



HISTORIC WEST LINN CITY HALL

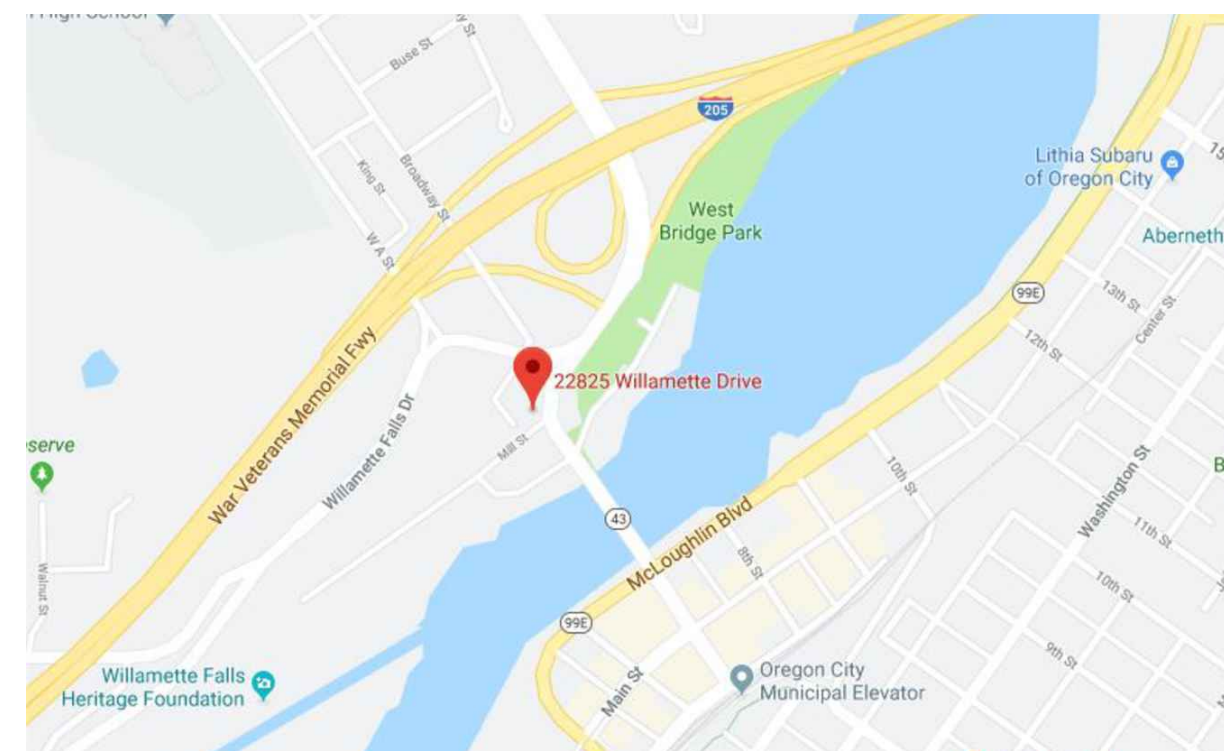
APPROVED

Reviewed for code compliance
 City of West Linn
 Building Department
 Address: 22825 Willamette Dr Historic City Hall -
 Permit: Plans Approved 935-23-000693-STR
 Date: 09/18/2023 1:36:52 PM
 By: Adam Bennett

**This Plan Review Approval
 Does not Prevent The Field
 Inspector From Requiring
 Further Code Correction!**

Note to Inspector:

1. 'No parking' text to be present between lines in pavement marking required on ADA access aisles adjacent to van accessible parking space in accordance with Oregon Transportation Commission standards for accessible parking places - Figure 6 OTC - SAPP, 1106.8.2 2022 OSSC Condition of Approval:
2. Provide contractor prior to permit issuance



VICINITY MAP

DRAWING INDEX

- COV COVER SHEET, GENERAL INFORMATION
- A0 SITE PLAN
- A1.1 CODE SUMMARY, FIRE & LIFE SAFETY PLANS
- A1.2 DEMOLITION PLANS
- A1.3 MAIN LEVEL FLOOR PLAN
- A1.4 UPPER LEVEL FLOOR PLAN
- A1.5 BASEMENT PLAN, ROOF PLAN, FINISH SCHEDULE
- A1.6 MAIN LEVEL REFLECTED CEILING / POWER PLAN
- A1.7 UPPER LEVEL REFLECTED CEILING/ POWER PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A2.3 PARTIAL STOREFRONT ELEVATIONS, SCHEDULES
- A3.1 SECTIONS
- A3.2 SECTIONS
- A3.3 SECTIONS
- A4.1 INTERIOR ELEVATIONS
- A4.2 INTERIOR ELEVATIONS
- A5.1 DETAILS
- A5.2 DETAILS
- A6.1 SPECIFICATIONS
- A6.2 SPECIFICATIONS

- MT0.1 TITLE SHEET- HVAC
- MT0.2 HVAC SPECIFICATIONS
- M0.1 SCHEDULES- HVAC
- M0.2 SCHEDULES- HVAC
- M1.0 DEMOLITION PLANS- HVAC
- M2.1 MAIN LEVEL PLAN- HVAC
- M2.2 UPPER LEVEL PLAN- HVAC
- M2.3 ROOF PLAN- HVAC
- M8.1 HVAC DETAILS

PROJECT INFORMATION

PROJECT DESCRIPTION	INTERIOR TENANT IMPROVEMENTS TO AN EXISTING, HISTORIC TWO-STORY OFFICE BUILDING, INCLUDING ADA IMPROVEMENTS & WALL RECONFIGURATION. EXTERIOR MODIFICATIONS INCLUDE DEMOLITION OF EXTERIOR STAIR, AWNING ADDITIONS & MODIFICATIONS TO STOREFRONTS & WINDOWS
PROPERTY LOCATION	T2S R2E S31
ADDRESS	22825 WILLAMETTE FALLS DRIVE WEST LINN, OR 97068
COUNTY	CLACKAMAS

SEPARATE PERMITS BY GENERAL CONTRACTOR:

PLUMBING	DESIGN-BUILD SYSTEM W/ SEPARATE PERMIT REQUIRED
ELECTRICAL	DESIGN-BUILD SYSTEM W/ SEPARATE PERMIT REQUIRED
FIRE ALARMS	DESIGN-BUILD SYSTEM W/ SEPARATE PERMIT REQUIRED FOR MODIFICATION TO EXIST'G SYSTEM.

SPECIAL INSPECTIONS REQUIRED:

POST INSTALLED CONCRETE/ MASONRY ANCHORS AS SPECIFIED IN DRAWINGS
 FIELD WELDING OF FIELD WELDS FOR STAIR AND RAILING ASSEMBLIES AND AWNINGS
 REQUIRES PERIODIC SPECIAL INSPECTIONS

CONTACT INFORMATION

OWNER
 CITY OF WEST LINN
 22500 SALAMO ROAD
 WEST LINN, OR 97068
 CONTACT: KEN WARNER, PARKS DIRECTOR
 kwarner@westlinnoregon.gov
 (503) 742-6047

TENANT
 WILLAMETTE FALLS HERITAGE AREA COALITION
 PO BOX 387
 MARYLHURST, OR 97036
 CONTACT: BRITTA MANSFIELD, EXECUTIVE DIRECTOR
 britta@witheritage.org
 (503) 419-6340

ARCHITECT
 ISELIN ARCHITECTS, PC
 1307 7TH ST
 OREGON CITY, OR 97045
 CONTACT: TODD ISELIN
 todd@iselinarch.com
 (503) 656-1942

HVAC ENGINEER
 MKE & ASSOCIATES
 6915 S MACADAM AVE, SUITE 200
 PORTLAND, OR 97219
 CONTACT: MATT MCCORMICK
 mattm@mke-inc.com
 (503) 892-1188, ext 204



**ISELIN
 ARCHITECTS
 P.C.**

1307 Seventh Street
 Oregon City, OR 97045
 503-656-1942
 www.iselinarchitects.com

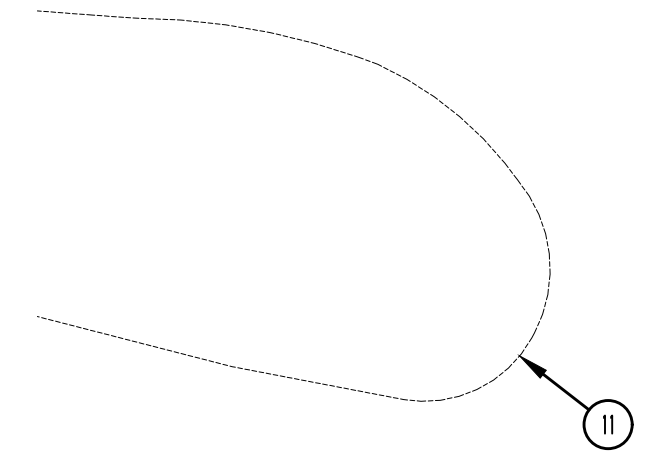


**Renovation and Remodel of
 Historic West Linn City Hall Building
 22825 Willamette Drive West Linn, OR 97068**
 for Regional Cultural/ Tourism Center in partnership with
 Willamette Falls and Landings Heritage Area Coalition

PROJ. NO. : 1705.3
 FILE : A-COV
 DATE : 7/12/2023
 REVISIONS
 1: 9/15/23

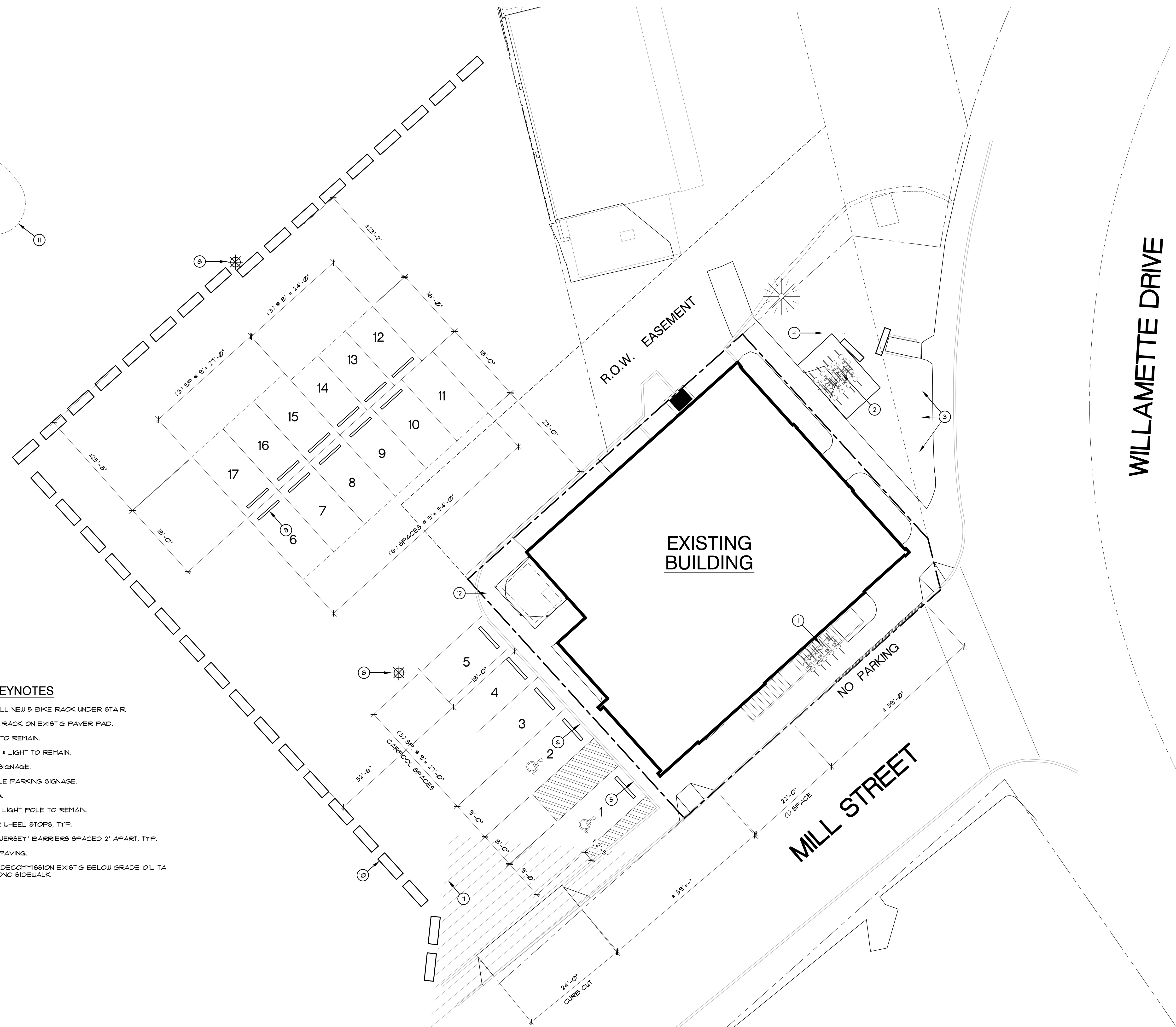
SHEET #
COV

GENERAL INFORMATION



1. SITE PLAN KEYNOTES

1. DEMO GATE & INSTALL NEW 5 BIKE RACK UNDER STAIR.
2. INSTALL NEW 3 BIKE RACK ON EXIST'G PAVEMENT PAD.
3. EXIST'G CITY SIGNS TO REMAIN.
4. EXIST'G FLAG POLE & LIGHT TO REMAIN.
5. NEW ADA PARKING SIGNAGE.
6. NEW VAN ACCESSIBLE PARKING SIGNAGE.
7. CLEAR VISION AREA.
8. EXIST'G UTILITY 4/IR LIGHT POLE TO REMAIN.
9. RECYCLED RUBBER WHEEL STOPS, TYP.
10. INSTALL NEW CONC 'JERSEY' BARRIERS SPACED 2' APART, TYP.
11. EXTENT OF EXIST'G PAVING.
12. LOCATE, REMOVE & DECOMMISSION EXIST'G BELOW GRADE OIL TA PATCH & REPAIR CONC SIDEWALK.
13. - 2Ø. NOT USED.



SITE PLAN

WILLAMETTE DRIVE

MILL STREET

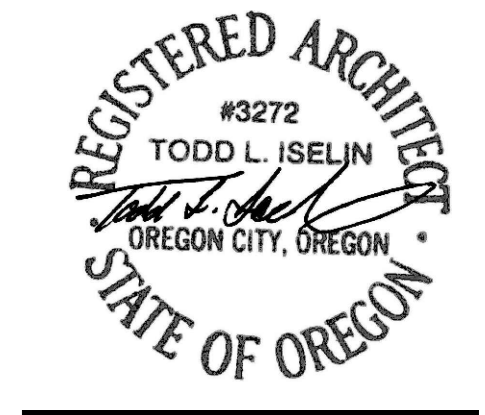
EXISTING BUILDING

R.O.W. EASEMENT

NO PARKING



1307 Seventh Street
Oregon City, OR 97045
503-656-1942
www.iselinarchitects.com



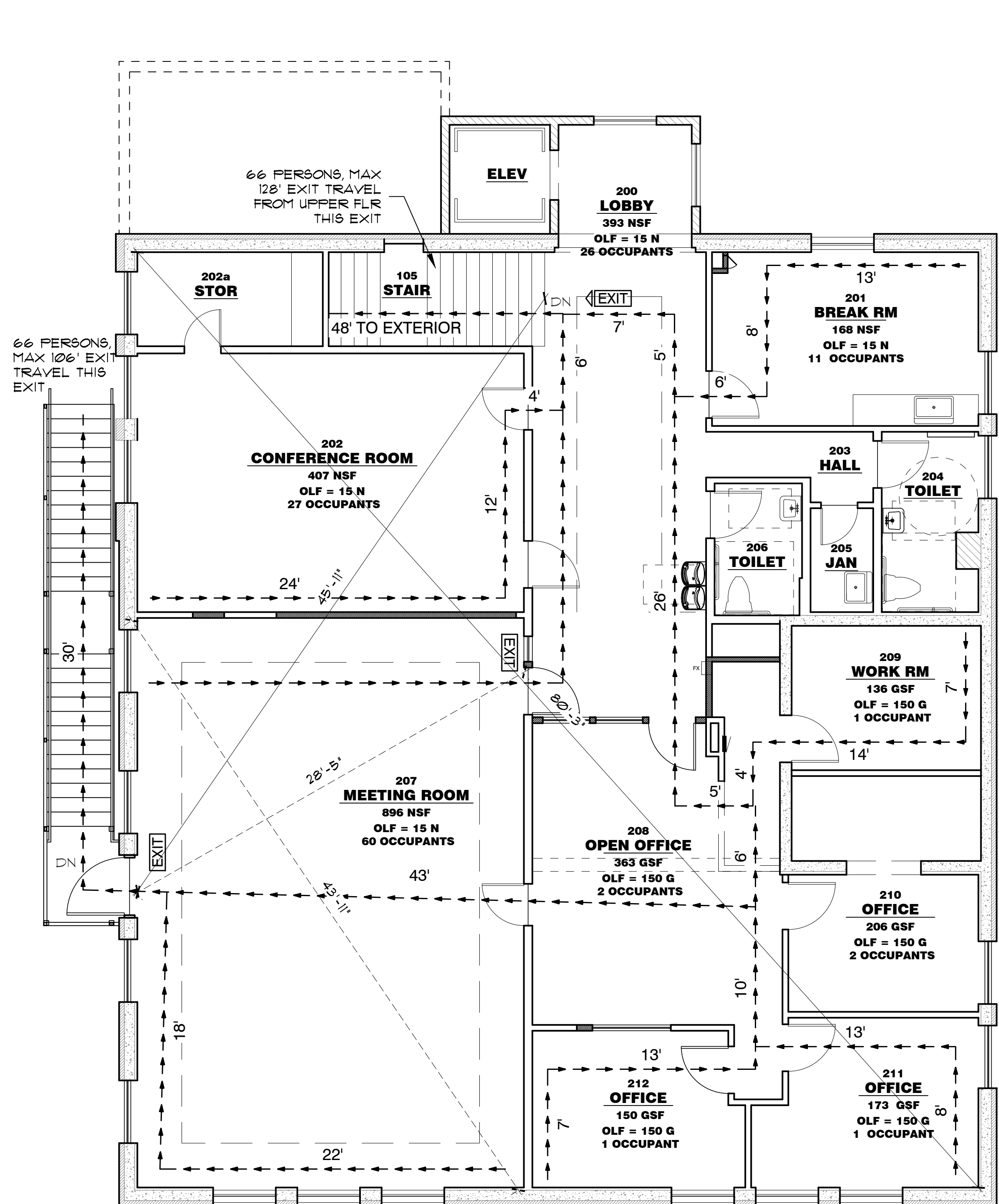
This Plan Review Approval Does not Prevent The Field Inspector From Requiring Further Code Correction!

**Renovation and Remodel of
Historic West Linn City Hall Building
22825 Willamette Drive West Linn, OR 97068**
for Regional Cultural/ Tourism Center in partnership with
Willamette Falls and Landings Heritage Area Coalition

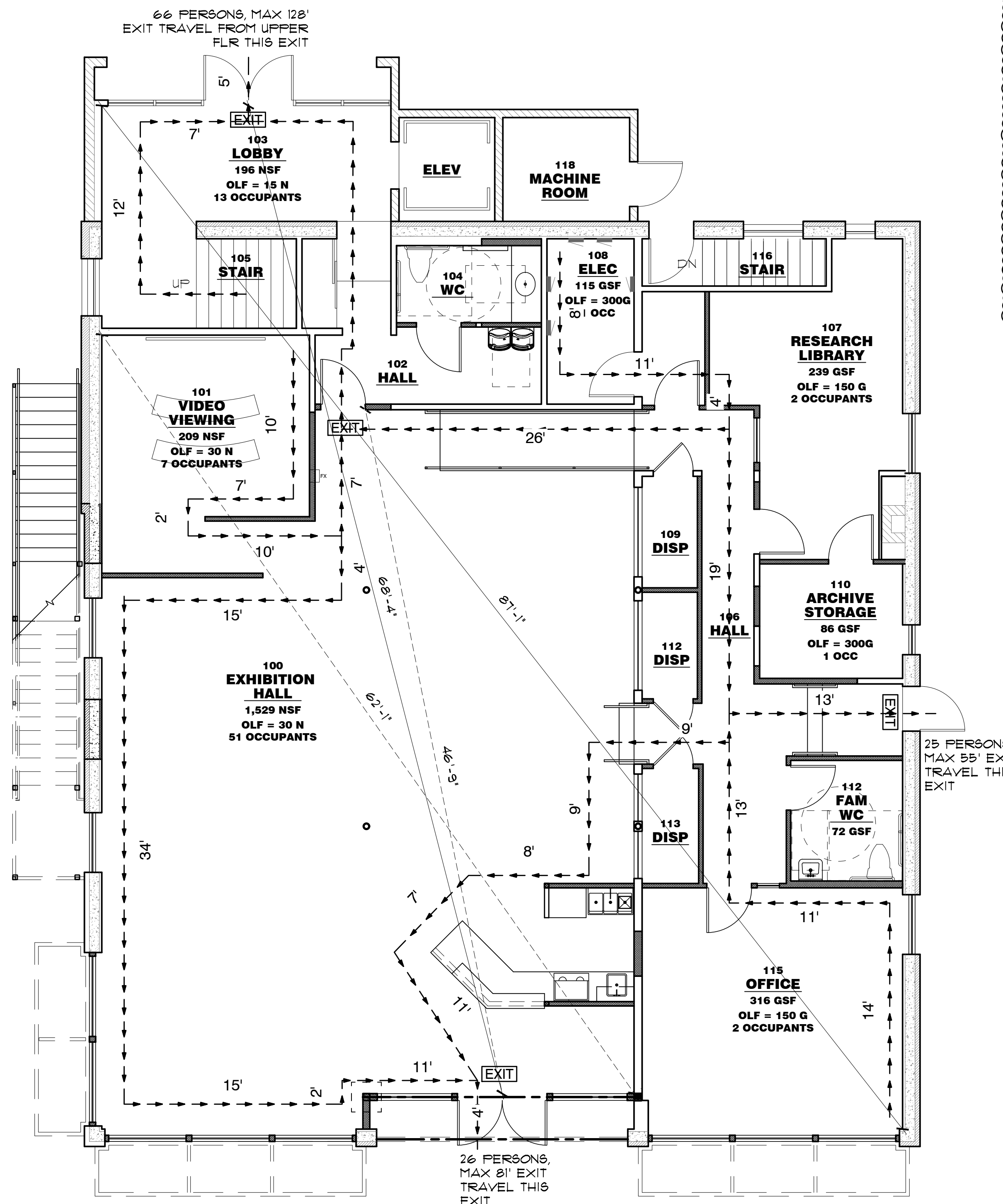
PROJ. NO. : 1705.3
FILE : A-SIT
DATE : 7/12/2023
REVISIONS
1: 9/15/23

