



# LAND USE PRE-APPLICATION CONFERENCE

Thursday, April 21, 2016

City Hall  
22500 Salamo Road

Willamette Conference Room

9:00 am      Proposal to install four (4) small cell panel antennas to the Walmart rooftop

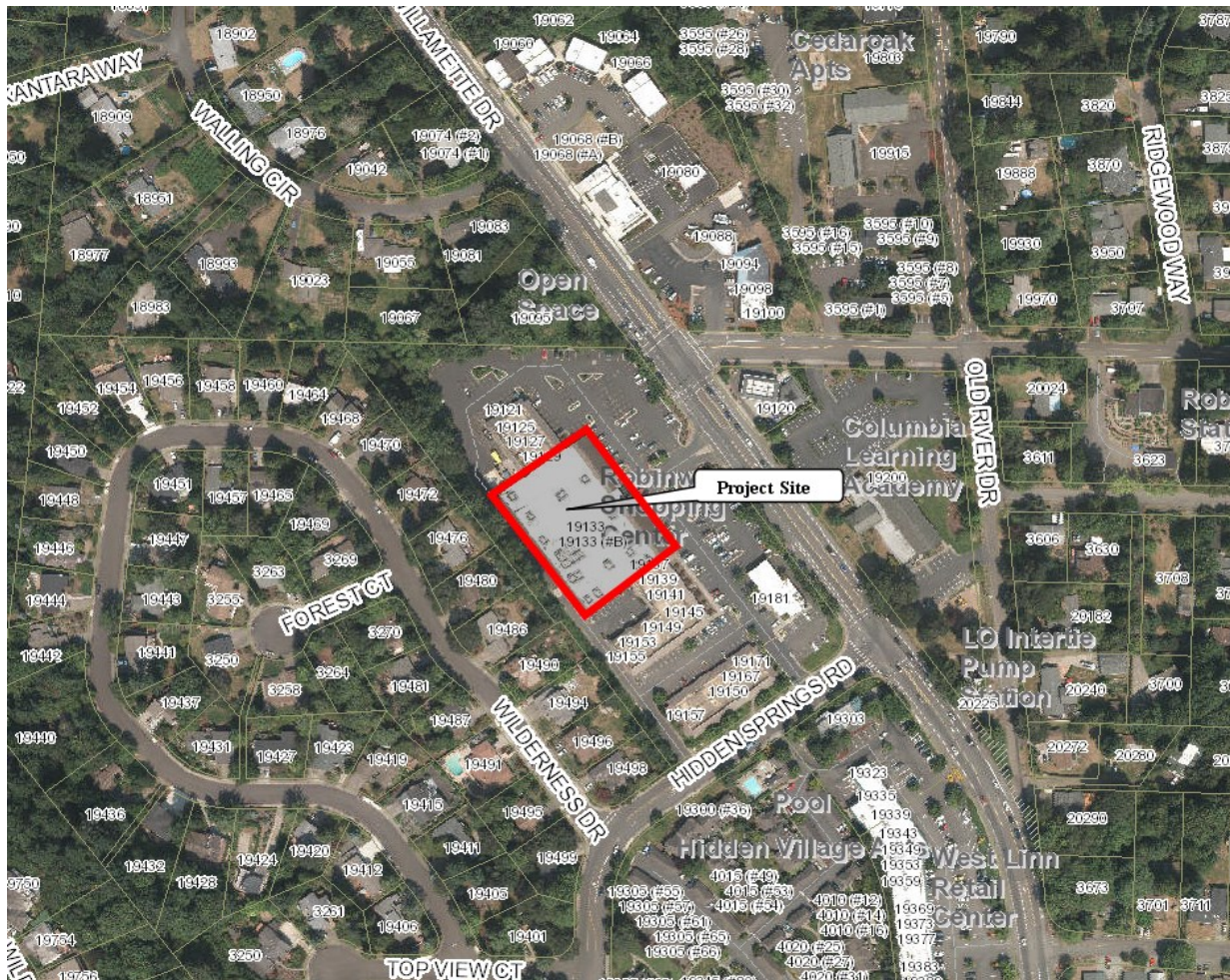
Applicant:   Sarah Blanchard, Applicant Agent for Verizon Wireless

Subject Property Address: 19133 Willamette Drive

Neighborhood Assn: Robinwood

Planner: Peter Spir

Project #: PA-16-06







CITY OF

**West Linn**Planning & Development • 22500 Salamo Rd #1000 • West Linn, Oregon 97068  
Telephone 503.656.4211 • Fax 503.656.4106 • westlinnoregon.gov**PRE-APPLICATION CONFERENCE**

| THIS SECTION FOR STAFF COMPLETION |                      |                              |
|-----------------------------------|----------------------|------------------------------|
| CONFERENCE DATE: <u>4-21-16</u>   | TIME: <u>9:00 am</u> | PROJECT #: <u>PA-16-06</u>   |
| STAFF CONTACT: <u>Peter Spir</u>  |                      | FEE: <u>350<sup>00</sup></u> |

Pre-application conferences occur on the first and third Thursdays of each month. In order to be scheduled for a conference, this form including property owner's signature, the pre-application fee, and accompanying materials must be submitted at least 14 days in advance of the conference date. Twenty-four hour notice is required to reschedule.

