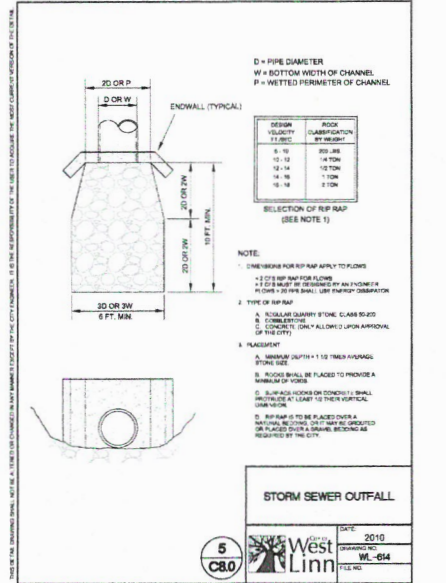
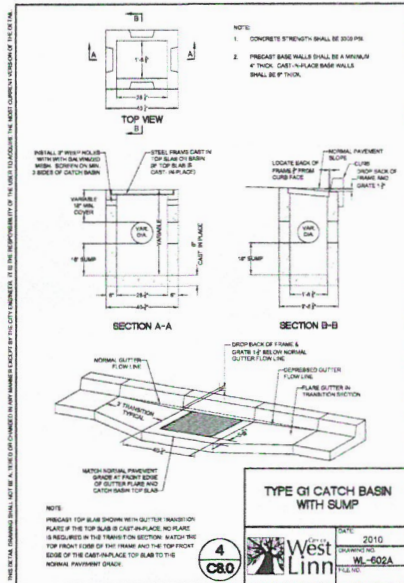
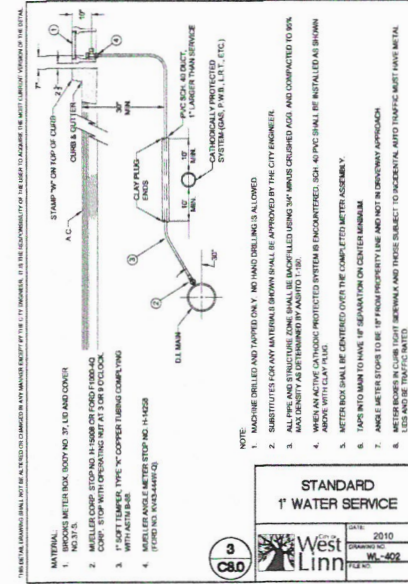
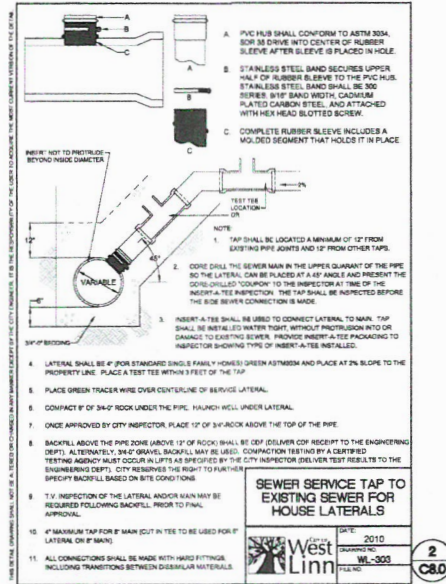
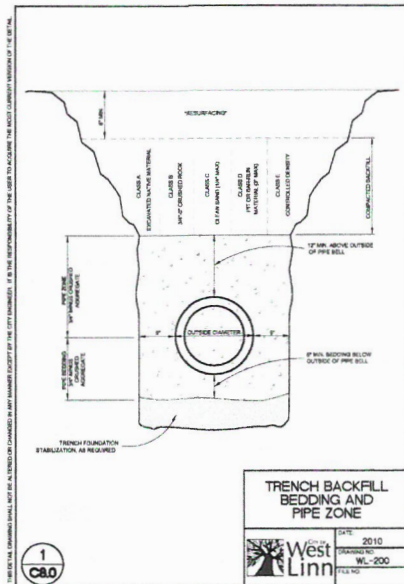
SHEET TITLE:
DETAIL
SHEET

DRAWN BY: MAC
CHECKED BY: RJH
SHEET:

C7.0

JOB NO. 2130073.00

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GROUP MACKENZIE

Chief: RHH CONSTRUCTION

Project: ROSEMONT SUBDIVISION

West Linn, Oregon

Seattle WA: 206.748.8863
Vancouver WA: 360.886.7878
Portland OR: 503.254.8500

Project: ROSEMONT SUBDIVISION

West Linn, Oregon



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REVISIONS:

NO.	REVISIONS	REVISION DATE
1	ISSUED FOR PERMIT	8/20/13

SHEET TITLE: DETAIL SHEET

DRAWN BY: MAG

CHECKED BY: RHH

SHEET: 1

DRAWN BY: MAG

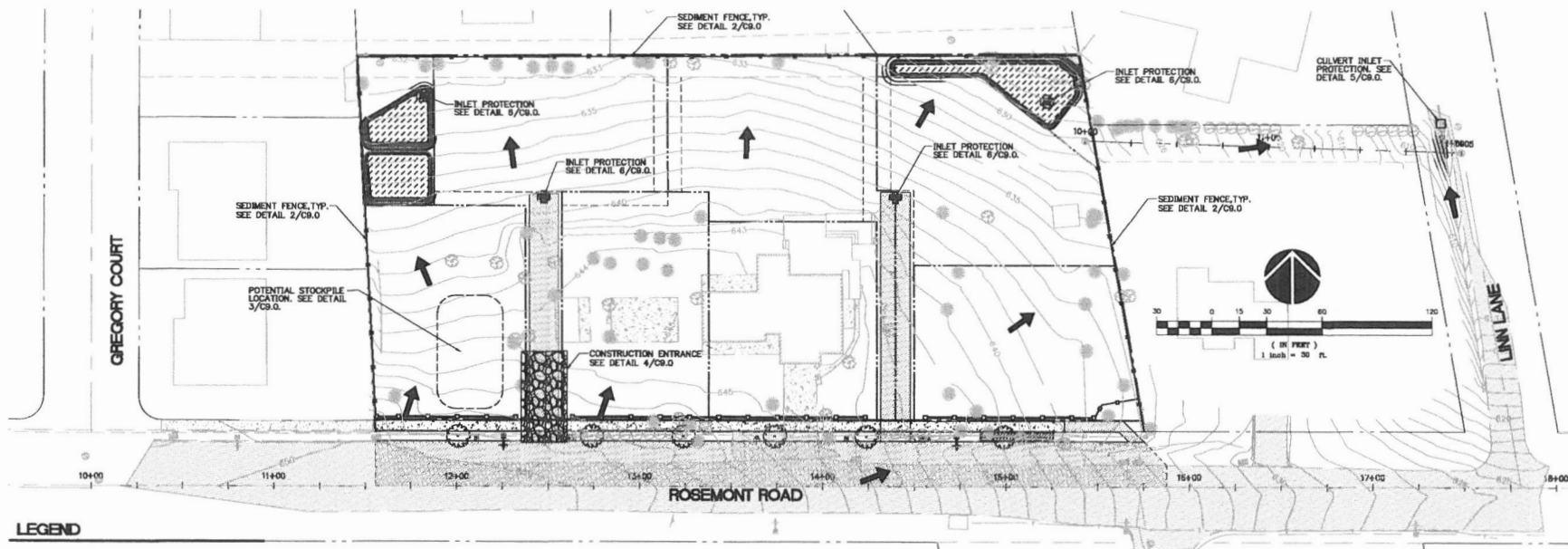
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SHEET: 1