SHEET #
A1.0

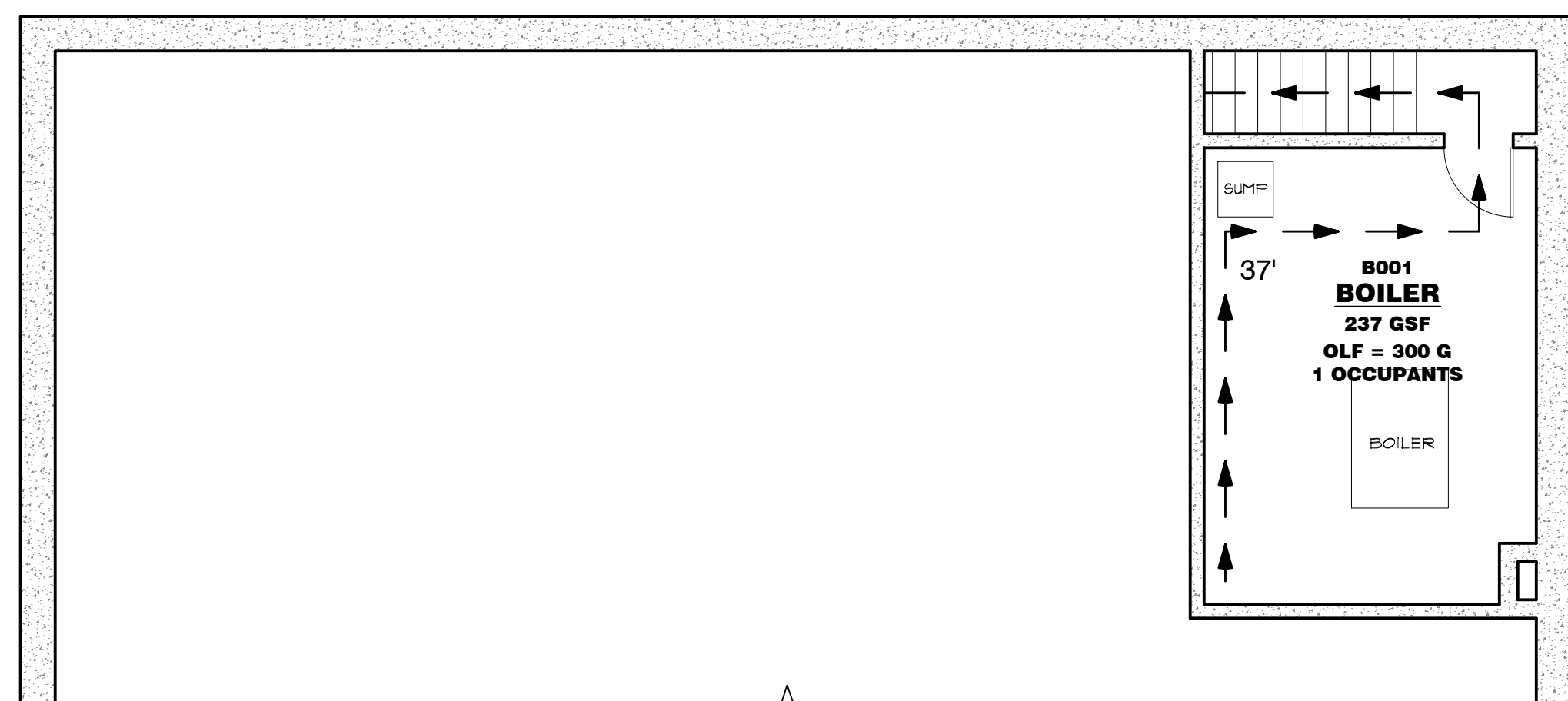
SITE PLAN



UPPER LEVEL FIRE & LIFE SAFETY PLAN
3/16" = 1'-0"



MAIN LEVEL FIRE & LIFE SAFETY PLAN
3/16" = 1'-0"



BASEMENT FIRE & LIFE SAFETY PLAN
3/16" = 1'-0"

BUILDING CODE SUMMARY

2022 OSSC (MODIFIED 2021 IBC)

THE EXISTING BUILDING IS AN A-3 OCCUPANCY THAT IS TWO-STORY & NON-SPRINKLERED, MAKING IT NON-COMPLIANT BASED ON THE CURRENT CODE. NO CHANGE OF OCCUPANCY IS PROPOSED THAT WOULD MAKE THE BUILDING LESS SAFE THAN ITS ORIGINAL USE.

OSCC 3405 PRESCRIPTIVE COMPLIANCE METHOD HAS BEEN USED FOR CODE REVIEW.

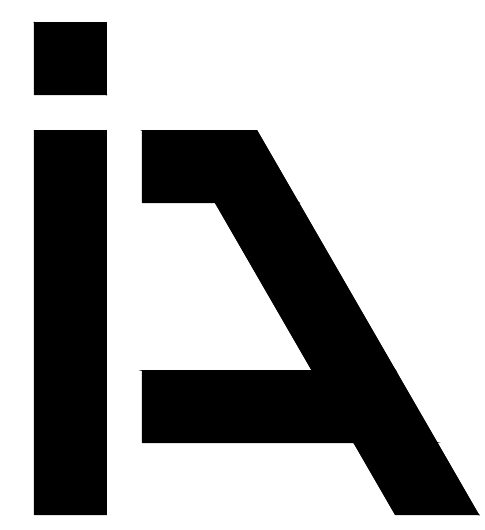
- A NEW EXTERIOR EXIT STAIR IS PROPOSED TO REPLACE THE EXISTING TIMBER STRUCTURE RECONSTRUCTED INTERIOR STAIRS/ RAMP AT LOWER LEVEL WILL MEET CURRENT CODE REQUIREMENTS
- NEW EXIT DOORS WILL MEET CURRENT CODE REQUIREMENTS
- NEW EXIT AND EMERGENCY LIGHTING WILL BE PROVIDED PER CURRENT CODE REQUIREMENTS
- ELECTRICAL AND HVAC UPGRADES ARE PROPOSED THAT WILL BE SAFER THAN EXIST'G OIL FIRED BOILER SYSTEM

THE BUILDING IS HISTORICALLY SIGNIFICANT AND IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES. THE OREGON STATE HISTORIC PRESERVATION OFFICE HAS CONCURRED THAT FIRE SPRINKLERS SHOULD NOT BE REQUIRED IN THIS BUILDING TO ASSIST IN ITS PRESERVATION.

THE UPPER LEVEL WAS ORIGINALLY CITY COUNCIL CHAMBERS AND APPEARS TO MEET CURRENT 100 PSF LIVE LOAD REQUIREMENTS. THE MAIN LEVEL WAS ORIGINALLY A GROCERY STORE (M OCCUPANCY) AND IS SLAB ON GRADE CONSTRUCTION. EXTERIOR WALLS ARE REINFORCED CONCRETE WITH BRICK VENEER. NO ADDITIONAL LOADING OF EXISTING WALLS OR INCREASE IN RISK HAZARD ARE PROPOSED THAT REQUIRE LATERAL IMPROVEMENTS.

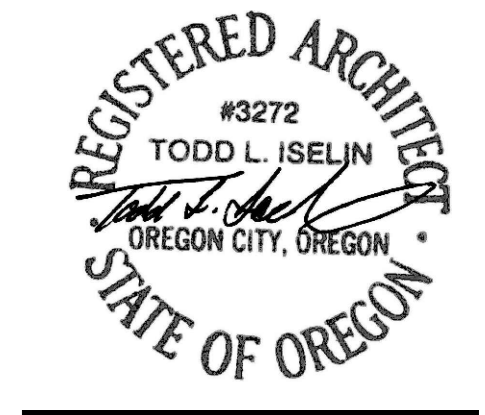
BUILDING SQUARE FOOTAGE	MAIN LEVEL:	3,697 SF
	UPPER LEVEL:	3,423 SF
		7,120 SF
NO. OF STORIES	2-STORY	
OCCUPANCY	EXISTING:	A-3, COMMUNITY HALL
	PROPOSED:	A-3, COMMUNITY HALL / EXHIBITION HALL
CONSTRUCTION TYPE	V-B	
SPRINKLERS	NON - SPRINKLERED	
ALLOWABLE HEIGHT	1-STORY	
ALLOWABLE AREA	6,000 SF PER STORY	
OCCUPANCY SEPARATION	NONE REQUIRED	
FIRE RESISTIVE RATINGS	NONE REQUIRED	
EXIT ACCESS TRAVEL DISTANCE	200' MAX	
COMMON PATH OF EGRESS TRAVEL	75'	
PLUMBING SYSTEMS	REQUIRED	
	WC	MEN - 1 PER 125 (237/2 = 119 OCC = 1)
		WOMEN - 1 PER 65 (237/2 = 119 OCC = 2)
	LAV	MEN - 1 PER 200 (119 OCC = 1)
		WOMEN - 1 PER 200 (119 OCC = 1)
	DF	1 PER FLOOR
	PROVIDED	
	WC	4 FAMILY USE WC
	LAV	4 FAMILY USE LAV
	DF	1 PER FLOOR
ACCESSIBILITY IMPROVEMENTS	BOTH STORIES ARE SERVED BY AN EXISTING ELEVATOR	
	- NEW ADA COMPLIANT ENTRY AT NORTH SIDE OF BUILDING	
	- RAMP TO MAIN LEVEL RAISED FLOOR AREAS	
	- TOILET ROOM IMPROVEMENTS	

EGRESS & OCCUPANCY						
#	NAME	AREA (SQ. FT.)	OLF	OCC LOAD	EXITS RECD	EXITS PROV'D
MAIN LEVEL						
100	EXHIBITION HALL	1,529 NSF	30 N	51	2	2
101	VIDEO VIEWING	209 NSF	30 N	7	1	1
102	HALL					
103	LOBBY	196 NSF	15 N	13	1	1
104	FAMILY BATHROOM					
105	STAIR					
106	HALL					
107	STORAGE	154 GSF	300 G	1	1	1
108	ELECTRICAL	77 GSF	300 G	1	1	1
109	DISPLAY					
110	STORAGE	109 GSF	300 G	1	1	1
111	FAMILY BATHROOM					
112	DISPLAY					
113	DISPLAY					
114	STORAGE	97 GSF	300 G	1	1	1
115	OFFICE	316 GSF	150 G	2	1	1
116	STAIR					
TOTAL				77	2	3
UPPER LEVEL						
200	LOBBY	393 NSF	15 N	26	1	2
201	BREAK RM	168 NSF	15 N	11	1	1
202	CONFERENCE	407 NSF	15 N	27	1	1
203	HALL (INCLUDED W/ LOBBY)					
204	FAMILY BATHROOM					
205	JANITOR CLOSET					
206	FAMILY BATHROOM					
207	MEETING ROOM	896 NSF	15 N	60	2	2
208	OPEN OFFICE	363 GSF	150 G	3	1	2
209	WORK ROOM	136 GSF	150 G	1	1	1
210	OFFICE	206 GSF	150 G	2	1	1
211	OFFICE	173 GSF	100 G	1	1	1
212	OFFICE	150 GSF	100 G	1	1	1
BASEMENT						
B01	BOILER	237 GSF	300 G	1	1	1
TOTAL				132	2	2



ISELIN ARCHITECTS P.C.

1307 Seventh Street
Oregon City, OR 97045
503-656-1942
www.iselinarchitects.com



This Plan Review Approval Does not Prevent The Field Inspector From Requiring Further Code Correction!

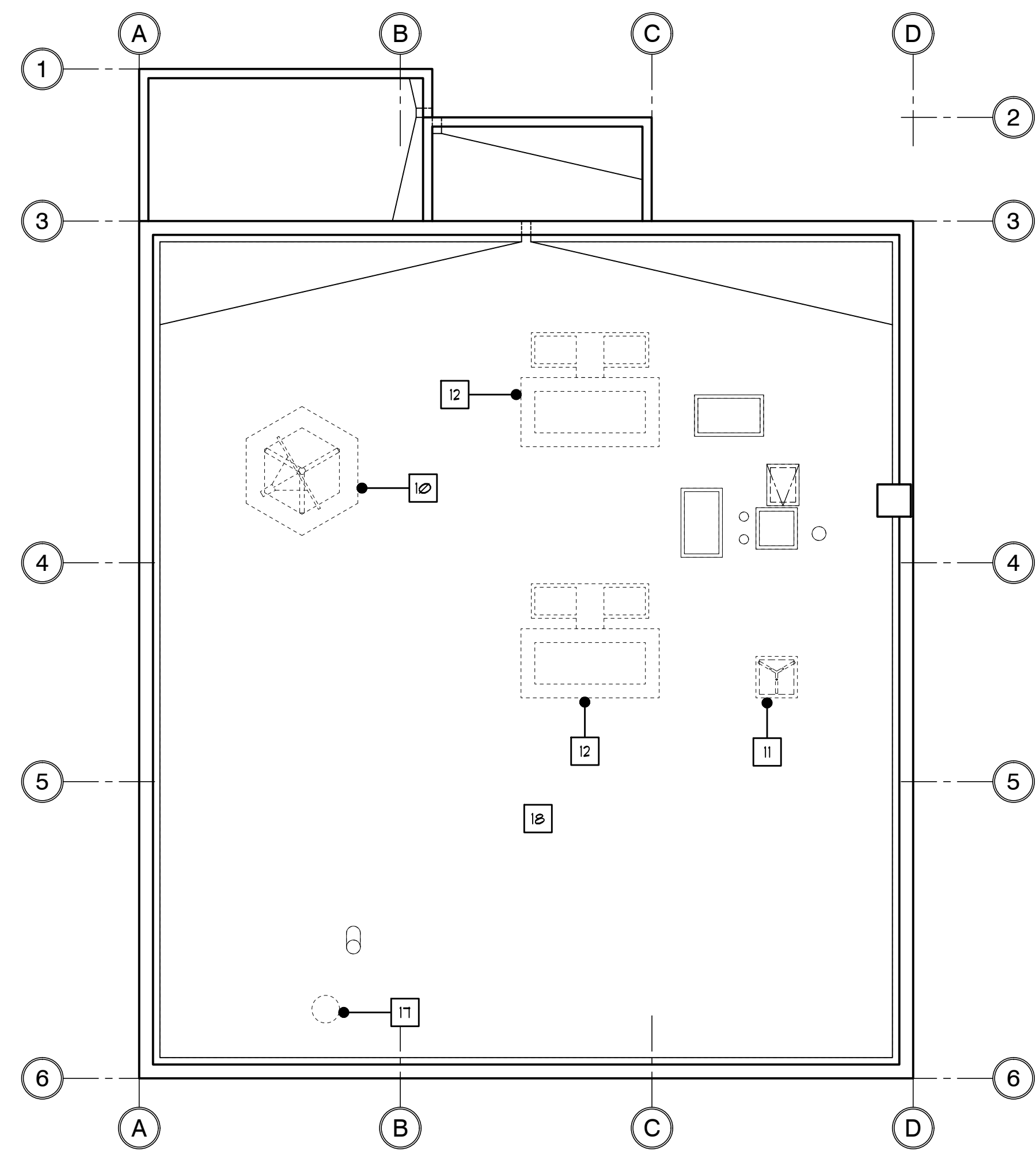
Renovation and Remodel of Historic West Linn City Hall Building
22825 Willamette Drive West Linn, OR 97068

for Regional Cultural/ Tourism Center in partnership with Willamette Falls and Landings Heritage Area Coalition

PROJ. NO. : 1705.3
FILE : A-FLS
DATE : 7/12/2023
REVISIONS
1: 9/15/23

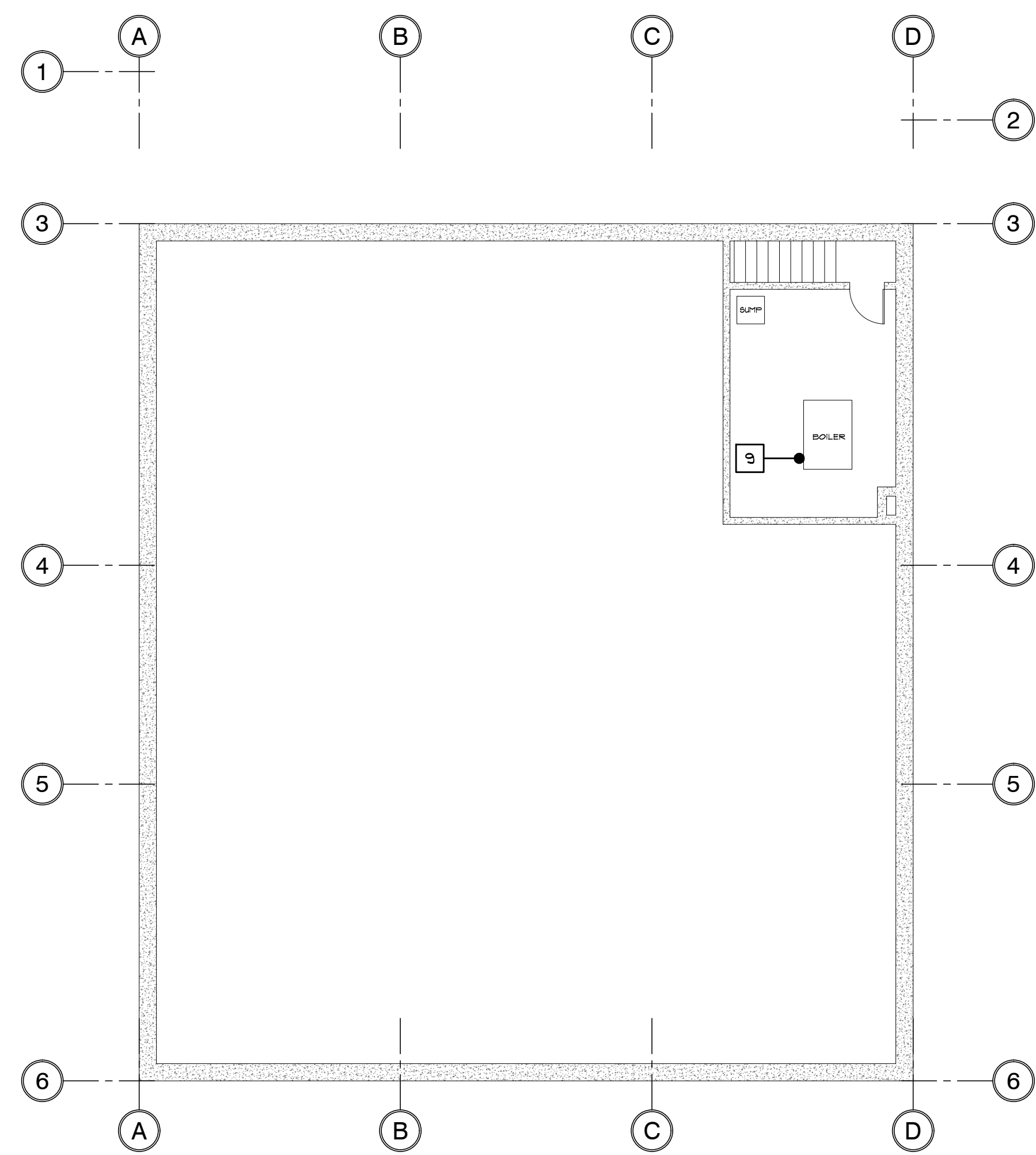
SHEET # **A1.1**

CODE SUMMARY, FIRE & LIFE SAFETY PLAN



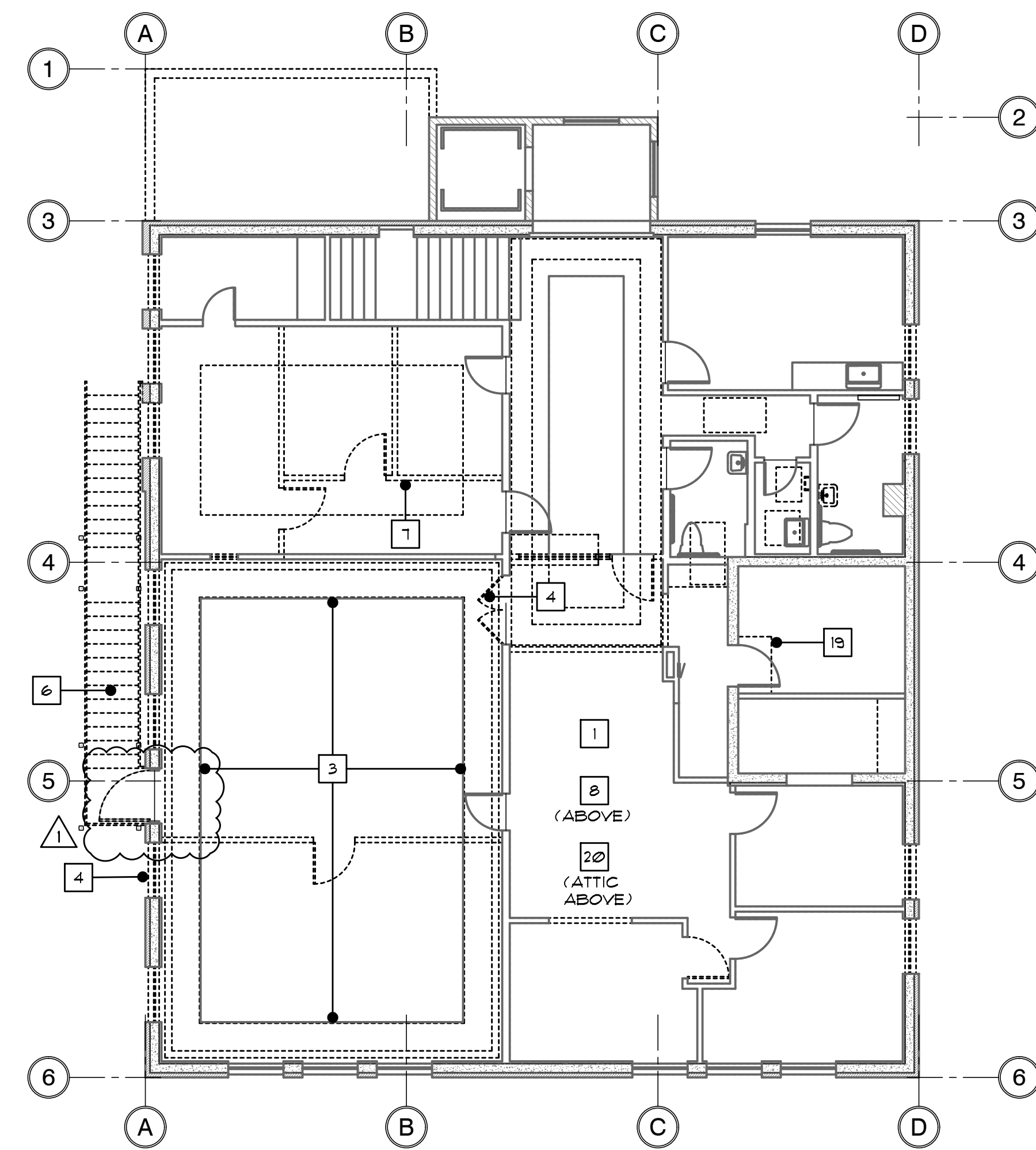
ROOF DEMOLITION PLAN

1/8" = 1'-0"