Address of Subject Property (or map/tax lot): **19133 Willamette Drive, West Linn, OR 97068 (Walmart)**

Brief Description of Proposal: **Verizon Wireless proposes to install 4 small cell panel antennas to the Walmart rooftop.**

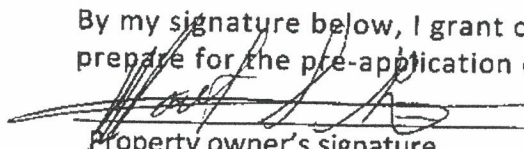
Applicant's **Sarah Blanchard, Applicant Agent for Verizon Wireless**  
 Mailing **1125 SE Clatsop St., Portland, OR 97202**  
 Phone No: **(503) 310-0544** Email **sarah.blanchard@acomconsultinginc.com**

Please attach additional materials relating to your proposal including a site plan on paper up to 11 x 17 inches in size depicting the following items:

- North arrow
- Scale
- Property dimensions
- Streets abutting the property
- Conceptual layout, design and/or building elevations
- Easements (access, utility, all others)
- Access to and from the site, if applicable
- Location of existing trees, highly recommend a tree survey
- Location of creeks and/or wetlands, highly recommend a wetland delineation
- Location of existing utilities (water, sewer, etc.)

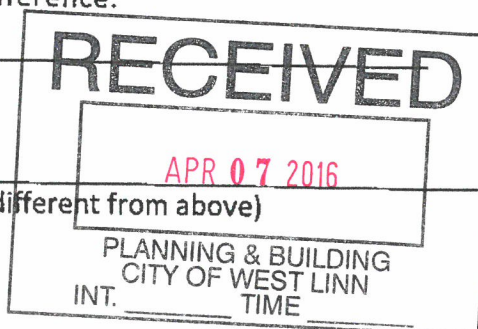
Please list any questions or issues that you may have for city staff regarding your proposal:  
**Items that may be waived for the Class I DR submittal.**

By my signature below, I grant city staff right of entry onto the subject property in order to prepare for the pre-application conference.

  
 Property owner's signature

4-1-16  
 Date

Property owner's mailing address (if different from above)





1125 SE Clatsop Street  
Portland, OR 97202

April 6, 2016

Peter Spir, Associate Planner  
City of West Linn  
Planning & Development  
22500 Salamo Rd #1000  
West Linn, OR 97068

**Re: Verizon Wireless – Class I Design Review, Rooftop Colocation,  
19133 Willamette Drive, West Linn, OR 97068 (Walmart)**

Dear Peter Spir,

On behalf of Verizon Wireless (VAW) LLC, d/b/a Verizon Wireless, I am submitting the following to schedule a pre-application conference for a new Wireless Rooftop site to the Walmart rooftop.

Please find enclosed the following:

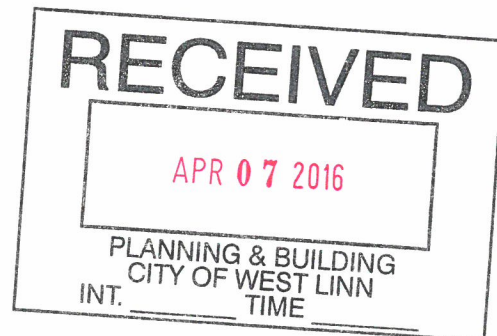
- Pre-Application Conference Application
- Site Plan (11 x 17)
- Check for \$350.00 (pre-app fee)

Feel free to contact me with any questions you may have. Please provide a receipt for the amount listed above. Thank you for your attention to this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "S. Blanchard", written over a horizontal line.

Sarah Blanchard  
sarah.blanchard@acomconsultinginc.com  
Acom Consulting Inc.  
503-310-0544







DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF ACOM CORPORATION.

| No. | Date     | Revision          |
|-----|----------|-------------------|
| A   | 03/01/16 | 90% CD REVIEW SET |
| B   | 04/05/16 | ISSUED FOR ZONING |
| 0   | -        | -                 |
| 1   | -        | -                 |
| 2   | -        | -                 |
| 3   | -        | -                 |

|                            |   |
|----------------------------|---|
| JURISDICTION:              | XX  |
| ZONING CLASS:              | GC (GENERAL COMMERCIAL)   |
| OCCUPANCY GROUP:           | M (MERCANTILE)  |
| PROPOSED USE               | TELECOM   |
| TAX PARCEL ID:             | 21E23AD06101  |
| PROPOSED LEASE AREA:       | TBD   |
| LATITUDE (NAD83):          | 45° 23' 11.27"<br>45.386464°                                      |
| LONGITUDE (NAD83):         | 122° 38' 30.42"<br>-122.641783°                                   |
| GROUND ELEVATION (NAVD88): | 229' AMSL   |
| STRUCTURE HEIGHT:          | 29'-10" ± (TOP OF BUILDING PARAPET)<br>32'-0" ± (TOP OF ANTENNAS) |

VERIZON WIRELESS PROPOSES TO INSTALL NEW EXTERIOR ROOF MOUNTED SMALL CELL PANEL ANTENNAS AND GPS UNIT WITH COAX ROUTING FROM THE VZW EQUIPMENT TO THE ANTENNAS VIA SLEEPERS ON ROOF. ALL PROPOSED RF EQUIPMENT WILL BE INSTALLED IN THE PROPOSED EQUIPMENT CABINET AT THE VERIZON WIRELESS LEASE AREA. THE EQUIPMENT CABINET SHALL BE WALL MOUNTED

| SHEET | DESCRIPTION               |
|-------|---------------------------|
| T-1   | COVER SHEET               |
| T-2   | GENERAL NOTES AND SYMBOLS |
| A-1   | PROPOSED SITE PLAN        |
| A-2   | PROPOSED ROOF PLAN        |
| A-3   | PROPOSED ELEVATIONS       |

AN  
PLAN  
IONS

**RECEIVED**

APR 07 2016

PLANNING & BUILDING  
CITY OF WEST LINN  
INT. \_\_\_\_\_ TIME \_\_\_\_\_

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT CONDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

OREGON STATE AND LOCAL BUILDING CODES WITH THE FOLLOWING REFERENCE CODES:  
2014 OREGON STRUCTURAL SPECIALTY CODE  
2015 OREGON ELECTRICAL SPECIALTY CODE  
2014 OREGON MECHANICAL SPECIALTY CODE  
2014 OREGON FIRE CODE (OFC 105)

(FROM PORTLAND INTERNATIONAL AIRPORT):

FROM PORTLAND INTERNATIONAL AIRPORT TAKE I-205 S/E PORTLAND FWY S/VETERNS MEMORIAL FWY S  
TOWARD I-84/PORTLAND/SALEM. TAKE THE OR-43, EXIT 8, TOWARD WEST LINN/LAKE OSWEGO. TURN RIGHT  
ONTO WILLAMETTE DR/OR-43. TURN LEFT ON HIDDEN SPRINGS RD. TAKE FIRST RIGHT. TURN RIGHT,  
THEN TURN RIGHT ONTO WILLAMETTE DR/OR043. THE WALMART STORE IS ON THE CORNER.

