



# LAND USE PRE-APPLICATION CONFERENCE

Thursday, April 7, 2016

City Hall  
22500 Salamo Road

Willamette Conference Room

9:00 am Proposed Annexation

Applicant: Chris Koback, Hathaway Koback Connors

Subject Property Address: 3800 Ridge Lane

Neighborhood Assn: Parker Crest

Planner: Peter Spir

Project #: PA-16-05





PRE-APPLICATION CONFERENCE

THIS SECTION FOR STAFF COMPLETION		
CONFERENCE DATE:	TIME:	PROJECT #:
4-7-16	9:00am	PA-16-05
STAFF CONTACT:		FEE:
Peter Spiri		\$1000 <sup>00</sup>

Pre-application conferences occur on the first and third Thursdays of each month. In order to be scheduled for a conference, this form including property owner's signature, the pre-application fee, and accompanying materials must be submitted at least 14 days in advance of the conference date. Twenty-four hour notice is required to reschedule.

Address of Subject Property (or map/tax lot): 3800 S. Ridge Lane  
West Linn, OR 97068

Brief Description of Proposal: Please see attached narrative.

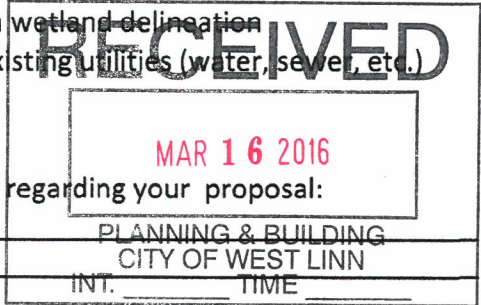
Applicant's Name: Chris Koback, Hathaway Koback Connors obo Chris Morgan

Mailing Address: 520 SW Yamhill St., Ste. 235, Portland, OR 97204

Phone No: (503) 205-8404 Email Address: chriskoback@hkcllp.com

Please attach additional materials relating to your proposal including a site plan on paper up to 11 x 17 inches in size depicting the following items:

- North arrow
- Scale
- Property dimensions
- Streets abutting the property
- Conceptual layout, design and/or building elevations
- Easements (access, utility, all others)
- Access to and from the site, if applicable
- Location of existing trees, highly recommend a tree survey
- Location of creeks and/or wetlands, highly recommend a wetland delineation
- Location of existing utilities (water, sewer, etc.)



Please list any questions or issues that you may have for city staff regarding your proposal:

By my signature below, I grant city staff right of entry onto the subject property in order to prepare for the pre-application conference.

Christopher Morgan Property owner's signature 3/15/16 Date

3800 RIDGE LN West Linn, OR 97068  
Property owner's mailing address (if different from above)

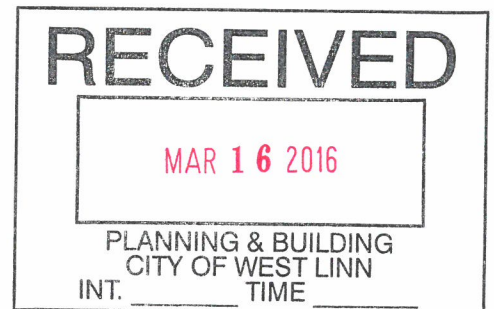
**Pre-Application Form Narrative**

This pre-application conference request relates to a proposal to annex the subject property into the City. The subject property is located at 3800 Ridge Lane. The owners are Christopher and Janet Morgan, who currently reside on the property.

