



## STAFF REPORT FOR THE HISTORIC REVIEW BOARD

**FILE NUMBER:** DR-17-06

**HEARING DATE:** June 20, 2017

**REQUEST:** Class II Historic Design Review – remodel and addition to existing one story home.

**APPROVAL CRITERIA:** Community Development Code Chapter 13, R-5 Zoning  
Community Development Code Chapter 25, Historic Resources  
Community Development Code Chapter 99, Quasi-Judicial Decision Making

**STAFF REPORT PREPARED BY:** Jennifer Arnold, Associate Planner

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Planning Manager's Review *JB*

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## GENERAL INFORMATION

**APPLICANT/  
OWNER:** Ann Scheuerell

**SITE LOCATION:** 1744 4<sup>th</sup> Ave

**LEGAL  
DESCRIPTION:** Clackamas County Assessor's Map 3-1E-02BD, Tax Lot 1300

**SITE SIZE:** 5,000 square feet

**ZONING:** R-5, Single Family Residential Detached and Attached/Duplex

**COMP PLAN  
DESIGNATION:** Medium Density Residential

**120-DAY PERIOD:** This application became complete on June 2, 2017. The 120-day maximum application processing period ends on October 2, 2017.

**PUBLIC NOTICE:** Public notice was mailed to the Willamette Neighborhood Association and to affected property owners on June 8, 2017. The property was posted with a sign on June 8, 2017. In addition, the application has been posted on the City's website. The notice requirements of CDC 99 have been met.

## EXECUTIVE SUMMARY

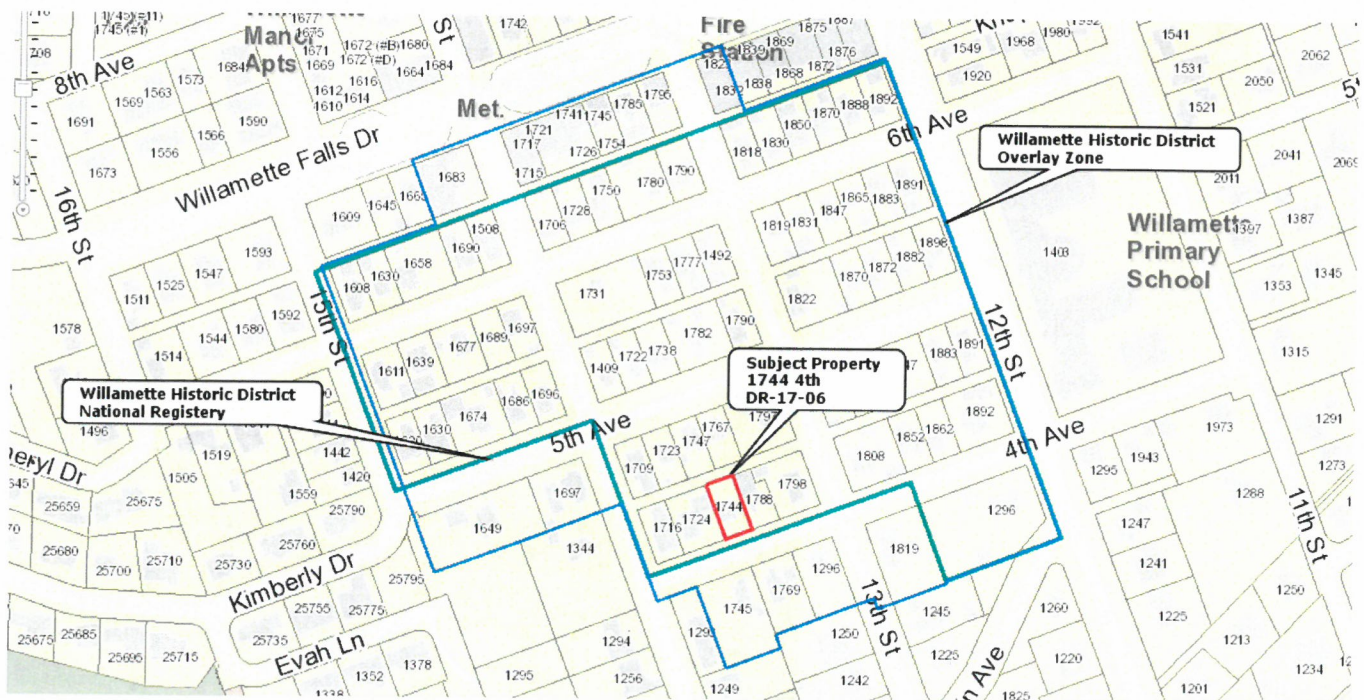
The subject property is located in both the Willamette Historic District Overlay and Willamette Historic District National Register. It is a noncontributing historic home located in the Willamette neighborhood on the north side of 4<sup>th</sup> Avenue, between 14<sup>th</sup> and 13<sup>th</sup> Streets. It is approximately six blocks south of Willamette Falls Drive and two blocks west of the Willamette Primary School. The residence was built c. 1924 and is a Bungalow Style home. The applicant is proposing add a front porch, a rear addition, and a new driveway/parking pad accessed from the alley along the rear of the property.

## APPROVAL

Staff finds that the applicant's proposal, supplemented with one condition of approval, meets the applicable criteria. Therefore, staff recommends approval.

## BACKGROUND

The subject property is 1744 4<sup>th</sup> Avenue and located in the Willamette neighborhood between 13<sup>th</sup> and 14<sup>th</sup> Streets. It is located within both the Local and National Willamette Historic Districts. The existing home is a noncontributing structure to the historic district.



Site Conditions: The lot currently accommodates a noncontributing single family house, constructed c. 1924. The residence is constructed in a simple Bungalow style. Since the home is noncontributing many of the details do not have historic characteristics. The existing siding is a mix of T1-11 and shingles. The paint colors of the home are brown and lime green. This home is not considered a landmark structure for preservation.



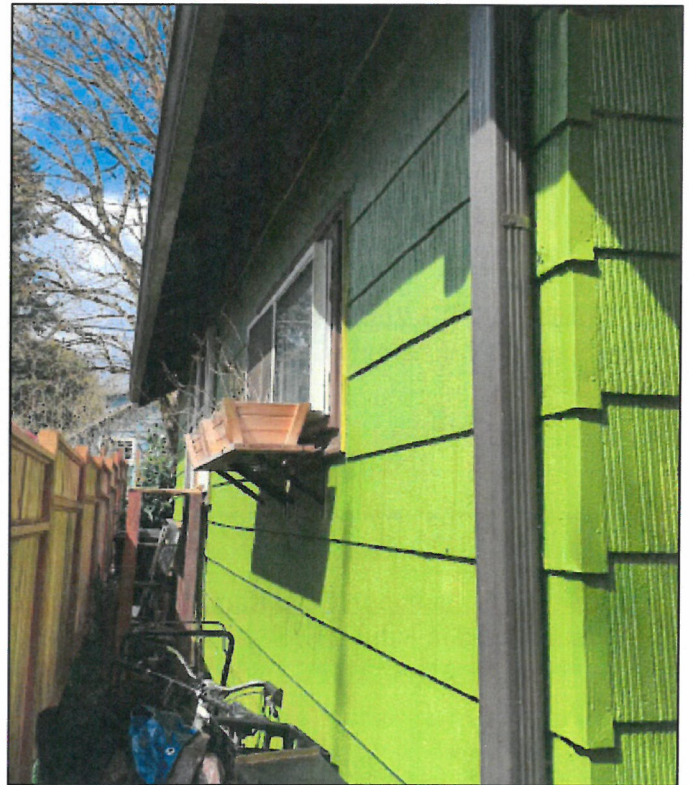
**FRONT ELEVATION - SOUTH**  
Street View From Sidewalk



**REAR ELEVATION - NORTH**  
View From Alley



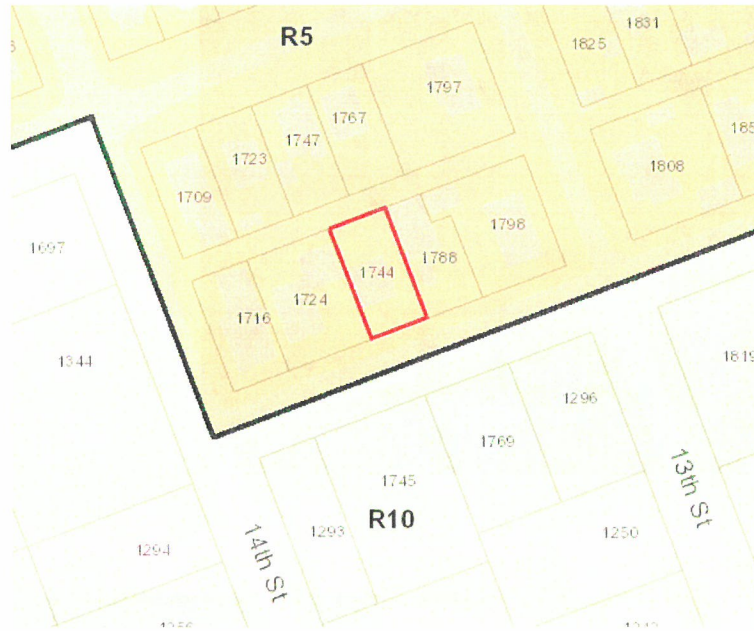
**SIDE ELEVATION - EAST**  
View with Side Yard



**SIDE ELEVATION - WEST**  
View Along West Fenceline

Project Description: The applicant is proposing add a front porch, a rear addition, and a new driveway/parking pad accessed from the alley along the rear of the property.

Surrounding Land Use: The subject property is in the middle of the Historic District. The surrounding properties to the north, east, and west are R-5 and properties to the south (across 4<sup>th</sup> Ave.) are R-10.



Public comments. Staff has not received any comments from the public as of the publication of this Staff Report.

## ANALYSIS

CDC Chapter 13, R-5 Zoning and CDC Chapter 25, Historic Resources, apply to this project. Staff has found the proposal is consistent with the applicable criteria.

## RECOMMENDATION

**Staff recommends approval of application DR-17-06 subject to the following proposed condition:**

1. Site Plan, Elevations, and Narrative. The project shall conform to the plans, elevations, and narrative submitted in Exhibit HRB-4.

**APPLICABLE REGULATIONS AND ASSOCIATED SUPPLEMENTAL FINDINGS  
DR-17-06**

**CHAPTER 13, R-5 ZONING**

**13.070 DIMENSIONAL REQUIREMENTS, USES PERMITTED OUTRIGHT AND USES PERMITTED UNDER PRESCRIBED CONDITIONS**

**Staff Finding 1:** These criteria are met. The existing single-family home is permitted outright and the lot meets the minimum size requirements. The home is less than the maximum allowed height of 35 feet and no changes to the height. Building setbacks are regulated by CDC 25.070(C) 1-4.

**CHAPTER 25, HISTORIC RESOURCES**

**25.030 PERMITTED USES**

*Unless otherwise provided for in this chapter, uses permitted by the base zoning district that are in accordance with the CDC are allowed on sites containing historic resources.*

**Staff Finding 2:** A detached single family residence is permitted within the zone. The criterion is met.

**25.040 HISTORIC DESIGN REVIEW PROCESSES**

*Proposed changes to historic resources that are not exempted by subsection A of this section, Exemptions from historic design review, are subject to subsection B of this section, Class I historic design review, or subsection C of this section, Class II historic design review. Class I historic design review addresses significant changes that warrant staff review. Class II historic design review addresses major changes including additions and new construction, subject to Historic Review Board approval. The processes for conducting Class I and Class II historic design review are in Chapter 99 CDC.*

...

*C. Class II historic design review. All proposed new construction, alterations, and additions, not identified as exempt under subsection A of this section, or subject to Class I historic design review under subsection B of this section, are subject to Class II historic design review and must meet the applicable approval standards.*

**Staff Finding 3:** Alterations and additions require Class II historic design review. The criterion is met.

**25.060 DESIGN STANDARDS APPLICABLE TO HISTORIC RESOURCES**

*The following design standards apply to all changes, including alterations, additions, and new construction proposed on a designated historic resource. These standards are intended to preserve the features that made the resources eligible for historic designation. Development must comply with all applicable standards, or be approved through the modifications process specified in CDC 25.080.*

*A. Standards for alterations and additions. This section applies to historic reviews for alteration of and additions to designated historic resources:*

- 1. Retention of original construction. The original construction shall be maintained or restored to the greatest extent practicable. Stylistic features of original construction that shall be preserved include, but are not limited to: a line of columns, decorative shingles, projecting bays, other primary structural elements, spatial relationships that characterize the property, examples of skilled craftsmanship that characterize the building, and architectural details defining the structure's character and historic significance.*

**Staff Finding 4: The applicant has proposed alterations to the front elevation by adding a front porch and the rear elevation with an addition. The materials proposed by the applicant are consistent with the materials and architectural details of the historic bungalow style, and neighboring properties in the district. The criterion is met.**

- 2. Retention of historic material. Removal or alteration of historic materials and features shall be avoided during the construction of new additions or exterior alterations. Whenever possible, deteriorated materials and architectural features shall be repaired rather than replaced. In the event replacement of an existing feature is necessary, new materials shall, to the extent possible, match those of the original building in terms of composition, design, color, texture, and other visual features.*

**Staff Finding 5: This home is a noncontributing structure in the Historic District. The existing characteristics of the home are not constant with the time period of the district. The proposed alterations will be in keeping with surrounding properties and historic characteristics of the Historic district. This criterion is met.**

- 3. Time period consistency. Buildings shall be recognizable as a physical record of their time and place. Alterations which have no historical basis or which seek to create a false sense of historical development are not allowed.*

**Staff Finding 6: The intention of this project is to make a noncontributing home fit in with the neighborhood of historically significant homes. This criterion is met.**

- 4. Significance over time. Changes to a property that have acquired historic significance in their own right, and during the period of significance, shall be retained and preserved.*

**Staff Finding 7: The current alterations of the home do not appear to have any historical significance. This criterion is met.**

- 5. Differentiate old from new. Alterations and additions shall be differentiated from the original buildings and shall be compatible with the historic materials, features, size, scale, proportion, and massing to protect the integrity of the property.*



**Staff Finding 8:** The proposed new front porch will be made with compatible materials that were consistent with others of the time period for the Historic District. The front porch does not span the entire width of the home, and the ridge line is lower than the existing home to maintain proper size, scale and proportion requirements. The rear addition maintains the existing roof line of the existing structure and will also use compatible materials. This criterion is met.

6. *Reversibility. Additions and alterations shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its context would be unimpaired.*

**Staff Finding 9:** The proposed front porch addition and rear addition will not alter the structural integrity of the home and could be removed in the future. This criterion is met.

7. *Building additions. Building additions shall be subordinate to the original building, smaller in scale, and attached to the rear or set back along the side. Features of building additions, including the proportions of window and door openings, shall be consistent with those of the existing building. Dimensional and other requirements in the underlying zone, as applicable, shall apply*

**Staff Finding 10:** The proposed new front porch does not span the entire width of the home, and the ridge line is lower than the existing home to maintain proper size, scale and proportion requirements. The rear addition extends the side walls and ridge line but does not become wider or taller than the existing home. This criterion is met.

8. *Building height and roof pitch. Existing or historic building heights and roof pitch shall be maintained.*

**Staff Finding 11:** No height or pitch changes are proposed to the existing home's 6:12 roof. This criterion is met.

9. *Roof materials. Replacement of a roof or installation of a new roof with materials other than cedar shingles, three tab asphalt shingles, or architectural composition shingles must be demonstrated, using photographic or other evidence, to be in character with those of the original roof, or with materials that are consistent with the original construction.*

**Staff Finding 12:** The applicant has proposed to replace the roof with architectural composition shingles. This criterion is met.