WALMART OWNER CONTACT:  
DAVID HESS  
WALMART WIRELESS FIELD OPERATIONS  
PHONE: (479) 204-7148  
david.w.hess@wal-mart.com

**WALMART STORE CONTACT:**  
M. STEPHEN DEAN  
SENIOR REALTY MANAGER II  
PHONE: (479) 277-0784

**APPLICANT/CLIENT CONTACT:**  
SARAH BLANCHARD  
ACOM CONSULTING, INC  
1125 SE CLATSOP ST  
PORTLAND, OR 97202  
PHONE: (503) 310-0544  
sarah.blanchard@acomconsultinginc.com

APPLICANT:  
VERIZON WIRELESS  
CARLEEN BRUNER  
Carleen.Bruner@verizonwireless.com

| TITLE          | SIGNATURE | DATE |
|----------------|-----------|------|
| REPRESENTATIVE |           |      |
| RE ENGINEER    |           |      |
| SITE OWNER     |           |      |
|                |           |      |
|                |           |      |
|                |           |      |
|                |           |      |

|                        |                               |
|------------------------|-------------------------------|
| Project Number:        | Date:<br>04/05/16             |
| Drafter:<br>RM         | Designer:<br>RM               |
| Project Manager:<br>AM | Professional of Record:<br>CS |
| Revision No:           | Sheet No:                     |

|   |     |
|---|-----|
| B | T-1 |
|---|-----|



GENERAL NOTES

1. WORK SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS. ALL NECESSARY LICENSES, CERTIFICATES, ETC., REQUIRED BY AUTHORITY HAVING JURISDICTION SHALL BE PROCURED AND PAID FOR BY THE CONTRACTOR.
2. ACOM HAS NOT CONDUCTED, NOR DOES IT INTEND TO CONDUCT ANY INVESTIGATION AS TO THE PRESENCE OF HAZARDOUS MATERIAL, INCLUDING, BUT NOT LIMITED TO, ASBESTOS WITHIN THE CONFINES OF THIS PROJECT. ACOM DOES NOT ACCEPT RESPONSIBILITY FOR THE INDEMNIFICATION, THE REMOVAL, OR ANY EFFECTS FROM THE PRESENCE OF THESE MATERIALS. IF EVIDENCE OF HAZARDOUS MATERIALS IS FOUND, WORK IS TO BE SUSPENDED AND THE OWNER NOTIFIED. THE CONTRACTOR IS NOT TO PROCEED WITH FURTHER WORK UNTIL INSTRUCTED BY THE OWNER IN WRITING.
3. ALL MATERIAL FURNISHED UNDER THIS CONTRACT SHALL BE NEW, UNLESS OTHERWISE NOTED. ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP. THE CONTRACTOR SHALL REPAIR OR REPLACE AT HIS EXPENSE ALL WORK THAT MAY DEVELOP DEFECTS IN MATERIALS OR WORKMANSHIP WITHIN SAID PERIOD OF TIME OR FOR ONE YEAR AFTER THE FINAL ACCEPTANCE OF THE ENTIRE PROJECT, WHICHEVER IS GREATER.
4. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND UTILITIES AT THE JOB SITE BEFORE WORK IS STARTED. NO CLAIMS FOR EXTRA COMPENSATION FOR WORK WHICH COULD HAVE BEEN FORESEEN BY AN INSPECTION, WHETHER SHOWN ON THE CONTRACT DOCUMENTS OR NOT, WILL BE ACCEPTED OR PAID.
5. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING DIMENSIONS AND CONDITIONS AT THE JOB SITE WHICH COULD AFFECT THE WORK UNDER THIS CONTRACT. ALL MANUFACTURERS RECOMMENDED SPECIFICATIONS, EXCEPT THOSE SPECIFICATIONS HEREIN, WHERE MOST STRINGENT SHALL BE COMPLIED WITH.
6. THE CONTRACTOR SHALL VERIFY AND COORDINATE SIZE AND LOCATION OF ALL OPENINGS FOR STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, CIVIL, OR ARCHITECTURAL WORK.
7. THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST BETWEEN THE LOCATIONS OF ANY AND ALL MECHANICAL, ELECTRICAL, PLUMBING, OR STRUCTURAL ELEMENTS, AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE MET. NOTIFY THE CONSULTANT OF ANY CONFLICTS. THE CONSULTANT HAS THE RIGHT TO MAKE MINOR MODIFICATIONS IN THE DESIGN OF THE CONTRACT WITHOUT THE CONTRACTOR GETTING ADDITIONAL COMPENSATION.
8. DO NOT SCALE THE DRAWINGS. DIMENSIONS ARE EITHER TO THE FACE OF FINISHED ELEMENTS OR TO THE CENTER LINE OF ELEMENTS, UNLESS NOTED OTHERWISE. CRITICAL DIMENSIONS SHALL BE VERIFIED AND NOTIFY THE CONSULTANT OF ANY DISCREPANCIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY CLEAN UP OF ALL TRADES AND REMOVE ALL DEBRIS FROM THE CONSTRUCTION SITE. AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE BUILDING, SITE, AND ANY OTHER SURROUNDING AREAS TO A BETTER THAN EXISTING CONDITION.
10. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, ETC. ACCORDING TO APPLICABLE CODES, STANDARDS, AND GOOD CONSTRUCTION PRACTICES.
11. THE CONTRACTOR SHALL MEET ALL OSHA REQUIREMENTS FOR ALL INSTALLATIONS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE EXISTING CONSTRUCTION AND REPAIR ALL DAMAGES TO BETTER THAN NEW CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DAMAGE TO THE BUILDING SITE OR ANY ADJACENT STRUCTURES AROUND THE PROJECT. THE CONSULTANT SHALL BE SOLE AND FINAL JUDGE AS TO THE QUALITY OF THE REPAIRED CONSTRUCTION. ANY ADDITIONAL MODIFICATIONS WHICH MUST BE MADE SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
13. WHERE ONE DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS, EVEN THOUGH NOT SPECIFICALLY MARKED ON THE DRAWINGS OR REFERRED TO IN THE SPECIFICATIONS, UNLESS NOTED OTHERWISE.
14. WHERE NEW PAVING, CONCRETE SIDEWALKS OR PATHS MEET EXISTING CONSTRUCTION, THE CONTRACTOR SHALL MATCH THE EXISTING PITCH, GRADE, AND ELEVATION SO THE ENTIRE STRUCTURE SHALL HAVE A SMOOTH TRANSITION.
15. THE CONTRACTOR SHALL MODIFY THE EXISTING FLOORS, WALL, CEILING, OR OTHER CONSTRUCTION AS REQUIRED TO GAIN ACCESS TO AREAS FOR ALL MECHANICAL, PLUMBING, ELECTRICAL, OR STRUCTURAL MODIFICATIONS. WHERE THE EXISTING CONSTRUCTION DOORS, PARTITIONS, CEILING, ETC., ARE TO BE REMOVED, MODIFIED, OR REARRANGED OR WHERE THE EXPOSED OR HIDDEN MECHANICAL, ELECTRICAL, SYSTEMS ARE ADDED OR MODIFIED, THE GENERAL CONTRACTOR SHALL REPAIR, PATCH AND MATCH ALL EXISTING CONSTRUCTION AND FINISHES OF ALL FLOORS WALLS AND CEILINGS. WHERE CONCRETE MASONRY CONSTRUCTION IS MODIFIED, THE CONTRACTOR SHALL TOOTH IN ALL NEW CONSTRUCTION TO MATCH THE EXISTING BOND. WHERE CONCRETE CONSTRUCTION IS MODIFIED, THE CONTRACTOR SHALL VERIFY THE EXACT DETAILS TO BE USED FOR CONSTRUCTION. ALL WORK SHALL BE COVERED UNDER THE GENERAL CONTRACT.