C8.0

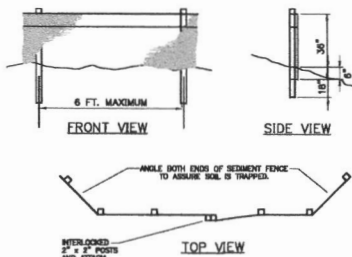
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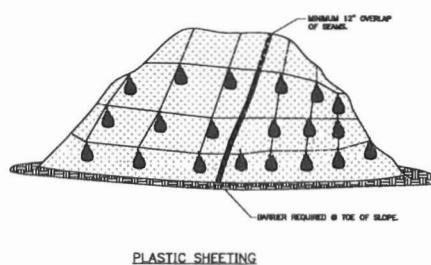
LEGEND

- INLET PROTECTION
- DRAINAGE FLOW DIRECTION
- SEDIMENT FENCE
- CONSTRUCTION ENTRANCE
- POTENTIAL STOCKPILE LOCATION



2 SEDIMENT FENCE C9.0 N.T.S.

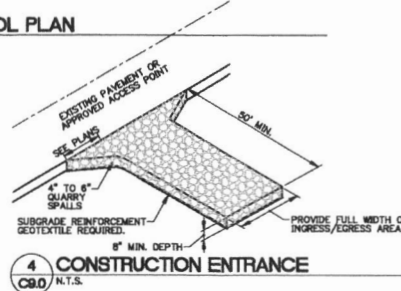
- NOTES:
1. BURY BOTTOM OF FILTER FABRIC 6" MIN. VERTICALLY BELOW GRADE.
 2. 2" x 2" P.W. PING OR REED FENCE POSTS.
 3. SWITCHED LOOPS TO BE INSTALLED UPWILL SIDE OF SLOPE.
 4. COMPACT NATIVE FILL IN ALL AREAS OF FILTER FABRIC TRENCH.



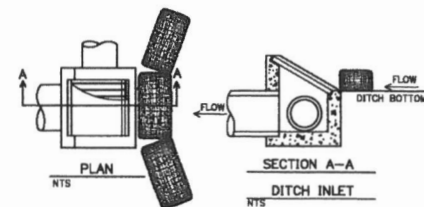
3 PLASTIC SHEETING C9.0 N.T.S.

- NOTES:
1. MINIMUM 12" OVERLAP OF ALL SEAMS REQUIRED.
 2. BARBERS REQUIRED @ TOE OF STOCK PILE.
 3. CONTINUOUS MANHOLES REQUIRED IN PLACE BY USING SANDWICHES OR TIES OF PAPER WITH A 2. MAXIMUM 10' USED SPACING IN ALL DIRECTIONS.

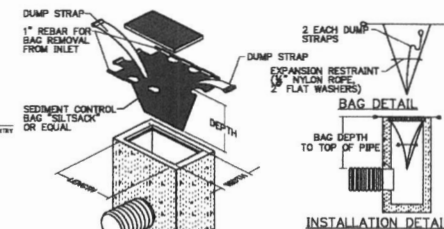
1 EROSION CONTROL PLAN C9.0 1"=30'



4 CONSTRUCTION ENTRANCE C9.0 N.T.S.



5 BIOFILTER BAG INLET PROTECTION C9.0 N.T.S.



- NOTE:
1. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE CORRECT SIZE DEVICE FOR EACH AREA DRAIN. THE CONTRACTOR SHALL MEASURE DIMENSIONS IN THE FIELD AND ORDER THE APPROPRIATE SIZE(S).
 2. THE AREA DRAIN SEDIMENT CONTROL DEVICE SHALL BE OF REGULAR FLOW DESIGN (40 GPM/INCH/S) AS PER THE MANUFACTURER'S SPEC.
 3. THE SEDIMENT CONTROL DEVICE SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED A MINIMUM ONCE PER MONTH OR WITHIN THE 48 HOURS FOLLOWING A STORM EVENT.
 4. SUBSTITUTION OF A SHORT OF FILTER FABRIC PLACED OVER THE OPENING OF THE AREA DRAIN IS NOT APPROVED.

6 CATCH BASIN SEDIMENT FILTER BAG C9.0 N.T.S.

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Project:
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WEST LINN, OREGON



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REVISIONS:

REVISION	DATE	BY	REVISION	DATE	BY

SHEET TITLE:
EROSION CONTROL PLAN

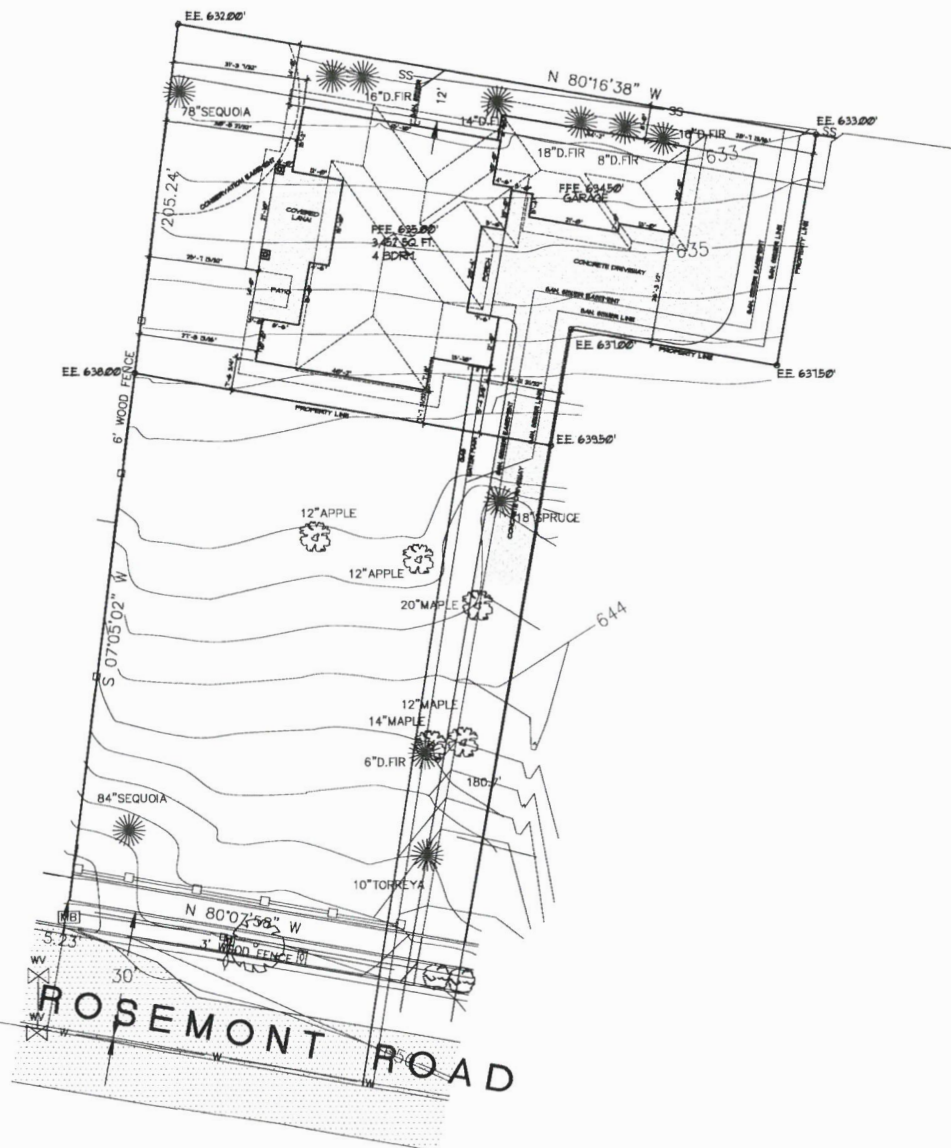
DRAWN BY: MAG
CHECKED BY: R.H.
SHEET:

C9.0

JOB NO. **2130073.00**

SUBDIVISION RESUBMITTAL - AUGUST 1, 2013

THE SURVEY INFORMATION SHOWN AS A BACKGROUND BORDERS ON THIS SHEET IS FROM THE SURVEY AND IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN AS SHOWN.

[illegible][illegible]

ROSENOW RESIDENCE
WEST LINN, OREGON
ROSEMONT ROAD

PLAN No: _____
 DRAWN: _____
 DATE: 4-10-2017
 SCALE: 1"=10'-0"
 FILE: 6452

**SITE
PLAN**



THESE PLANS AND DESIGN
SERVICES ARE COMPLETED
UNDER PROVISIONAL LAW BY
TROY FOLLER & FOLLER &
ASSOCIATES, L.L.C. 2008

[illegible]

1	NON-SPECIFICALLY SELECTED CONTAINS DATA IN A NON-SPECIFIC CATEGORY CATEGORY AND/OR CATEGORY. THE DATA IS NOT SPECIFICALLY SELECTED AND/OR CATEGORY. THE DATA IS NOT SPECIFICALLY SELECTED AND/OR CATEGORY.
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[illegible]

SHED	NO FPP ON LESS
INTERIOR DESIGN CATEGORY	0
INTERIOR DESIGN	16 FPPS
ROOF	40 FLP SHEDS, NO FPP TILE
CELING JOINTS AND ATTIC STORAGE	NO FLP
CELING JOINTS (LIMITED ATTIC STORAGE)	NO FLP
FLOOR	NO FLP
WALLS	NO FPP
ELEVATED GARAGE FLOOR	NO FPP
EXTERIOR BALCONIES	40 FPP
DECK	NO FPP

THE PLANS YOU HAVE PURCHASED AND FOR THE CONSIDERATION HERE-OF, YOU AGREE TO INDEMNIFY AND HOLD COMPANY HARMLESS FROM AND AGAINST ALL SUCH DAMAGES AND LOSSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY COMPANY HEREUNDER OR BY ANY OF ITS AFFILIATES, AGENTS, OR EMPLOYEES, OR THAT MAY BE INCURRED BY ANY OF THE ABOVE-NAMED PERSONS OR ANY OF THEIR AFFILIATES, AGENTS, OR EMPLOYEES, IN CONNECTION WITH THE PERFORMANCE OF THE PLANS OR ANY OTHER OBLIGATIONS OF ANY OF THE ABOVE-NAMED PERSONS.



ROSENOW RESIDENCE
WEST LINN, OREGON
ROSEMONT ROAD

EXTERIOR ELEVATIONS

1.