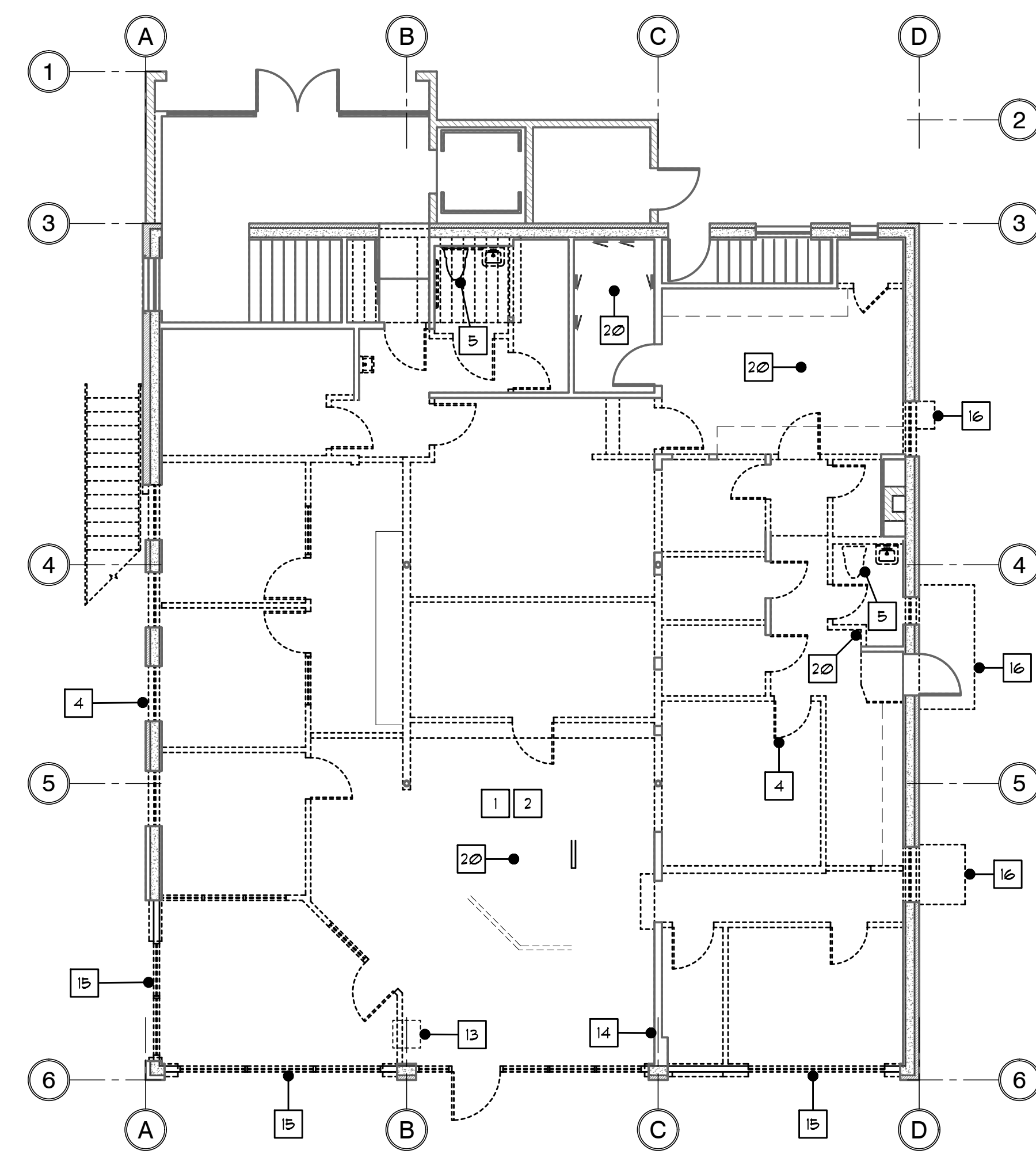
BASEMENT DEMOLITION PLAN

1/8" = 1'-0"



UPPER LEVEL DEMOLITION PLAN

1/8" = 1'-0"



MAIN LEVEL DEMOLITION PLAN

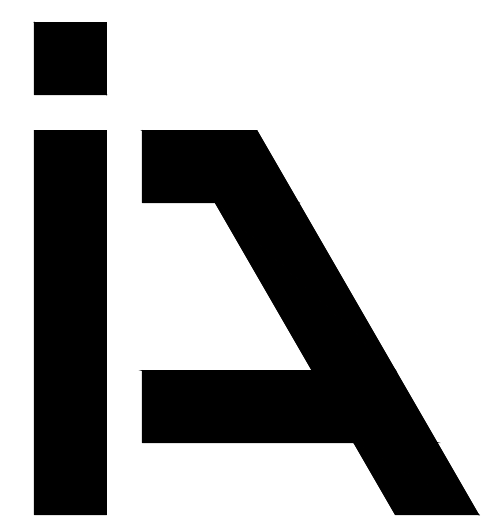
1/8" = 1'-0"

DEMO PLAN KEYNOTES

1. REMOVE FLR & WALL FINISHES, INCL CARPET, VINYL, WD & RUBBER BASE, TRIM, FRP & CASWORK AS REQ'D FOR NEW FINISHES. REF FINISH SCHEDULE FOR EXTENT OF NEW WORK. FOR AREAS OF NO WORK, WD WALL PANELING @ MAIN LEVEL TO BE REMOVED. UPPER LEVEL WD PANELING TO REMAIN PER FINISH SCHEDULE & INTERIOR ELEVATIONS.
2. REMOVE ACT & GRID FROM ALL AREAS @ MAIN LEVEL. EXIST'G PLASTER CLG & FRMG, DUCTWORK, ELEC FIXTURES & CONDUIT LOCATED ABOVE HT OF NEW ACT MAY REMAIN.
3. NEATLY CUT & REMOVE CENTER SECTION OF FIBERBD CLG @ MEETING RM.
4. REMOVE DOORS &/OR WINDOW AS INDICATED ON BUILDING ELEVATIONS & AS REQ'D PER DOOR & WINDOW SCHEDULES. SAVE FOR RELOCATION AS NOTED.
5. REMOVE PLUMBING FIXTURES. RETAIN PIPING AS POSSIBLE FOR NEW FIXTURES TO BE INSTALLED OR PERMANENTLY CAP AS REQ'D WITHIN WALL & FLR FINISHES.
6. REMOVE WD FRM'D STAIR, RAILINGS & TRELLIS. REMOVE CONC FTGS TO ± 4' BLU GRADE OR AS REQ'D FOR NEW STAIR FTGS.
7. REMOVE PLY VENEER WALL PANELING FROM WALLS TO BE DEMOLISHED. RETAIN FOR PATCHING & REPAIR @ AREAS WHERE PANELING IS TO REMAIN.
8. REMOVE ALL LOW VOLTAGE WIRING & CONDUIT ABOVE SUSPENDED CLGS.
9. DECOMMISSION BOILER & REMOVE STEAM PIPING W/ ASBESTOS CONTAINING INSUL WRAP FROM ALL VISIBLE AREAS, INCLUDING ATTIC. *REMOVE & PROPERLY DISPOSE OF ASBESTOS CONTAINING MATERIAL PER OSHA & DEQ STDS.** BOILER TO REMAIN IN PLACE.
10. REMOVE SATELITE DISH, SUPPORTING STRUCTURE, CONDUIT, ANTENNA & CMU BASE.
11. REMOVE ANTENNAE & MISCELLANEOUS, NON-FUNCTIONING ITEMS FROM ROOF. ROOF CURBS & CAPS TO REMAIN.
12. REMOVE ROOFTOP HVAC UNITS. RETAIN DUCT'G FOR POSSIBLE MODIFICATION & RE-USE.
13. SAWCUT & REMOVE EXIST'G SLAB AS REQ'D FOR NEW FTG.
14. OPEN EXIST'G WALL AS REQ'D FOR NEW BEAM SUPPORTS.
15. REMOVE DOORS, WINDOWS, FRMG & BRICK INFILL AS REQ'D FOR NEW WINDOW & DOOR INSTALLATION PER SCHEDULE. SALVAGE EXIST'G BRICK AS REQ'D FOR NEW INFILL & PATCHING.
16. REMOVE WALL MOUNTED AC UNIT & SUPPORT FRMG.
17. REMOVE AWNING & FRAME.
18. REMOVE EXIST'G BUILT-UP ROOFING & CAP SHEET AS REQ'D FOR NEW ROOF MEMBRANE INSTALLATION. EXIST'G PARAPET FLASH'G & COUNTERFLASH'G TO REMAIN.
19. REMOVE EXIST'G WOOD FRAMED RAMP.
20. ACM IDENTIFIED IN EXIST'G FLOOR TILE & MASTIC & FRP WALL PANEL MASTIC IN MAIN LEVEL AREAS NOTED & STEAM PIPE INSULATION IN ATTIC. REFER TO ENVIRONMENTAL STUDY FOR ADDITIONAL INFORMATION. REMOVE & DISPOSAL OF ALL ACMs TO BE PERFORMED BY CERTIFIED PERSONNEL PER OSHA, DEQ & EPA REQ'MENTS.

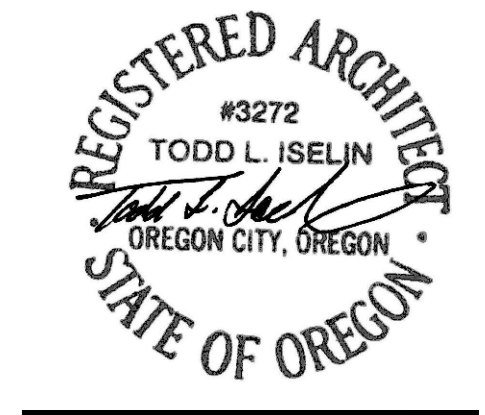
DEMOLITION PLAN LEGEND

- EXIST'G WALL/ELEMENT TO BE REMOVED
- EXIST'G WALL TO REMAIN
- EXIST'G BRICK VENEER TO REMAIN
- EXIST'G CMU WALL TO REMAIN
- EXIST'G CONC WALL TO REMAIN



ISELIN ARCHITECTS P.C.

1307 Seventh Street
Oregon City, OR 97045
503-656-1942
www.iselinarchitects.com



This Plan Review Approval
Does not Prevent The Field
Inspector From Requiring
Further Code Correction!

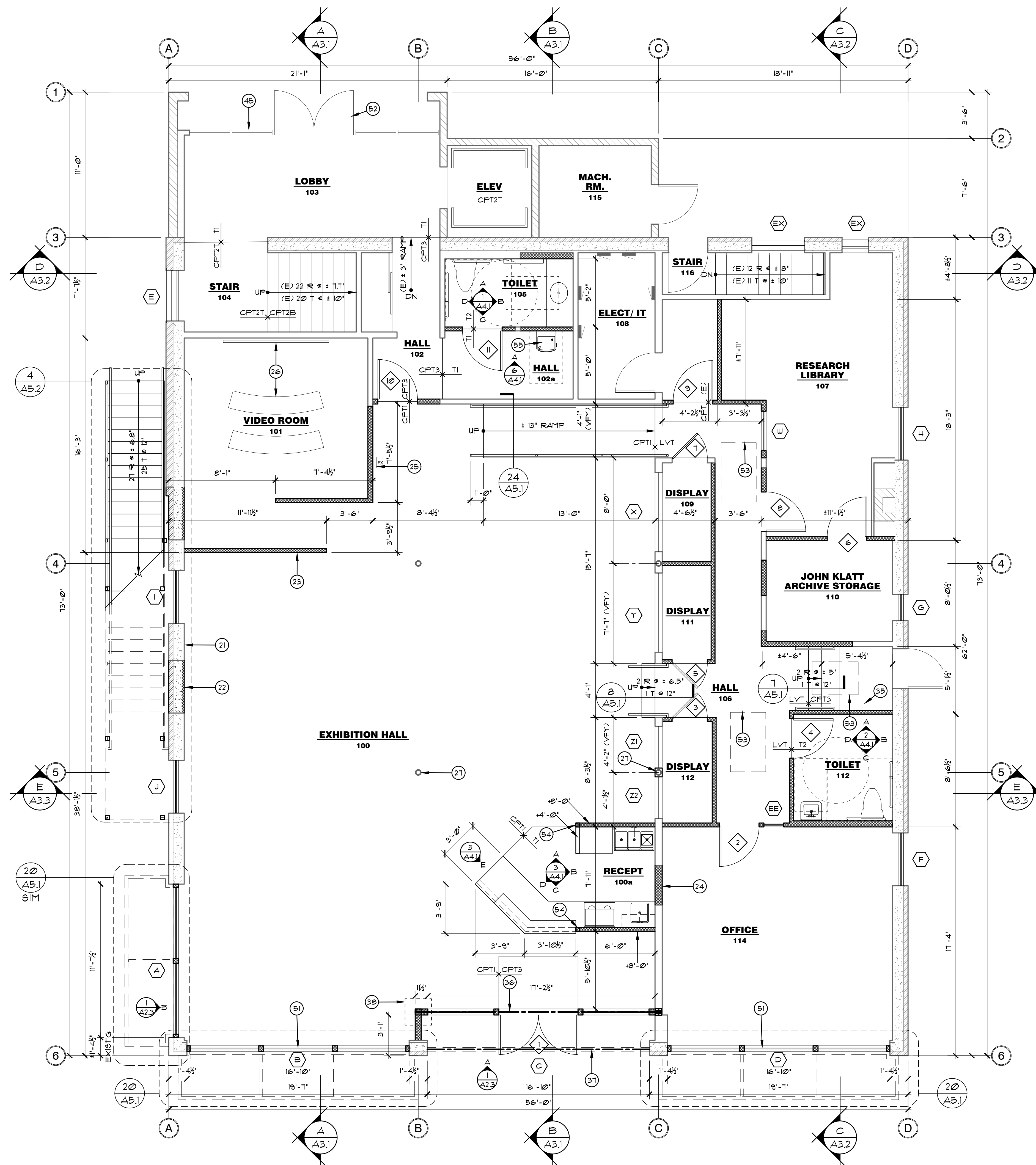
**Renovation and Remodel of
Historic West Linn City Hall Building
22825 Willamette Drive West Linn, OR 97068**
 for Regional Cultural/ Tourism Center in partnership with
 Willamette Falls and Landings Heritage Area Coalition

PROJ. NO. : 1705.3
 FILE : A-FP
 DATE : 7/12/2023
 1: 9/15/23

SHEET #

A1.2

DEMOLITION PLANS



MAIN LEVEL FLOOR PLAN
 TRUE NORTH
 PROJ. NORTH
 1/4" = 1'-0"

KEYNOTES

(NOT ALL KEYNOTES REFERENCED ON EACH PAGE)

21. EXIST'G WALL TO REMAIN. PATCH & REPAIR AS REQ'D DUE TO REMOVAL OF FINISHES OR OTHER MODIFICATIONS. FINISH TO MATCH EXIST'G ADJACENT & PROVIDE SEAMLESS APPEARANCE. PAINT. REF FINISH SCHEDULE FOR ADD'L FINISH INFO.
22. INFILL OPEN'G IN EXT WALL W/ CONC. BRICK VENEER & INTERIOR FURR'G. FINISH TO MATCH EXIST'G ADJACENT & PROVIDE SEAMLESS APPEARANCE. PAINT.
23. NEW WD FRM'D WALL W/ GYP BD FINISH EA. SIDE. 2x4 @ 16' O.C. UNO. PER FRAMING NOTES. 2x6 AS REQ'D FOR PLUMBING. REF FINISH SCHEDULE FOR FINISHES, TYP.
24. INFILL WALL AS REQ'D W/ 2x STUDS SIZE AS REQ'D TO MATCH EXIST'G. FINISH TO MATCH EXIST'G ADJACENT & PROVIDE SEAMLESS APPEARANCE. PAINT.
25. NEW FIRE EXTINGUISHER & CAB'IT.
26. FURNISHINGS TO BE PROVIDED & INSTALLED BY OWNER/TENANT.
27. STL PIPE COL. TO BE EXPOSED. SAND & PAINT.
28. NEW GYP BD CLG OVER 2x6 CLG JOISTS @ 24' O.C.
29. NEW GYP BD CLG SUSP FROM EXIST'G FRM'G. REF DTL 21/A5.2 FOR SEISMIC BRACING. VFY HT AS REQ'D TO CLEAR WINDOWS & CONCEAL EXIST'G ELECTRICAL CONDUIT & FIXTURES AS POSSIBLE.
30. NEW FLY SHTH'G OVER NEW 2x6 FLR FRM'G @ 16' O.C.
31. NEW CONC RAMP. REF DTL. 24/A5.1
32. NEW LIGHT FIXTURE. REF RCP / LIGHTING PLANS.
33. DOOR/WINDOW PER SCHEDULE.
34. NEW GYP BD CLG @ CENTER SECTION OF COFFERED CLG.
35. 2x6 FLR JOISTS @ 16' O.C. W/ LUGS TO 2x6 LEDGER W/ (2) #10 x 3" SCREWS @ 24' O.C. TO STUD OR SOLID BLKG.
36. NEW 5 1/2" x 12" GLAM BM. SUPPORT W/ NEW POST @ CORNER & (4) NEW 2x STUDS @ EXIST'G WALL & FOUNDATION.
37. NEW 3 1/2" x 9" GLAM BM. INSTALL NEW HUC46 TO EXIST'G CONC BM W/ (8) TITEN TURBO SCREWS EA END.
38. NEW 6x6 POST W/ 24" SQ FTG. REF DTL 12/A5.1.
39. NEW STAIR & RAILINGS. REF DTL. 4/A5.2. PAINT SEMI-GLOSS BLACK.
40. EXIST'G WD WINDOW TO REMAIN. CLEAN, SAND & PAINT, TYP.
41. NEW PAINTED STL CHANNEL LINING. REF PLANS & DTL FOR ADD'L INFORMATION. PROVIDE STRUCTURAL DRAWINGS BY LICENSED ENGINEER (PAINT SEMI-GLOSS BLACK).
42. NEW TILE WAINSCOT.
43. EXIST'G MASONRY TO BE CLEANED & SEALED.
44. EXIST'G EXTERIOR INSULATION & FINISH SYSTEM, SCUFFERS, DOWNSPOUTS & MISC ITEMS TO REMAIN TO BE CLEANED, PREPPED & PAINTED.
45. EXIST'G ALUM STOREFRONT ASSEMBLY TO REMAIN.
46. EXIST'G PRE-FIN MTL PARAPET CAP FLASH'G & COUNTER FLASH'G TO REMAIN.
47. INSTALL NEW INSUL ABOVE EXIST'G AS REQ'D TO PROVIDE R-49.
48. FURR FLR W/ 3/4" CDX PLY OVER F.T. 2x FURR'G @ 16' O.C. AS REQ'D TO ALIGN W/ ADJACENT FLR.
49. NEW NON-RATED DATA OR HVAC CHASE THROUGH UPPER LEVEL FLR FRM'G TO UPPER LEVEL ATTIC FRM'G. 2x4 FRM'G W/ GYP BD @ OUTSIDE FACE. PROVIDE 1'0"x12" ACCESS PANEL IN DATA CHASE IN BREAK RM.
50. NEW SUSP ACT & GRID.
51. INSTALL NEW CONTINUOUS 5 1/2" x 10 1/2" G. LAM HEADER BETWEEN WINDOW AND TRANSOM.
52. EXISTING 3' WIDE DOOR(S) W/ ADA COMPLIANT THRESHOLD AND EXIT DEVICE TO REMAIN.
53. INSTALL HVAC EQUIPMENT PER PLANS ABOVE FINISH CEILING. HANG FROM SIDE OF EXISTING FLOOR JOISTS USING 'UNI-STRUT' F1000-H3 (OR EQUAL) USING (3) #10 x 1 1/2" SCREWS AND WASHERS.
54. FULL HEIGHT 4x4 POST AT END OF WALL W/ BC40 BASE AND (2) LL358 SCREWS TO JOIST OR SOLID BLKG AT EXIST'G FLOOR JOIST ABOVE.
55. INSTALL NEW ADA COMPLIANT DRINKING FOUNTAIN/ WATER BOTTLE FILL STATION.

FLOOR PLAN LEGEND

- NEW 2x4 @ 16' O.C STUD WALL @ INT UNO
- EXIST'G WALL TO REMAIN
- EXIST'G BRICK VENEER TO REMAIN
- EXIST'G CMU WALL TO REMAIN
- EXIST'G CONC WALL TO REMAIN



ISELIN ARCHITECTS P.C.

1307 Seventh Street
 Oregon City, OR 97045
 503-656-1942
 www.iselinarchitects.com



This Plan Review Approval Does not Prevent The Field Inspector From Requiring Further Code Correction!