16. VERIFY ALL EXISTING DIMENSIONS PRIOR TO PERFORMING WORK.
17. VERIFY LOCATION OF ALL BURIED UTILITIES PRIOR TO ANY EXCAVATION.
18. IN RAWLAND CONDITIONS, TOWER FOUNDATION STRUCTURAL STEEL TO BE GROUNDED PRIOR TO CONCRETE POUR. TOWER FOUNDATION STRUCTURAL STEEL TO BE CONNECTED TO PERMANENT GROUND ROD PRIOR TO TOWER ERECTION. TOWER GROUND MUST BE MAINTAINED AT ALL TIMES.
19. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING FOR COMMERCIAL POWER IMMEDIATELY UPON AWARD OF CONTRACT. THE GENERAL CONTRACTOR IS REQUIRED TO KEEP ALL DOCUMENTATION RECEIVED FROM THE POWER COMPANY, ACKNOWLEDGING APPLICATION FOR POWER, WRITTEN AND VERBAL DISCUSSIONS WITH THE POWER COMPANY, ETC.
20. THE GENERAL CONTRACTOR SHALL OBTAIN WRITTEN CONFIRMATION OF THE EXPECTED DATE OF COMPLETION OF THE POWER CONNECTION FROM THE POWER COMPANY.
21. IF THE POWER COMPANY IS UNABLE TO PROVIDE THE POWER CONNECTION BY OWNER'S REQUIRED DATE, THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN A TEMPORARY GENERATOR UNTIL THE POWER COMPANY CONNECTION IS COMPLETED. COSTS ASSOCIATED WITH THE TEMPORARY GENERATOR TO BE APPROVED BY THE OWNER.
22. IF THE GENERAL CONTRACTOR FAILS TO TAKE NECESSARY MEASURES AS DESCRIBED IN NOTES 19, 20 AND 21 ABOVE, THE GENERAL CONTRACTOR SHALL PROVIDE A TEMPORARY GENERATOR AT NO COST TO THE OWNER.
23. PLANS PART OF THIS SET ARE COMPLEMENTARY. INFORMATION IS NOT LIMITED TO ONE PLAN. DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY THE OWNER ON OTHER PROJECTS OR EXTENSION TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT. THESE PLANS WERE PREPARED TO BE SUBMITTED TO GOVERNMENTAL BUILDING AUTHORITIES FOR REVIEW FOR COMPLIANCE WITH APPLICABLE CODES AND IT IS THE SOLE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO BUILD ACCORDING TO APPLICABLE BUILDING CODES.
24. IF CONTRACTOR OR SUB-CONTRACTOR FIND IT NECESSARY TO DEViate FROM ORIGINAL APPROVED PLANS, THEN IT IS THE CONTRACTOR'S AND THE SUB-CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE ARCHITECT WITH 4 COPIES OF THE PROPOSED CHANGES FOR HIS APPROVAL BEFORE PROCEEDING WITH THE WORK. IN ADDITION THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR PROCURING ALL NECESSARY APPROVALS FROM THE BUILDING AUTHORITIES FOR THE PROPOSED CHANGES BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR PROCURING ALL NECESSARY INSPECTIONS AND APPROVALS FROM BUILDING AUTHORITIES DURING THE EXECUTION OF THE WORK.
25. IN EVERY EVENT, THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS SHALL BE INTERPRETED TO BE A MINIMUM ACCEPTABLE MEANS OF CONSTRUCTION BUT THIS SHALL NOT RELIEVE THE CONTRACTOR, SUB-CONTRACTOR, AND/OR SUPPLIER/MANUFACTURER FROM PROVIDING A COMPLETE AND CORRECT JOB WHEN ADDITIONAL ITEMS ARE REQUIRED TO THE MINIMUM SPECIFICATION. IF ANY ITEMS NEED TO EXCEED THESE MINIMUM SPECIFICATIONS TO PROVIDE A COMPLETE, ADEQUATE AND SAFE WORKING CONDITION, THEN IT SHALL BE THE DEEMED AND UNDERSTOOD TO BE INCLUDED IN THE DRAWINGS. FOR EXAMPLE, IF AN ITEM AND/OR PIECE OF EQUIPMENT REQUIRES A LARGER WIRE SIZE (I.E. ELECTRICAL WIRE), STRONGER OR LARGER PIPING, INCREASED QUANTITY (I.E. STRUCTURAL ELEMENTS), REDUCED SPACING, AND/OR INCREASED LENGTH (I.E. BOLT LENGTHS, BAR LENGTHS) THEN IT SHALL BE DEEMED AND UNDERSTOOD TO BE INCLUDED IN THE BID/PROPOSAL. THESE DOCUMENTS ARE MEANT AS A GUIDE AND ALL ITEMS REASONABLY INFERRED SHALL BE DEEMED TO BE INCLUDED.
26. THESE CONTRACT DOCUMENTS AND SPECIFICATIONS SHALL NOT BE CONSTRUED TO CREATE A CONTRACTUAL RELATIONSHIP OF ANY KIND BETWEEN THE ARCHITECT AND THE CONTRACTOR.