10. *Existing exterior walls and siding. Replacement of the finish materials of existing walls and siding with different material must be demonstrated, using photographic or other evidence, to be in character with those of the original materials, or with materials that are consistent with the original construction.*

**Staff Finding 13:** The existing siding is a mix of ribbed cementitious shingles, vertical siding and T1-11 which are not original to the structure. The applicant proposes to replace the existing siding with horizontal lap siding in keeping with nearby contributing homes. The proposed rear addition will use the same wood siding to match the original construction of the era. This criterion is met.

11. *New exterior walls and siding. Wood siding or shingles shall be used unless the applicant demonstrates that an alternative material has a texture and finish typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.*

**Staff Finding 14: See Staff Finding 13. The proposed rear addition will use the same wood siding to match the original construction of the era. This criterion is met.**

12. *Gutters and downspouts. Replacement or new gutters and downspouts shall be rectangular, ogee, or K-shaped and comprised of wood or metal material, or styles and materials that match those that were typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials and styles that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.*

**Staff Finding 15: The new gutters and downspouts will be prefinished sheet metal and K-shaped. This criterion is met.**

13. *New windows. New windows shall match the appearance of the original windows as closely as possible. Wood window frames and sashes shall be used unless the applicant demonstrates that the non-wood windows are consistent with their wooden counterparts, including profile and proportion of the sash, sill, trim, light patterns, glass color, and profile of mullions and muntins. The window trim and sill shall match the original trim.*

**Staff Finding 16: The applicant has proposed replacing all windows with prefinished wood clad windows and trimmed with new 2X4 painted wood trim. Existing windows and trim are not thought to be original. No storm windows are proposed. This criterion is met.**

14. *Storm windows. Storm windows shall be made of painted wood, baked enamel, anodized aluminum, or another material that is consistent with the color, detail, and proportions of the building.*

**Staff Finding 17: No storm windows are proposed. This criterion is met.**

15. *Window replacement. Replacement of windows or window sashes shall be consistent with the original historic appearance, including the profile of the sash, sill, trim, window plane relative to the building wall plane, light pattern, glass color, profile of mullions and muntins, and color.*

**Staff Finding 18: See Staff Finding 16. The applicant proposes to replace the two front room windows with larger windows. See applicant submittal Sheet A3.10 for elevations. This criterion is met.**

16. *Doors. Doors shall be painted or stained wood, fiberglass clad, or metal clad, or another material that is consistent with the original historic appearance.*

**Staff Finding 19:** The applicant is proposing to replace the existing doors with wood clad or painted wood doors. The applicant also proposes to add double doors on the east elevation for access to the side yard. This criterion is met.

*17. Porches. Front porches are allowed on new construction...*

**Staff Finding 20:** The applicant has proposed a front porch addition. The original noncontributing home did not have a front porch. See Staff Findings 8 through 10. This criterion is met.

*18. Decks. Decks shall be located in rear yard or the portion of the side yard behind the front 50 percent of the primary structure.*

**Staff Finding 21:** No decks are proposed. This criterion is met.

*19. Foundations. Repair or construction of a foundation that results in raising or lowering the building elevation must demonstrate that:*

- a. The proposal is consistent with the original design and, if applicable, is consistent in the context of adjacent and other structures on the block, based on photographic or other evidence; or*
- b. That it is necessary to satisfy a requirement of the building code and/or floodplain regulations (Chapter 27 CDC).*

**Staff Finding 22:** No proposed changes to the existing foundation with this application. This criterion does not apply.

*20. Lighting. Residential lighting shall be shielded to prevent glare and compatible with the architectural character of the building. Blinking, flashing, or moving lighting is not permitted.*

**Staff Finding 23:** The applicant proposes to add lighting in the front and rear of the home. The lights will be downlights located on the porch ceiling. On the east side elevation, the applicant proposes 1-2 wall sconces to provide shielded light for the patio. All exterior lighting will be compatible with the architectural character of the home. This criterion is met.

*B. Standards for accessory structures. The following standards apply to accessory structures on properties designated as historic resources in addition to the regulations in Chapter 34 CDC:*

*1. All accessory structures.*

...

**Staff Finding 24:** No accessory structures are proposed with this application. These criteria do not apply.

*2. Conversions and additions. Existing detached, unheated structures including, but not limited to, workshops and garages, may be converted into other allowable accessory uses under the following conditions:*

- a. The structure is located behind the house's front building line;*

- b. *A structure in the front yard cannot be converted to a heated accessory structure;*
- c. *A story may be added to an existing non-contributing garage or similar accessory structure; provided, that the final design meets the setback standards of this chapter for a two story accessory structure (see CDC 25.070(C)(1) through (4)) for the historic district, or the setbacks in Chapter 34 CDC for a historic landmark; and*
- d. *The conversion of an existing structure is not required to meet the design standards in CDC 34.030, but it must conform to all applicable requirements of this chapter. (Ord. 1614 § 6, 2013)*

**Staff Finding 25: This property does not have any unheated, detached accessory structures. This criterion does not apply.**

**25.070 ADDITIONAL STANDARDS APPLICABLE TO HISTORIC DISTRICTS**

*This section provides additional standards that are applicable to properties within a historic district.*

**A. Standards for alterations and additions.**

- 1. *Compatibility with nearby context. Alterations and additions shall be:*
  - a. *Compatible in scale and mass to adjacent properties; and*
  - b. *Constructed such that they maintain the privacy of the residents of adjacent properties through window placement, orientation or landscaping.*

**Staff Finding 27: See Staff Findings 8 through 10 and Applicant’s narrative page 10 titled ‘4. Supplemental Materials: Vicinity Map’. This criterion is met.**

- 2. *Not in period buildings. Alterations to compatible, not in period buildings shall follow all applicable standards of this chapter to avoid creating a false sense of history.*
- 3. *Not in period noncompatible buildings. Alterations to not in period, noncompatible buildings shall be consistent with applicable standards in CDC 25.060 and 25.070. Such buildings do not contribute to the historic value of the district and are not subject to standards pertaining to siding, windows, and other materials listed in CDC 25.060(A); however, such buildings shall not be so stylistically different from adjacent buildings that they detract from the district’s historic character.*

**Staff Finding 28: The existing home is a noncontributing structure in the Historic District. The applicant has proposed changes to make this home more stylistically consistent with neighboring homes of the District. This criterion is met.**

- B. *Standards for new construction. The standards in this section apply only to new construction in a historic district beyond alterations and additions, including new accessory structures. These standards shall apply in addition to any other applicable standards (see the Standards Applicability Matrix in CDC 25.020).*

1. *New construction shall complement and support the district. The historic district's defining characteristics include a discernible aesthetic rhythm of massing, scale, and siting. Infill buildings shall not deviate in a detracting manner from these elements, but appear as complementary members of the district, by conforming to the following:*
  - a. *Lot or parcel size, massing, scale, proportion, form, siting, floor area ratio, window patterns, building divisions, and height shall correspond to the contributing buildings within the district, and any specific historic district standards and the applicable requirements of the underlying zone.*
  - b. *Infill buildings shall relate to and strengthen the defining characteristics, including architectural style, without replicating the historic buildings. Buildings shall differentiate by use of materials, mechanical systems, construction methods, and, if applicable, signage. Architectural style shall not be the primary indicator of differentiation.*
  - c. *Mechanical and automobile infrastructure must be appropriately concealed when not consistent with the district's character.*
2. *Reconstruction. Reconstruction of buildings that existed within the district during the period of significance is allowed. Reconstructions shall be done in accordance with the Secretary of the Interior's Standards for Reconstruction.*
3. *Archaeological resources shall be preserved in place or mitigated. When new construction must disturb archaeological resources, mitigation measures shall be carried out consistent with applicable state and federal laws. As appropriate, information yielded from archaeological mitigation shall be interpreted in the new building or site.*

**Staff Finding 29: This property has an existing noncontributing home which will remain on the property. The standards above are not applicable.**

*C. Willamette Historic District general design standards. This subsection applies only to alterations and additions, new construction, and accessory structure construction of residential and historically residential properties in the Willamette Historic District. Other buildings are subject to the requirements in Chapter 58 CDC. Dimensional and other requirements of the underlying zone, as applicable, shall apply.*

1. *Front yard setback.*
  - a. *The front yard setback shall equal the average of the front setbacks of adjacent homes on the block face. For corner lots, the setback shall be the average between the adjacent house to the side and 20 feet. The setback shall be the distance measured from the front property line to the dominant vertical face of the building, exclusive of any porches or front landings.*
  - b. *Unenclosed porches with no living space above may encroach into the front yard setback six feet from the dominant vertical face of the building.*

**Staff Finding 30: The existing home with the proposed new front porch still meet the requirements for the R-5 zone (20' front yard setback). These criteria are met.**

2. *Side yard setback. Side yard setbacks shall be five feet, except:*
  - a. *Bays, porches and chimneys and other projections that are cumulatively no more than 20 percent of the overall respective building wall length may intrude 18 inches into the side yard setback; and*
  - b. *One story accessory structures may be sited within three feet of the side property line and two story accessory structures shall be a minimum of 15 feet from the side property line.*

**Staff Finding 31: No proposed changes to the existing side setbacks. The proposed additions are in the rear and front. These criteria are met.**

3. *Side street setback. Setbacks from side streets shall be 10 feet for both developed and undeveloped streets, except:*
  - a. *Bays, porches and chimneys and other projections may intrude two feet into side street yard setback; and*
  - b. *One and two story accessory structures may be sited within five feet of the side street property line.*

**Staff Finding 32: This standard is not applicable.**

4. *Rear yard setback. The rear yard setback shall be a minimum of 20 feet, except for accessory structures, which may be sited to within three feet of the rear property lines.*

**Staff Finding 33: The proposed rear addition to the home meets the 20 foot setback. This criterion is met.**

5. *Orientation. New home construction on corner lots shall be oriented the same direction as the majority of homes on the street with the longest block frontage.*

**Staff Finding 34: This standard is not applicable.**

6. *New lot configuration. In addition to other requirements of the CDC, all new lots in the historic district shall be perpendicular to the street and extend directly from the lot line along the street to the opposite lot line. The primary structure and any other contributing structures on the original property shall not be located on separate lots.*

**Staff Finding 35: This standard is not applicable.**

7. *Building height.*
  - a. *Residential structures are limited to 28 feet in height. Cupolas and towers shall not exceed 50 feet in height.*
  - b. *One story accessory structures shall not exceed a height of 15 feet. For the purposes of this chapter, any one story accessory structure over 15 feet is considered a two story structure.*
  - c. *Two story accessory structures shall not exceed the maximum height of 23 feet as measured per Chapter 41 CDC.*
  - d. *Accessory structures shall not exceed the height of the primary dwelling.*

**Staff Finding 36:** The existing home is single-story and the ridgeline is approximately 18' above the lowest adjacent grade. No proposed accessory structures with this application. These criteria are met.

8. *Building shapes and sizes. No building shall exceed 35 feet in overall width. Front facade gables shall not exceed 28 feet in overall width.*

**Staff Finding 37:** The proposal does not impact the home's width or front façade width. The existing home is less than 23' wide. This criterion is met.

9. *Roof pitch. Roofs shall have a pitch of at least 6:12.*

**Staff Finding 38:** The existing roof is approximately a 6:12 pitch and the new additions to the front (porch) and rear will maintain the same pitch. This criterion is met.

10. *Garage access and parking areas.*

- a. *Garages shall be accessed from an alley, if present. No garage door may face or have access onto a street except when alley access is not available.*
- b. *Parking areas.*
  - 1) *No residential lot shall be converted solely to parking use.*
  - 2) *No rear yard area shall be converted solely to parking use.*
  - 3) *When a lot is adjacent to an alley, all parking access shall be from the alley. (Ord. 1614 § 6, 2013; Ord. 1636 § 23, 2014)*

**Staff Finding 39:** There is no proposed garage with this application. The applicant is proposing to add a 14' gravel drive aisle in the rear of the lot. This driveway will be accessed from the alley and covers less than 1/3<sup>rd</sup> of the lot. These criteria are met.

#### **25.080 MODIFICATIONS TO DESIGN STANDARDS**

*This section provides for deviation from site development standards in this chapter to enable flexibility and innovation consistent with the purposes of this chapter while ensuring that the features that historic designations are intended to preserve are maintained.*

A. *Applicability. The provisions of Chapter 75 CDC, Variance, shall not apply to the standards in this chapter.*

B. *Assessment of modification. When an applicant proposes an alternative to the standards of this chapter the approval authority shall grant a modification when:*

1. *Historical records. The applicant demonstrates by review of historical records or photographs that the proposed alternative is consistent with and appropriate to the architecture in the historic district, or is appropriate to the applicable style of architecture;*

2. *Consistency. The resulting development of the proposal would be consistent with the intent of the standards for which the modification is requested, as determined by the approval authority;*
3. *Negative impacts. Negative impacts to adjacent homes and/or a historic district will be minimized. These include, but are not limited to, loss of solar access, light, or air to an adjacent structure, and scale or mass that visually overwhelm or are not deferential to an adjacent landmark or contributing structure; and*
4. *Exceptional architecture. The proposal incorporates exceptional and appropriate architectural elements into the building. (Ord. 1614 § 6, 2013)*

**Staff Finding 40: No modifications to code criteria are proposed with this application. These criteria is not applicable.**



**HRB-1**

**AFFIDAVIT OF NOTICE**

We, the undersigned do hereby certify that, in the interest of the party (parties) initiating a proposed land use, the following took place on the dates indicated below:

**GENERAL**

File No. DR-17-06 Applicant's Name Ann Scheverell  
Development Name \_\_\_\_\_  
Scheduled Meeting/Decision Date 6/20/17

**NOTICE:** Notices were sent at least 20 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check below)

**TYPE A** \_\_\_\_\_

- A. The applicant (date) \_\_\_\_\_ (signed) \_\_\_\_\_
- B. Affected property owners (date) \_\_\_\_\_ (signed) \_\_\_\_\_
- C. School District/ Board (date) \_\_\_\_\_ (signed) \_\_\_\_\_
- D. Other affected gov't. agencies (date) \_\_\_\_\_ (signed) \_\_\_\_\_
- E. Affected neighborhood assns. (date) \_\_\_\_\_ (signed) \_\_\_\_\_
- F. All parties to an appeal or review (date) \_\_\_\_\_ (signed) \_\_\_\_\_

At least 10 days prior to the scheduled hearing or meeting, notice was published/ posted:

Tidings (published date) \_\_\_\_\_ (signed) \_\_\_\_\_  
City's website (posted date) \_\_\_\_\_ (signed) \_\_\_\_\_

**SIGN**

At least 10 days prior to the scheduled hearing, meeting or decision date, a sign was posted on the property per Section 99.080 of the Community Development Code.

(date) 6/8/17 (signed) Jenit Arnold

**NOTICE:** Notices were sent at least 14 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check below)

**TYPE B**

- A. The applicant (date) 6/6/17 (signed) JA
- B. Affected property owners (date) 6/6/17 (signed) JA
- C. School District/ Board (date) \_\_\_\_\_ (signed) \_\_\_\_\_
- D. Other affected gov't. agencies (date) \_\_\_\_\_ (signed) \_\_\_\_\_
- E. Affected neighborhood assns. (date) 6/6/17 (signed) JA

Notice was posted on the City's website at least 10 days prior to the scheduled hearing or meeting.  
Date: 6/7/17 (signed) JA

**STAFF REPORT** mailed to applicant, City Council/Planning Commission and any other applicable parties 10 days prior to the scheduled hearing.