**Renovation and Remodel of
 Historic West Linn City Hall Building
 22825 Willamette Drive West Linn, OR 97068**

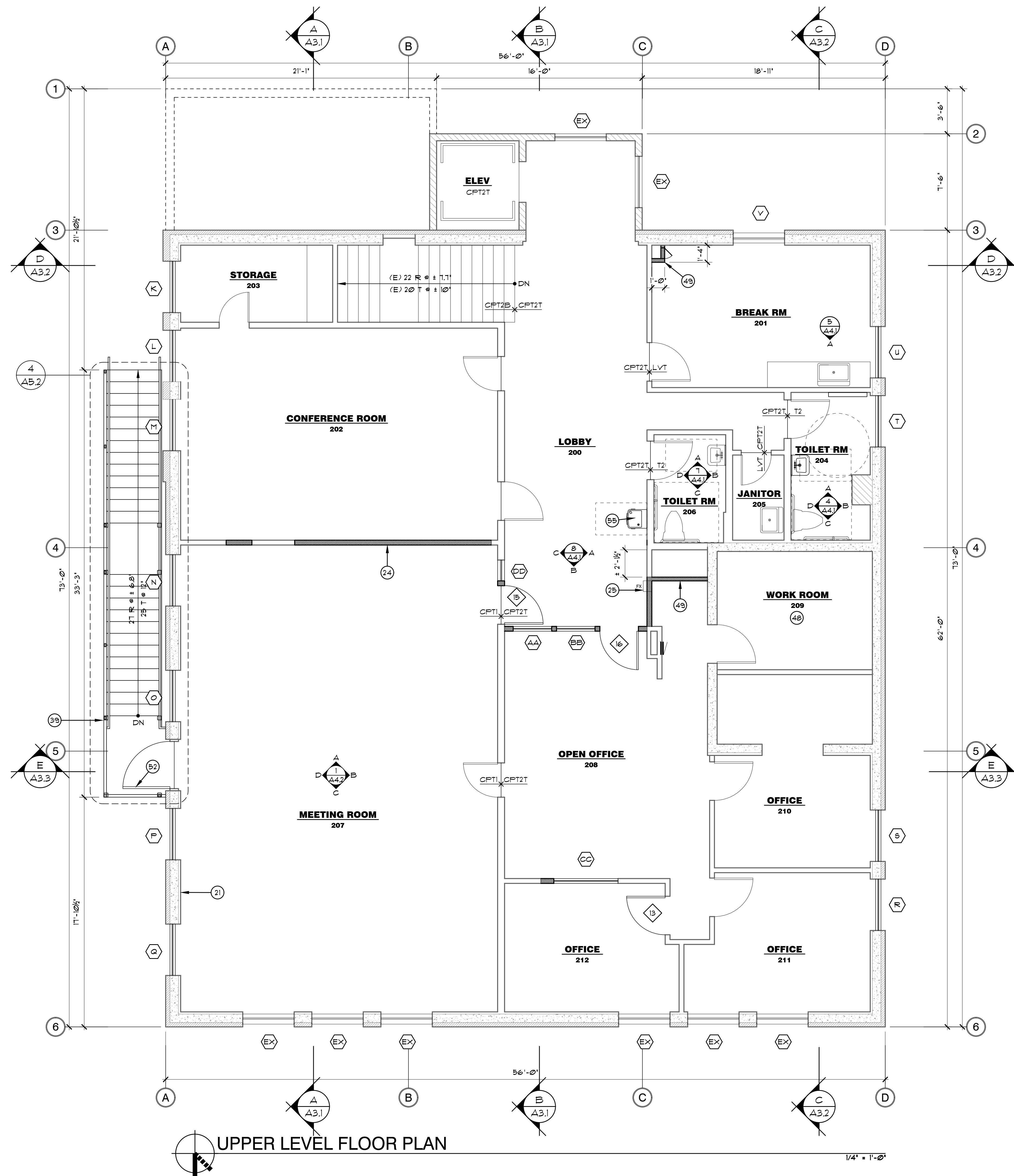
for Regional Cultural/ Tourism Center in partnership with
 Willamette Falls and Landings Heritage Area Coalition

PROJ. NO. : 1705.3
 FILE : A-FP
 DATE : 7/12/2023
 REVISIONS
 1: 9/15/23

SHEET #

A1.3

MAIN LEVEL FLOOR PLAN



UPPER LEVEL FLOOR PLAN

- KEYNOTES**
(NOT ALL KEYNOTES REFERENCED ON EACH PAGE)
- EXIST'G WALL TO REMAIN. PATCH & REPAIR AS REQ'D DUE TO REMOVAL OF FINISHES OR OTHER MODIFICATIONS. FINISH TO MATCH EXIST'G ADJACENT & PROVIDE SEAMLESS APPEARANCE. PAINT. REF FINISH SCHEDULE FOR ADD'L FINISH INFO.
 - INFILL OPNG IN EXT WALL W/ CONC, BRICK VENEER & INTERIOR FURR'G. FINISH TO MATCH EXIST'G ADJACENT & PROVIDE SEAMLESS APPEARANCE, PAINT.
 - NEW WD FRM'D WALL W/ GYP BD FINISH EA. SIDE. 2x4 @ 16' O.C. UNO. PER FRAMING NOTES. 2x6 AS REQ'D FOR PLUMBING. REF FINISH SCHEDULE FOR FINISHES, TYP.
 - INFILL WALL AS REQ'D W/ 2x STUDS SIZE AS REQ'D TO MATCH EXIST'G. FINISH TO MATCH EXIST'G ADJACENT & PROVIDE SEAMLESS APPEARANCE, PAINT.
 - NEW FIRE EXTINGUISHER & CABT.
 - FURNISHINGS TO BE PROVIDED & INSTALLED BY OWNER/TENANT.
 - STL PIPE COL TO BE EXPOSED. SAND & PAINT.
 - NEW GYP BD CLG OVER 2x6 CLG JOISTS @ 24' O.C.
 - NEW GYP BD CLG SUSP FROM EXIST'G FRM'G. REF DTL 21/A5.2 FOR SEISMIC BRACING. VTY HT AS REQ'D TO CLEAR WINDOWS & CONCEAL EXIST'G ELECTRICAL CONDUIT & FIXTURES AS POSSIBLE.
 - NEW PLY SHTH'G OVER NEW 2x6 FLR FRM'G @ 16' O.C.
 - NEW CONC RAMP. REF DTL 24/A5.1
 - NEW LIGHT FIXTURE. REF RCP / LIGHTING PLANS.
 - DOOR/WINDOW PER SCHEDULE.
 - NEW GYP BD CLG @ CENTER SECTION OF COFFERED CLG.
 - 2x6 FLR JOISTS @ 16' O.C. W/ LUT2 TO 2x6 LEDGER W/ (2) #10 x 3" SCREWS @ 24' O.C. TO STUD OR SOLID BLKG.
 - NEW 5 1/2' x 12' GLAM BM. SUPPORT W/ NEW POST @ CORNER & (4) NEW 2x STUDS @ EXIST'G WALL & FOUNDATION.
 - NEW 3 1/2' x 9' GLAM BM. INSTALL NEW HUC46 TO EXIST'G CONC BM W/ (8) TITEN TURBO SCREWS EA END.
 - NEW 6x6 POST W/ 24" SQ FTG. REF DTL 12/A5.1
 - NEW STAIR & RAILINGS. REF DTL 4/A5.2. PAINT SEMI-GLOSS BLACK.
 - EXIST'G WD WINDOW TO REMAIN. CLEAN, SAND & PAINT, TYP.
 - NEW PAINTED STL CHANNEL AWNING. REF PLANS & DTL FOR ADD'L INFORMATION. PROVIDE STRUCTURAL DRAWINGS BY LICENSED ENGINEER. PAINT SEMI-GLOSS BLACK.
 - NEW TILE WAINSCOT.
 - EXIST'G MASONRY TO BE CLEANED & SEALED.
 - EXIST'G EXTERIOR INSULATION & FINISH SYSTEM, SCUPPERS, DOWNSPOUTS & MISC ITEMS TO REMAIN TO BE CLEANED, PREPPED & PAINTED.
 - EXIST'G ALUM STOREFRONT ASSEMBLY TO REMAIN.
 - EXIST'G PRE-FIN MTL PARAPET CAP FLASH'G & COUNTER FLASH'G TO REMAIN.
 - INSTALL NEW INSUL ABOVE EXIST'G AS REQ'D TO PROVIDE R-49.
 - FURR FLR W/ 3/4" CDX FLY OVER P.T. 2x FURR'G @ 16' O.C. AS REQ'D TO ALIGN W/ ADJACENT FLR.
 - NEW NON-RATED DATA OR HVAC CHASE THROUGH UPPER LEVEL FLR FRM'G TO UPPER LEVEL ATTIC FRM'G. 2x4 FRM'G W/ GYP BD @ OUTSIDE FACE. PROVIDE ± 10'x12' ACCESS PANEL IN DATA CHASE IN BREAK RM.
 - NEW SUSP ACT & GRID.
 - INSTALL NEW CONTINUOUS 5 1/2 x 10 1/2 G. LAM HEADER BETWEEN WINDOW AND TRANSOM.
 - EXISTING 3' WIDE DOOR(S) W/ ADA COMPLIANT THRESHOLD AND EXIT DEVICE TO REMAIN.
 - INSTALL HVAC EQUIPMENT PER PLANS ABOVE FINISH CEILING. HANG FROM SIDE OF EXISTING FLOOR JOISTS USING 'UNI-STRUT' F1000-H3 (OR EQUAL) USING (3) #10 x 1 1/2" SCREWS AND WASHERS.
 - FULL HEIGHT 4x4 POST AT END OF WALL W/ BC40 BASE AND (2) LL356 SCREWS TO JOIST OR SOLID BLKG AT EXIST'G FLOOR JOIST ABOVE.
 - INSTALL NEW ADA COMPLIANT DRINKING FOUNTAIN/ WATER BOTTLE FILL STATION.

GENERAL NOTES:
BUILDING ELEMENTS ARE EXIST'G TO REMAIN UNLESS NOTED OTHERWISE.

- FLOOR PLAN LEGEND**
- NEW 2x4 @ 16' O.C. STUD WALL @ INT UNO
 - EXIST'G WALL TO REMAIN
 - EXIST'G BRICK VENEER TO REMAIN
 - EXIST'G CMU WALL TO REMAIN
 - EXIST'G CONC WALL TO REMAIN

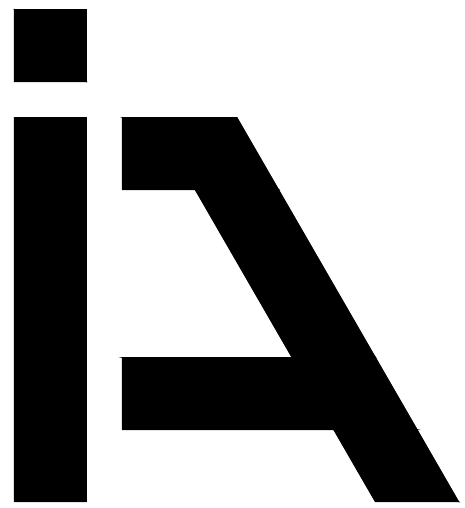
1307 Seventh Street
Oregon City, OR 97045
503-656-1942
www.iselinarchitects.com

This Plan Review Approval Does not Prevent The Field Inspector From Requiring Further Code Correction!

**Renovation and Remodel of
Historic West Linn City Hall Building
22825 Willamette Drive West Linn, OR 97068**
for Regional Cultural/ Tourism Center in partnership with
Willamette Falls and Landings Heritage Area Coalition

PROJ. NO. : 1705.3
FILE : A-FP
DATE : 7/12/2023
REVISIONS
1: 9/15/23

SHEET #
A1.4
MAIN LEVEL FLOOR PLAN



ISELIN ARCHITECTS P.C.

1307 Seventh Street
Oregon City, OR 97045
503-656-1942
www.iselinarchitects.com



This Plan Review Approval Does not Prevent The Field Inspector From Requiring Further Code Correction!

**Renovation and Remodel of
Historic West Linn City Hall Building
22825 Willamette Drive West Linn, OR 97068**
for Regional Cultural/ Tourism Center in partnership with
Willamette Falls and Landings Heritage Area Coalition

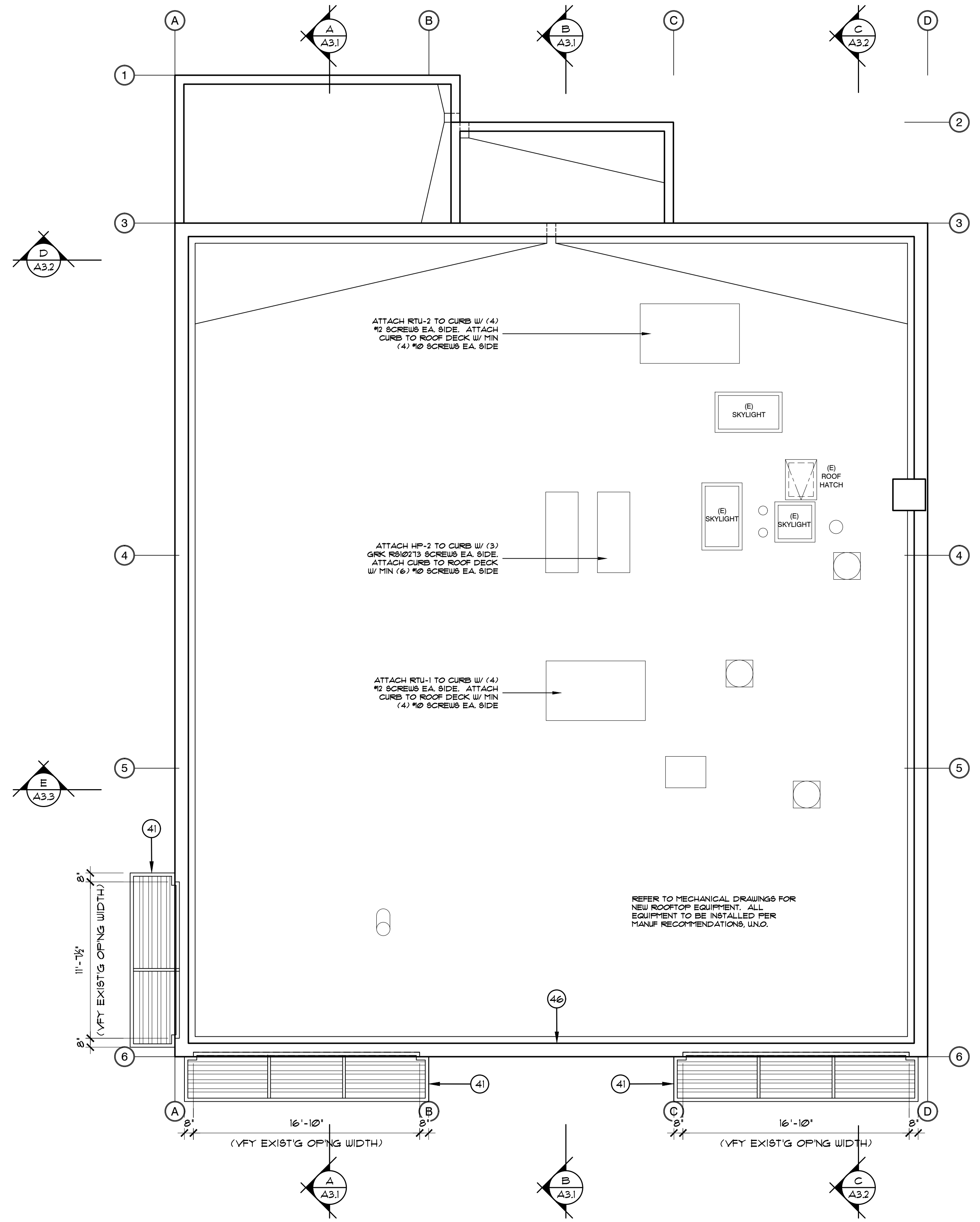
PROJ. NO.: 1705.3
FILE: A-FP
DATE: 7/12/2023

REVISIONS
1: 9/15/23

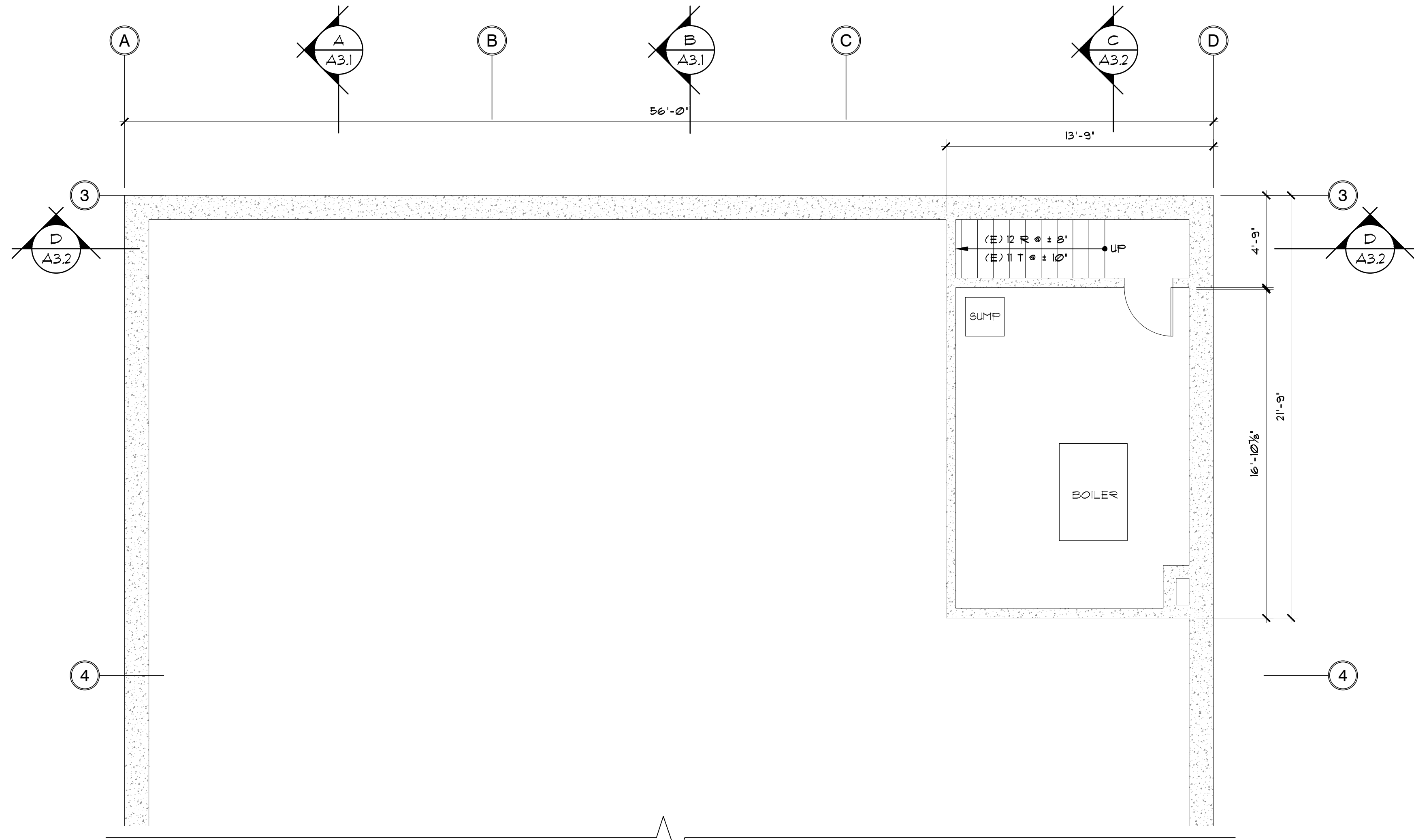
SHEET #

A1.5

ROOF PLAN
BASEMENT PLAN



ROOF PLAN



BASEMENT PLAN

FINISH SCHEDULE									
RM #	Name	N	E	S	W	FLR	BASE	CLG	Notes
B01	BOILER	(E)	(E)	(E)	(E)	(E)	(E)	(E)	1
	ELEVATOR	(E)	(E)	(E)	(E)	CPT 2T	RB	(E)	
100	EXHIBITION HALL	GB	GB-A	GB	GB-A	CPT 1-3	WD	GB	
100a	RECEPT	GB-FL	GB-FL	GB-FL	---	T 1	WD	GB	
101	VIDEO ROOM	GB-A	GB-A	(E)	GB-A	CPT 1	WD	GB	
102	HALL	GB	(E)	---	(E)	CPT 3	WD	GB	
102a	HALL	(E)	---	GB-FL	(E)	T 1	WD-T2	GB	
103	LOBBY	(E)	(E)	(E)	(E)	T 1	(E)	(E)	2
104	STAIR	(E)	(E)	(E)	(E)	CPT 2B	(E)	(E)	3
105	TOILET ROOM	GB-T3	(E)-T3	GB-T3	(E)-T3	T 2	T 2	GB	
106	HALL	GB	GB	GB	GB	LVT-CPT 3	WD	GB	
107	RESEARCH LIBRARY	GB	GB	(E)	(E)	LVT	WD	GB	
108	ELECTRICAL / IT	GB	(E)	(E)	GB	LVT	RB	(E)	
109	DISPLAY	GB	(E)	(E)	GB	LVT	WD	GB	
110	ARCHIVE STORAGE	GB	GB	GB	(E)	LVT	WD	GB	
111	DISPLAY	GB	(E)	GB	GB	LVT	WD	GB	
112	TOILET ROOM	GB	GB	GB	(E)	T 2	T 2	GB	
113	DISPLAY	GB	(E)	GB	GB	LVT	WD	GB	
114	OFFICE	GB	GB	GB	(E)	LVT	WD	GB	
115	MACHINE ROOM	(E)	(E)	(E)	(E)	(E)	(E)	(E)	1
116	BASEMENT STAIR	(E)	(E)	(E)	(E)	(E)	(E)	(E)	1
200	LOBBY	GB	GB-FN	(E)	GB-FN	CPT 2T	WD	(E)	4
201	BREAK ROOM	(E)	(E)	(E)	(E)	LVT	WD	(E)	
202	CONFERENCE ROOM	GB	(E)	(E)	GB	CPT 2T	WD	ACT	
203	STORAGE	(E)	(E)	(E)	(E)	CPT 2T	WD	(E)	
204	TOILET ROOM	(E)-T3	(E)-T3	(E)	(E)	T 2	T 2	(E)	
205	JANITOR	PLS	(E)	(E)	(E)	LVT	RB	(E)	
206	TOILET ROOM	(E)-T3	(E)-T3	(E)-T3	(E)-T3	T 2	T 2	(E)	
207	MEETING ROOM	GB-FN	GB-FN	GB-FN	GB-FN	CPT 1	WD	(E)-GB	4
208	OPEN OFFICE	GB	(E)	GB	(E)	CPT 2T	WD	ACT	
209	WORK ROOM	GB	(E)	GB	(E)	CPT 2T	WD	ACT	
210	OFFICE	(E)	(E)	(E)	(E)	CPT 2T	WD	ACT	
211	OFFICE	(E)	(E)	(E)	(E)	CPT 2T	WD	ACT	
212	OFFICE	(E)	(E)	(E)	(E)	CPT 2T	WD	ACT	

FLOOR PLAN LEGEND

- NEW 2x4 @ 16' OC STUD WALL @ INT UNO
- EXIST'G WALL TO REMAIN
- EXIST'G BRICK VENEER TO REMAIN
- EXIST'G CMU WALL TO REMAIN
- EXIST'G CONC WALL TO REMAIN

- ACT = ACOUSTIC CEILING TILE
- CPT = CARPET (REF SPEC FOR TYPE)
- (E) = EXISTING TO REMAIN
- GB = GYPSUM BOARD, TEXTURE TO MATCH EXIST'G 4 PAINT
- LVT = LUXURY VINYL TILE
- PL = PLASTIC LAMINATE
- PLS = EXIST'G PLASTER PATCH
- FN = PANELING
- RB = RUBBER BASE
- T = TILE (REF SPEC FOR TYPE)
- VT = VINYL TILE
- WD = WOOD