LINE/ANTENNA NOTES

1. ALL THREADED STRUCTURAL FASTENERS FOR ANTENNA SUPPORT ASSEMBLES SHALL CONFORM TO ASTM A307 OR ASTM A36. ALL STRUCTURAL FASTENERS FOR STRUCTURAL STEEL FRAMING SHALL CONFORM TO ASTM A325. FASTENERS SHALL BE 5/8" MIN. DIA. BEARING TYPE CONNECTIONS WITH THREADS EXCLUDED FROM THE PLANE. ALL EXPOSED FASTENERS, NUTS, AND WASHERS SHALL BE GALVANIZED OTHERWISE NOTED. CONCRETE EXPANSION ANCHORS SHALL BE HILTI KWIK BOLTS UNLESS OTHERWISE NOTED. ALL ANCHORS INTO CONCRETE SHALL BE STAINLESS STEEL.
2. NORTH ARROW SHOWN ON PLANS REFERS TO TRUE NORTH. CONTRACTOR SHALL VERIFY MAGNETIC NORTH AND NOTIFY CONSULTANT OF ANY DISCREPANCY BEFORE STARTING CONSTRUCTION.
3. PROVIDE LOCK WASHERS FOR ALL MECHANICAL CONNECTIONS FOR GROUND CONDUCTORS. USE STAINLESS STEEL HARDWARE THROUGHOUT.
4. THOROUGHLY REMOVE ALL PAINT AND CLEAN ALL DIRT FROM SURFACES REQUIRING GROUND CONNECTIONS.
5. MAKE ALL GROUND CONNECTIONS AS SHORT AND DIRECT AS POSSIBLE. AVOID SHARP BENDS. ALL BENDS TO BE A MIN. OF 8" RADIUS.
6. FOR GROUNDING TO BUILDING FRAME AND HATCH PLATE GROUND BARS. USE A TWO-BOLT HOLE NEMA DRILLED CONNECTOR SUCH AS T&B 32007 OR APPROVED EQUAL.
7. FOR ALL EXTERNAL GROUND CONNECTIONS, CLAMPS AND CADWELDS, APPLY A LIBERAL PROTECTIVE COATING OR AN ANTI-OXIDE COMPOUND SUCH AS "NO-OXIDE A" BY DEARBORN CHEMICAL COMPANY.
8. REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY THERMO-WELDING. USE ERICO T-319 GALVANIZING BAR/COLD GALVANIZING PAINT.
9. SEAL ALL CONDUIT PENETRATIONS INTO MODULAR BUILDING WITH A SILICONE SEALANT AND ALL CONDUIT OPENINGS.
10. ANTENNAS AND COAX TO BE PROVIDED BY VERIZON WIRELESS, CONTRACTOR TO COORDINATE DELIVERY.


DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF ACOM CORPORATION.

| No. | Date     | Revision          |
|-----|----------|-------------------|
| A   | 03/01/16 | 90% CD REVIEW SET |
| B   | 04/05/16 | ISSUED FOR ZONING |
| 0   | -        | -                 |
| 1   | -        | -                 |
| 2   | -        | -                 |
| 3   | -        | -                 |

Client:

verizon

A&E Team:



Project Info:

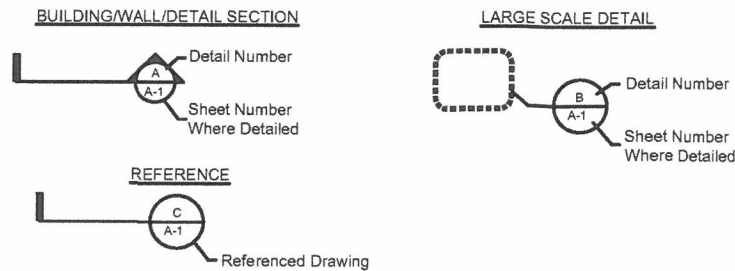
WALMART SMALL CELL  
POR KENTHORPE  
19133 WILLAMETTE DR  
WEST LINN, OR 97068