(date) 6/8/17 (signed) Jenit Arnold

**FINAL DECISION** notice mailed to applicant, all other parties with standing, and, if zone change, the County surveyor's office.

(date) \_\_\_\_\_ (signed) \_\_\_\_\_

**HRB-2**

CITY OF WEST LINN  
HISTORIC REVIEW BOARD  
PUBLIC HEARING NOTICE  
FILE NO. DR-17-06

**\*Corrected\***

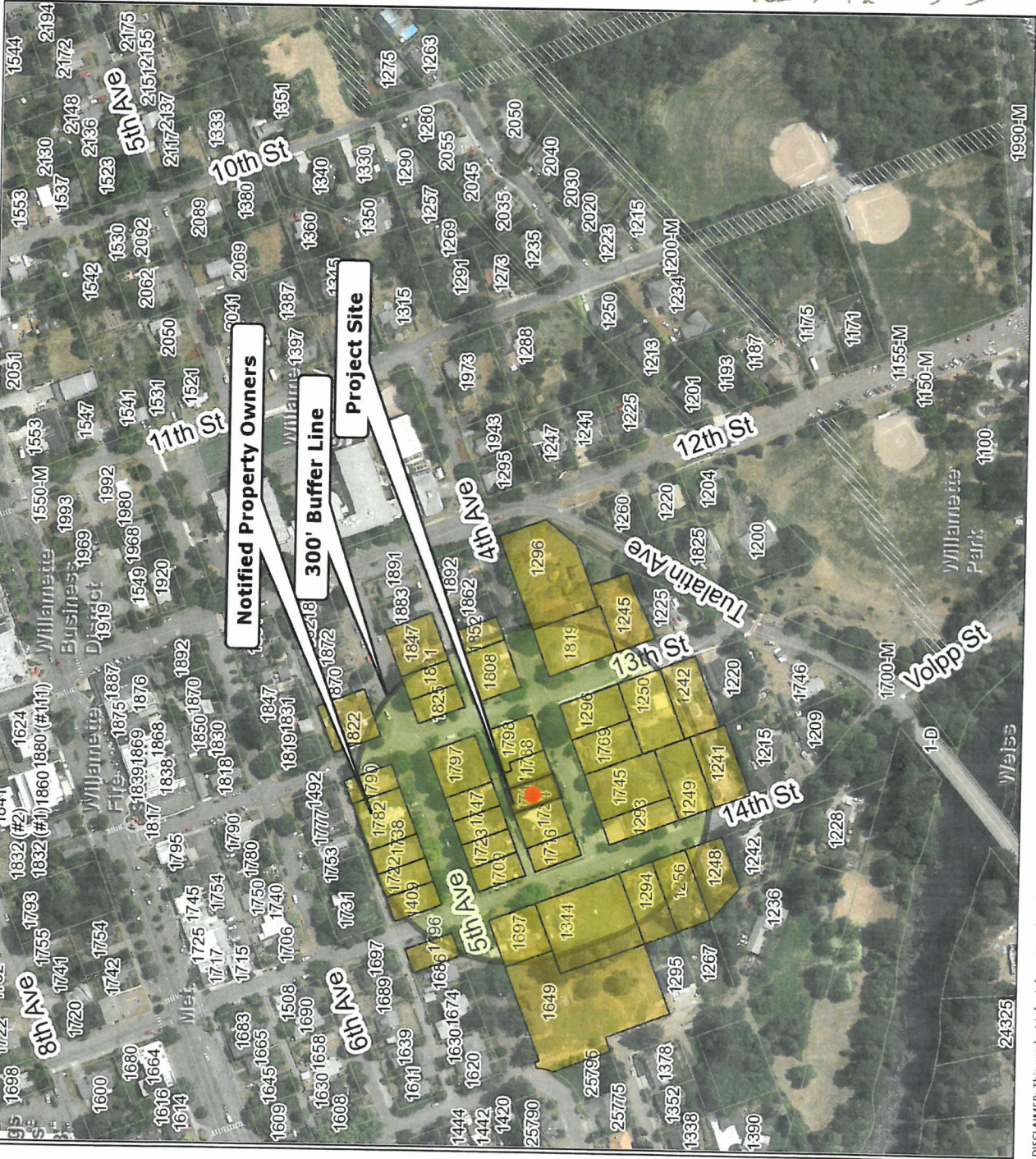
The City of West Linn Historic Review Board (HRB) will hold a public hearing on **Tuesday, June 20, 2017, at 7:00 p.m.** in the Council Chambers at City Hall, 22500 Salamo Road, West Linn. The HRB will review an application to **add a front porch and rear addition to an existing, noncontributing home in the Historic District. The applicant also proposes to replace the doors, window, and roof at 1744 4<sup>th</sup> Ave.** in the Willamette Historic District. See the attached map.

The hearing will be based upon the provisions of Chapters 13, 25, and 99 of the West Linn Community Development Code (CDC). Approval or disapproval of the request by the HRB will be based solely upon these criteria. At the hearing, it is important that comments relate specifically to the applicable criteria listed.

You have received this notice because County records indicate that you own property within 300 feet of the affected site on Clackamas County Assessor's Map 31E02BD, Tax Lot 1300, or as otherwise required by Chapter 99 of the CDC.

All documents and applicable criteria for DR-17-06 are available for inspection, at no cost, in the Planning Department at City Hall or via the City's web site at <https://westlinnoregon.gov/planning/1744-4th-avenue-class-ii-historic-design-review-remodel>. Copies can also be obtained for a minimal charge per page. At least 10 days prior to the hearing, a copy of the staff report will be available for inspection. For further information, please contact Jennifer Arnold, Associate Planner, at City Hall, 22500 Salamo Road, West Linn, OR, (503) 724-6057, or [jarnold@westlinnoregon.gov](mailto:jarnold@westlinnoregon.gov).

The hearing will be conducted in accordance with the rules of Section 99.170 of the CDC. Anyone wishing to present written testimony on this proposed action may do so in writing prior to, or at the public hearing. Oral testimony may be presented at the public hearing. At the public hearing, the HRB will receive a staff presentation, and invite both oral and written testimony. The HRB may continue the public hearing to another meeting to obtain additional information, leave the record open for additional evidence, arguments, or testimony, or close the public hearing and take action on the application as provided by state law. Failure to raise an issue in person or by letter at some point prior to the close of the hearing, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes an appeal to the Land Use Board of Appeals (LUBA) based on that issue.



Scale 1:3 600 - 1 in = 300 ft  
Scale is based on 8-1/2 x 11 paper size



Map created by: JARNOLD  
Date Created: 05-Jun-17 11:58 AM

DISCLAIMER: This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information. Map scale is approximate. Source: West Linn GIS (Geographic Information System) MapOutput.



CITY OF

West Linn

**CITY OF WEST LINN  
NOTICE OF UPCOMING  
HISTORIC REVIEW BOARD MEETING**

**PROJECT # DR-17-06  
MAIL: 6/7/17 TIDINGS: N/A**

**CITIZEN CONTACT INFORMATION**

To lessen the bulk of agenda packets, land use application notice, and to address the worries of some City residents about testimony contact information and online application packets containing their names and addresses as a reflection of the mailing notice area, this sheet substitutes for the photocopy of the testimony forms and/or mailing labels. A copy is available upon request.

**HRB-3**

# Oregon Historic Site Record

LOCATION AND PROPERTY NAME			
<b>address:</b>	1744 4th Ave West Linn, Clackamas County	<b>historic name:</b>	
<b>assoc addresses:</b>		<b>current/other names:</b>	
<b>location descr:</b>		<b>block/lot/tax lot:</b>	
		<b>twshp/mng/sect/qtr sect:</b>	3S 1E 2
PROPERTY CHARACTERISTICS			
<b>resource type:</b>	Building	<b>height (stories):</b>	1.0
<b>elig evaluation:</b>	not eligible/non-contributing	<b>total elig resources:</b>	0
<b>prim constr date:</b>	c.1895	<b>NR Status:</b>	Listed in Historic District
		<b>total inelig resources:</b>	1
		<b>date indiv listed:</b>	
<b>primary orig use:</b>	Single Dwelling	<b>orig use comments:</b>	
<b>second orig use:</b>			
<b>primary style:</b>	Bungalow (Type)	<b>prim style comments:</b>	
<b>secondary style:</b>		<b>sec style comments:</b>	
<b>primary siding:</b>	Vinyl Siding	<b>siding comments:</b>	
<b>secondary siding:</b>			
<b>plan type:</b>	Bungalow	<b>architect:</b>	
		<b>builder:</b>	
<b>comments/notes:</b>			
early settlers brought this home up from river			
GROUPINGS / ASSOCIATIONS			
<b>Survey/Grouping Included In:</b>		<b>Type of Grouping</b>	<b>Date Listed</b>
West Linn Survey- Willamette Conservation District		Survey & Inventory Project	<b>Date Compiled</b>
West Linn, Willamette Falls Neighborhood, RLS 2008		Survey & Inventory Project	2006
Willamette Historic District		Listed Historic District	2008
			09/24/2009
			2008
SHPO INFORMATION FOR THIS PROPERTY			
<b>NR date listed:</b>	N/A	<b>106 Project(s):</b>	None
<b>ILS survey date:</b>		<b>Special Assess</b>	None
<b>RLS survey date:</b>	03/17/2006	<b>Project(s):</b>	None
		<b>Federal Tax</b>	None
		<b>Project(s):</b>	None
ARCHITECTURAL / PROPERTY DESCRIPTION			
<i>(Includes expanded description of the building/property, setting, significant landscape features, outbuildings and alterations)</i>			
Refer to scanned documents links.			
HISTORY			
<i>(Chronological, descriptive history of the property from its construction through at least the historic period - preferably to the present)</i>			
Refer to scanned documents links.			
RESEARCH INFORMATION			
Title Records	Census Records	Property Tax Records	Local Histories
Sanborn Maps	Biographical Sources	SHPO Files	Interviews
Obituaries	Newspapers	State Archives	Historic Photographs
City Directories	Building Permits	State Library	
<b>Local Library:</b>		<b>University Library:</b>	
<b>Historical Society:</b>		<b>Other Respository:</b>	
<b>Bibliography:</b>			



**HRB-4**



City of  
West Linn

June 2, 2017

Ann Scheuerell  
2537 Lancaster Street  
West Linn, OR 97068

SUBJECT: DR-17-06 application for Class II Historic Design Review, for modifications to an existing home in the Historic District at 1744 4<sup>th</sup> Ave.

Dear Ann:

You submitted this application with all required information on June 1, 2017. The Planning Department found that this application is **complete**. The city has 120 days to exhaust all local review; that period ends October 2, 2017.

Please be aware that a determination of a complete application does not guarantee a recommendation of approval from staff for your proposal as submitted – it signals that staff believes you have provided the necessary information for the Historic Review Board to render a decision on your proposal.

A 14-day public notice will be prepared and mailed. The notice will identify the earliest possible Hearing date by the Historic Review Board.

Please contact me at 503-742-6057, or by email at [jarnold@westlinnoregon.gov](mailto:jarnold@westlinnoregon.gov) if you have any questions or comments.

Sincerely,

Jennifer Arnold  
Associate Planner

**HRB-5**

# 4th AVE RESIDENCE REMODEL & ADDITION

1744 4th AVE, WEST LINN

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## HISTORIC DESIGN REVIEW SUBMITTAL

2017-6/01

### PROJECT INFORMATION

COUNTY: Clackamas  
PROPERTY ID: C146553

ZONE: R-5

OVERLAY: Willamette Historic District

STATUS: Noncontributing Property

EXISTING BLDG AREA: 899 SF

PROPOSED NEW LIVING AREA: 364 SF

PROPOSED NEW PORCH AREA: 224 SF

TOTAL PROPOSED LIVING AREA (899+364): 1,263 SF

TOTAL PROPOSED ROOF AREA: 1,710 SF

LOT SIZE: 4,999SF

PERCENT COVERED AREA: 34%

### OWNER

Ann M Scheuerell  
Derek J Scheuerell  
2537 Lancaster Street  
West Linn, Oregon 97068  
503-778-0902

### DESIGN CONTACT

Ann M Scheuerell  
2537 Lancaster Street  
West Linn, Oregon 97068  
503-778-0902

### PROJECT DESCRIPTION

Remodel and addition to existing one-story single family residence. Scope of work includes the following:

- Master bedroom addition with back porch
- New front porch
- New windows at existing openings and taller windows at existing openings
- Relocated exterior doors, new side door
- New finishes

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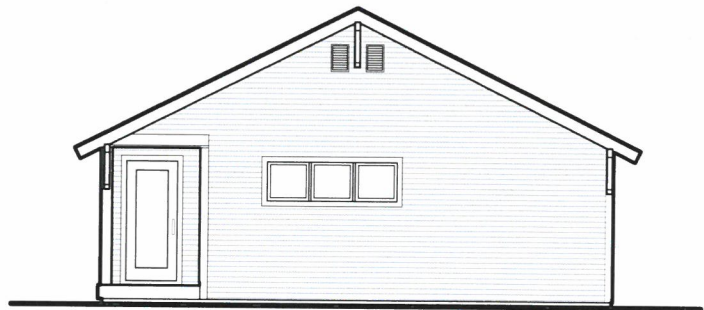
### SUBMITTAL INDEX

1. PROPOSED ELEVATIONS - Drawings of Proposed elevations and exterior color palette.
2. NARRATIVE - Written Narrative Explaining the proposal and how it meets the approval criteria in CDC 25-060 and 25.070, as applicable.
3. PHOTOGRAPHS - Photographic summary of existing conditions. Historic photographs were not available.
4. SUPPLEMENTAL MATERIALS - Vicinity Map with property lines and adjacent structure summary. Aerial and street view images of neighboring homes with summary.
5. ARCHITECTURAL DRAWINGS - Existing and proposed plan and elevation drawings of home, including proposed site plan.