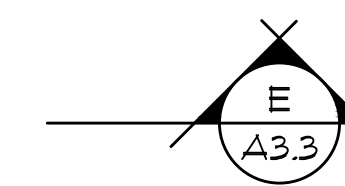
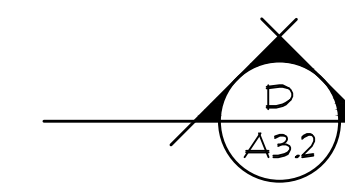
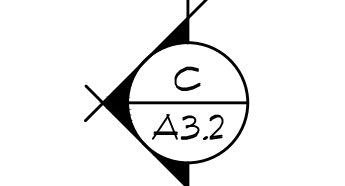
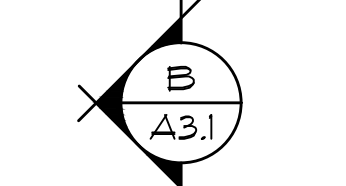
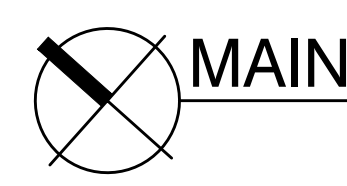
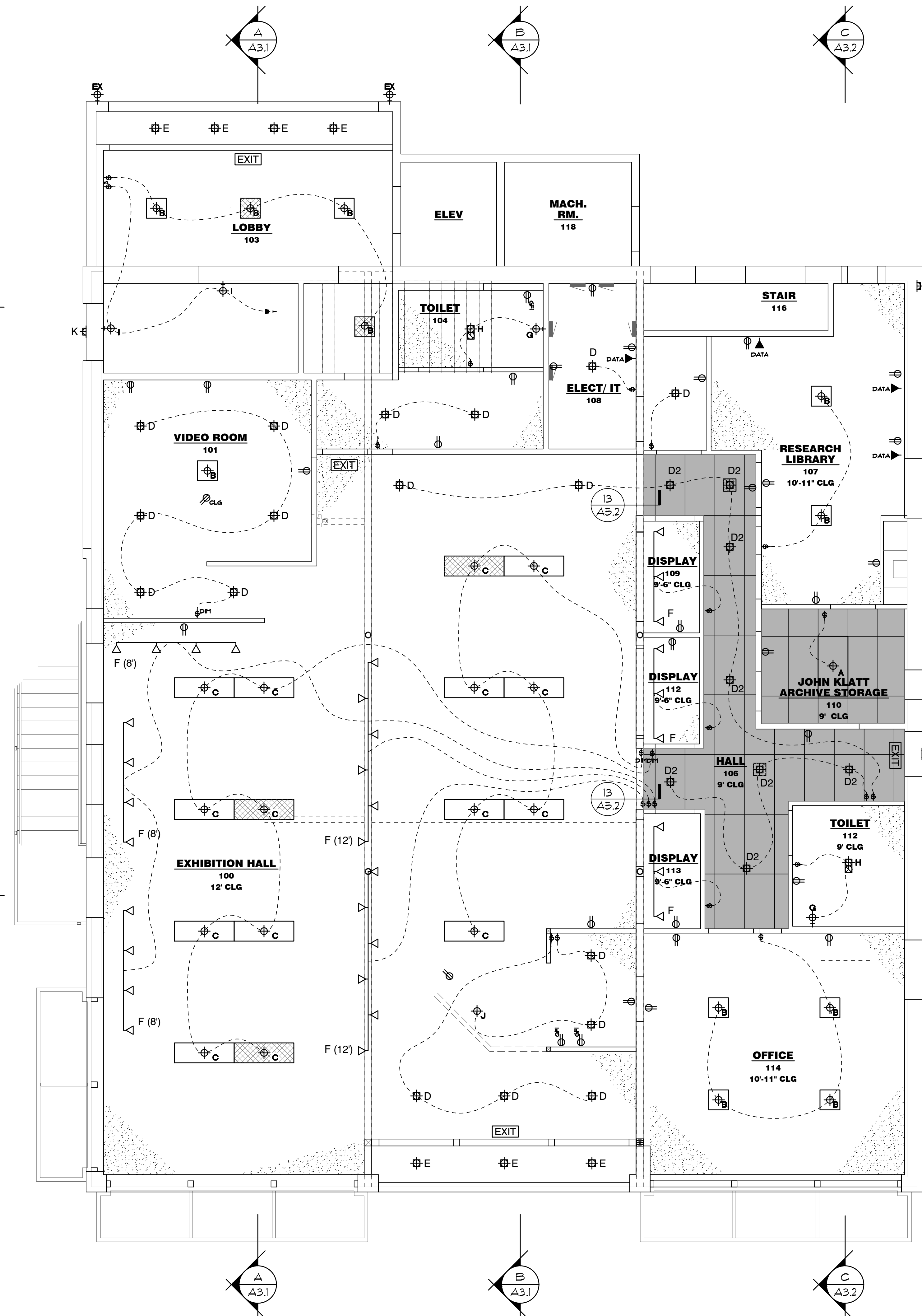
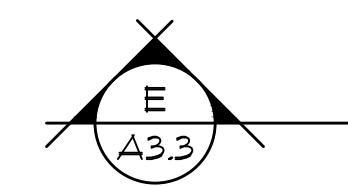
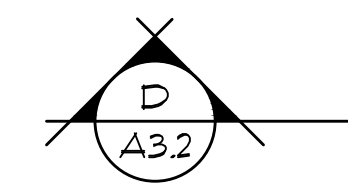
- GENERAL NOTES:**
- REFER TO SPECIFICATIONS FOR SPECIFIC MATERIALS & VARIATIONS.
 - REFER TO DRAWINGS FOR LOCATIONS OF MATERIAL CHANGES WITHIN ROOMS.
 - ALL INTERIOR WALLS & CEILINGS TO BE CLEANED, PREPARED & PAINTED, UNLESS SPECIFICALLY NOTED AS "NO WORK". PREP TO INCLUDE PATCHING & REPAIR OF MINOR SURFACE DAMAGE AS REQ'D TO PROVIDE A SMOOTH, EVEN FINISH.

- NOTES:**
- NO WORK IN THIS ROOM.
 - EXIST'G BASE TRIM TO REMAIN. HAND SAND, STAIN & VARNISH. EXIST'G WAINSCOT, TRIM & HANDRAILS TO REMAIN. HAND SAND WHERE REQ'D. CLEAN & RE-SEAL.
 - EXIST'G WAINSCOT, BASE TRIM & CAP TRIM TO REMAIN. PATCH AS REQ'D FROM SALVAGED MATERIAL OR NEW MATERIAL TO MATCH EXIST'G. REF INT ELEV.

LIGHT FIXTURES	
	2x4 TROFFER DAY-BRITE 2-AVE-G-30L-035-4-ACR-UNV-SDIM-FI/D ALT: 2x4 TROFFER DAY-BRITE 2-AVE-G-30L-035-4-ACR-UNV-SDIM-N
	2'x2' LED PANEL-TW DAYBRITE LEDALITE 2FFZ-30L-035-2-D9-UNV-DIM-F2/6W ALT: 2FXP-30L-035-2-D9-UNV-DIM-F2/6W EMLD
	16x48 PENDANT - LEDALITE 24-GB-L-C-C-A-G-04-T-D-S-W-D-82-AI-24 ALT: LEDALITE 24-GB-L-C-C-A-G-04-N-D-S-W-D-82-AI-24
	2x4 TROFFER ADD ALTERNATE - RETROFIT PHILLIPS EVO-KIT 2x4 P-30L-23W025-2-SUZDT-1-64 (24W)
	6' FICK 665-030K-10-W-Z10U LIGHTOLIER DIMMING 92W
	6' LED DOWNLIGHT, LIGHTOLIER 69-C6L-10-8-30-M, C6-S-DL-M-WH TRIM
	6' EXT FICK 665-030K-10-W-Z10U LIGHTOLIER DIMMING 92W
	TRACK - LIGHTOLIER LLAVO/30WH W/ LLAVIENF REFLECTOR # 4' OC, ON LYTESIAN 600 BASIC I TRACK SYSTEM - 9W / FIXTURE
	BATH LIGHT BAR - MFUL-030-15-W-N-02-D-S-I-N-W
	LT/FAN COMBO - BROAN AR 110 RB, 110 CFM W/ (2) 14W SOFT WHITE LED LAMPS
	DECORATIVE LED WALL SCONCE, 13W, 1000 LUMEN, LIGHTOLOGY HARVEST YELLOW SLATE CERAMIC, #J0300303 ALT: LIGHTOLOGY LUZ AZUL 9318, SMALL, CAST BRNZ, WHITE DIFFUSER
	DECORATIVE PENDANT - LIGHTOLIER FM02-30-SA-U-FG01 (24W)
	EXT LED WALL PACK, LITHONIA WDG2 LED P3-P35W-35K-00CRI-VW-E20WC-FE-DDBXD
	EXT LED WALL PACK, LITHONIA WDG2 LED P4-35K-00CRI-VF-E20WC-FE-DDBXD
	EXISTING FIXTURE TO REMAIN
	INTERNALLY ILLUMINATED EXIT SIGN W/ BATTERY BACK-UP (CONFIRM EXIST'G OR INSTALL NEW)
	HATCH INDICATES EMERGENCY BATTERY BACK-UP FIXTURE
	EMERGENCY EGRESS, LED, (2) ADJUSTABLE HEADS, EATON APEL OR APPROVED

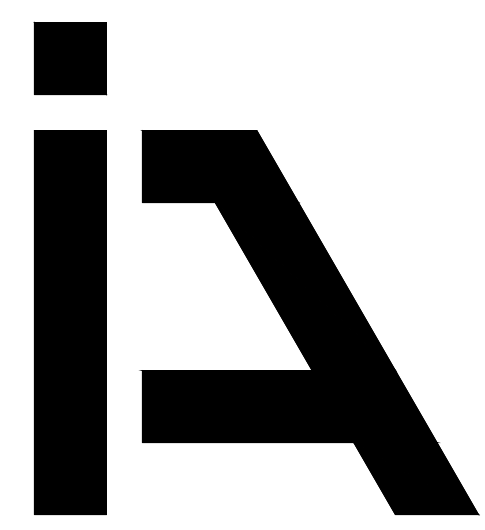
ELECTRICAL LEGEND	
	110 V. WALL OUTLET
	GROUND FAULT CIRCUIT INTERRUPTER
	TWO-WAY SWITCH
	TWO-WAY DIMMER SWITCH
	THREE-WAY SWITCH
	DATA OUTLET, INSTALL CONDUIT TO HOME RUN

CEILING LEGEND	
CEILING NOT IDENTIFIED PER THE LEGEND ARE EXIST'G TO REMAIN UNLESS NOTED OTHERWISE.	
	EXIST'G SUSP GRID & NEW ACT 9' AFF.
	NEW SUSP GRID & NEW ACT 12' AFF. UNO.
	NEW GYP BD - PAINTED



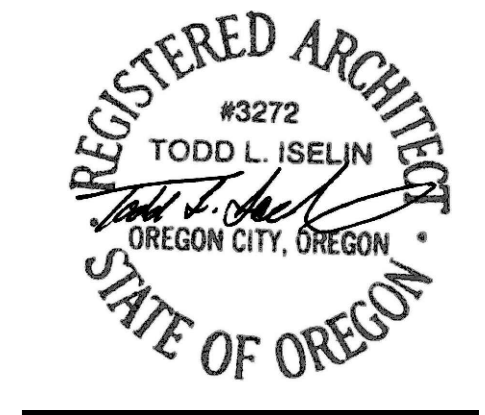
MAIN LEVEL REFLECTED CEILING & LIGHTING PLAN

1/4" = 1'-0"



ISELIN ARCHITECTS P.C.

1307 Seventh Street
Oregon City, OR 97045
503-656-1942
www.iselinarchitects.com



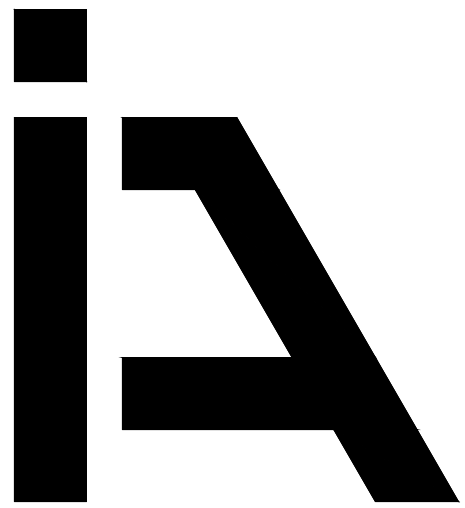
This Plan Review Approval Does not Prevent The Field Inspector From Requiring Further Code Correction!

**Renovation and Remodel of
Historic West Linn City Hall Building
22825 Willamette Drive West Linn, OR 97068**
for Regional Cultural/ Tourism Center in partnership with
Willamette Falls and Landings Heritage Area Coalition

PROJ. NO. : 1705.3
FILE : A-RCP
DATE : 7/12/2023
REVISIONS
1: 9/15/23

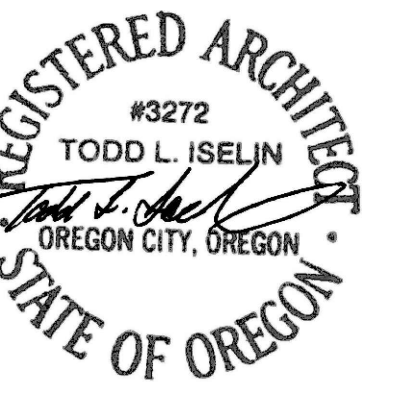
SHEET #
A1.6

MAIN LEVEL REFLECTED CEILING & ELECTRICAL PLAN



ISELIN ARCHITECTS P.C.

1307 Seventh Street
Oregon City, OR 97045
503-656-1942
www.iselinarchitects.com



This Plan Review Approval Does not Prevent The Field Inspector From Requiring Further Code Correction!

**Renovation and Remodel of
Historic West Linn City Hall Building
22825 Willamette Drive West Linn, OR 97068**
for Regional Cultural/ Tourism Center in partnership with
Willamette Falls and Landings Heritage Area Coalition

PROJ. NO. : 1705.3
FILE : A-RCP
DATE : 7/12/2023
REVISIONS
1: 9/15/23

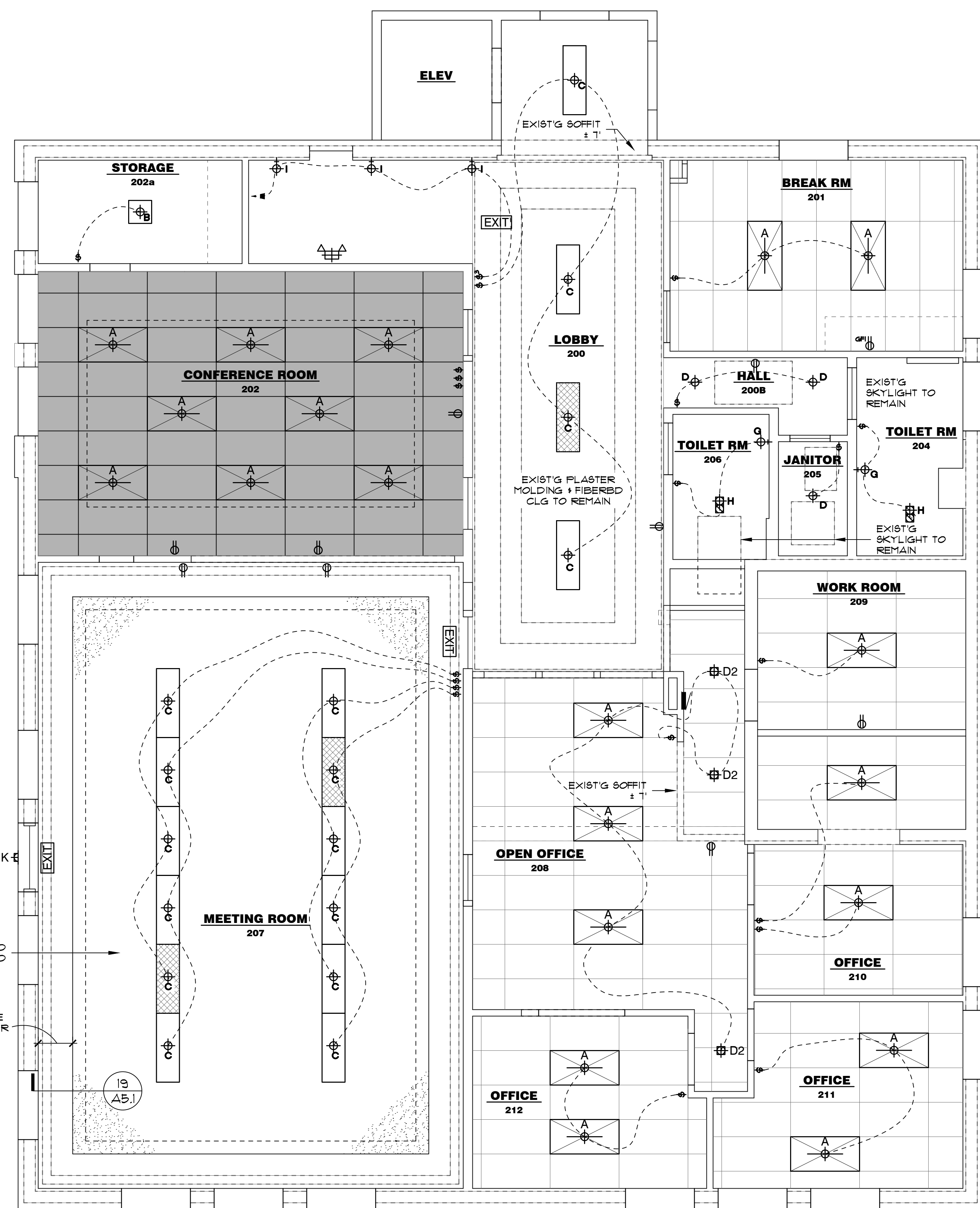
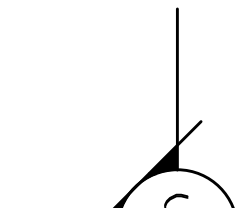
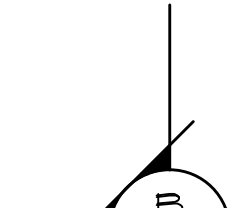
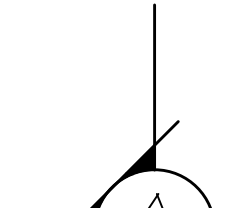
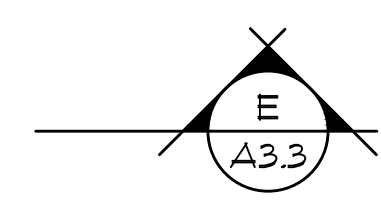
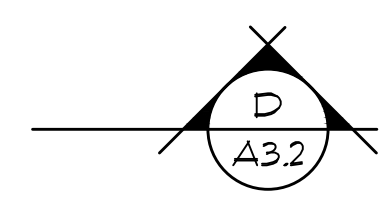
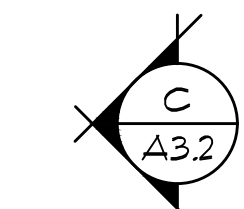
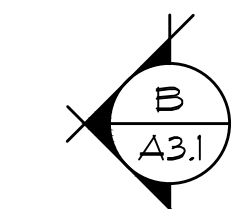
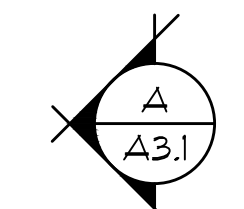
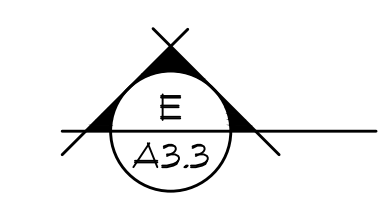
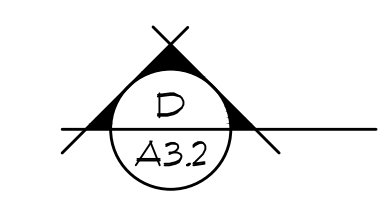
SHEET #
A1.7

UPPER LEVEL REFLECTED
CEILING & ELECTRICAL PLAN

LIGHT FIXTURES	
	2x4 TROFFER DAY-BRITE 2-AVE-G-30L-835-4-ACR-UNV-SDIM-FI/D ALT: 2x4 TROFFER DAY-BRITE 2-AVE-G-30L-835-4-ACR-UNV-SDIM-N
	2'x2' LED PANEL-TW DAYBRITE LEDALITE 2FPZ-30L-835-2-D9-UNV-DIM-F2/6W ALT: 2FXP-30L-835-2-D9-UNV-DIM-F2/6W EMLD
	16x48 PENDANT - LEDALITE 24-G5-L-C-C-A-G-04-1-D-S-W-D-82-AI-24 ALT: LEDALITE 24-G5-L-C-C-A-G-04-N-D-S-W-D-82-AI-24
	2x4 TROFFER ADD ALTERNATE - RETROFIT PHILLIPS EVO-KIT 2x4 P-30L-23W825-2-SWZDT-1-64 (24W)
	6' PUCK 865-830K-10-W-Z10U LIGHTOLIER DIMMING 92W
	6' LED DOWNLIGHT, LIGHTOLIER 65-C6L-10-8-30-M, C6-S-DL-M-WH TRIM
	6' EXT PUCK 865-830K-10-W-Z10U LIGHTOLIER DIMMING 92W
	TRACK - LIGHTOLIER LL4VO/30UH W/ LLAVIRNF REFLECTOR # 4' O.C. ON LYTESIAN 600 BASIC I TRACK SYSTEM - 9W / FIXTURE
	BATH LIGHT BAR - MFUL-830-15-W-N-02-D-S-1-N-W
	LT/FAN COMBO - BROAN AR 110 RB, 110 CFM W/ (2) 14W SOFT WHITE LED LAMPS
	DECORATIVE LED WALL SCONCE, 13W, 1000 LUMEN, LIGHTOLGY HARVEST YELLOW SLATE CERAMIC, #JUS320383 ALT: LIGHTOLGY LUZ AZUL 9318, SMALL, CAST BRNZ, WHITE DIFFUSER
	DECORATIVE PENDANT - LIGHTOLIER FM02-30-SA-U-PG01 (24W)
	EXT LED WALL PACK, LITHONIA WDG2 LED P3-P35W-35K-80CRI-VW-E20WC-FE-DDBXD
	EXT LED WALL PACK, LITHONIA WDG2 LED P4-35K-80CRI-VF-E20WC-FE-DDBXD
	EXISTING FIXTURE TO REMAIN
	INTERNALLY ILLUMINATED EXIT SIGN W/ BATTERY BACK-UP (CONFIRM EXIST'G OR INSTALL NEW)
	HATCH INDICATES EMERGENCY BATTERY BACK-UP FIXTURE
	EMERGENCY EGRESS, LED, (2) ADJUSTABLE HEADS, EATON APEL OR APPROVED

ELECTRICAL LEGEND	
	110 V. WALL OUTLET
	GROUND FAULT CIRCUIT INTERRUPTER
	TWO-WAY SWITCH
	TWO-WAY DIMMER SWITCH
	THREE-WAY SWITCH
	DATA OUTLET, INSTALL CONDUIT TO HOME RUN

CEILING LEGEND	
	EXIST'G SUSP GRID & NEW ACT ± 9' AFF.
	NEW SUSP GRID & NEW ACT 12' AFF. UNO.
	NEW GYP BD - PAINTED



UPPER LEVEL REFLECTED CEILING & LIGHTING PLAN

1/4" = 1'-0"

KEYNOTES

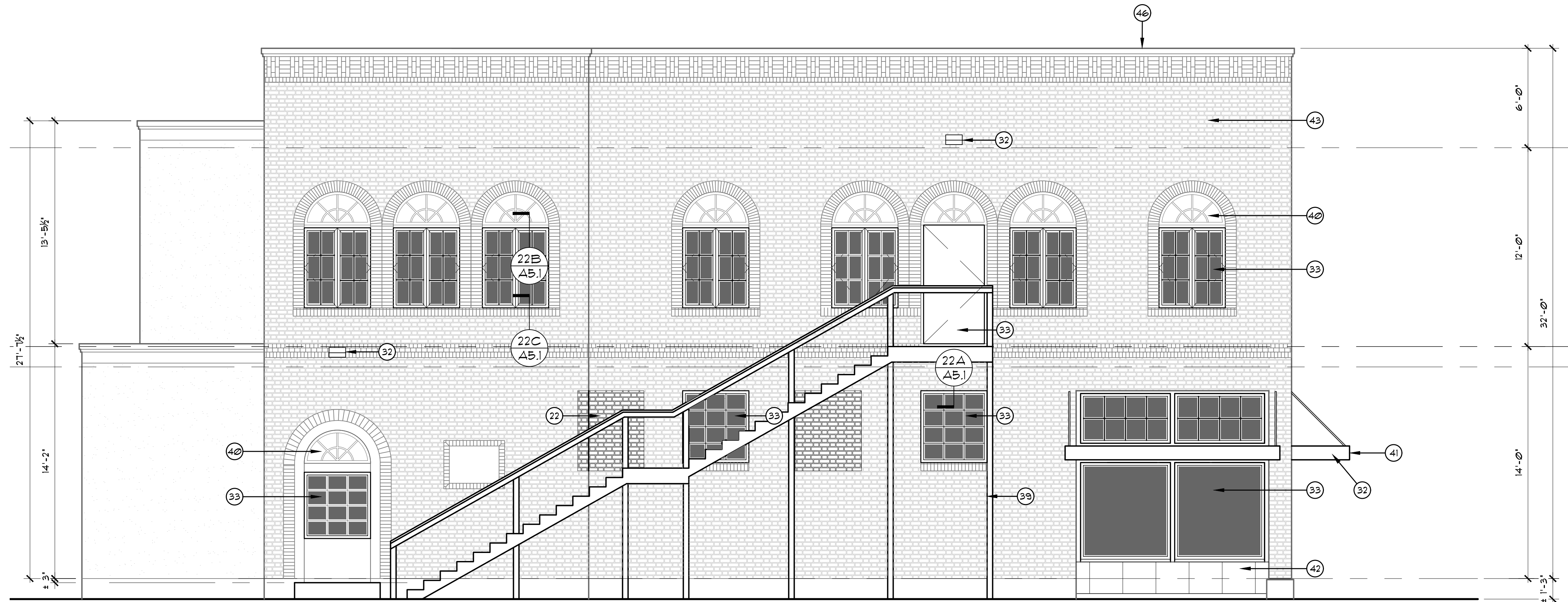
(NOT ALL KEYNOTES REFERENCED ON EACH PAGE)