Drawing Title:

GENERAL NOTES  
AND SYMBOLS

|                  |                         |
|------------------|-------------------------|
| Project Number:  | Date:                   |
| Drafter:         | Designer:               |
| RM               | RM                      |
| Project Manager: | Professional of Record: |
| AM               | CS                      |
| Revision No:     | Sheet No:               |
| B                | T-2                     |

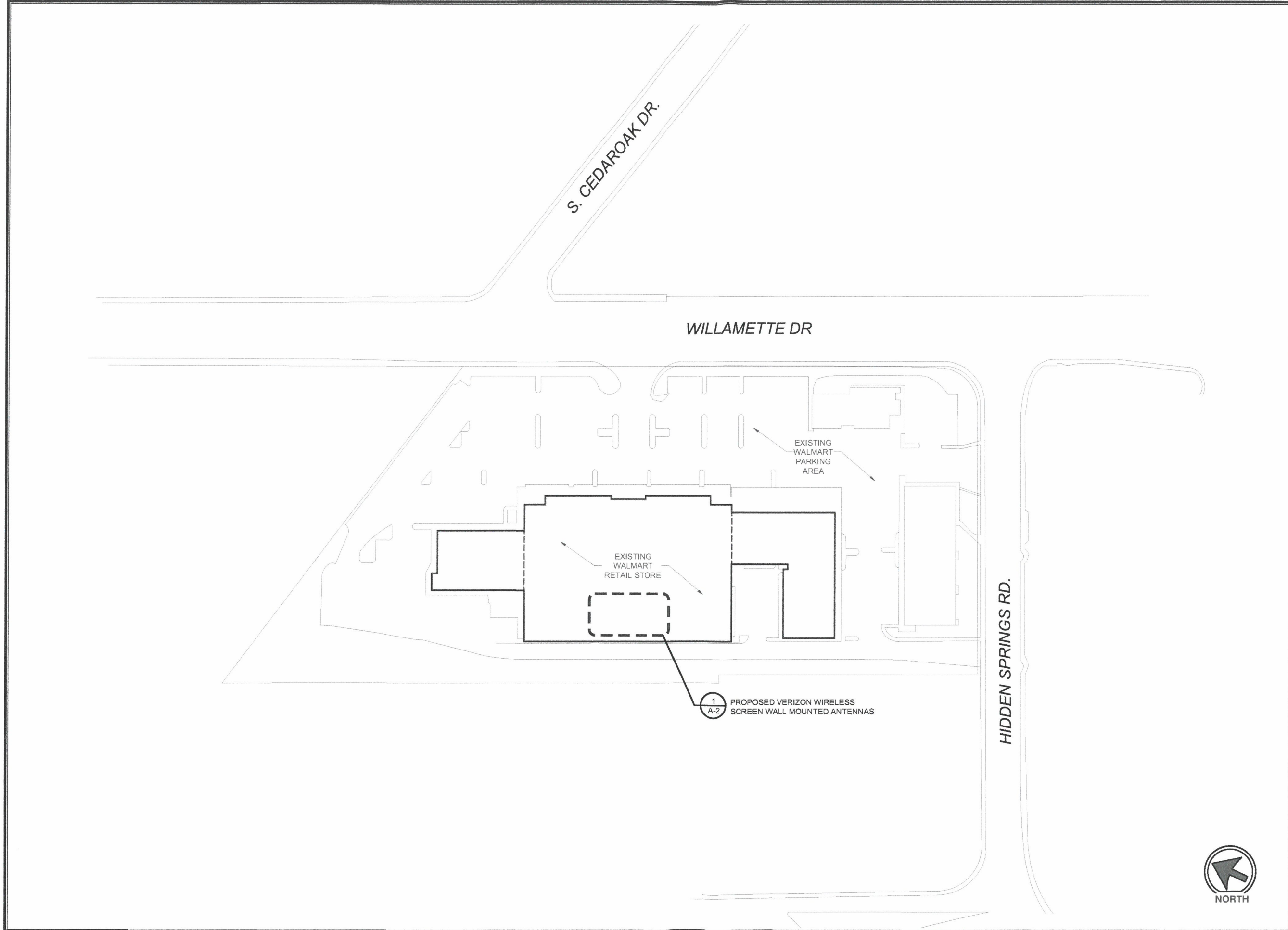
LEGEND



IMPORTANT NOTICE

THE EXISTING CONDITIONS REPRESENTED HEREIN ARE BASED ON VISUAL OBSERVATIONS AND INFORMATION PROVIDED BY OTHERS. ACOM CONSULTING CANNOT GUARANTEE THE CORRECTNESS NOR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN AND ASSUMES NO RESPONSIBILITY THEREOF. CONTRACTOR AND HIS SUB-CONTRACTORS SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS AS REQUIRED FOR PROPER EXECUTION OF PROJECT. REPORT ANY CONFLICTS OR DISCREPANCIES TO THE CONSULTANT PRIOR TO CONSTRUCTION.





DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF ACOM CORPORATION.