THESE PLANS AND DRAWINGS
HEREIN ARE COPYRIGHTED
UNDER FEDERAL LAW BY
THEY HOLDING A PATENT FOR THE
DESIGN OF THE SAME

FRAMING

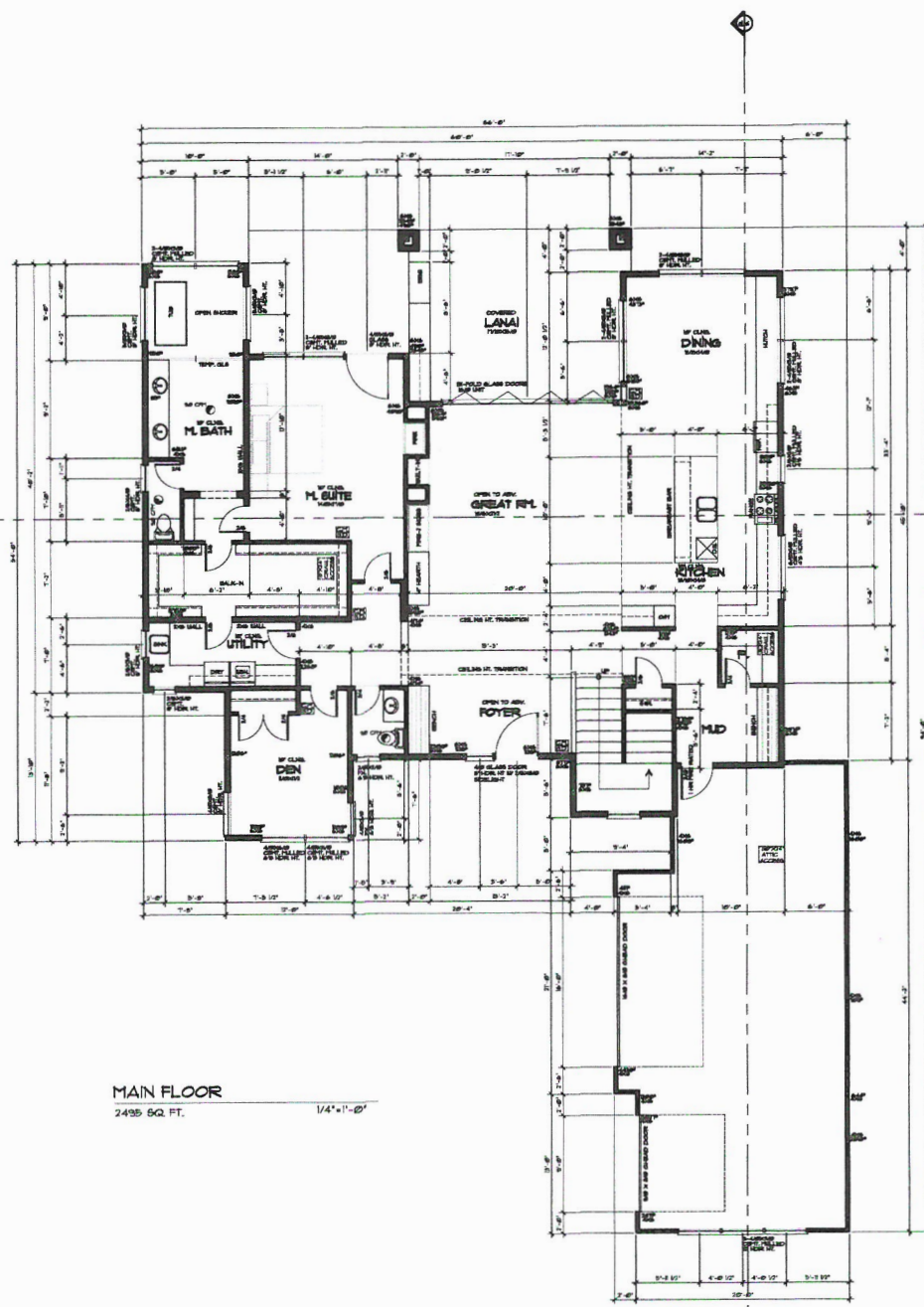
1. ALL EXTERIOR ENDOS AND DOOR HEADERS TO BE 4" X 12" NO. 2 ULDBR CHLORIDE TREATED LUMBER.
2. ALL EXTERIOR WALLS TO BE 2" X 6" STUDS + 16" O.C. AND INTERIOR WALLS TO BE 2" X 4" STUDS + 16" O.C. FOUNDATION FOOT WALLS SHALL BE FRAMED 2" X 6" STUDS.
3. STANDARD RUD HEIGHT FOR UPPER FLOOR TO BE 8'-0" CEILING HEIGHT.
4. STANDARD RUD HEIGHT FOR MAIN FLOOR TO BE 9'-0" CEILING HEIGHT.
5. WINDOW AND DOOR HEADERS VESSES TO BE 6" X 8" + UPPER FLOOR AND 8" X 10" + LOWER FLOOR. DOOR OPENINGS AND OTHER OPENINGS TO BE ALLIGED WITH BRACKS BEHIND LUMBER.
6. ALL WOOD IN DIRECT CONTACT WITH CONCRETE TO BE PRESERVE TREATED AND/OR PROTECTED BY SP-FLY FORTURE BARRIER.
7. PROVIDE POLYISOCYANURATE (PIR) TYPE INSULATION AT FLOOR AND PLATE WALLS. OPENING 1/4" INSUL CORNER LUGS LANTERS AND AROUND DOORS AND WINDOWS. INSUL OPENING.
8. EXTERIOR WALLS SUPPORT REFERRED, SEASONS, AND STOPS TO BE 1/2" BETWEEN STUDS AND ALSO BEHIND TO TOWARDS. 1/2" JOINTS TO BE 1/2" FOR SEASONS, E. OK.
9. PROVIDE FINE SLOTTING DRAFT STOPS AND FINE STOPS AS PER SM. ORISC. SECTION 900A.
10. BLOCK ALL. BED WALLS AT BREAKING PLACES ON AS REQUIRED.
11. INTERIOR PASSAGE DOORS TO HAVE A MINIMUM OF 1/2" X 1/2" TRIMMS EACH SIDE OF DOOR AND TO BE CENTERED IN HALLS.
12. ALL WOODWORK, JOINT HINGERS, DEATH HINGERS AND OTHER CONNECTIONS TO BE TRIMMED OR TRIMMED.
13. ALL BED WALLS SHALL HAVE DOUBLE TOP PLATES OF THE SAME DIMENSION AS THE WALL. TRIMMED PLATES SHALL OVERLAP A MINIMUM OF 6" BETWEEN PLACES. EPH. AT LEAST TO BED WALLS THROUGH BOTH PLATES OF WALLS.
14. DO NOT NOTCH OR DRILL THROUGH ANY SUPPORT COLUMN, GROUND, STAIRS, JOINT SUPPORTING BEHIND WALLS OR ANY OTHER CONCENTRATED LOAD BEARING MEMBER UNLESS SPECIFICALLY NOTED ON PLANS. CONTACT DESIGNER IN ANY SUCH SITUATION ARISE.
15. THIS STRUCTURE TO BE ADEQUATELY BRACED FOR WIND AND GRAVITY LOADS. WITH THE ROOF FLOOR AND WALLS HAVE BEEN PERMANENTLY TIED TOGETHER AND BRACED.