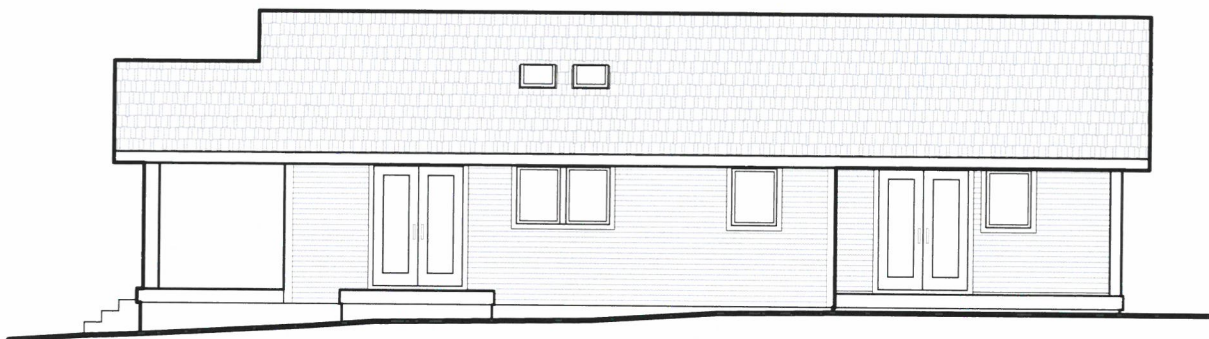
1. PROPOSED ELEVATIONS



PROPOSED FRONT ELEVATION - SOUTH  
1/8" = 1'-0"



PROPOSED REAR ELEVATION - NORTH  
3/32" = 1'-0"

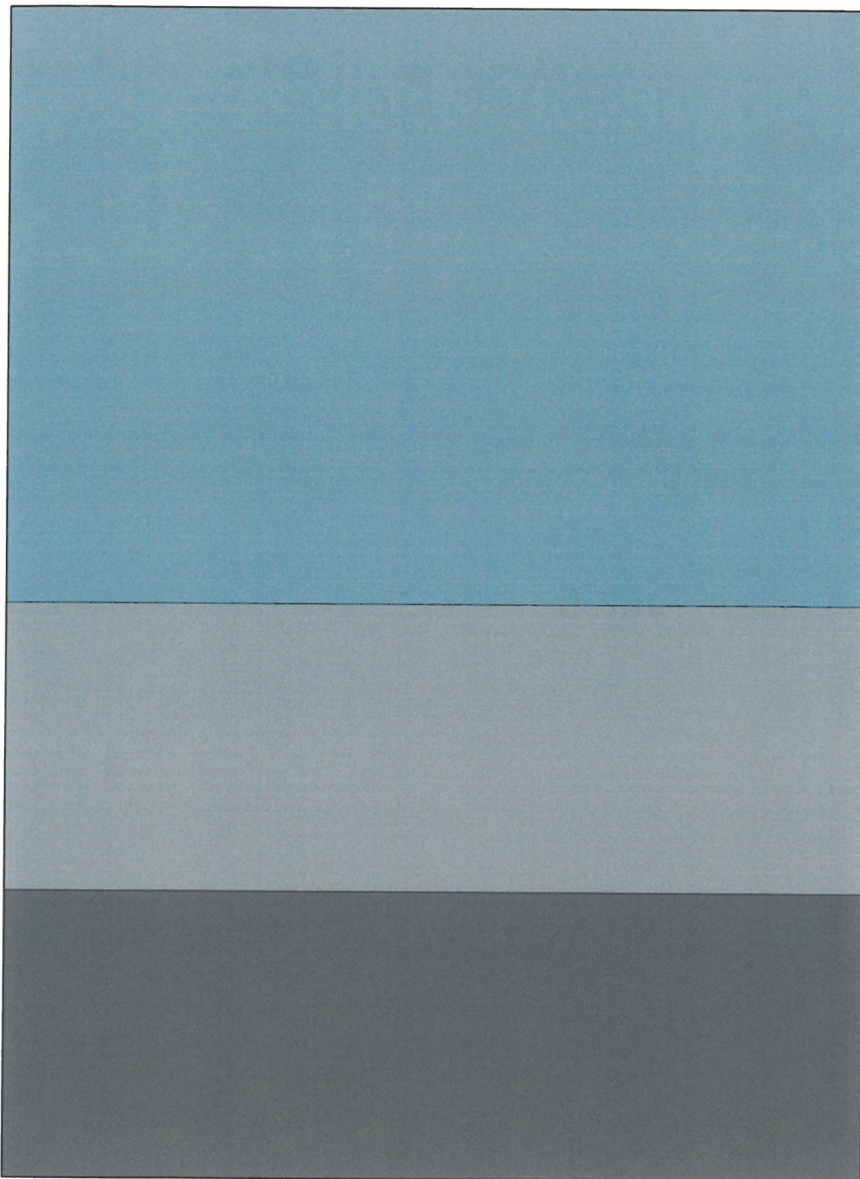


PROPOSED SIDE ELEVATION - EAST  
3/32" = 1'-0"



PROPOSED SIDE ELEVATION - WEST  
3/32" = 1'-0"

1. PROPOSED COLOR PALETTE



**LIGHT MEDIUM BLUE**  
Main Body of House

**MEDIUM WARM GREY**  
Typical Trim Color

**DARK WARM GREY**  
Windows and Doors

## 2. PROJECT NARRATIVE

## 25.060 DESIGN STANDARDS APPLICABLE TO HISTORIC RESOURCES

The following design standards apply to all changes, including alterations, additions, and new construction proposed on a designated historic resource. These standards are intended to preserve the features that made the resources eligible for historic designation. Development must comply with all applicable standards, or be approved through the modifications process specified in CDC [25.080](#).

A. Standards for alterations and additions. This section applies to historic reviews for alteration of and additions to designated historic resources:

1. Retention of original construction. The original construction shall be maintained or restored to the greatest extent practicable. Stylistic features of original construction that shall be preserved include, but are not limited to: a line of columns, decorative shingles, projecting bays, other primary structural elements, spatial relationships that characterize the property, examples of skilled craftsmanship that characterize the building, and architectural details defining the structure's character and historic significance.

- Original form of home to remain. Existing width of home to remain. Existing building height and roof slope to be maintained. The front elevation, as viewed from 4<sup>th</sup> Avenue will have the same volume relative to the site and street.
- Proposed revision to the front elevation is to increase the height of the two existing small windows, to move the front door over slightly to accommodate a new front porch. New front porch to be of similar craftsman/bungalow-type styling as many other homes in the neighborhood.
- Existing mix of ribbed cementitious shingles, vertical siding, and T1-11 siding are not original to the structure. New siding to be horizontal lap siding in keeping with many of the homes in the neighborhood and with the time period in which the home was built.

2. Retention of historic material. Removal or alteration of historic materials and features shall be avoided during the construction of new additions or exterior alterations. Whenever possible, deteriorated materials and architectural features shall be repaired rather than replaced. In the event replacement of an existing feature is necessary, new materials shall, to the extent possible, match those of the original building in terms of composition, design, color, texture, and other visual features.

- As noted above, existing mix of exterior siding does not appear to be original.
- Existing concrete steps is also not believed to be original. New front porch will bury these steps, but maintain them in place, so that if future owners choose to use them, they are there.
- New work will also include replacement of existing knee braces (in disrepair) at roof eaves with new wood braces of simple craftsman styling.



3. Time period consistency. Buildings shall be recognizable as a physical record of their time and place. Alterations which have no historical basis or which seek to create a false sense of historical development are not allowed.

- The original architecture of the home will remain recognizable. New work is intended to echo architecture in the area around 1929 when the home was built, but not imitate it or replicate it. Much care has been taken in the design to ensure the scale and craftsman/bungalow feel of the home are not disrupted.
- The existing paint color of the home (glossy bright lime green) was not selected from an historically appropriate color palette. The new selected paint color for the home (light medium blue) is compatible with the neighborhood and homes from this period.

4. Significance over time. Changes to a property that have acquired historic significance in their own right, and during the period of significance, shall be retained and preserved.

- Because the home is non-contributing, it does not appear that any of the work on the home has acquired historic significance. Rather, we believe that the new work on this home will bring it in to greater harmony with the neighborhood.

5. Differentiate old from new. Alterations and additions shall be differentiated from the original buildings and shall be compatible with the historic materials, features, size, scale, proportion, and massing to protect the integrity of the property.

- The new porch and addition will be compatible with local historic materials and features, and with the existing home's size, scale, proportion, and massing.
- The new porch does not extend across the full length of the front elevation and has a lower ridgeline than the main body of the house.
- The addition at the back of the house maintains the existing roof line of the existing structure and does not extend to the side of the home, thereby maintaining the relatively large existing side yard. The rear addition will only be visible from the alley.

6. Reversibility. Additions and alterations shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its context would be unimpaired.

- The basic form of the home will remain. So, if someone wanted to remove the front porch and rear addition, the existing basic original structure of the home could be restored.

7. Building additions. Building additions shall be subordinate to the original building, smaller in scale, and attached to the rear or set back along the side. Features of building additions, including the proportions of window and door openings, shall be consistent with those of the existing building. Dimensional and other requirements in the underlying zone, as applicable, shall apply.

- As noted in #5, the front porch is subordinate to the main house and the addition is located entirely at the rear of the structure.
- The location, size, and height of the addition and front porch meet the requirements of the R5 zone and Willamette Historic District.

8. Building height and roof pitch. Existing or historic building heights and roof pitch shall be maintained.

- Existing building height and slope to remain. New front porch to have same roof pitch as existing structure. Rear addition to continue existing roof at same height and pitch.

9. Roof materials. Replacement of a roof or installation of a new roof with materials other than cedar shingles, three tab asphalt shingles, or architectural composition shingles must be demonstrated, using photographic or other evidence, to be in character with those of the original roof, or with materials that are consistent with the original construction.

- Existing roofing to be replaced with new architectural composition shingles.

10. Existing exterior walls and siding. Replacement of the finish materials of existing walls and siding with different material must be demonstrated, using photographic or other evidence, to be in character with those of the original materials, or with materials that are consistent with the original construction.

- Existing mix of ribbed cementitious shingles, vertical siding, and T1-11 siding are not original to the structure. New siding to be horizontal lap siding in keeping with many of the nearby homes and with the time period in which the home was built.

11. New exterior walls and siding. Wood siding or shingles shall be used unless the applicant demonstrates that an alternative material has a texture and finish typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.

- New siding to be horizontal lap siding in keeping with many of the homes in the neighborhood and with the time period in which the home was built. New horizontal lap siding to be either cedar lap or smooth finish fiber cement lap siding.

12. Gutters and downspouts. Replacement or new gutters and downspouts shall be rectangular, ogee, or K-shaped and comprised of wood or metal material, or styles and materials that match those that were typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials and styles that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.

- New gutters and downspouts to be prefinished sheet metal, K-shaped.

13. New windows. New windows shall match the appearance of the original windows as closely as possible. Wood window frames and sashes shall be used unless the applicant demonstrates that the non-wood windows are consistent with their wooden counterparts, including profile and proportion of the sash, sill, trim, light patterns, glass color, and profile of mullions and muntins. The window trim and sill shall match the original trim.

- Existing windows are a mix of vinyl and old wood of varied operation and condition, some with storm windows installed. New windows to be prefinished wood clad. Color of

window cladding is selected from historic color palette. Wood clad windows are consistent stylistically with windows of this period.

- Existing trim is not believed to be original to the house. New trim to be 2x4 painted wood, which is in keeping with homes of this period.

14. Storm windows. Storm windows shall be made of painted wood, baked enamel, anodized aluminum, or another material that is consistent with the color, detail, and proportions of the building.

- No storm windows are proposed.

15. Window replacement. Replacement of windows or window sashes shall be consistent with the original historic appearance, including the profile of the sash, sill, trim, window plane relative to the building wall plane, light pattern, glass color, profile of mullions and muntins, and color.

- Existing windows are a mix of vinyl and old wood of varied operation and condition, some with storm windows installed. New windows to be prefinished wood clad. Color of window cladding is selected from historic color palette. Wood clad windows are consistent stylistically with windows of this period.
- At the front rooms, windows are proposed to be enlarged due to the existing windows' exceptionally small size and low head height.
- The existing ganged pair of double hung windows located at the current master bedroom and kitchen are the basis of design for the majority of the new windows at the home. Where double hung windows are not appropriate, window type is primarily casement.

16. Doors. Doors shall be painted or stained wood, fiberglass clad, or metal clad, or another material that is consistent with the original historic appearance.

- New doors to be wood clad or painted wood.
- A new French door is to be located at the side elevation, where there is currently no access to the side yard. The side yard is planned to be the primary outdoor seating and dining area.

17. Porches. Front porches are allowed on new construction. No front porch shall be added to a structure if there was not one originally. Existing front porches shall not be enclosed or enlarged. Alterations to existing front porches and side yard porches that face a street shall:

- a. Maintain the shape, width, and spacing of the original columns; and
  - b. Maintain the height, detail, and spacing of the original balustrade.
- Since the house is a non-contributing structure, it is our understanding that the proposed new front porch is an acceptable addition. The new porch is subordinate to the primary structure and maintains the existing roof slope. It will coordinate stylistically and have the same materials and detailing as the primary structure.
  - The new front porch is located within the front and side setbacks.
  - Because the current structure sets approximately 32' from the front property line, it is relatively far from street activity and largely hidden from view. The new front porch will provide greater connectivity between the house and the street.

18. Decks. Decks shall be located in rear yard or the portion of the side yard behind the front 50 percent of the primary structure.

- No deck is proposed as part of the work.

19. Foundations. Repair or construction of a foundation that results in raising or lowering the building elevation must demonstrate that:

- No change in foundation height is proposed as part of the work.

20. Lighting. Residential lighting shall be shielded to prevent glare and compatible with the architectural character of the building. Blinking, flashing, or moving lighting is not permitted.

- New exterior lighting at front and rear of home to be downlights located at the porch ceilings. At the side of the home, 1-2 wall sconces will provide shielded light for the patio. All exterior lighting to be compatible with the architectural character of the home.

B. Standards for accessory structures. The following standards apply to accessory structures on properties designated as historic resources in addition to the regulations in Chapter 34 CDC:

- No accessory structures are proposed as part of the work.

## **25.070 ADDITIONAL STANDARDS APPLICABLE TO HISTORIC DISTRICTS**

This section provides additional standards that are applicable to properties within a historic district.

A. Standards for alterations and additions.

1. Compatibility with nearby context. Alterations and additions shall be:

- a. Compatible in scale and mass to adjacent properties; and
- The front porch and rear addition are compatible in scale and mass to the adjacent properties. With the additional square footage, the home will remain among the smaller homes in the area.
- b. Constructed such that they maintain the privacy of the residents of adjacent properties through window placement, orientation or landscaping.
- The new addition is located at the rear of the home and is not visible from the street. The addition is oriented primarily toward the large sideyard at the east side of the home. The addition maintains the privacy of the of the residents of the adjacent properties on both sides.

2. Not in period buildings. Alterations to compatible, not in period buildings shall follow all applicable standards of this chapter to avoid creating a false sense of history.

- The home is a non-contributing structure. Alterations to the building are compatible with the historic district and are intended to bring the existing home into greater alignment with existing adjacent properties that are contributing / in period without creating a false sense of history.

3. Not in period noncompatible buildings. Alterations to not in period, noncompatible buildings shall be consistent with applicable standards in CDC [25.060](#) and [25.070](#). Such buildings do not contribute to the historic value of the district and are not subject to standards pertaining to siding, windows, and other materials listed in CDC [25.060\(A\)](#); however, such buildings shall not be so stylistically different from adjacent buildings that they detract from the district's historic character.

- The home is a non-contributing structure. Alterations to the building are compatible with the historic district and are intended to bring the existing home into greater alignment with existing adjacent properties that are contributing / in period without creating a false sense of history.

B. Standards for new construction. The standards in this section apply only to new construction in a historic district beyond alterations and additions, including new accessory structures. These standards shall apply in addition to any other applicable standards (see the Standards Applicability Matrix in CDC [25.020](#)).

- This home is existing. Standard does not apply to this project.

C. Willamette Historic District general design standards. This subsection applies only to alterations and additions, new construction, and accessory structure construction of residential and historically residential properties in the Willamette Historic District. Other buildings are subject to the requirements in Chapter [58](#) CDC. Dimensional and other requirements of the underlying zone, as applicable, shall apply.

1. Front yard setback.

a. The front yard setback shall equal the average of the front setbacks of adjacent homes on the block face. For corner lots, the setback shall be the average between the adjacent house to the side and 20 feet. The setback shall be the distance measured from the front property line to the dominant vertical face of the building, exclusive of any porches or front landings.

- The existing home and new front porch set within the 20' front setback.

b. Unenclosed porches with no living space above may encroach into the front yard setback six feet from the dominant vertical face of the building.

- The existing home and new front porch set within the 20' front setback.