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Client:

**verizon**

A&E Team:

**Acom**  
CONSULTING INC.

Project Info:

**WALMART SMALL CELL  
FOR KENTHORPE**  
19133 WILLAMETTE DR  
WEST LINN, OR 97068

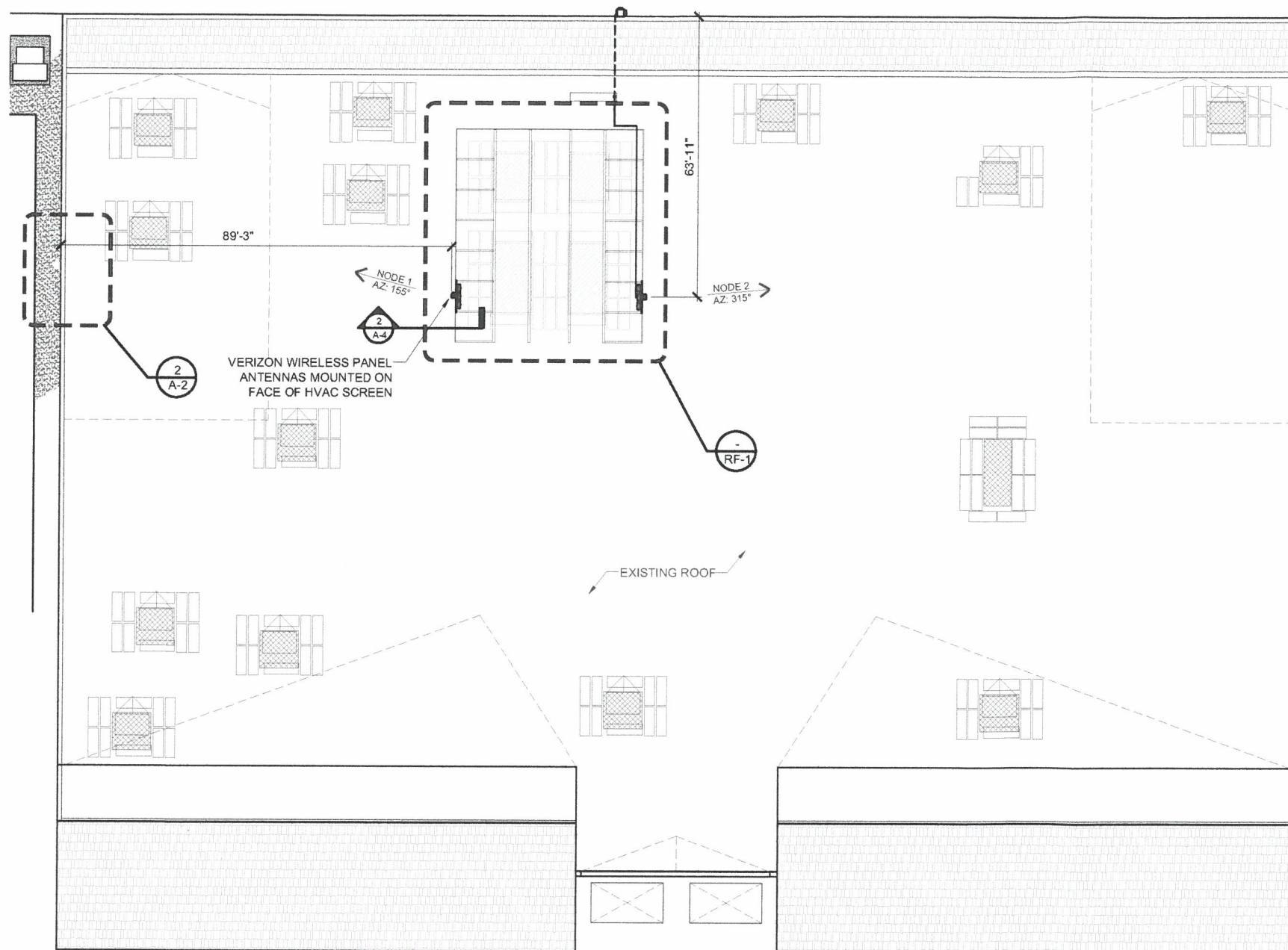
Drawing Title:

**PROPOSED  
SITE PLAN**

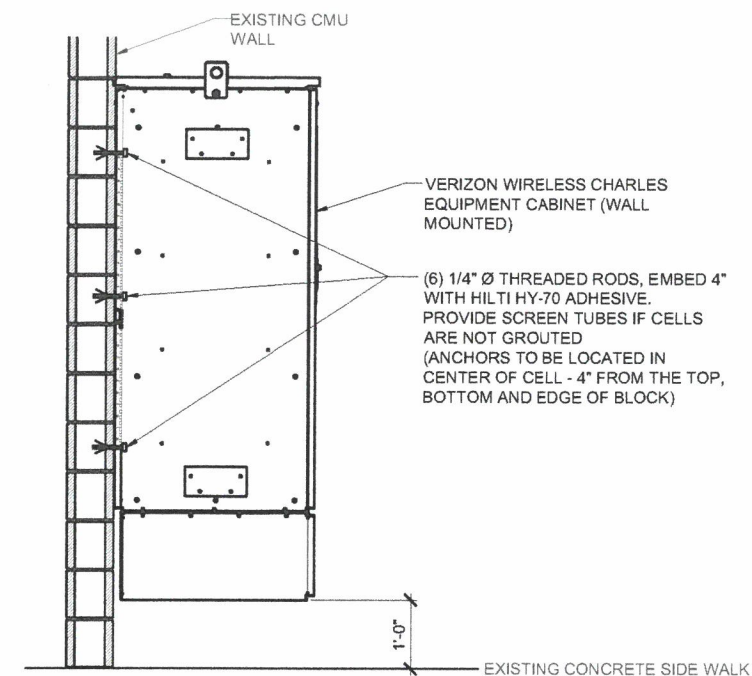
|                  |                         |
|------------------|-------------------------|
| Project Number:  | Date:                   |
| Drafter:         | Designer:               |
| Project Manager: | Professional of Record: |
| Revision No:     | Sheet No:               |
| <b>B</b>         | <b>A-1</b>              |



NOTE:  
CONTRACTOR SHALL NOT  
DISTURB OR DAMAGE THE  
EXISTING ROOFING SYSTEM IN  
ANY WAY, SHAPE OR FORM. IF  
ANY DAMAGES DO OCCUR, THE  
CONTRACTOR SHALL REPORT  
TO THE VZW CONSTRUCTION  
MANAGER IMMEDIATELY! IT IS  
THE CONTRACTOR'S  
RESPONSIBILITY TO MAINTAIN  
THE ROOFING SYSTEM IN ITS  
EXISTING CONDITION DURING  
CONSTRUCTION.