21. EXIST'G WALL TO REMAIN. PATCH & REPAIR AS REQ'D DUE TO REMOVAL OF FINISHES OR OTHER MODIFICATIONS. FINISH TO MATCH EXIST'G ADJACENT & PROVIDE SEAMLESS APPEARANCE. PAINT. REF FINISH SCHEDULE FOR ADD'L FINISH INFO.
22. INFILL OP'NG IN EXT WALL W/ CONC, BRICK VENEER & INTERIOR FURR'G. FINISH TO MATCH EXIST'G ADJACENT & PROVIDE SEAMLESS APPEARANCE, PAINT.
23. NEW WD FRMD WALL W/ GYP BD FINISH EA. SIDE. 2x4 @ 16' O.C. UNO. PER FRAMING NOTES. 2x6 AS REQ'D FOR PLUMBING. REF FINISH SCHEDULE FOR FINISHES, TYP.
24. INFILL WALL AS REQ'D W/ 2x STUDS SIZE AS REQ'D TO MATCH EXIST'G. FINISH TO MATCH EXIST'G ADJACENT & PROVIDE SEAMLESS APPEARANCE, PAINT.
25. NEW FIRE EXTINGUISHER & CABT.
26. FURNISHINGS TO BE PROVIDED & INSTALLED BY OWNER/TENANT.
27. STL PIPE COL TO BE EXPOSED. SAND & PAINT.
28. NEW GYP BD CLG OVER 2x6 CLG JOISTS @ 24' O.C.
29. NEW GYP BD CLG SUSP FROM EXIST'G FRM'G. REF DTL 21/A5.2 FOR SEISMIC BRACING. VFY HT AS REQ'D TO CLEAR WINDOWS & CONCEAL EXIST'G ELECTRICAL CONDUIT & FIXTURES AS POSSIBLE.
30. NEW FLY SHTH'G OVER NEW 2x6 FLR FRM'G @ 16' O.C.
31. NEW CONC RAMP. REF DTL. 24/A5.1
32. NEW LIGHT FIXTURE. REF RCP / LIGHTING PLANS.
33. DOOR/WINDOW PER SCHEDULE.
34. NEW GYP BD CLG @ CENTER SECTION OF COFFERED CLG.
35. 2x6 FLR JOISTS @ 16' O.C. W/ LUGS TO 2x6 LEDGER W/ (2) #10 x 3' SCREWS @ 24' O.C. TO STUD OR SOLID BLKG.
36. NEW 5 1/2" x 12" GLAM BM. SUPPORT W/ NEW POST @ CORNER & (4) NEW 2x STUDS @ EXIST'G WALL & FOUNDATION.
37. NEW 3 1/2" x 9" GLAM BM. INSTALL NEW HUC46 TO EXIST'G CONC BM W/ (8) TITEN TURBO SCREWS EA END.
38. NEW 6x6 POST W/ 24" SQ FTG. REF DTL 12/A5.1.
39. NEW STAIR & RAILINGS. REF DTL 4/A5.2. PAINT SEMI-GLOSS BLACK.
40. EXIST'G WD WINDOW TO REMAIN. CLEAN, SAND & PAINT, TYP.
41. NEW PAINTED STL CHANNEL LINING. REF FLANS & DTL FOR ADD'L INFORMATION & PROVIDE STRUCTURAL DRAWINGS BY LICENSED ENGINEER. PAINT SEMI-GLOSS BLACK.
42. NEW TILE WAINSCOT.
43. EXIST'G MASONRY TO BE CLEANED & SEALED.
44. EXIST'G EXTERIOR INSULATION & FINISH SYSTEM, SCUPPERS, DOWNSPOUTS & MISC ITEMS TO REMAIN TO BE CLEANED, PREPPED & PAINTED.
45. EXIST'G ALUM STOREFRONT ASSEMBLY TO REMAIN.
46. EXIST'G PRE-FIN MTL PARAPET CAP FLASH'G & COUNTER FLASH'G TO REMAIN.
47. INSTALL NEW INSUL ABOVE EXIST'G AS REQ'D TO PROVIDE R-49.
48. FURR FLR W/ 3/4" CDX PLY OVER P.T. 2x FURR'G @ 16' O.C. AS REQ'D TO ALIGN W/ ADJACENT FLR.
49. NEW NON-RATED DATA OR HVAC CHASE THROUGH UPPER LEVEL FLR FRM'G TO UPPER LEVEL ATTIC FRM'G. 2x4 FRM'G W/ GYP BD @ OUTSIDE FACE. PROVIDE 10"x12" ACCESS PANEL IN DATA CHASE IN BREAK RM.
50. NEW SUSP ACT & GRID.
51. INSTALL NEW CONTINUOUS 5 1/2" x 10 1/2" G. LAM HEADER BETWEEN WINDOW AND TRANSOM.
52. EXISTING 3' WIDE DOOR(S) W/ ADA COMPLIANT THRESHOLD AND EXIT DEVICE TO REMAIN.
53. INSTALL HVAC EQUIPMENT PER FLANS ABOVE FINISH CEILING. HANG FROM SIDE OF EXISTING FLOOR JOISTS USING (1) 1-STRUT F1000-H3 (OR EQUAL) USING (3) #10 x 1 1/2" SCREWS AND WASHERS.
54. FULL HEIGHT 4x4 POST AT END OF WALL W/ BC40 BASE AND (2) LL358 SCREWS TO JOIST OR SOLID BLKG AT EXIST'G FLOOR JOIST ABOVE.



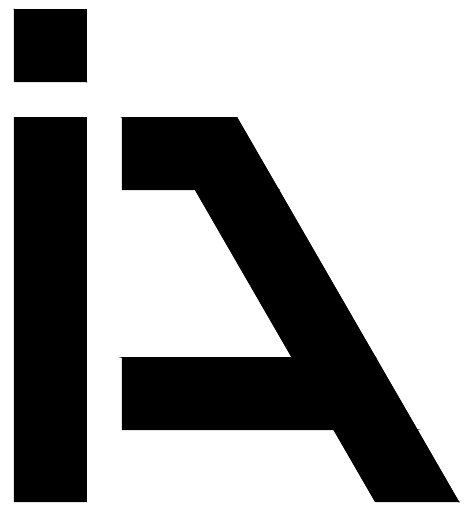
NORTHEAST (FRONT) ELEVATION

1/4" = 1'-0"



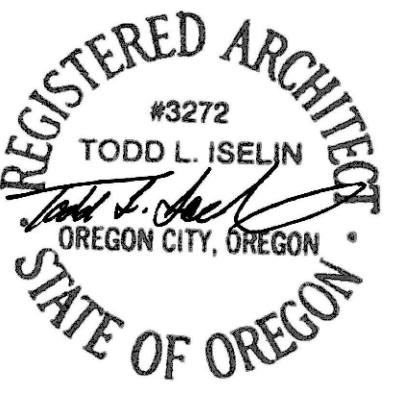
SOUTHEAST (LEFT SIDE) ELEVATION

1/4" = 1'-0"



**ISELIN
ARCHITECTS
P.C.**

1307 Seventh Street
Oregon City, OR 97045
503-656-1942
www.iselinarchitects.com



This Plan Review Approval
Does not Prevent The Field
Inspector From Requiring
Further Code Correction!

**Renovation and Remodel of
Historic West Linn City Hall Building
22825 Willamette Drive West Linn, OR 97068**

for Regional Cultural/ Tourism Center in partnership with
Willamette Falls and Landings Heritage Area Coalition

PROJ. NO. : 1705.3
FILE : A-ELV
DATE : 7/12/2023
REVISIONS
1: 9/15/23

SHEET #

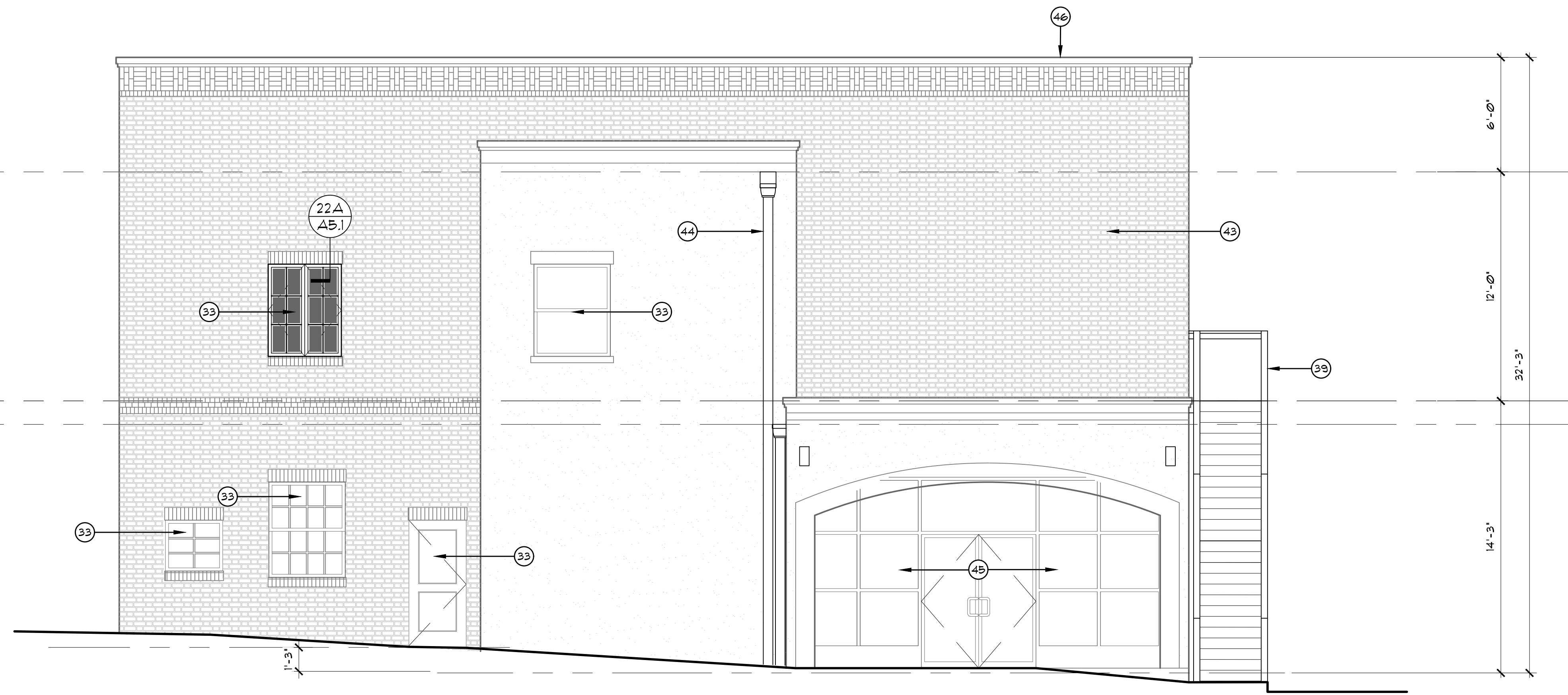
A2.1

BUILDING ELEVATIONS

KEYNOTES

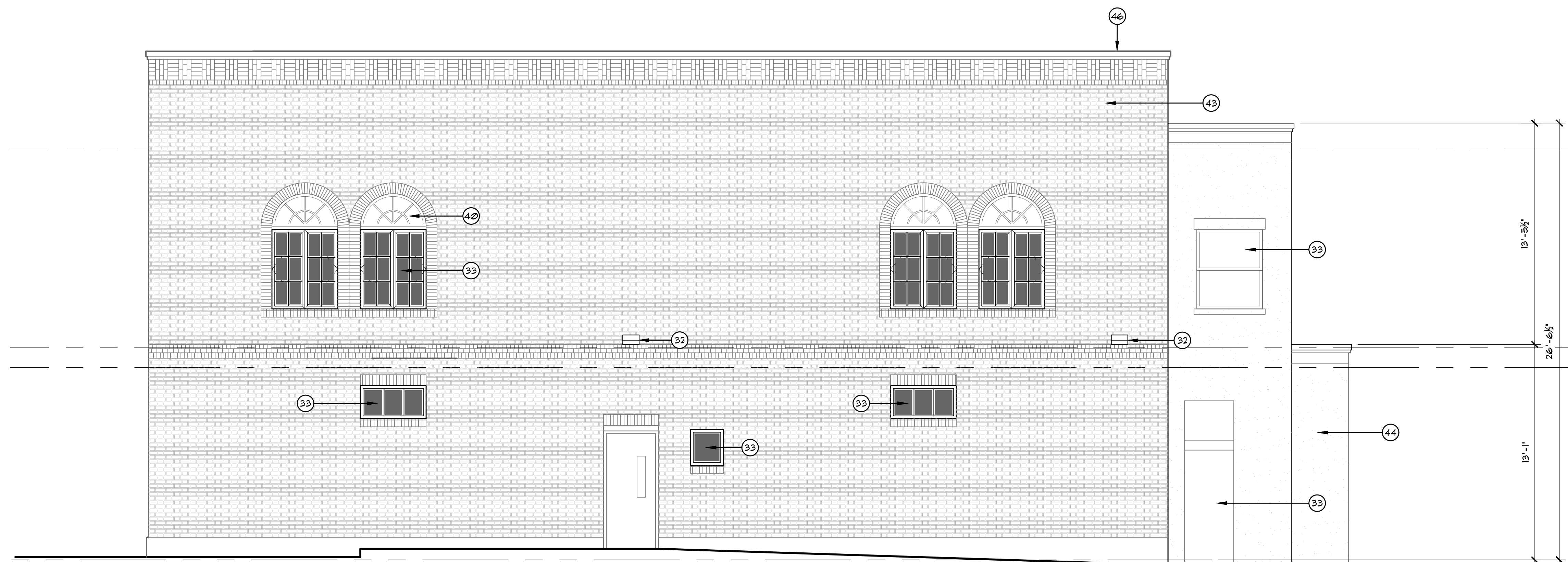
(NOT ALL KEYNOTES REFERENCED ON EACH PAGE)

21. EXIST'G WALL TO REMAIN. PATCH & REPAIR AS REQ'D DUE TO REMOVAL OF FINISHES OR OTHER MODIFICATIONS. FINISH TO MATCH EXIST'G ADJACENT & PROVIDE SEAMLESS APPEARANCE. PAINT. REF FINISH SCHEDULE FOR ADD'L FINISH INFO.
22. INFILL OP'NG IN EXT WALL W/ CONC. BRICK VENEER & INTERIOR FURR'G. FINISH TO MATCH EXIST'G ADJACENT & PROVIDE SEAMLESS APPEARANCE. PAINT.
23. NEW WD FRM'D WALL W/ GYP BD FINISH EA. SIDE. 2x4 @ 16" O.C. UNO. PER FRAMING NOTES. 2x6 AS REQ'D FOR PLUMBING. REF FINISH SCHEDULE FOR FINISHES, TYP.
24. INFILL WALL AS REQ'D W/ 2x STUDS SIZE AS REQ'D TO MATCH EXIST'G. FINISH TO MATCH EXIST'G ADJACENT & PROVIDE SEAMLESS APPEARANCE. PAINT.
25. NEW FIRE EXTINGUISHER & CABT.
26. FURNISHINGS TO BE PROVIDED & INSTALLED BY OWNER/TENANT.
27. STL PIPE COL TO BE EXPOSED. SAND & PAINT.
28. NEW GYP BD CLG OVER 2x6 CLG JOISTS @ 24" O.C.
29. NEW GYP BD CLG SUSP FROM EXIST'G FRM'G. REF DTL 21/AS2 FOR SEISMIC BRACING. VFT HT AS REQ'D TO CLEAR WINDOWS & CONCEAL EXIST'G ELECTRICAL CONDUIT & FIXTURES AS POSSIBLE.
30. NEW FLY SHTH'G OVER NEW 2x6 FLR FRM'G @ 16" O.C.
31. NEW CONC RAMP. REF DTL. 24/AS1
32. NEW LIGHT FIXTURE. REF RCP / LIGHTING PLANS.
33. DOOR/WINDOW PER SCHEDULE.
34. NEW GYP BD CLG @ CENTER SECTION OF COFFERED CLG.
35. 2x6 FLR JOISTS @ 16" O.C. W/ LU26 TO 2x6 LEDGER W/ (2) #10 x 3" SCREWS @ 24" O.C. TO STUD OR SOLID BLKG.
36. NEW 5 1/2" x 12" GLAM BM. SUPPORT W/ NEW POST @ CORNER & (4) NEW 2x STUDS @ EXIST'G WALL & FOUNDATION.
37. NEW 3 1/2" x 9" GLAM BM. INSTALL NEW HUC46 TO EXIST'G CONC BM W/ (8) TITEN TURBO SCREWS EA END.
38. NEW 6x6 POST W/ 24" SQ FTG. REF DTL 12/AS1.
39. NEW STAIR & RAILINGS. REF DTL 4/AS2. PAINT SEMI-GLOSS BLACK.
40. EXIST'G WD WINDOW TO REMAIN. CLEAN, SAND & PAINT, TYP.
41. NEW PAINTED STL CHANNEL AWNING. REF PLANS & DTL FOR ADD'L INFORMATION & PROVIDE STRUCTURAL DRAWINGS BY LICENSED ENGINEER (PAINT SEMI-GLOSS BLACK).
42. NEW TILE WAINSCOT.
43. EXIST'G MASONRY TO BE CLEANED & SEALED.
44. EXIST'G EXTERIOR INSULATION & FINISH SYSTEM, SCUFFERS, DOWNPOUTS & MISC ITEMS TO REMAIN TO BE CLEANED, FRIEPED & PAINTED.
45. EXIST'G ALUM STOREFRONT ASSEMBLY TO REMAIN.
46. EXIST'G PRE-FIN MTL PARAPET CAP FLASH'G & COUNTER FLASH'G TO REMAIN.
47. INSTALL NEW INSUL ABOVE EXIST'G AS REQ'D TO PROVIDE R-49.
48. FURR FLR W/ 3/4" CDX PLY OVER P.T. 2x FURR'G @ 16" O.C. AS REQ'D TO ALIGN W/ ADJACENT FLR.
49. NEW NON-RATED DATA OR HVAC CHASE THROUGH UPPER LEVEL FLR FRM'G TO UPPER LEVEL ATTIC FRM'G. 2x4 FRM'G W/ GYP BD @ OUTSIDE FACE. PROVIDE ± 10"x12" ACCESS PANEL IN DATA CHASE IN BREAK RM.
50. NEW SUSP ACT & GRID.
51. INSTALL NEW CONTINUOUS 5 1/2 x 10 1/2 G. LAM HEADER BETWEEN WINDOW AND TRANSOM.
52. EXISTING 3' WIDE DOOR(S) W/ ADA COMPLIANT THRESHOLD AND EXIT DEVICE TO REMAIN.
53. INSTALL HVAC EQUIPMENT PER PLANS ABOVE FINISH CEILING. HANG FROM SIDE OF EXISTING FLOOR JOISTS USING 'UNI-STRUT' P1000-H3 (OR EQUAL) USING (3) #10 x 1 1/2" SCREWS AND WASHERS.
54. FULL HEIGHT 4x4 POST AT END OF WALL W/ BC40 BASE AND (2) LL358 SCREWS TO JOIST OR SOLID BLKG AT EXIST'G FLOOR JOIST ABOVE.



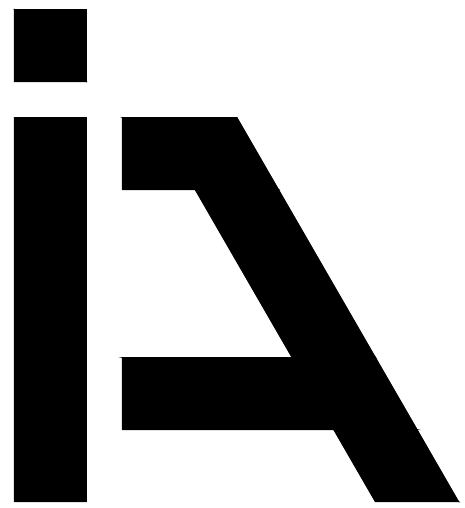
SOUTHWEST (REAR) ELEVATION

1/4" = 1'-0"



NORTHWEST (RIGHT SIDE) ELEVATION

1/4" = 1'-0"



**ISELIN
ARCHITECTS
P.C.**

1307 Seventh Street
Oregon City, OR 97045
503-656-1942
www.iselinarchitects.com



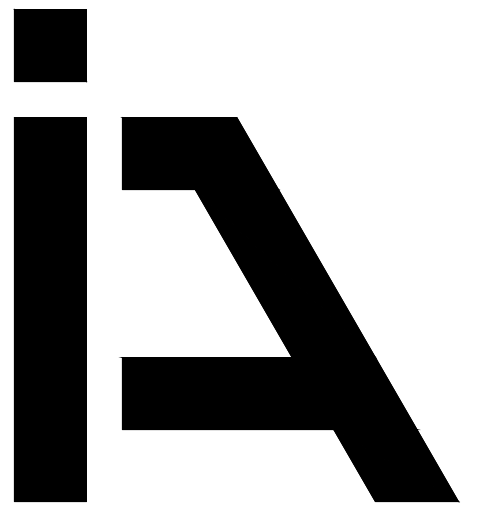
**This Plan Review Approval
Does not Prevent The Field
Inspector From Requiring
Further Code Correction!**

**Renovation and Remodel of
Historic West Linn City Hall Building
22825 Willamette Drive West Linn, OR 97068**
for Regional Cultural/ Tourism Center in partnership with
Willamette Falls and Landings Heritage Area Coalition

PROJ. NO. : 1705.3
FILE : A-ELV
DATE : 7/12/2023
REVISIONS
1: 9/15/23

SHEET #
A2.2

BUILDING ELEVATIONS



ISELIN ARCHITECTS P.C.