2. Side yard setback. Side yard setbacks shall be five feet, except:
  - a. Bays, porches and chimneys and other projections that are cumulatively no more than 20 percent of the overall respective building wall length may intrude 18 inches into the side yard setback; and
  - b. One story accessory structures may be sited within three feet of the side property line and two story accessory structures shall be a minimum of 15 feet from the side property line.
    - On the east side, the existing home and proposed addition set within the 5' side setback.
    - On the west side, the existing home is 3' from the property line. The addition aligns with the existing structure and maintains the home's current relationship to the property line.
    - There are no bays, chimneys, or other projections from the house, excepting the existing roof eaves.
3. Side street setback. Setbacks from side streets shall be 10 feet for both developed and undeveloped streets, except:
  - The property does not sit on a side street.
4. Rear yard setback. The rear yard setback shall be a minimum of 20 feet, except for accessory structures, which may be sited to within three feet of the rear property lines.
  - The existing home and new front porch set within the 20' rear setback.
5. Orientation. New home construction on corner lots shall be oriented the same direction as the majority of homes on the street with the longest block frontage.
  - The property does not sit on a corner lot.
6. New lot configuration. In addition to other requirements of the CDC, all new lots in the historic district shall be perpendicular to the street and extend directly from the lot line along the street to the opposite lot line. The primary structure and any other contributing structures on the original property shall not be located on separate lots.
  - The property and residence are existing.
7. Building height.
  - a. Residential structures are limited to 28 feet in height. Cupolas and towers shall not exceed 50 feet in height.
    - The existing home is single level. Its ridgeline is approximately 18'-0" above the lowest adjacent grade.

- b. One story accessory structures shall not exceed a height of 15 feet. For the purposes of this chapter, any one story accessory structure over 15 feet is considered a two story structure.
  - No accessory structure is proposed.
  - c. Two story accessory structures shall not exceed the maximum height of 23 feet as measured per Chapter 41 CDC.
  - d. Accessory structures shall not exceed the height of the primary dwelling.
8. Building shapes and sizes. No building shall exceed 35 feet in overall width. Front facade gables shall not exceed 28 feet in overall width.
- The existing home is less than 23' in overall width.
9. Roof pitch. Roofs shall have a pitch of at least 6:12.
- The existing roof pitch is approximately 6:12. The existing roof pitch will be maintained in the new work.
10. Garage access and parking areas.
- a. Garages shall be accessed from an alley, if present. No garage door may face or have access onto a street except when alley access is not available.
  - No Garage is proposed.
  - b. Parking areas.
    - 1) No residential lot shall be converted solely to parking use.
  - Parking area is constrained to an approximate 14' gravel drive aisle at the rear of the lot.
    - 2) No rear yard area shall be converted solely to parking use.
  - Parking area is less than a third of the width of the rear property line.
    - 3) When a lot is adjacent to an alley, all parking access shall be from the alley. (Ord. 1614 § 6, 2013; Ord. 1636 § 23, 2014)
  - Parking access is located off the alley.

3. PHOTOGRAPHS: Existing Home, Front Elevation



**FRONT ELEVATION - SOUTH**  
Street View From Sidewalk



**FRONT ELEVATION - SOUTH**  
Looking Toward East Side Yard



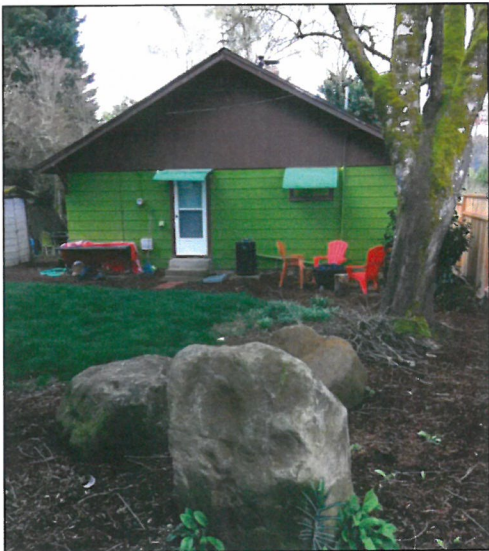
**FRONT ELEVATION - SOUTH**  
Detail of Concrete Steps



3. PHOTOGRAPHS: Existing Home, Rear Elevation



**REAR ELEVATION - NORTH**  
View From Alley



**REAR ELEVATION - NORTH**  
View From Alley Along West Fenceline



**REAR ELEVATION - NORTH**  
View From Alley with East Side Yard Beyond

3. PHOTOGRAPHS: Existing Home, Side Elevations

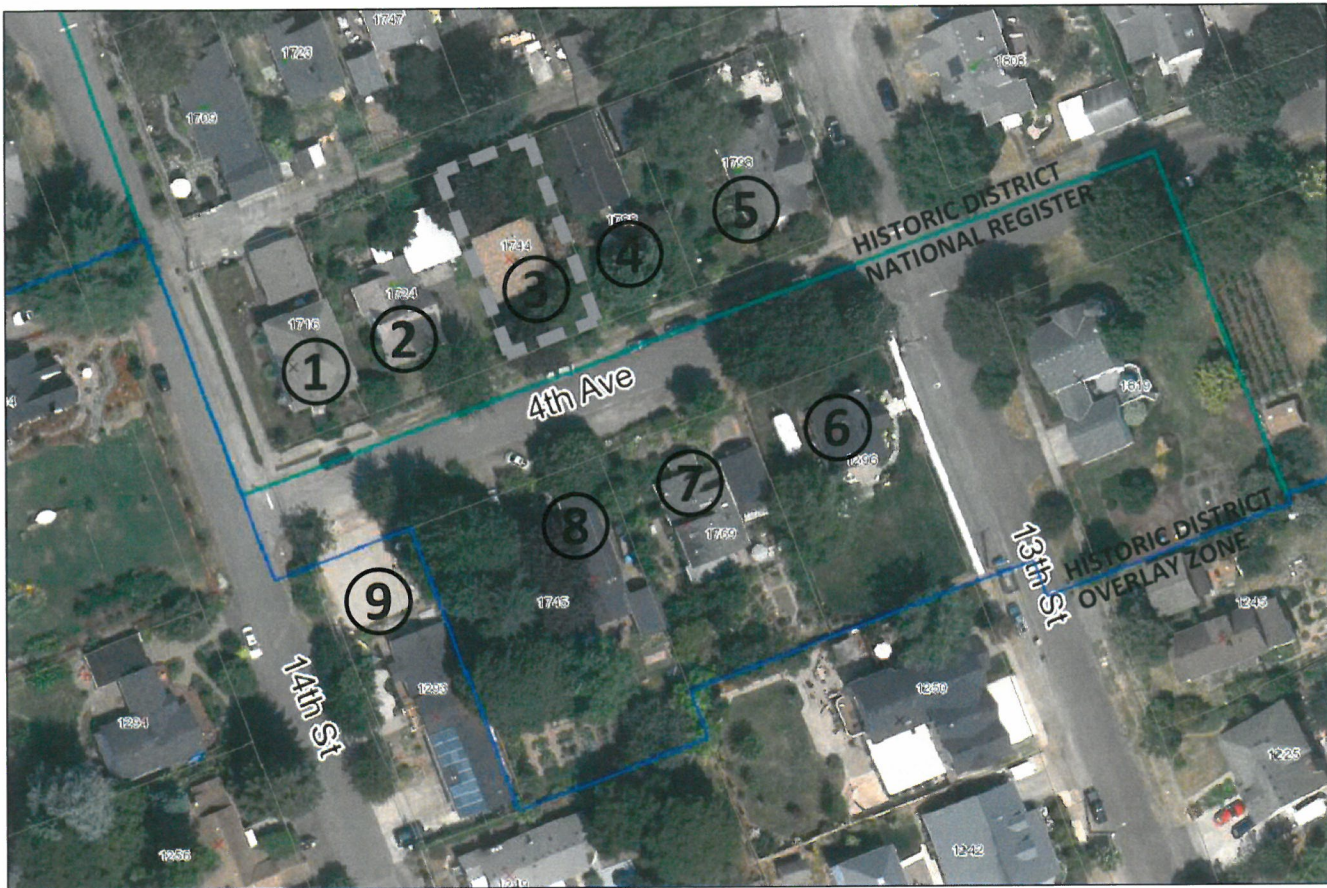


**SIDE ELEVATION - EAST**  
View with Side Yard



**SIDE ELEVATION - WEST**  
View Along West Fenceline

4. SUPPLEMENTAL MATERIALS: Vicinity Map



IMMEDIATE NEIGHBORHOOD - HOME SURVEY

- |  |   |
|--|---|
| <p>① <b>1716 4th AVENUE</b><br/>                 STATUS: Not In Period<br/>                 YEAR BUILT: 2008<br/>                 STORIES / AREA: 2 Stories / 2,360sf</p> <p>② <b>1724 4th AVENUE</b><br/>                 STATUS: Eligible Contributing<br/>                 YEAR BUILT: 1910<br/>                 STORIES / AREA: 2 Stories / 1,826sf</p> <p>③ <b>1744 4th AVENUE - SUBJECT PROPERTY</b><br/>                 STATUS: Non-Contributing<br/>                 YEAR BUILT: 1924<br/>                 EXISTING STORIES / AREA: 1 Story / 899sf<br/>                 PROPOSED STORIES / AREA: 1 Story / 1,263sf</p> <p>④ <b>1788 4th AVENUE</b><br/>                 STATUS: Not In Period<br/>                 YEAR BUILT: 1934<br/>                 STORIES / AREA: 1 Story / 884sf</p> | <p>⑤ <b>1798 4th AVENUE</b><br/>                 STATUS: Eligible Contributing<br/>                 YEAR BUILT: 1900<br/>                 STORIES / AREA: 2 Stories / 3,600sf</p> <p>⑥ <b>1296 13th STREET</b><br/>                 STATUS: Non-Contributing<br/>                 YEAR BUILT: 1927<br/>                 STORIES / AREA: 2,140sf</p> <p>⑦ <b>1769 4th AVENUE</b><br/>                 STATUS: Non-Contributing<br/>                 YEAR BUILT: 1915<br/>                 STORIES / AREA: 2 Stories / 1,893sf</p> <p>⑧ <b>1745 4th AVENUE</b><br/>                 STATUS: Non-Contributing<br/>                 YEAR BUILT: 1924<br/>                 STORIES / AREA: 2 Stories / 2,010sf</p> <p>⑨ <b>1293 14th STREET</b><br/>                 STATUS: Non-Contributing<br/>                 YEAR BUILT: 1920<br/>                 STORIES / AREA: 2 Stories / 2,102sf</p> |
|--|---|



4. SUPPLEMENTAL MATERIALS: Existing Neighboring Home at West Property Line



**NEIGHBOR TO THE WEST AT 1724 4th AVENUE**  
View From Sidewalk Looking Northwest



**NEIGHBOR TO THE WEST**  
View from Backyard Looking Southwest  
Over Fenceline



**NEIGHBOR TO THE WEST**  
View from Backyard Looking West Over Fenceline

4. SUPPLEMENTAL MATERIALS: Existing Neighboring Home at East Property Line



**NEIGHBOR TO THE EAST AT 1788 4th AVENUE**  
View From Sidewalk Looking Northwest - Home Obscured by Foliage



**NEIGHBOR TO THE EAST**  
View from Backyard Looking East



**NEIGHBOR TO THE EAST**  
View from Backyard Looking Southeast Over Fenceline

4. SUPPLEMENTAL MATERIALS: Aerial View

SUBJECT PROPERTY



AERIAL VIEW - LOOKING SOUTHEAST

SUBJECT PROPERTY



AERIAL VIEW - LOOKING NORTHEAST

# 4th AVE RESIDENCE REMODEL & ADDITION

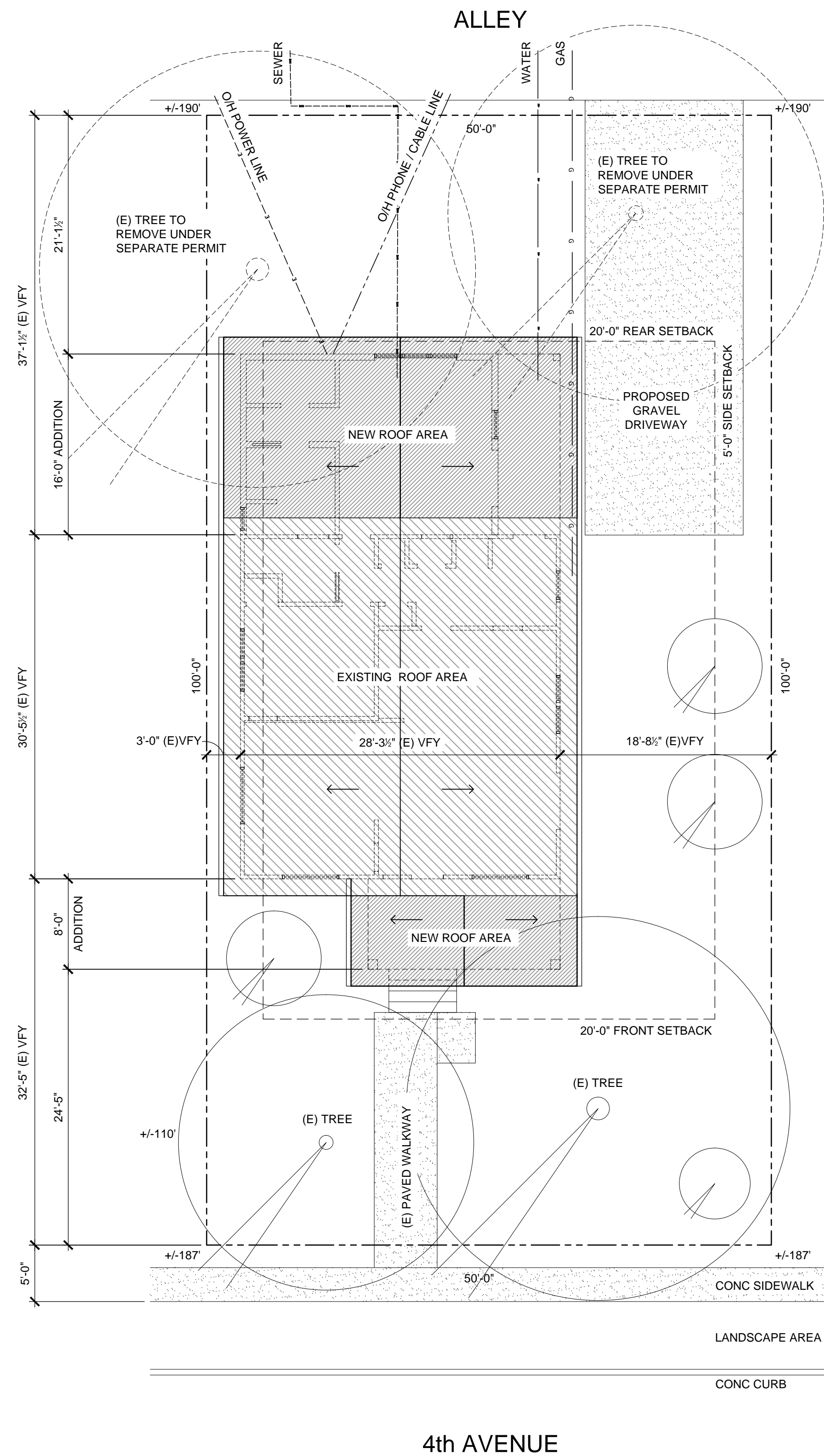
design contact:

**ANN M SCHEUERELL**  
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503-778-0992

project owner:

**ANN M SCHEUERELL**  
**DEREK J SCHEUERELL**  
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**PRELIMINARY  
NOT FOR  
CONSTRUCTION**