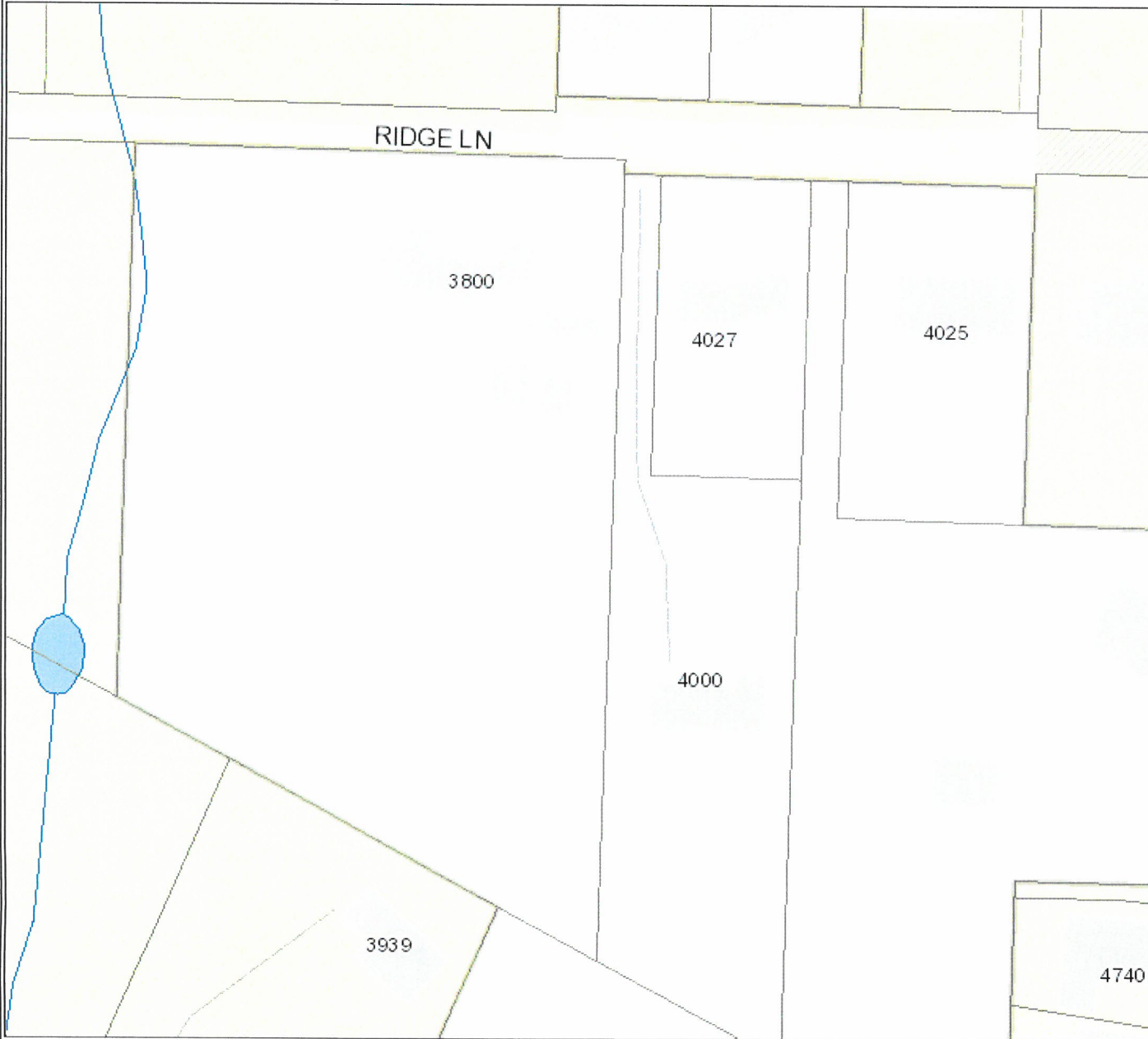
The owners are not seeking approval for any development at this time. The request is only for annexation. As such, the owners do not have and are not planning to prepare any formal site plan as such would not be of any assistance in evaluating this limited request. Attached to this narrative as Exhibit 1 is a copy of the current City zoning map that depicts the subject property as well as the surrounding properties.

The property has no City zoning, but is designated in the Comprehensive Plan as low density residential. The property is similarly situated to the property at 1430 Rosemont Road that was approved for annexation in 2014. That property is adjacent to the subject property and separated only by the Ridge Lane right-of-way. In the proceeding on the 1430 Rosemont Road property, the subject property was referred to along with other nearby properties as being an “island” surrounded by City properties.

Attached to this narrative as Exhibit 2 is a recent aerial photograph of the property. Exhibit 2 illustrates that the property is improved with a single-family home and a number of out-buildings. It has direct access off Ridge Lane. Much of the property consists of a field or meadow. At the southwest corner, there are a number of trees. To the best of the owners’ knowledge and belief, there are no easements affecting the property. That is consistent with the information reflected on City maps. See Exhibit 1.