1307 Seventh Street
Oregon City, OR 97045
503-656-1942
www.iselinarchitects.com



This Plan Review Approval Does not Prevent The Field Inspector From Requiring Further Code Correction!

**Renovation and Remodel of
Historic West Linn City Hall Building
22825 Willamette Drive West Linn, OR 97068**
for Regional Cultural/ Tourism Center in partnership with
Willamette Falls and Landings Heritage Area Coalition

PROJ. NO. : 1705.3
FILE : A-ELV
DATE : 7/12/2023
REVISIONS
1: 9/15/23

SHEET #

A2.3

STOREFRONT ELEVATIONS

WINDOW SCHEDULE				
⊗	SIZE	TYPE	MAT.	NOTES
A	(2) WIN W/ (2) TRANSOM	FXD	WC	REF ELEV SHT A2.3, TEMP
B	(3) WIN W/ (3) TRANSOM	FXD	WC	REF ELEV SHT A2.3, TEMP
C	(2) WIN W/ DR & (3) TRANSOM	FXD	WC	REF ELEV SHT A2.3, TEMP
D	(3) WIN W/ (3) TRANSOM	FXD	WC	REF ELEV SHT A2.3, TEMP
E	4'-0" x 4'-4"	FXD	WC	NEW WIN IN (E) OPNG, 22/15.1
F	4'-0" x 2'-0"	FXD	WC	NEW WIN IN (E) OPNG, 22/15.1
G	2'-0" x 4'-6"	FXD	WC	NEW WIN IN (E) OPNG, 22/15.1
H	4'-0" x 2'-0"	FXD	WC	NEW WIN IN (E) OPNG, 22/15.1
I	4'-0" x 4'-4"	CSMT	WC	NEW WIN IN (E) OPNG, 22/15.1
J	4'-0" x 4'-4"	CSMT	WC	NEW WIN IN (E) OPNG, 22/15.1
K	4'-0" x 4'-4"	CSMT	WC	NEW WIN IN (E) OPNG, 22/15.1
L	4'-0" x 4'-4"	CSMT	WC	NEW WIN IN (E) OPNG, 22/15.1
M	4'-0" x 4'-4"	CSMT	WC	NEW WIN IN (E) OPNG, 22/15.1
N	4'-0" x 4'-4"	CSMT	WC	NEW WIN IN (E) OPNG, 22/15.1
O	4'-0" x 4'-4"	CSMT	WC	NEW WIN IN (E) OPNG, 22/15.1
P	4'-0" x 4'-4"	CSMT	WC	NEW WIN IN (E) OPNG, 22/15.1
Q	4'-0" x 4'-4"	CSMT	WC	NEW WIN IN (E) OPNG, 22/15.1
R	4'-0" x 4'-4"	CSMT	WC	NEW WIN IN (E) OPNG, 22/15.1
S	4'-0" x 4'-4"	CSMT	WC	NEW WIN IN (E) OPNG, 22/15.1
T	NOT USED		WC	NEW WIN IN (E) OPNG, 22/15.1
U	4'-0" x 4'-4"	CSMT	WC	NEW WIN IN (E) OPNG, 22/15.1
V	4'-0" x 4'-4"	CSMT	WC	NEW WIN IN (E) OPNG, 22/15.1
W	3'-0" x 4'-6"	FXD	WD	TEMP, DTL 11/A5.1
X	6'-0" x 6'-0"	FXD	WD	TEMP, DTL 11/A5.1
Y	6'-0" x 6'-0"	FXD	WD	TEMP, DTL 11/A5.1
Z1	3'-3" x 6'-0" RO.	FXD	WD	TEMP, DTL 11/A5.1
Z2	3'-3" x 6'-0" RO.	FXD	WD	TEMP, DTL 11/A5.1
AA	3'-0" x 4'-6"	FXD	WD	TEMP, DTL 11/A5.1
BB	3'-0" x 4'-6"	FXD	WD	TEMP, DTL 11/A5.1
CC	5'-0" x 4'-6"	FXD	WD	TEMP, DTL 11/A5.1
DD	1'-1" x 4'-6"	FXD	WD	TEMP, DTL 11/A5.1
EE	1'-1" x 4'-6"	FXD	WD	TEMP, DTL 11/A5.1

CSMT = CASEMENT
(E) = EXIST'G TO REMAIN
FXD = FIXED
RO. = ROUGH OPENING
TEMP = TEMPERED GLAZING
WD = WOOD
WC = WOOD CLAD

NOTES:
1. VFY RO. REQMTS PER MANUF.
2. MUNTIN CONFIGURATIONS PER ELEVATIONS.
3. EXIST'G WINDOWS & TRANSOMS NOTED TO REMAIN TO BE SANDED & PAINTED. REMOVE & REPLACE LIMITED AREAS W/ MOISTURE DAMAGE AS REQ'D. GLAZING TO BE RE-FITTED AS REQ'D & FRAMES TO BE CAULKED @ PERIMETER.

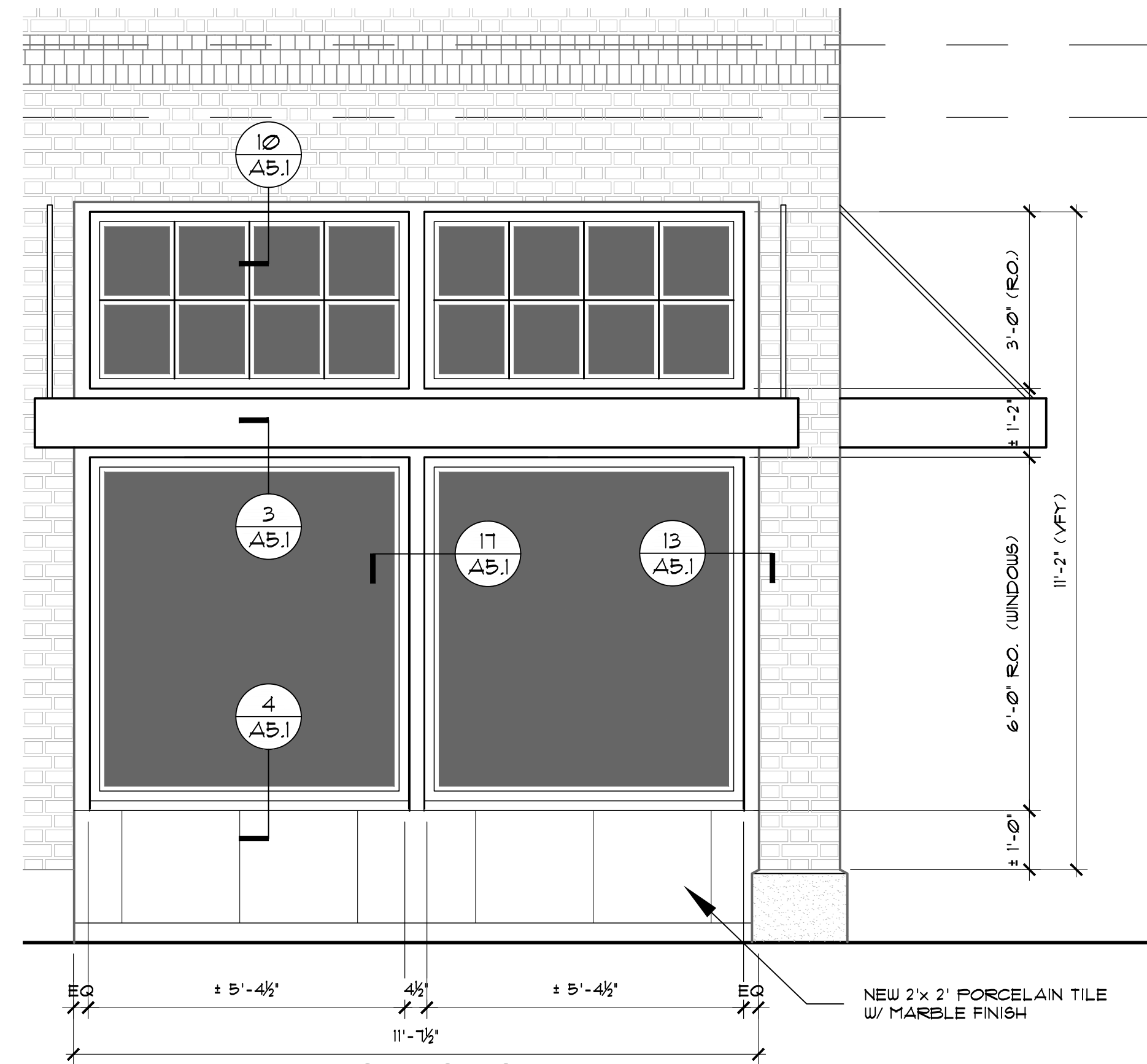
DOOR SCHEDULE							
◆	SIZE	THK	TYPE	MATERIALS			NOTES
				DOOR	FRAME	HWDR	
1	FR 3'-0" x 1'-0"	P4'	FG	WC	WC		1
2	3'-0" x 1'-0"	P4'	FG	WD	WD		2
3	2'-8" x 1'-0"	P4'	FL	WD	WD		3 DISPLAY ACCESS
4	3'-0" x 1'-0"	P4'	FNL	WD	WD		4
5	4'-0" x 1'-0"	P4'	FL	WD	WD		3 DISPLAY ACCESS
6	3'-0" x 1'-0"	P4'	FNL	WD	WD		2
7	4'-0" x 1'-0"	P4'	FL	WD	WD		3 DISPLAY ACCESS
8	3'-0" x 1'-0"	P4'	FG	WD	WD		2
9	3'-0" x 1'-0"	P4'	FNL	WD	WD		2
10	3'-0" x 1'-0"	P4'	FG	WD	WD		6
11	3'-0" x 1'-0"	P4'	FNL	WD	WD		4
12	NOT USED						
13	3'-0" x 1'-0"	P4'	FL	WD	WD	(E)	1
14	NOT USED						
15	3'-0" x 1'-0"	P4'	FNL	WD	WD	(E)	2
16	3'-0" x 1'-0"	P4'	FG	WD	WD		6

(E) = EXISTING
FG = FULL GLAZED
FL = FLUSH
HG = HALF-GLAZED
HM = HOLLOW METAL
FNL = PANEL SELECTION BY OWNER
TEMP = TEMPERED GLAZING
VP = VISION PANEL
WC = WOOD CLAD
WD = WOOD

NOTES:
1. EXIST'G DOOR, FRAME & HARDWARE FROM OFFICE 212 TO BE REMOVED & RE-INSTALLED TO MODIFY SWING AS SHOWN.
2. EXIST'G SOLID WD PANEL DOOR TO BE RE-USED. PROVIDE NEW FRAME TO MATCH EXIST'G & MODIFY HINGES AS REQ'D. MODIFY CYLINDER TO PROVIDE PASSAGE FUNCTION ONLY.

HARDWARE:

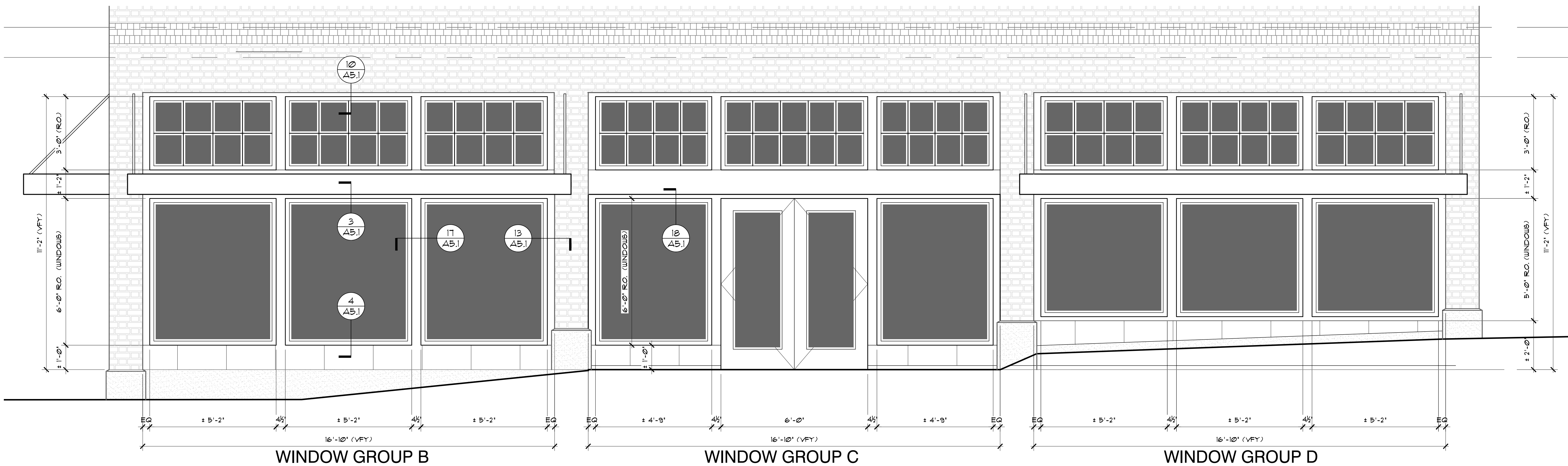
GROUP 1 HINGES, ENTRY LOCKSET, PANIC EXIT DEVICE, CLOSER, WEATHERSTRIP & THRESHOLD
GROUP 2 HINGES, CLASSROOM LOCKSET, STOP
GROUP 3 CONCEALED HINGES, DUMMY LATCH, DEADBOLT
GROUP 4 HINGES, PASSAGE LATCHSET W/ INTERCONNECTED OCCUPANCY INDICATOR
GROUP 5 DEADBOLT, CLOSER, STOP
GROUP 6 NOT USED
GROUP 6 HINGES, CLASSROOM LOCKSET, CLOSER, STOP



WINDOW GROUP A

PARTIAL SOUTHEAST (LEFT SIDE) - STOREFRONT ELEVATION

1/2" = 1'-0"



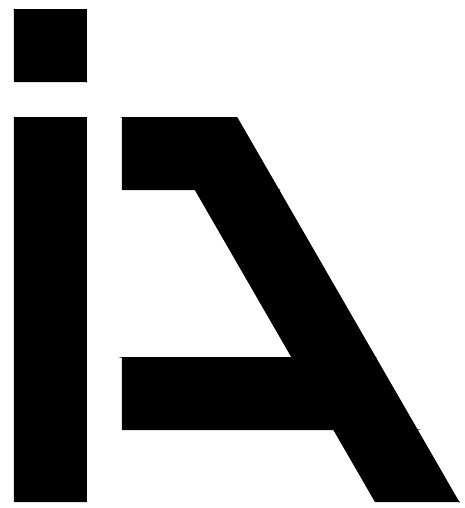
WINDOW GROUP B

WINDOW GROUP C

WINDOW GROUP D

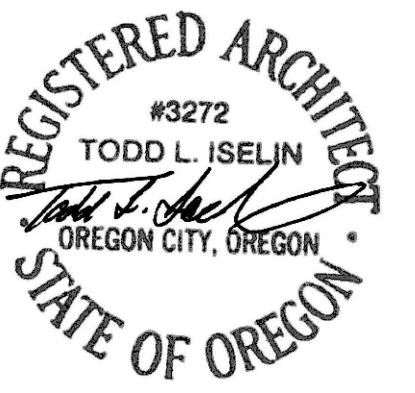
PARTIAL NORTHEAST (FRONT) - STOREFRONT ELEVATIONS

1/2" = 1'-0"



ISELIN ARCHITECTS P.C.

1307 Seventh Street
Oregon City, OR 97045
503-656-1942
www.iselinarchitects.com



This Plan Review Approval Does not Prevent The Field Inspector From Requiring Further Code Correction!

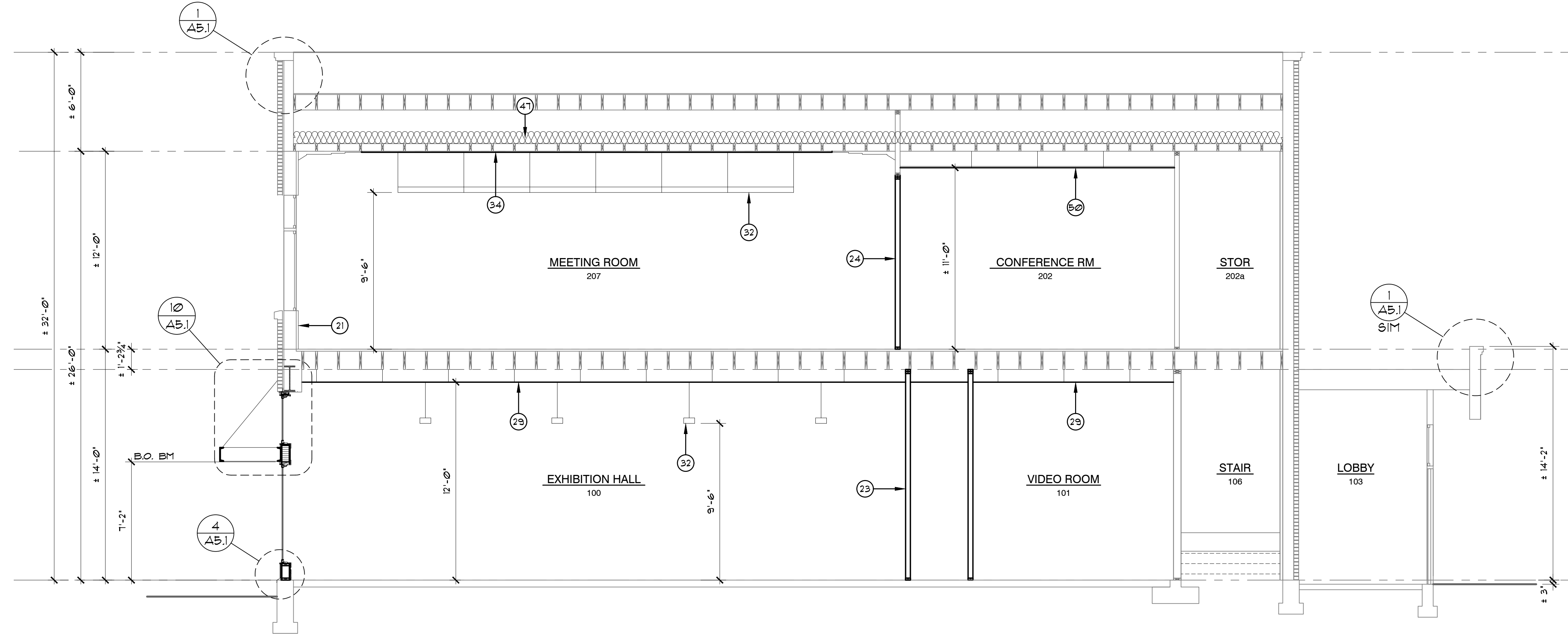
**Renovation and Remodel of
Historic West Linn City Hall Building
22825 Willamette Drive West Linn, OR 97068**
for Regional Cultural/ Tourism Center in partnership with
Willamette Falls and Landings Heritage Area Coalition

PROJ. NO. : 1705.3
FILE : A-SEC
DATE : 7/12/2023
REVISIONS
1: 9/15/23

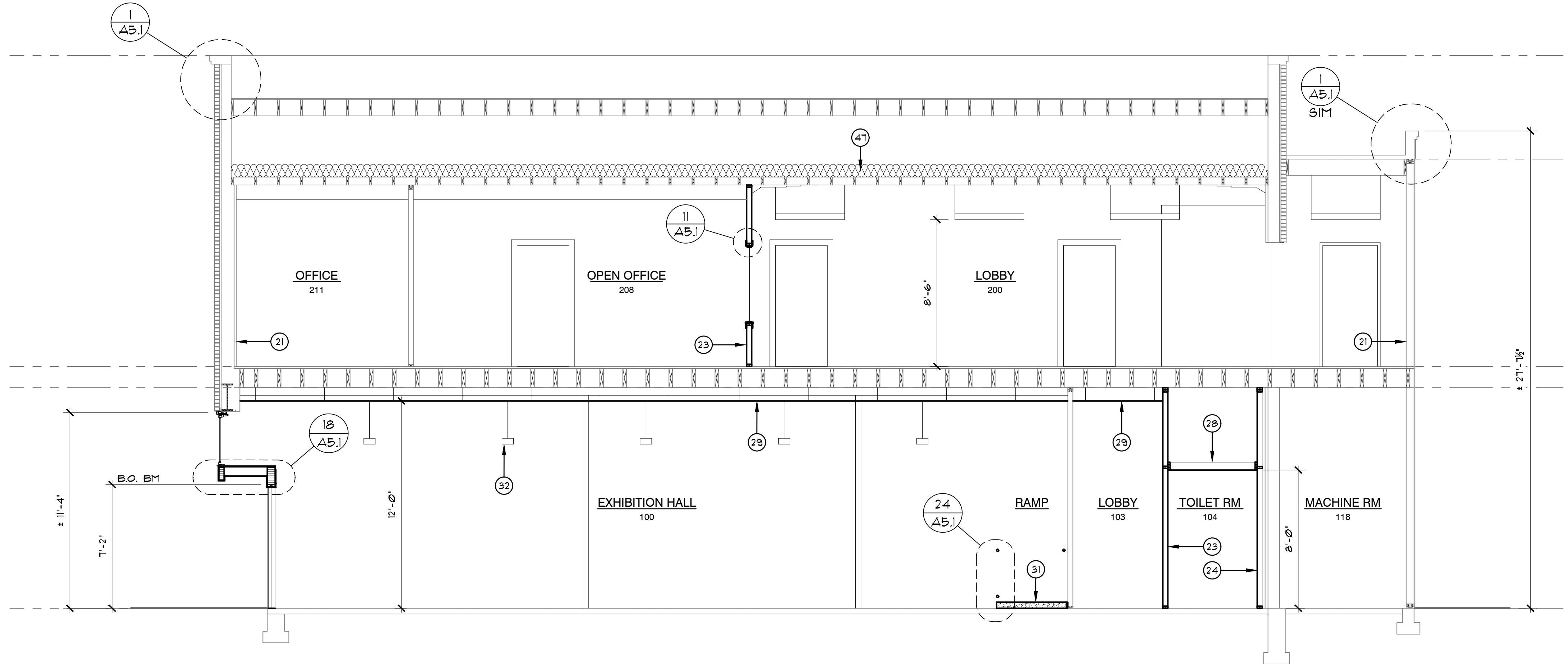
SHEET #

A3.1

SECTIONS



A SECTION 1/4" = 1'-0"



B SECTION 1/4" = 1'-0"

KEYNOTES

(NOT ALL KEYNOTES REFERENCED ON EACH PAGE)