02. **SITE PLAN**  
SCALE: 1/8" = 1'-0"



## CONTACTS

**OWNER:**  
ANN M SCHEUERELL  
DEREK J SCHEUERELL  
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503-778-0902

**DESIGN CONTACT:**  
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503-778-0902

**CONTRACTOR:**  
TBD

## PROJECT INFORMATION

1744 4th AVENUE  
WEST LINN, OREGON 97068

COUNTY: CLACKAMAS  
TAX LOT:  
PROPERTY ID: C146553

ZONE: R-5  
OVERLAY: WILLAMETTE HISTORIC DISTRICT  
STATUS: NONCONTRIBUTING PROPERTY  
EXISTING BLDG AREA: 899 SF  
PROPOSED NEW LIVING AREA: 364 SF  
PROPOSED NEW PORCH AREA: 224 SF  
TOTAL PROPOSED LIVING AREA (899+364): 1,263 SF

TOTAL PROPOSED ROOF AREA, INCL EAVES: 1,710 SF  
LOT SIZE: 4,999SF  
PERCENT COVERED AREA: 34%

## SHEET INDEX

A0.00 - COVER SHEET / SITE PLAN  
A2.00 - DEMO PLAN, FLOOR PLAN  
A3.00 - EXISTING BUILDING ELEVATIONS  
A3.10 - PROPOSED BUILDING ELEVATIONS

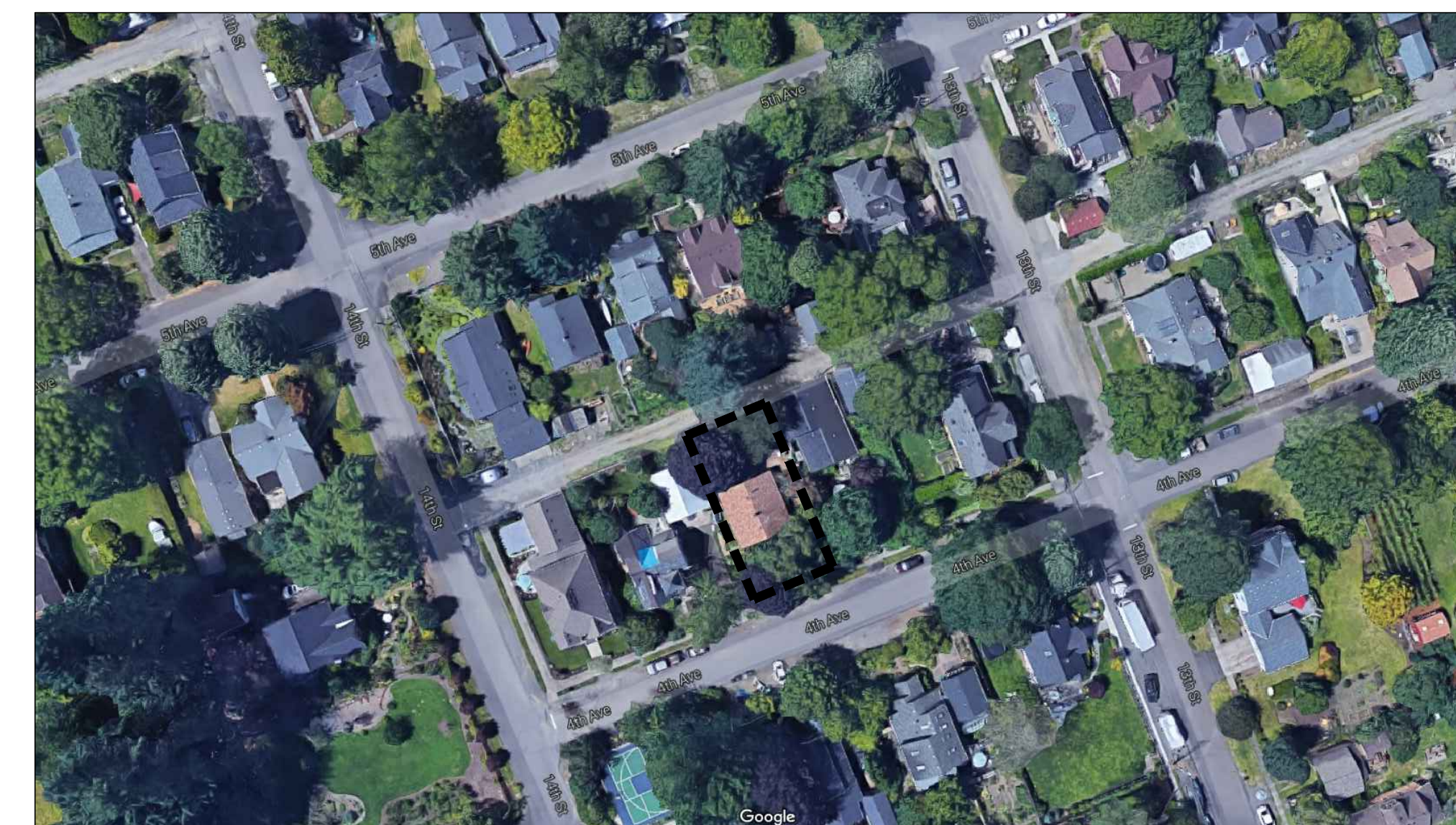
## PROJECT DESCRIPTION

REMODEL AND ADDITION TO EXISTING ONE-STORY SINGLE FAMILY RESIDENCE. SCOPE OF WORK INCLUDES THE FOLLOWING:  
- MASTER BEDROOM ADDITION WITH BACK PORCH  
- NEW FRONT PORCH  
- NEW WINDOWS AT EXISTING OPENINGS AND TALLER WINDOWS AT EXISTING OPENINGS  
- RELOCATED EXTERIOR DOORS, NEW SIDE DOOR  
- NEW FINISHES

**NOTE:**  
PLUMBING, MECHANICAL, AND ELECTRICAL WORK IS BY SEPARATE TRADE PERMITS.

## GENERAL NOTES

- ALL WORK TO COMPLY WITH THE APPLICABLE CODES. THE CONTRACTOR, ANY SUBCONTRACTOR, TRADEPERSONS NOTING DISCREPANCIES SHALL NOTIFY THE DESIGNER IMMEDIATELY UPON DISCOVERY. DOING SO SHALL NOT RELIEVE THE CONTRACTOR FROM CONFORMING TO WORK CONTAINED IN THESE DOCUMENTS.
- CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS BY STATE, CITY, COUNTY, FIRE DEPARTMENT, STATE ELECTRICAL INSPECTOR AND ANY OTHER GOVERNING AUTHORITIES AS REQUIRED.
- CONTRACTOR TO COORDINATE ALL TRADES AND NOTIFY THE DESIGNER OF ANY CONFLICTS THAT ARISE.
- SCOPE OF WORK SHALL INCLUDE WORK INDICATED AND IMPLIED BY THESE DRAWINGS.
- CONTRACTOR AND SUBCONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE, EXISTING CONDITIONS, AND THESE DRAWINGS PRIOR TO COMMENCING WORK.
- ALL CONSTRUCTION DEBRIS TO BE REMOVED OFF-SITE. ALL DEBRIS IS TO BE DISPOSED OF IN A LEGAL MANNER AT A LANDFILL OR RECYCLING FACILITY. NO DEBRIS SHALL BE DISPOSED OF IN LOCAL WASTE COLLECTION FACILITIES.
- GIVEN DIMENSIONS TAKE PRECEDENT OVER SCALE AND SHALL BE VERIFIED ON SITE. DIMENSIONS ARE TO FACE OF EXISTING FINISH, OR NEW STUD, UNLESS NOTED OTHERWISE.
- CONTRACTOR TO LOCATE EXACT LOCATIONS OF UTILITIES.
- SEE REFLECTED CEILING PLANS FOR SMOKE DETECTOR LOCATIONS.
- INSTALL ALL MATERIALS PER MANUFACTURER RECOMMENDATIONS.
- ALL SHEET METAL WORK SHALL CONFORM TO CURRENT SMACNA (SHEET METAL AND AIR CONDITIONING CONTRACTORS' NATIONAL ASSOC., INC) STANDARDS.



01. **VICINITY MAP**  
SCALE: NTS



issues & revisions:

2017-06/01 DESIGN REVIEW

COVER SHEET  
SITE PLAN

**A0.00**

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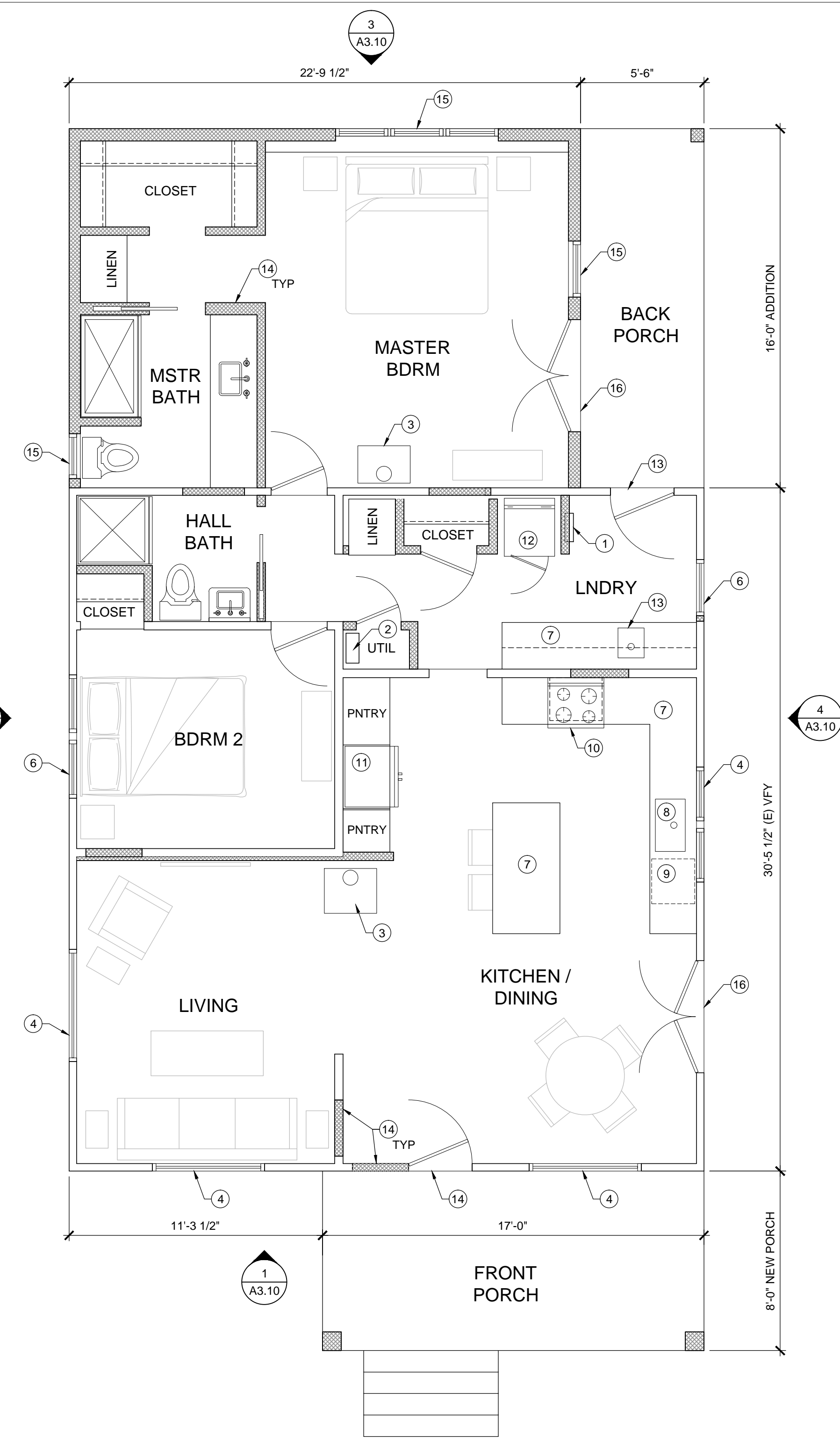
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**4th AVE RESIDENCE**  
 1744 4th AVENUE, WEST LINN, OREGON 97268

issues & revisions:  
 2017-06/01 DESIGN REVIEW

DEMO PLAN, FLOOR PLAN

**A2.00**



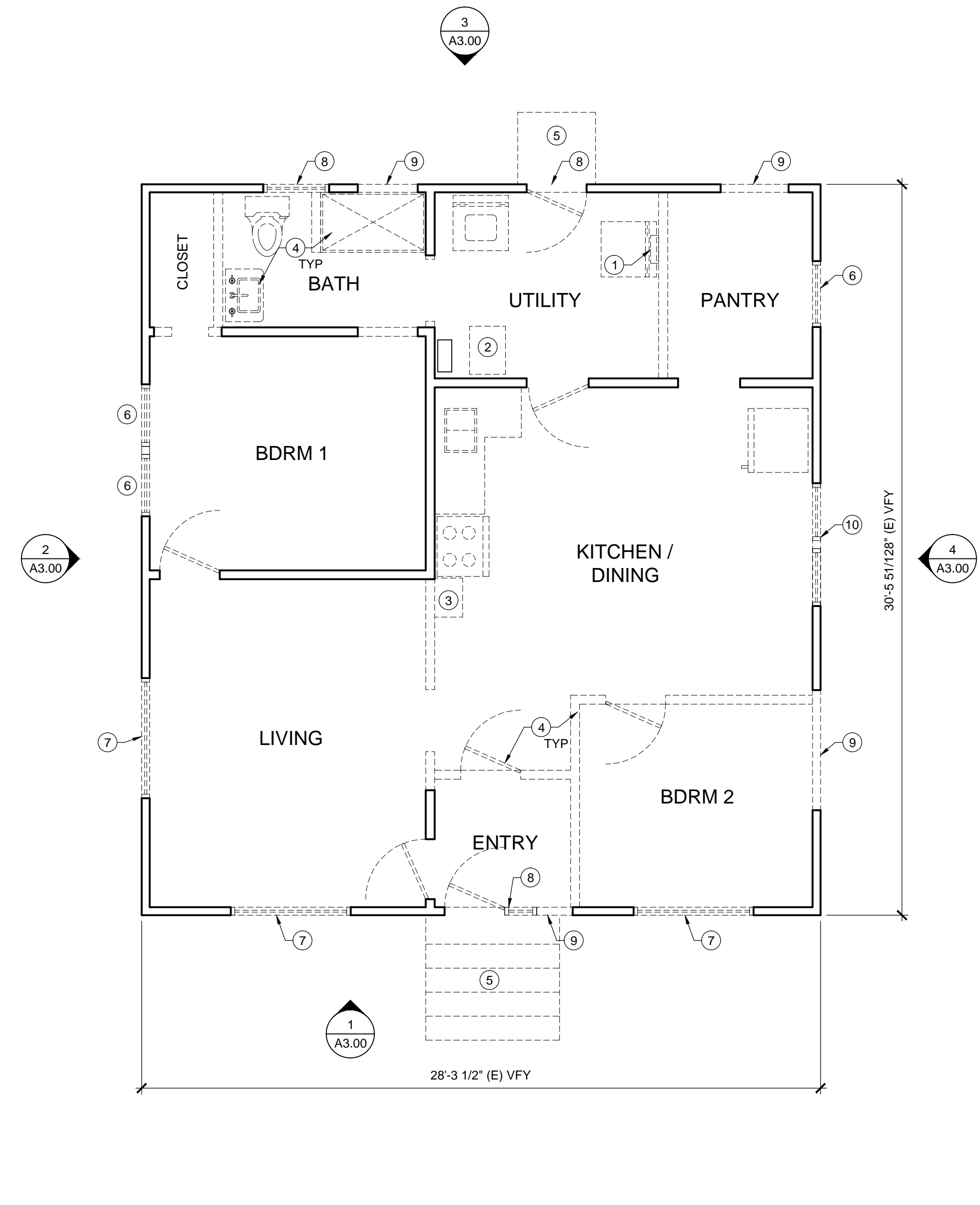
**02. FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**GEN NOTES - FLOOR PLAN:**