# 3800 Ridge Ln - Utility & Easement



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Scale 1:1,200 - 1 in = 100 ft  
Scale is based on 8-1/2 x 11 paper size

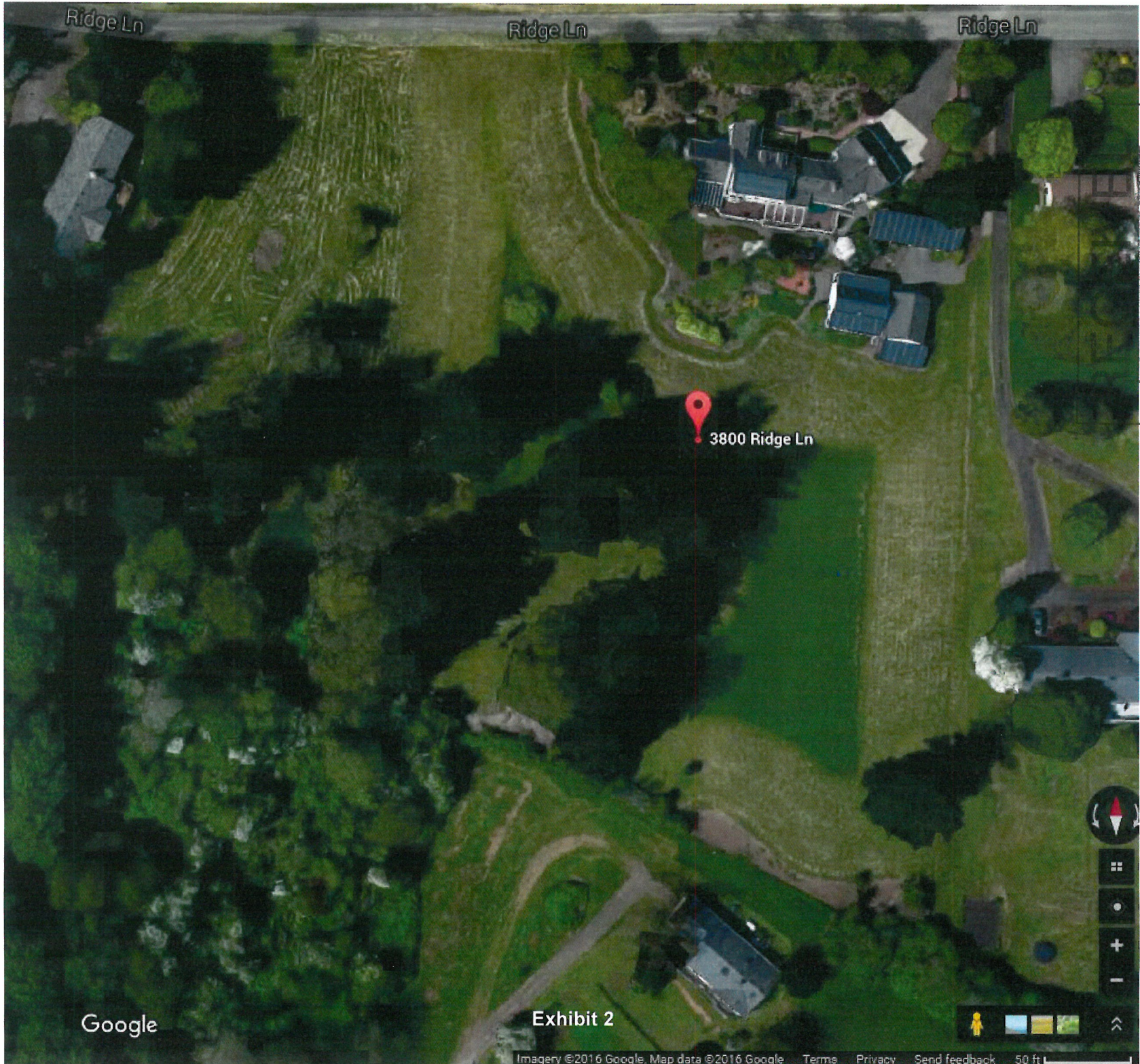


Map created by: public  
Date Created: 16-Mar-16 09:32 AM

**WEST LINN GIS**

DISCLAIMER: This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information. Source: West Linn GIS (Geographic Information System) MapOptix.

**Exhibit 1**



Ridge Ln

Ridge Ln

Ridge Ln

3800 Ridge Ln

Google

Exhibit 2

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