LUMBER SPECIES AND GRADING

- | | |
|---|------------|
| A. FLOOR, STUDS, HEADERS | 2X4, NO. 2 |
| B. FLOOR JOISTS, CEILING JOISTS, PARTIALS | 2X6, NO. 2 |
| C. WALL PLATES, BLOCKING, BRACKS | 2X4, NO. 2 |
| D. STUDS | 2X4, NO. 2 |
| E. BRACKS OVER 16" HIGH | 2X6, NO. 2 |
| F. FLOOR DECKING | 2X4, NO. 2 |
| G. WALL, ROOF BRACKS | 2X4, NO. 2 |
| H. 1/2" X 1/2" STAIRS | 2X4, NO. 2 |
| I. 1/2" X 1/2" STAIRS | 2X4, NO. 2 |
| J. 1/2" X 1/2" STAIRS | 2X4, NO. 2 |

NAILING SCHEDULE

- | | |
|---|---------------|
| A. JOINT TO BELL OR ENDER | 3-6D 10D NAIL |
| B. UPWARD TO JOINT | 3-6D 10D NAIL |
| C. 2" UPWARD TO JOINT OR ENDER | 3-6D 10D NAIL |
| D. WALL PLATE TO JOINT OR ENDER | 3-6D 10D NAIL |
| E. TOP OR BELL PLATE TO END | 3-6D 10D NAIL |
| F. UP TO BELL PLATE | 3-6D 10D NAIL |
| G. DOUBLE STUD | 3-6D 10D NAIL |
| H. DOUBLE TOP PLATES | 3-6D 10D NAIL |
| I. DOUBLE TOP PLATES AT SPICES (16" MIN. LAP) | 3-6D 10D NAIL |
| J. DOUBLE TOP PLATES AT CORNERS | 3-6D 10D NAIL |
| K. CORNER HEADERS OF PREST. NAIL ALONG BA. EDGE | 3-6D 10D NAIL |
| L. CEILING JOINT TO PLATE | 3-6D 10D NAIL |
| M. CEILING JOINT TO PARTIALS, PARTIALS | 3-6D 10D NAIL |
| N. BARRIER TO PLATE | 3-6D 10D NAIL |
| O. COLLAR TIE AT EACH END (10G) | 3-6D 10D NAIL |
| P. 1/2" X 1/2" CORNER STUD | 3-6D 10D NAIL |
| Q. 1/2" X 1/2" CORNER STUD | 3-6D 10D NAIL |
| R. 1/2" X 1/2" CORNER STUD | 3-6D 10D NAIL |
| S. 1/2" X 1/2" CORNER STUD | 3-6D 10D NAIL |
| T. 1/2" X 1/2" CORNER STUD | 3-6D 10D NAIL |
| U. 1/2" X 1/2" CORNER STUD | 3-6D 10D NAIL |
| V. 1/2" X 1/2" CORNER STUD | 3-6D 10D NAIL |
| W. 1/2" X 1/2" CORNER STUD | 3-6D 10D NAIL |
| X. 1/2" X 1/2" CORNER STUD | 3-6D 10D NAIL |
| Y. 1/2" X 1/2" CORNER STUD | 3-6D 10D NAIL |
| Z. 1/2" X 1/2" CORNER STUD | 3-6D 10D NAIL |



MAIN FLOOR

2495 SQ. FT.

1/4" = 1'-0"



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ROSENOW RESIDENCE
WEST LINN, OREGON
ROSEMARY ROAD

PLAN No. 11
DRAWN: 11
DATE: 4-10-2017
SCALE: 1/4" = 1'-0"
FILE: 11029

MAIN FLOOR

2.

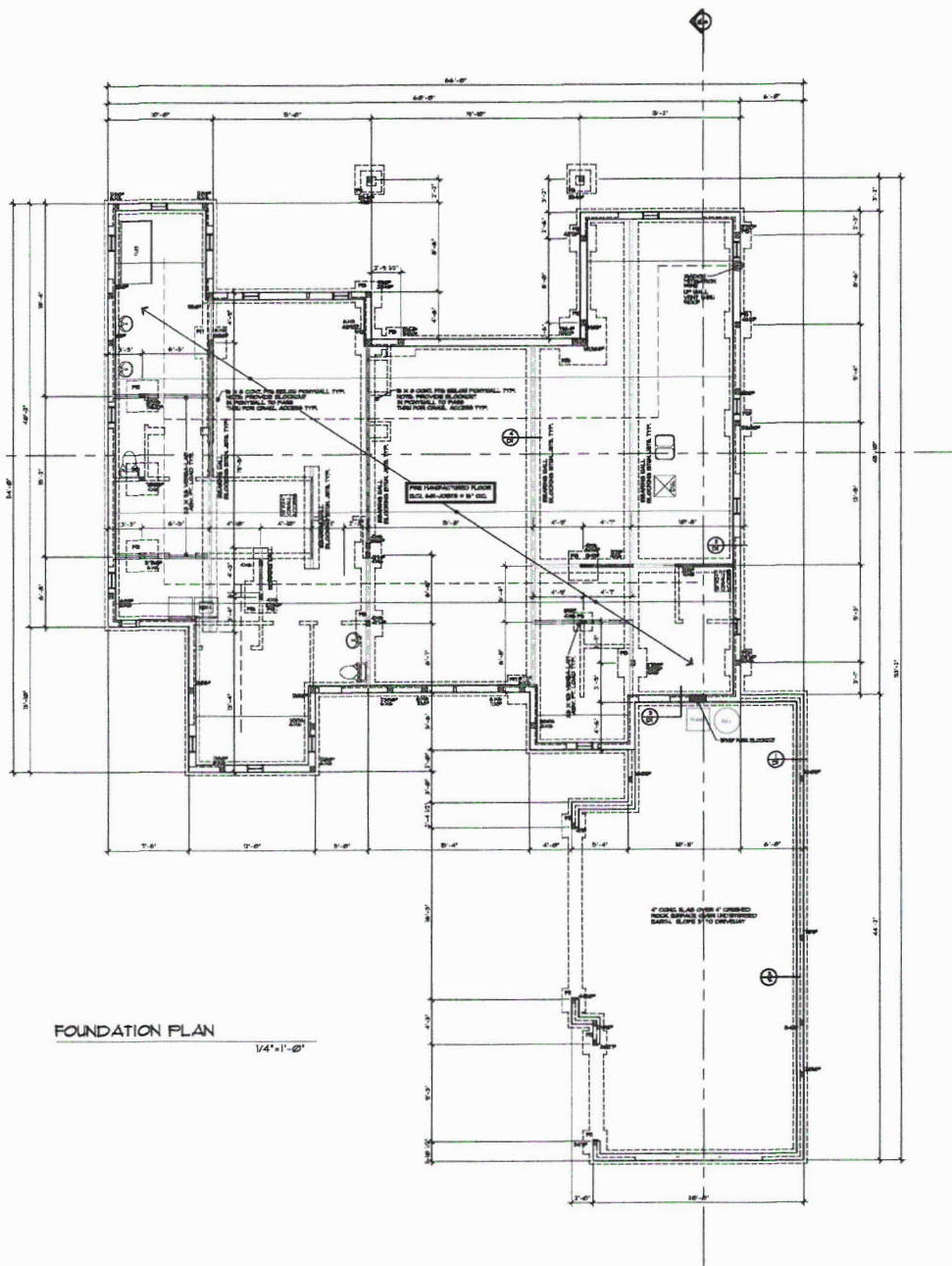
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1. FOUNDATION FOOTINGS, PIER AND COLUMN FOOTINGS TO BEAR ON UNDISTURBED SOIL WITH MINIMUM DEPTH OF BOTTOM OF FOOTING TO BE 1' BELOW FINAL GRADE. SOIL BEARING CAPACITY ASSUMED TO BE 2,000 PSF.