1. TYPICAL NEW EXTERIOR WALL TO BE: LAP SIDING OVER 1/2" PLYWOOD SHEATHING OVER DRAINWRAP WRB. OVER 2X6 AT MIN 16" O.C. FRAMING, WITH 1/2" GWB AT INTERIOR FACE, UNO; FILL CAVITY WITH R-21 BATT INSUL.
2. TYPICAL NEW INTERIOR WALL TO BE: 2X4 AT MIN 24" O.C. FRAMING, WITH 1/2" GWB EA SIDE
3. CONTRACTOR TO PROVIDE MIN ELEC OUTLETS PER CODE AT AREA OF WORK; FINAL LOCATIONS TO BE DETERMINED ON SITE; REPLACE EXISTING SWITCHES AND OUTLETS WITH WHITE DECORA STYLE, TYP AT AREA OF WORK

**KEY NOTES - FLOOR PLAN:**

1. (E) ELEC PANEL, RELOCATED
2. (E) ON DEMAN WATER HEATER
3. GAS HEATING STOVE
4. NEW WINDOW AT VERTICALLY ENLARGED OPENING
5. NEW WINDOW AT VERTICALLY REDUCED OPENING
6. NEW REPLACEMENT WINDOW AT EXISTING OPENING
7. CABINETS WITH SOLID SURFACE COUNTERS, SEE INTERIOR ELEVATIONS
8. SINK AND FAUCET, SNK-1 & FCT-1
9. DISHWASHER, DW
10. GAS RANGE WITH MICRO ABOVE, VENT TO EXTERIOR
11. REFRIGERATOR, REF-1
12. STACKING WASHER / DRYER
13. LAUNDRY SINK AND FAUCET, SNK-2 & FCT-2
14. RELOCATED FRONT DOOR OPENING, NEW DOOR
15. NEW WINDOW
16. NEW FRENCH DOORS
17. NEW DOOR
18. NEW WALL OR INFILL FRAMING, MATCH (E) ADJ FINISH, EA SIDE



**01. AS-BUILT / DEMO PLAN**  
 SCALE: 1/4" = 1'-0"

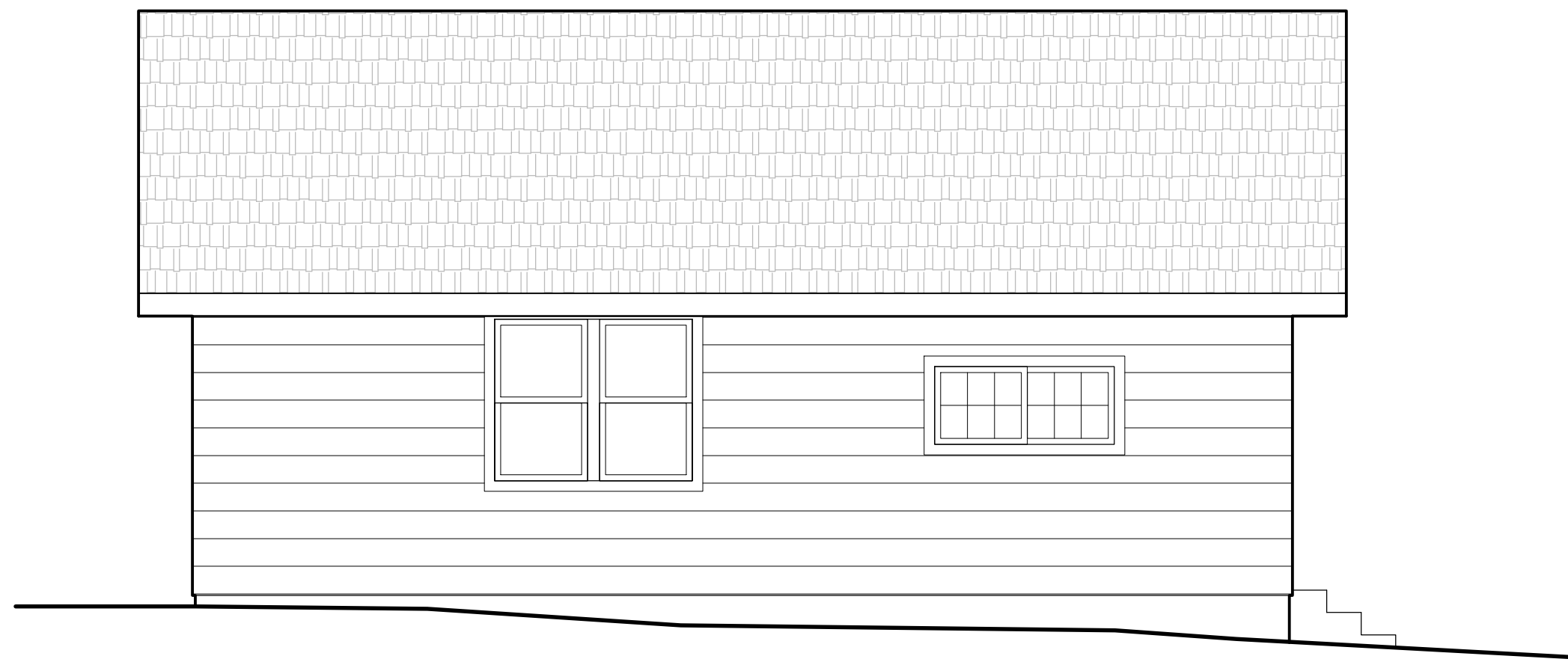
**GEN. NOTES - DEMO PLAN:**

- A. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY DESIGNER OF ALL DISCREPANCIES.
- B. CONDUCT ALL DEMOLITION WORK IN ACCORDANCE WITH OREGON AND FEDERAL OSHA RULES FOR SAFETY & PROTECTIVE GEAR.
- C. REMOVE ALL DEBRIS AND DISPOSE OF ACCORDING TO JURISDICTIONAL ORDINANCES & RECYCLE MATERIALS WHERE POSSIBLE.
- D. PROVIDE TEMPORARY SHORING AS REQUIRED TO PROTECT WALLS TO REMAIN.
- E. PROVIDE TEMPORARY BARRIERS TO ENCLOSE WORK AREA DURING DEMOLITION.
- F. REMOVE OR RECONFIGURE ALL EXISTING MECHANICAL AND PLUMBING FIXTURES, VENTS, ETC., AS REQUIRED FOR NEW WORK, UNLESS NOTED OTHERWISE. CAP EXISTING PLUMBING LINES BELOW FLOOR OR IN WALL AS REQUIRED.

**KEY NOTES - DEMO PLAN:**

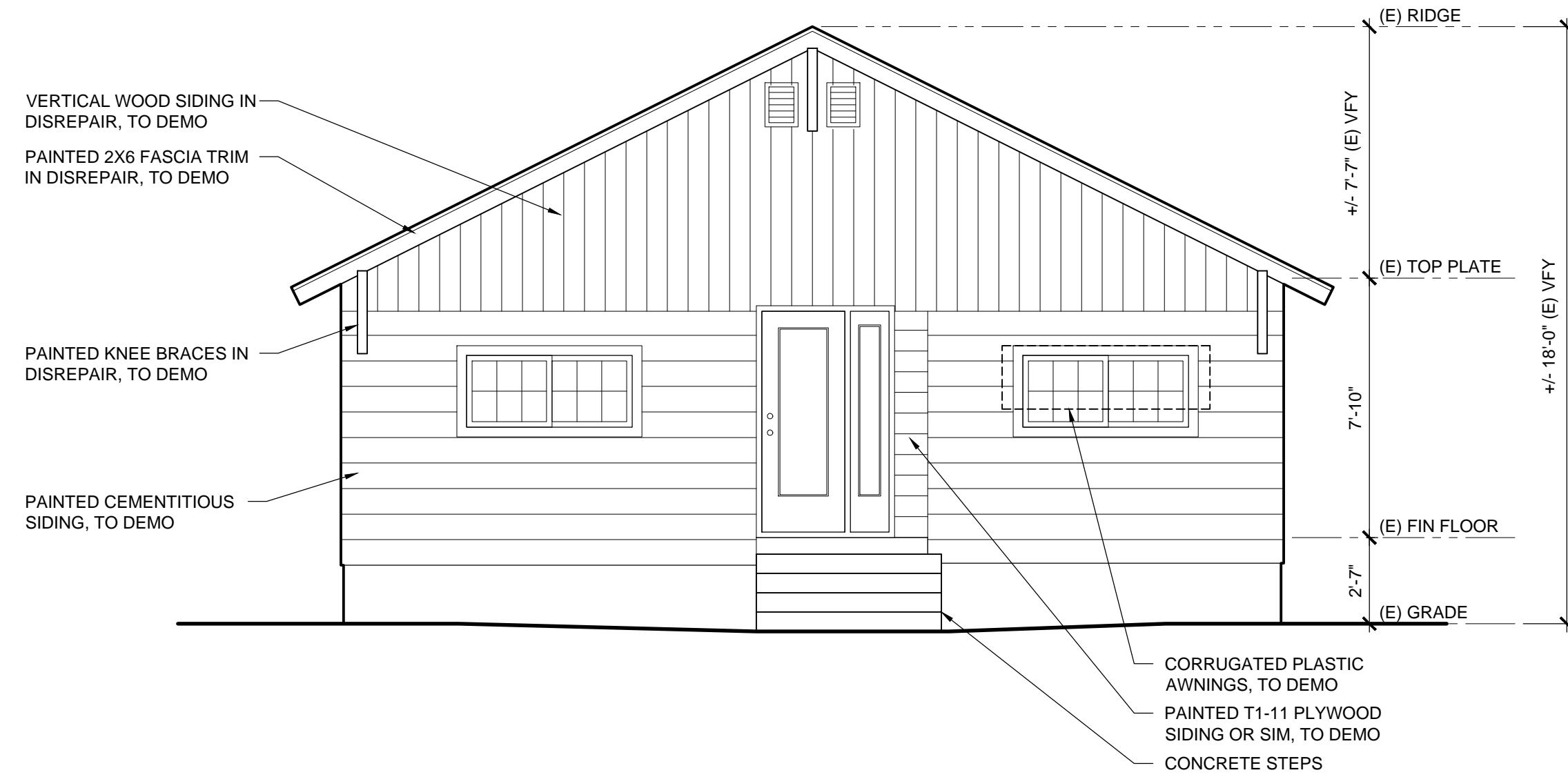
1. (E) ELEC PANEL TO RELOCATE
2. (E) FURNACE TO DEMO
3. (E) CHIMNEY TO DEMO
4. (E) WALLS, DOORS, CABINETS, APPLIANCES TO DEMO
5. (E) CONC STEPS TO ABANDON
6. (E) WINDOW TO REMOVE AND REPLACE
7. (E) WINDOW TO REMOVE, INCREASE HEAD AND SILL HEIGHT, INSTALL NEW
8. (E) WINDOW / DOOR / OPENING TO DEMO
9. (E) WALL TO DEMO FOR NEW WINDOW OR DOOR
10. (E) WINDOW TO REMOVE, REDUCE SILL HEIGHT, INSTALL NEW





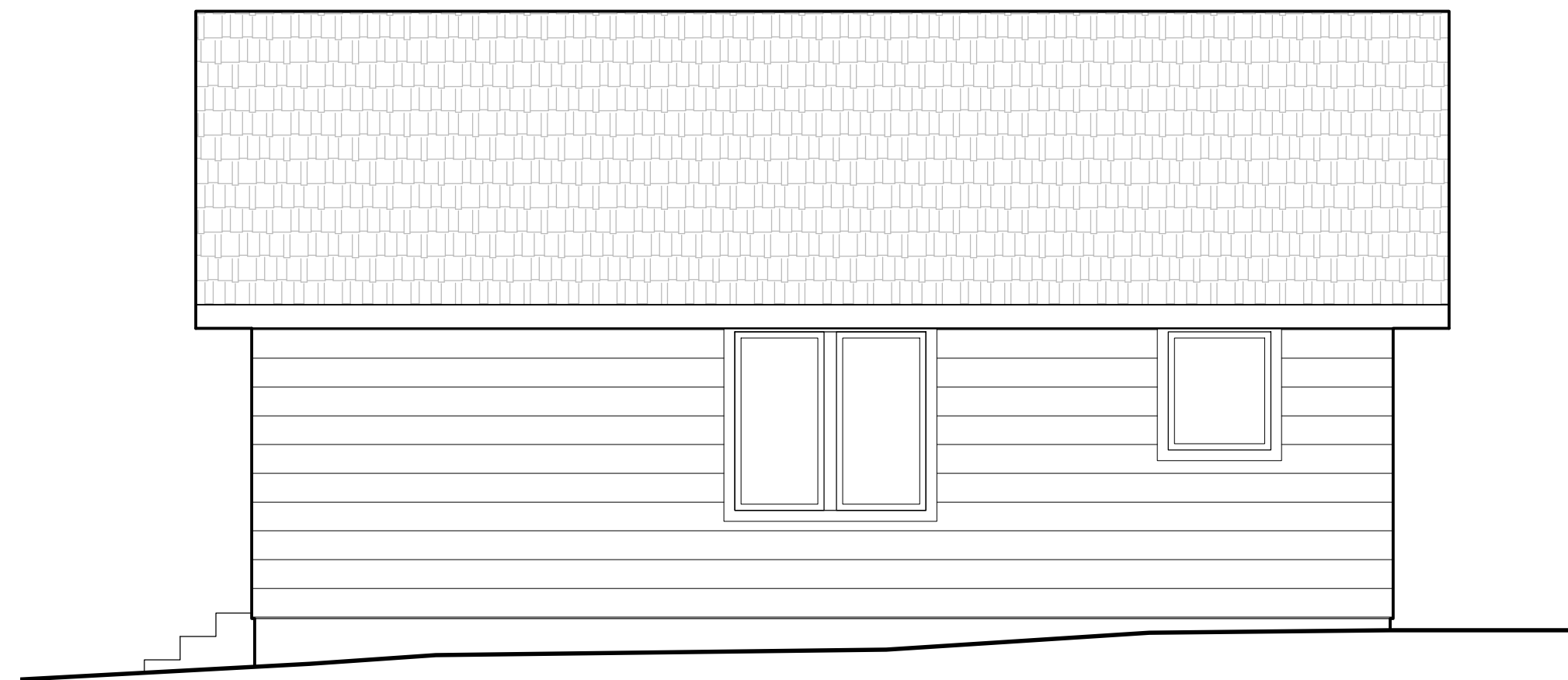
02. AS-BUILT - WEST ELEVATION

SCALE: 1/4" = 1'-0"