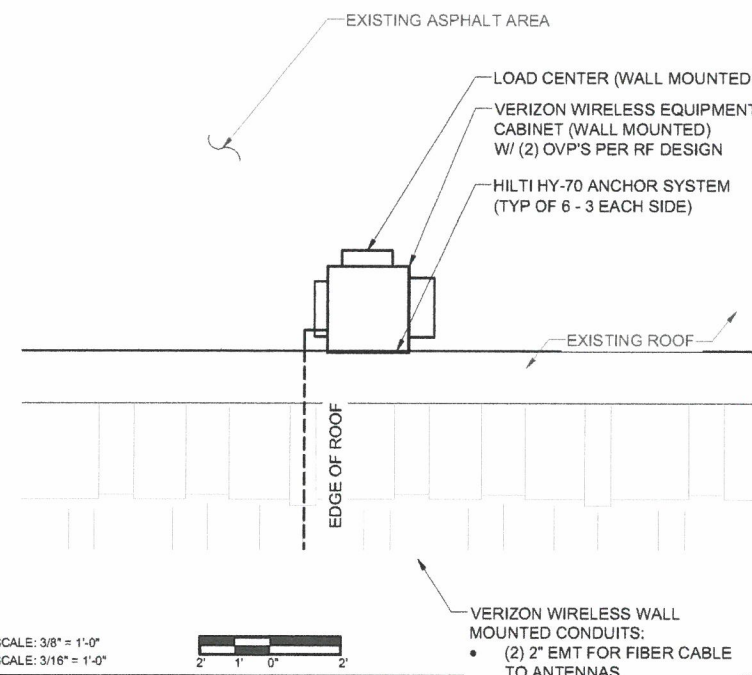


22"x34" SCALE: 1/16" = 1'-0"  
11"x17" SCALE: 1/32" = 1'-0"  
16' 12' 8' 4' 0' 16'



22"x34" SCALE: 3/4" = 1'-0"  
11"x17" SCALE: 3/8" = 1'-0"

EQUIPMENT CABINET MOUNTING DETAIL 3



22"x34" SCALE: 3/8" = 1'-0"  
11"x17" SCALE: 3/16" = 1'-0"

ENLARGED EQUIPMENT AREA PLAN 2

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF ACOM CORPORATION.

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| B   | 04/05/16 | ISSUED FOR ZONING |
| 0   | -        | -                 |
| 1   | -        | -                 |
| 2   | -        | -                 |
| 3   | -        | -                 |

Client:

verizon

A&E Team:

Acom  
CONSULTING INC.

Project Info:

WALMART SMALL CELL  
FOR KENTHORPE  
19133 WILLAMETTE DR  
WEST LINN, OR 97068

Drawing Title:

PROPOSED  
ROOF PLAN

|                  |                         |
|------------------|-------------------------|
| Project Number:  | Date:                   |
| Drafter:         | Designer:               |
| Project Manager: | Professional of Record: |
| Revision No:     | Sheet No:               |

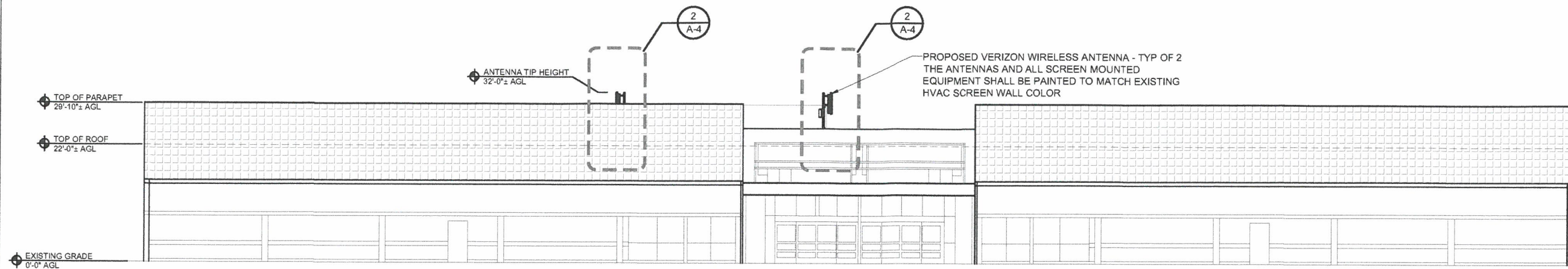
B

A-2

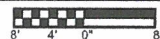
PROPOSED ROOF PLAN 1



DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF ACOM CORPORATION.



22"x34" SCALE: 3/32" = 1'-0"  
11"x17" SCALE: 3/64" = 1'-0"



PROPOSED FRONT ELEVATION 2

Client:

verizon

A&E Team:

Acom  
CONSULTING INC.

Project Info:

WALMART SMALL CELL  
FOR KENTHORPE  
19133 WILLAMETTE DR  
WEST LINN, OR 97068

Drawing Title:

EXISTING &  
PROPOSED  
ELEVATIONS

Project Number:

Drafter:

Project Manager:

Revision No:

Date:

Designer:

Professional of Record:

Sheet No:

B

A-3

22"x34" SCALE: 3/32" = 1'-0"  
11"x17" SCALE: 3/64" = 1'-0"



EXISTING FRONT ELEVATION 1