- [illegible]

FOOTING SCHEDULE			
FWHS	LOAD LBS	FOOTING SIZE	REBAR
F1	1,000	2'0"X3'0"	(2) #4 BAR
F2	1,000	2'0"X3'0"	(2) #4 BAR
F3	1,000	2'0"X3'0"	(2) #4 BAR
F4	1,300	2'0"X3'0"	(2) #4 BAR
F5	1,000	2'0"X3'0"	(2) #4 BAR
F6	1,300	2'0"X3'0"	(2) #4 BAR
F7	1,000	2'0"X3'0"	(2) #4 BAR
F8	1,300	2'0"X3'0"	(2) #4 BAR
F9	1,000	2'0"X3'0"	(2) #4 BAR
F10	1,300	2'0"X3'0"	(2) #4 BAR
F11	1,000	2'0"X3'0"	(2) #4 BAR
F12	1,000	2'0"X3'0"	(2) #4 BAR
F13	1,000	2'0"X3'0"	(2) #4 BAR
F14	1,000	2'0"X3'0"	(2) #4 BAR
F15	1,000	2'0"X3'0"	(2) #4 BAR
F16	1,000	2'0"X3'0"	(2) #4 BAR
F17	1,000	2'0"X3'0"	(2) #4 BAR
F18	1,000	2'0"X3'0"	(2) #4 BAR
F19	1,000	2'0"X3'0"	(2) #4 BAR
F20	1,000	2'0"X3'0"	(2) #4 BAR
F21	1,000	2'0"X3'0"	(2) #4 BAR
F22	1,000	2'0"X3'0"	(2) #4 BAR
F23	1,000	2'0"X3'0"	(2) #4 BAR
F24	1,000	2'0"X3'0"	(2) #4 BAR
F25	1,000	2'0"X3'0"	(2) #4 BAR
F26	1,000	2'0"X3'0"	(2) #4 BAR
F27	1,000	2'0"X3'0"	(2) #4 BAR
F28	1,000	2'0"X3'0"	(2) #4 BAR
F29	1,000	2'0"X3'0"	(2) #4 BAR
F30	1,000	2'0"X3'0"	(2) #4 BAR
F31	1,000	2'0"X3'0"	(2) #4 BAR
F32	1,000	2'0"X3'0"	(2) #4 BAR
F33	1,000	2'0"X3'0"	(2) #4 BAR
F34	1,000	2'0"X3'0"	(2) #4 BAR
F35	1,000	2'0"X3'0"	(2) #4 BAR
F36	1,000	2'0"X3'0"	(2) #4 BAR
F37	1,000	2'0"X3'0"	(2) #4 BAR
F38	1,000	2'0"X3'0"	(2) #4 BAR
F39	1,000	2'0"X3'0"	(2) #4 BAR
F40	1,000	2'0"X3'0"	(2) #4 BAR
F41	1,000	2'0"X3'0"	(2) #4 BAR
F42	1,000	2'0"X3'0"	(2) #4 BAR
F43	1,000	2'0"X3'0"	(2) #4 BAR
F44	1,000	2'0"X3'0"	(2) #4 BAR
F45	1,000	2'0"X3'0"	(2) #4 BAR
F46	1,000	2'0"X3'0"	(2) #4 BAR
F47	1,000	2'0"X3'0"	(2) #4 BAR
F48	1,000	2'0"X3'0"	(2) #4 BAR
F49	1,000	2'0"X3'0"	(2) #4 BAR
F50	1,000	2'0"X3'0"	(2) #4 BAR
F51	1,000	2'0"X3'0"	(2) #4 BAR
F52	1,000	2'0"X3'0"	(2) #4 BAR
F53	1,000	2'0"X3'0"	(2) #4 BAR
F54	1,000	2'0"X3'0"	(2) #4 BAR
F55	1,000	2'0"X3'0"	(2) #4 BAR
F56	1,000	2'0"X3'0"	(2) #4 BAR
F57	1,000	2'0"X3'0"	(2) #4 BAR
F58	1,000	2'0"X3'0"	(2) #4 BAR
F59	1,000	2'0"X3'0"	(2) #4 BAR
F60	1,000	2'0"X3'0"	(2) #4 BAR
F61	1,000	2'0"X3'0"	(2) #4 BAR
F62	1,000	2'0"X3'0"	(2) #4 BAR
F63	1,000	2'0"X3'0"	(2) #4 BAR
F64	1,000	2'0"X3'0"	(2) #4 BAR
F65	1,000	2'0"X3'0"	(2) #4 BAR
F66	1,000	2'0"X3'0"	(2) #4 BAR
F67	1,000	2'0"X3'0"	(2) #4 BAR
F68	1,000	2'0"X3'0"	(2) #4 BAR
F69	1,000	2'0"X3'0"	(2) #4 BAR
F70	1,000	2'0"X3'0"	(2) #4 BAR
F71	1,000	2'0"X3'0"	(2) #4 BAR
F72	1,000	2'0"X3'0"	(2) #4 BAR

TOP OF ALL HOLD DOWN
BELTS MUST EXTEND ABOVE
SADDLES AND NUTS (APPROX.
1" ABOVE TOP OF PIGTAIL)



FOUNDATION PLAN

1/4" x 1'-0"