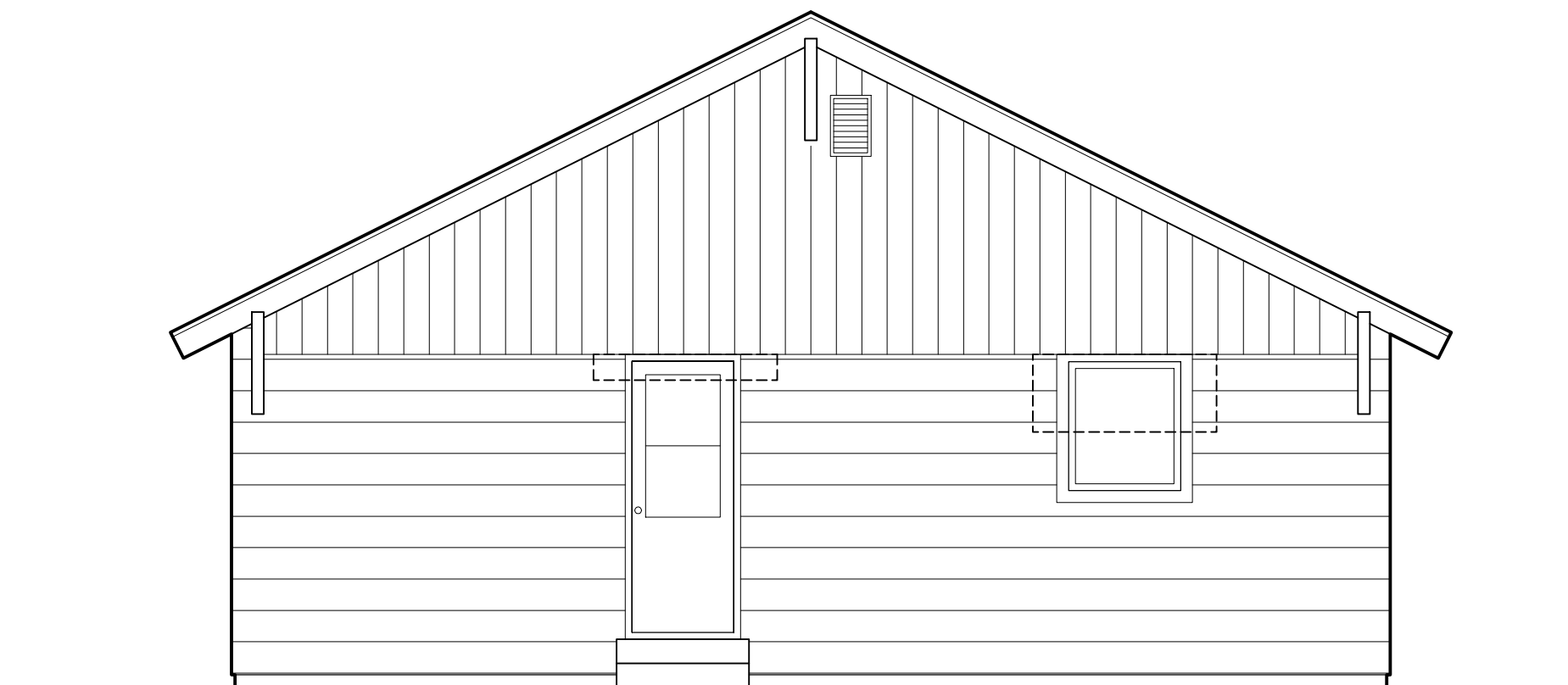
01. AS-BUILT - SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



04. AS-BUILT - EAST ELEVATION

SCALE: 1/4" = 1'-0"

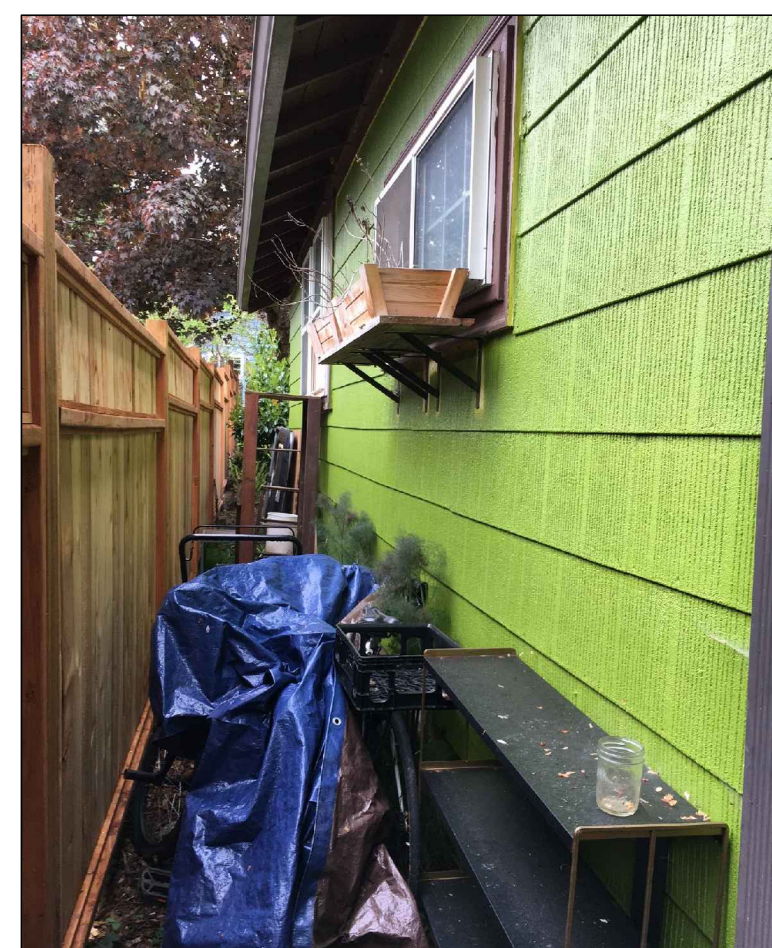


03. AS-BUILT - NORTH ELEVATION

SCALE: 1/4" = 1'-0"



08. (E) EAST ELEVATION



07. (E) WEST ELEV



06. (E) NORTH ELEVATION



05. (E) SOUTH ELEVATION

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**4th AVE RESIDENCE**  
 1744 4th AVENUE, WEST LINN, OREGON 97268

issues & revisions:  
 2017-06/01 DESIGN REVIEW  
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 \_\_\_\_\_

AS-BUILT  
 EXTERIOR ELEVATIONS

**A3.00**

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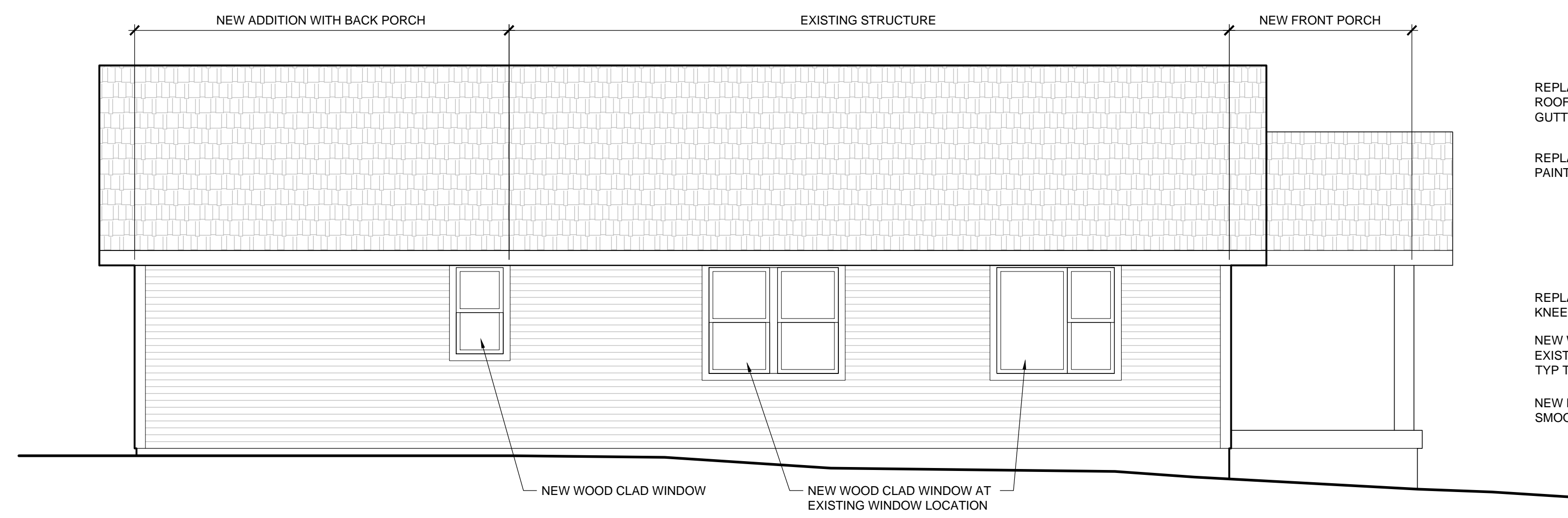
**4th AVE RESIDENCE**  
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issues & revisions:  
 2017-06/01 DESIGN REVIEW

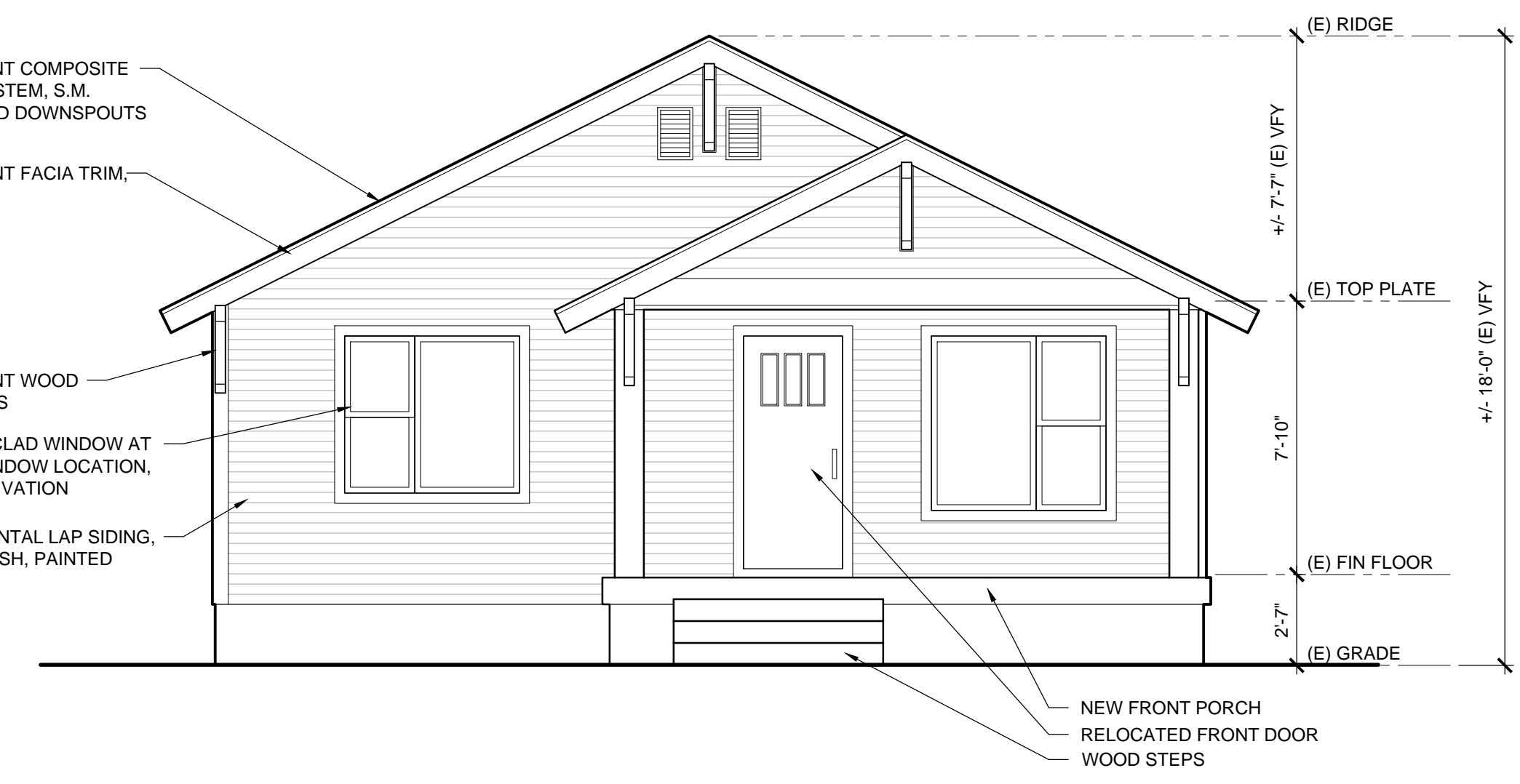
EXTERIOR ELEVATIONS

**A3.10**

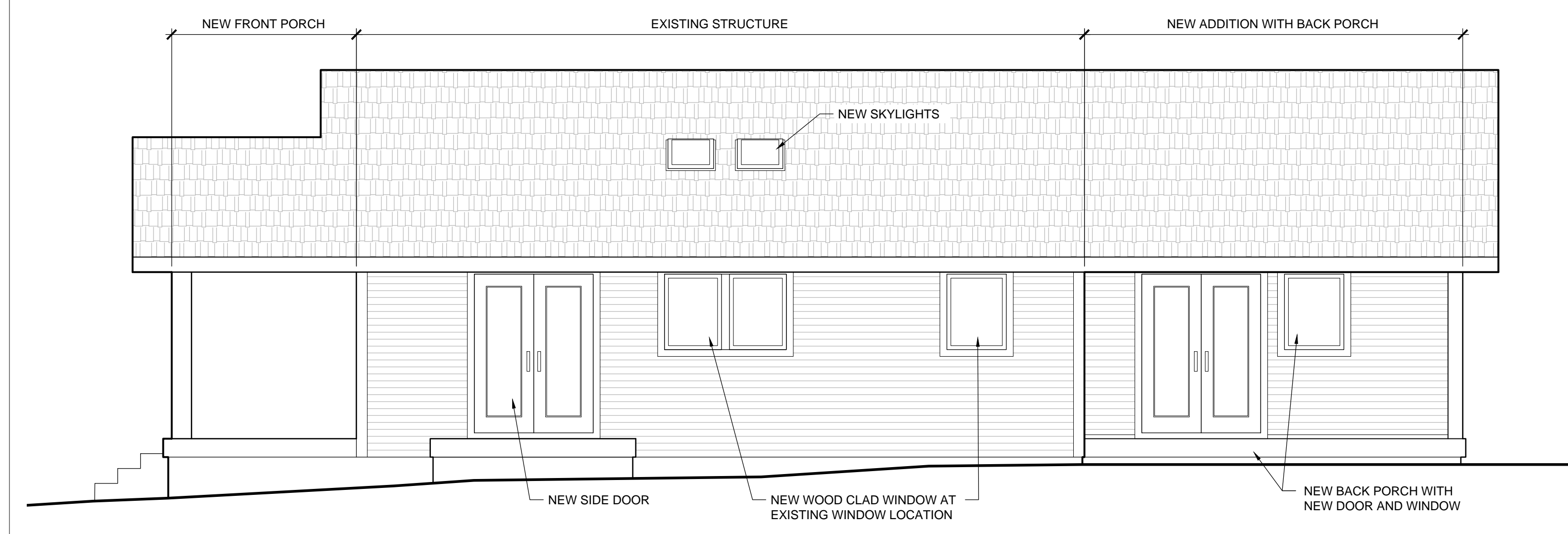
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02. **WEST ELEVATION**  
 SCALE: 1/4" = 1'-0"



01. **SOUTH ELEVATION**  
 SCALE: 1/4" = 1'-0"



04. **EAST ELEVATION**  
 SCALE: 1/4" = 1'-0"



03. **NORTH ELEVATION**  
 SCALE: 1/4" = 1'-0"