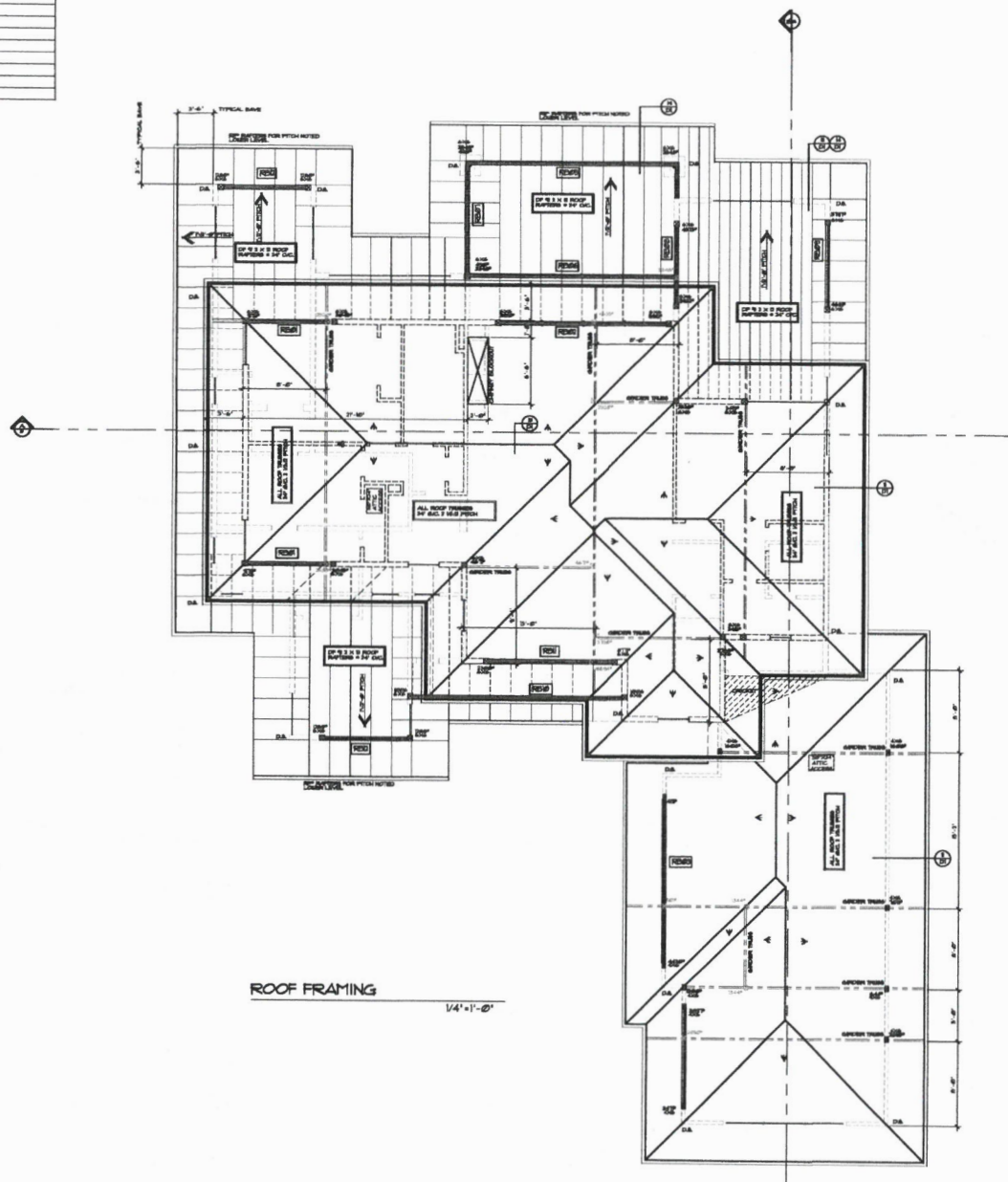
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[illegible]

RE001	3 1/8" X 8 1/2" 24F-VBVCF
RE002	3 1/8" X 14" 24F-VBVCF
RE003	3 1/8" X 18 1/2" 24F-VBVCF
RE004	3 1/8" X 8 1/2" 24F-VBVCF
RE005	3 1/8" X 8 1/8" 24F-VBVCF
RE006	3 1/8" X 8 1/8" 24F-VBVCF
RE007	3 1/8" X 8 1/8" 24F-VBVCF
RE008	3 1/8" X 8 1/2" 24F-VBVCF
RE009	3 1/8" X 8 1/2" 24F-VBVCF
RE010	3 1/8" X 8 1/2" 24F-VBVCF
RE011	3 1/8" X 8 1/8" 24F-VBVCF
RE012	3 1/8" X 8 1/8" 24F-VBVCF



3-STRIP ARMRESTS MAY BE USED IN LIEU OF 4-STRIP
4-STRIP ARMRESTS MAY BE USED IN LIEU OF 6-STRIP

58 DENOTES (3) CRIPPLE STUDS (2x WIDTH OF WALL) AND
3-STUD ASSEMBLY MAY BE USED IN LIEU OF 4x POST
4-STUD ASSEMBLY MAY BE USED IN LIEU OF 6x POST

DEAN NORFOLK CALLOTT

HEARINGS HALL DETAIL.

HOUSE USED BY ONE DETECTOR.

FLOOR FINISHING DETAIL

DOWNPOST TO RANDRAN BELOW

INDICATED ROOF RAFTERS OVER
ROOF INSULATION 2x6 RAFTERS
@ 24" O.C. BY 2x6 DIMENSION, 4 2x6
VALLEY RAFTERS Laid Flat ON
TRUSS INSULATION

404 K265 POST (Q27) FROM W4P,
VALLEY AND/OR RIDGE TO DRAWING
NUMBER BELOW. REFER TO DETAIL.

DETAIL CALLOUT OVER SHEET 4

ONE HEADER AND...



IMPORTANT DISCLOSURE

• PLEASE READ:

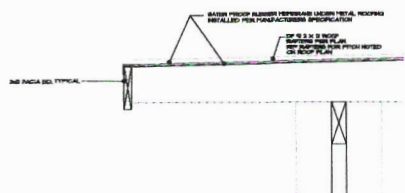
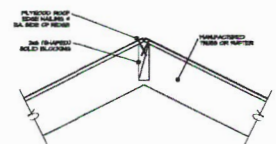
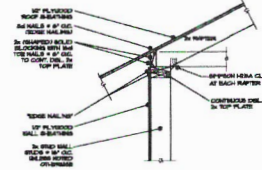
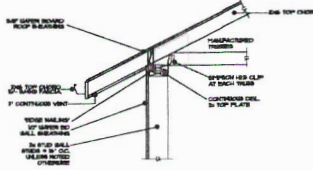
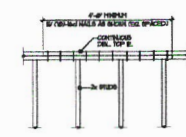
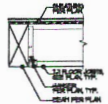
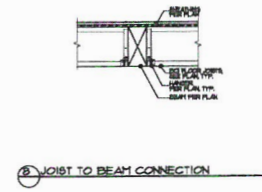
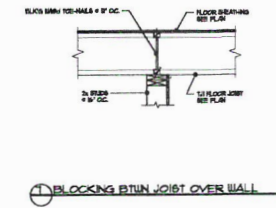
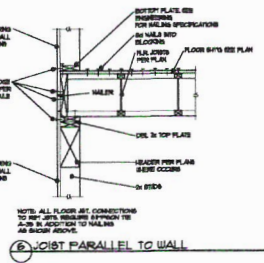
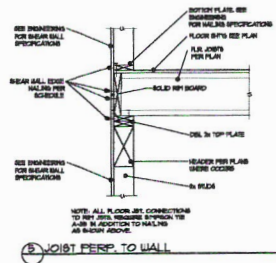
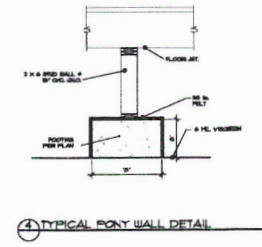
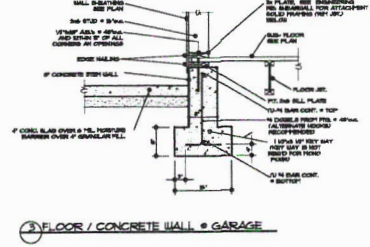
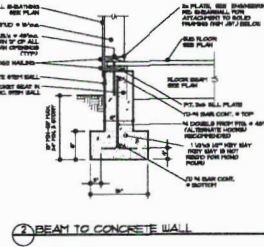
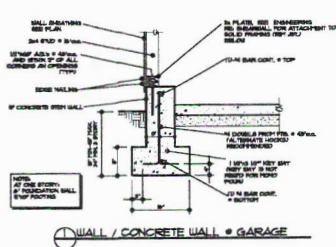
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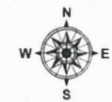
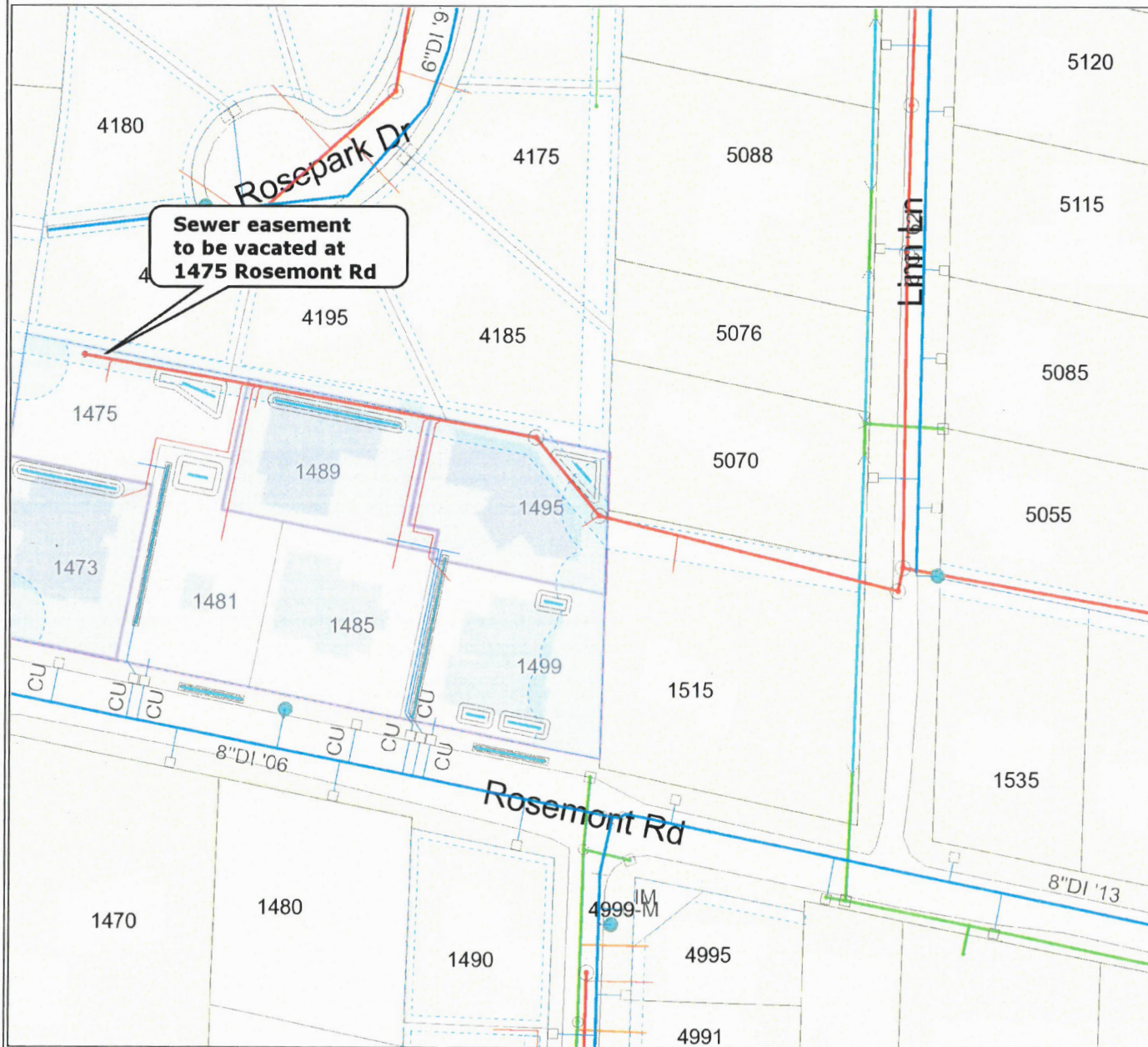
ROSENOW RESIDENCE
WEST LINN, OREGON
ROSEMONT ROAD

PLAN No.
DRAWN
DATE: 4-10-4
SCALE: 1/4" = 1'

ROOF FRAMING

**TREX PLANS AND CERTAINS
HEREIN ARE INCORPORATED
UNDER FEDERAL LAWS/
TAXY PROVISIONS 408-677 (27)
(2000) 1.1.1.1**





Feet
0 50

Scale 1:1,200 - 1 in = 100 ft
Scale is based on 8-1/2 x 11 paper size



Map created by: F-COUNTER
Date Created: 28-Feb-18 02:04 PM

WEST LINN GIS

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