21. EXIST'G WALL TO REMAIN. PATCH & REPAIR AS REQ'D DUE TO REMOVAL OF FINISHES OR OTHER MODIFICATIONS. FINISH TO MATCH EXIST'G ADJACENT & PROVIDE SEAMLESS APPEARANCE, PAINT. REF FINISH SCHEDULE FOR ADD'L FINISH INFO.
22. INFILL OPNG IN EXT WALL W/ CONC. BRICK VENEER & INTERIOR FURR'G. FINISH TO MATCH EXIST'G ADJACENT & PROVIDE SEAMLESS APPEARANCE, PAINT.
23. NEW WD FRMD WALL W/ GYP BD FINISH EA. SIDE. 2x4 @ 16" O.C. UNO. PER FRAMING NOTES, 2x6 AS REQ'D FOR PLUMBING. REF FINISH SCHEDULE FOR FINISHES, TYP.
24. INFILL WALL AS REQ'D W/ 2x STUDS SIZE AS REQ'D TO MATCH EXIST'G. FINISH TO MATCH EXIST'G ADJACENT & PROVIDE SEAMLESS APPEARANCE, PAINT.
25. NEW FIRE EXTINGUISHER & CABT.
26. FURNISHINGS TO BE PROVIDED & INSTALLED BY OWNER/TENANT.
27. STL PIPE COL TO BE EXPOSED. SAND & PAINT.
28. NEW GYP BD CLG OVER 2x6 CLG JOISTS @ 24" O.C.
29. NEW GYP BD CLG SUSP FROM EXIST'G FRM'G. REF DTL 21/AB2 FOR SEISMIC BRACING. VFY HT AS REQ'D TO CLEAR WINDOWS & CONCEAL EXIST'G ELECTRICAL CONDUIT & FIXTURES AS POSSIBLE.
30. NEW FLY SHT'G OVER NEW 2x6 FLR FRM'G @ 16" O.C.
31. NEW CONC RAMP. REF DTL 24/AB1
32. NEW LIGHT FIXTURE. REF RCP / LIGHTING PLANS.
33. DOOR/WINDOW PER SCHEDULE.
34. NEW GYP BD CLG @ CENTER SECTION OF COFFERED CLG.
35. 2x6 FLR JOISTS @ 16" O.C. W/ LU26 TO 2x6 LEDGER W/ (2) #10 x 3" SCREWS @ 24" O.C. TO STUD OR SOLID BLKG.
36. NEW 5 1/2" x 12" GLAM BM. SUPPORT W/ NEW POST @ CORNER & (4) NEW 2x STUDS @ EXIST'G WALL & FOUNDATION.
37. NEW 3 1/2" x 9" GLAM BM. INSTALL NEW HUC46 TO EXIST'G CONC BM W/ (8) TITEN TURBO SCREWS EA END.
38. NEW 6x6 POST W/ 24" SQ FTG. REF DTL 12/AB1.
39. NEW STAIR & RAILINGS. REF DTL 4/AB2. PAINT SEMI-GLOSS BLACK.
40. EXIST'G WD WINDOW TO REMAIN. CLEAN, SAND & PAINT, TYP.
41. NEW PAINTED STL CHANNEL AWNING. REF PLANS & DTL FOR ADD'L INFORMATION & PROVIDE STRUCTURAL DRAWINGS BY LICENSED ENGINEER (PAINT SEMI-GLOSS BLACK).
42. NEW TILE WAINSCOT.
43. EXIST'G MASONRY TO BE CLEANED & SEALED.
44. EXIST'G EXTERIOR INSULATION & FINISH SYSTEM, SCUFFERS, DOWNSPOUTS & MISC ITEMS TO REMAIN TO BE CLEANED, PREPPED & PAINTED.
45. EXIST'G ALUM STOREFRONT ASSEMBLY TO REMAIN.
46. EXIST'G PRE-FIN MTL PARAPET CAP FLASHG & COUNTER FLASHG TO REMAIN.
47. INSTALL NEW INSUL ABOVE EXIST'G AS REQ'D TO PROVIDE R-49.
48. FURR FLR W/ 3/4" CDX FLY OVER P.T. 2x FURR'G @ 16" O.C. AS REQ'D TO ALIGN W/ ADJACENT FLR.
49. NEW NON-RATED DATA OR HVAC CHASE THROUGH UPPER LEVEL FLR FRM'G TO UPPER LEVEL ATTIC FRM'G. 2x4 FRM'G W/ GYP BD @ OUTSIDE FACE. PROVIDE 10'x12" ACCESS PANEL IN DATA CHASE IN BREAK RM.
50. NEW SUSP ACT & GRID.
51. INSTALL NEW CONTINUOUS 5/2x10 1/2 G. LAM HEADER BETWEEN WINDOW AND TRANSOM.
52. EXISTING 3' WIDE DOOR(S) W/ ADA COMPLIANT THRESHOLD AND EXIT DEVICE TO REMAIN.
53. INSTALL HVAC EQUIPMENT PER PLANS ABOVE FINISH CEILING. HANG FROM SIDE OF EXISTING FLOOR JOISTS USING 'UNI-STRUT' P1000-H3 (OR EQUAL) USING (3) #10 x 1 1/2" SCREWS AND WASHERS.
54. FULL HEIGHT 4x4 POST AT END OF WALL W/ BC40 BASE AND (2) LL350 SCREWS TO JOIST OR SOLID BLKG AT EXIST'G FLOOR JOIST ABOVE.
55. INSTALL NEW ADA COMPLIANT DRINKING FOUNTAIN/ WATER BOTTLE FILL STATION.



**ISELIN
ARCHITECTS
P.C.**

1307 Seventh Street
Oregon City, OR 97045
503-656-1942
www.iselinarchitects.com

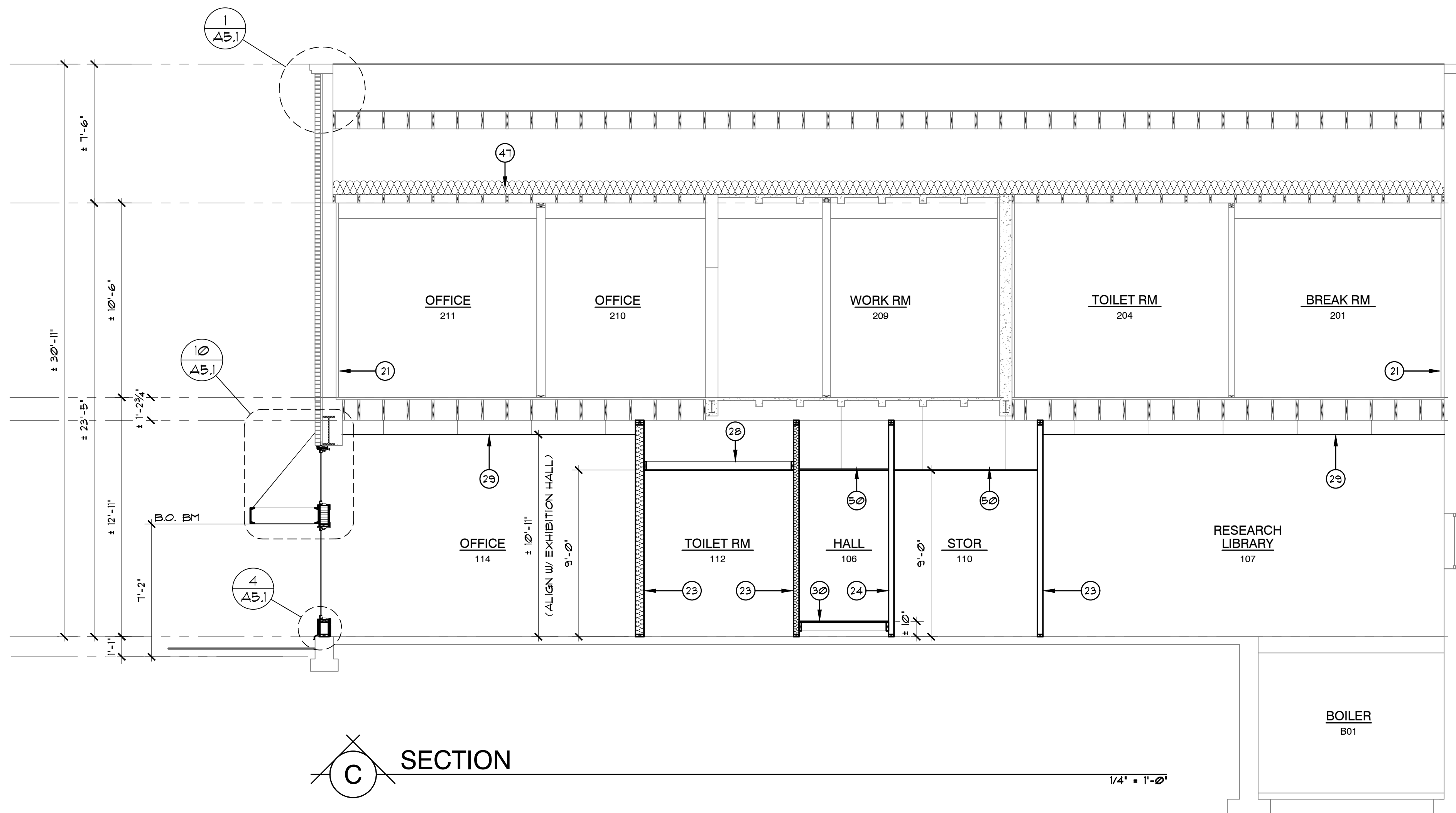


This Plan Review Approval
Does not Prevent the Field
Inspector From Requiring
Further Code Correction!

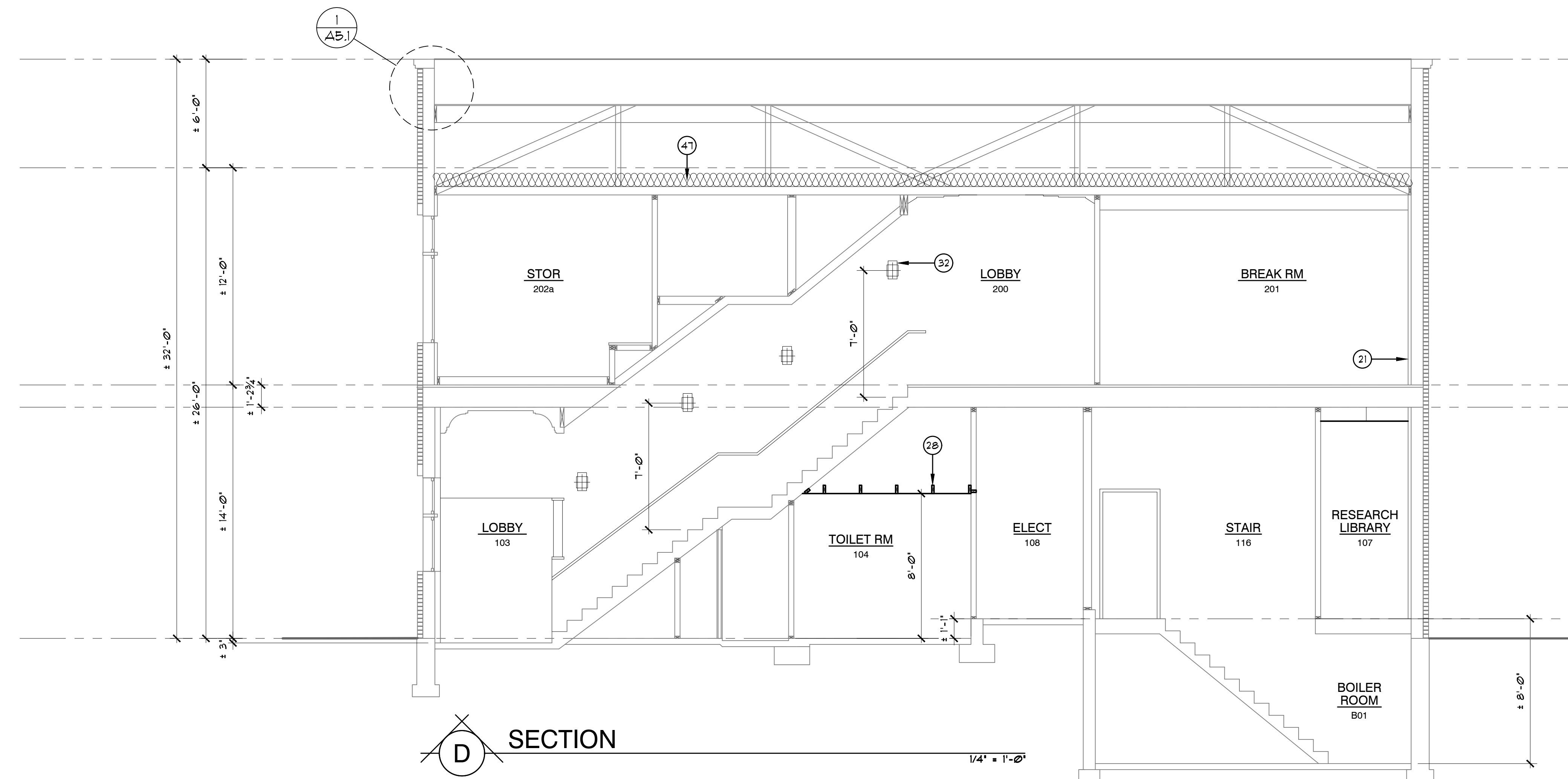
KEYNOTES

(NOT ALL KEYNOTES REFERENCED ON EACH PAGE)

21. EXIST'G WALL TO REMAIN. PATCH & REPAIR AS REQ'D DUE TO REMOVAL OF FINISHES OR OTHER MODIFICATIONS. FINISH TO MATCH EXIST'G ADJACENT & PROVIDE SEAMLESS APPEARANCE. PAINT. REF FINISH SCHEDULE FOR ADD'L FINISH INFO.
22. INFILL OP'NG IN EXT WALL W/ CONC. BRICK VENEER & INTERIOR FURR'G. FINISH TO MATCH EXIST'G ADJACENT & PROVIDE SEAMLESS APPEARANCE, PAINT.
23. NEW WD FRMD WALL W/ GYP BD FINISH EA. SIDE. 2x4 @ 16' O.C. UNO. PER FRAMING NOTES. 2x6 AS REQ'D FOR PLUMBING. REF FINISH SCHEDULE FOR FINISHES, TYP.
24. INFILL WALL AS REQ'D W/ 2x STUDS SIZE AS REQ'D TO MATCH EXIST'G. FINISH TO MATCH EXIST'G ADJACENT & PROVIDE SEAMLESS APPEARANCE, PAINT.
25. NEW FIRE EXTINGUISHER & CABT.
26. FURNISHINGS TO BE PROVIDED & INSTALLED BY OWNER/TENANT.
27. STL PIPE COL. TO BE EXPOSED. SAND & PAINT.
28. NEW GYP BD CLG OVER 2x6 CLG JOISTS @ 24' O.C.
29. NEW GYP BD CLG SUSP FROM EXIST'G FRMG. REF DTL 21/AS.2 FOR SEISMIC BRACING. VTY HT AS REQ'D TO CLEAR WINDOWS & CONCEAL EXIST'G ELECTRICAL CONDUIT & FIXTURES AS POSSIBLE.
30. NEW PLY SHT'G OVER NEW 2x6 FLR FRMG @ 16' O.C.
31. NEW CONC RAMP. REF DTL. 24/AS.1
32. NEW LIGHT FIXTURE. REF RCP / LIGHTING PLANS.
33. DOOR/WINDOW PER SCHEDULE.
34. NEW GYP BD CLG @ CENTER SECTION OF COFFERED CLG.
35. 2x6 FLR JOISTS @ 16' O.C. W/ LU26 TO 2x6 LEDGER W/ (2) #10 x 3" SCREWS @ 24' O.C. TO STUD OR SOLID BLKG.
36. NEW 5 1/2" x 12" GLAM BM. SUPPORT W/ NEW POST @ CORNER & (4) NEW 2x STUDS @ EXIST'G WALL & FOUNDATION.
37. NEW 3 1/2" x 9" GLAM BM. INSTALL NEW HUC46 TO EXIST'G CONC BM W/ (8) TITEN TURBO SCREWS EA END.
38. NEW 6x6 POST W/ 24" SQ FTG. REF DTL 12/AS.1.
39. NEW STAIR & RAILINGS. REF DTL 4/AS.2. PAINT SEMI-GLOSS BLACK.
40. EXIST'G WD WINDOW TO REMAIN. CLEAN, SAND & PAINT, TYP.
41. NEW PAINTED STL CHANNEL LINING. REF PLANS & DTL FOR ADD'L INFORMATION & PROVIDE STRUCTURAL DRAWINGS BY LICENSED ENGINEER. PAINT SEMI-GLOSS BLACK.
42. NEW TILE WAINSCOT.
43. EXIST'G MASONRY TO BE CLEANED & SEALED.
44. EXIST'G EXTERIOR INSULATION & FINISH SYSTEM, SCUPPERS, DOWNSPOUTS & MISC ITEMS TO REMAIN TO BE CLEANED, PREPPED & PAINTED.
45. EXIST'G ALUM STOREFRONT ASSEMBLY TO REMAIN.
46. EXIST'G PRE-FIN MTL PARAPET CAP FLASH'G & COUNTER FLASH'G TO REMAIN.
47. INSTALL NEW INSUL ABOVE EXIST'G AS REQ'D TO PROVIDE R-49.
48. FURR FLR W/ 3/4" CDX PLY OVER P.T. 2x FURR'G @ 16' O.C. AS REQ'D TO ALIGN W/ ADJACENT FLR.
49. NEW NON-RATED DATA OR HVAC CHASE THROUGH UPPER LEVEL FLR FRMG TO UPPER LEVEL ATTIC FRMG. 2x4 FRMG W/ GYP BD @ OUTSIDE FACE. PROVIDE 10"x12" ACCESS PANEL IN DATA CHASE IN BREAK RM.
50. NEW SUSP ACT & GRID.
51. INSTALL NEW CONTINUOUS 5 1/2" x 10 1/2" G. LAM HEADER BETWEEN WINDOW AND TRANSOM.
52. EXISTING 3' WIDE DOOR(S) W/ ADA COMPLIANT THRESHOLD AND EXIT DEVICE TO REMAIN.
53. INSTALL HVAC EQUIPMENT PER PLANS ABOVE FINISH CEILING. HANG FROM SIDE OF EXISTING FLOOR JOISTS USING UNI-STRUT F1000-H3 (OR EQUAL) USING (3) #10 x 1 1/2" SCREWS AND WASHERS.
54. FULL HEIGHT 4x4 POST AT END OF WALL W/ BC40 BASE AND (2) LL358 SCREWS TO JOIST OR SOLID BLKG AT EXIST'G FLOOR JOIST ABOVE.
55. INSTALL NEW ADA COMPLIANT DRINKING FOUNTAIN/ WATER BOTTLE FILL STATION.



C SECTION
1/4" = 1'-0"



D SECTION
1/4" = 1'-0"

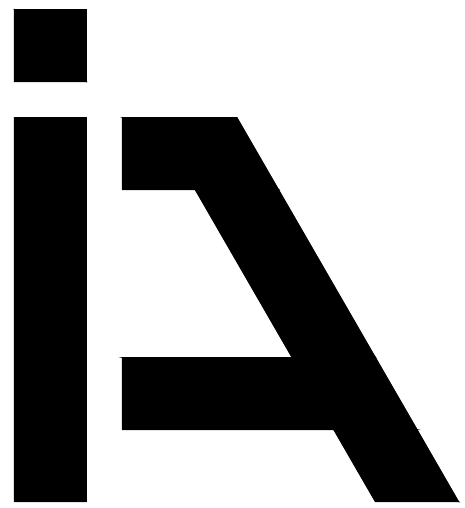
Renovation and Remodel of
Historic West Linn City Hall Building
22825 Willamette Drive West Linn, OR 97068

for Regional Cultural/ Tourism Center in partnership with
Willamette Falls and Landings Heritage Area Coalition

PROJ. NO. : 1705.3
FILE : A-SEC
DATE : 7/12/2023
REVISIONS
1: 9/15/23

SHEET #

A3.2

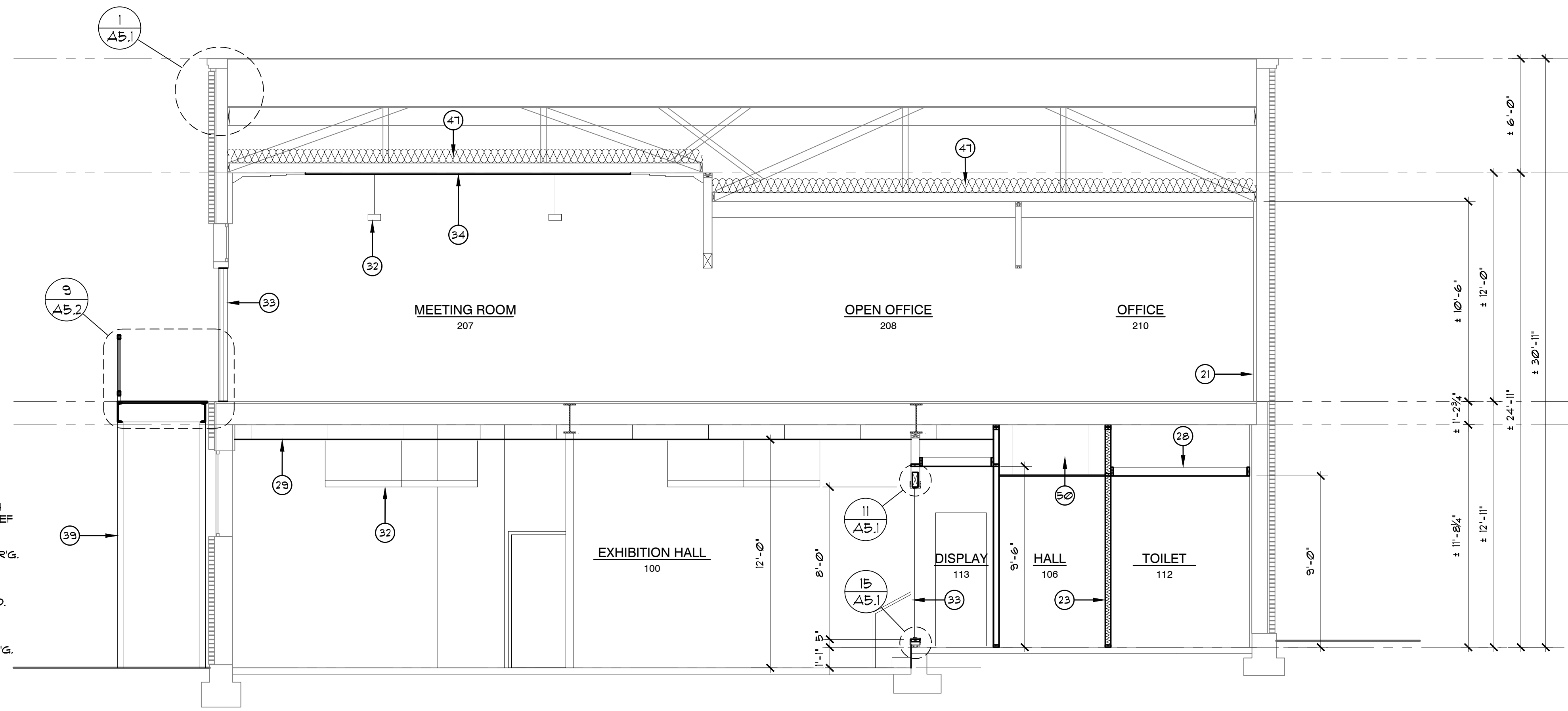


ISELIN ARCHITECTS P.C.

1307 Seventh Street
Oregon City, OR 97045
503-656-1942
www.iselinarchitects.com



This Plan Review Approval Does not Prevent The Field Inspector From Requiring Further Code Correction!



E SECTION

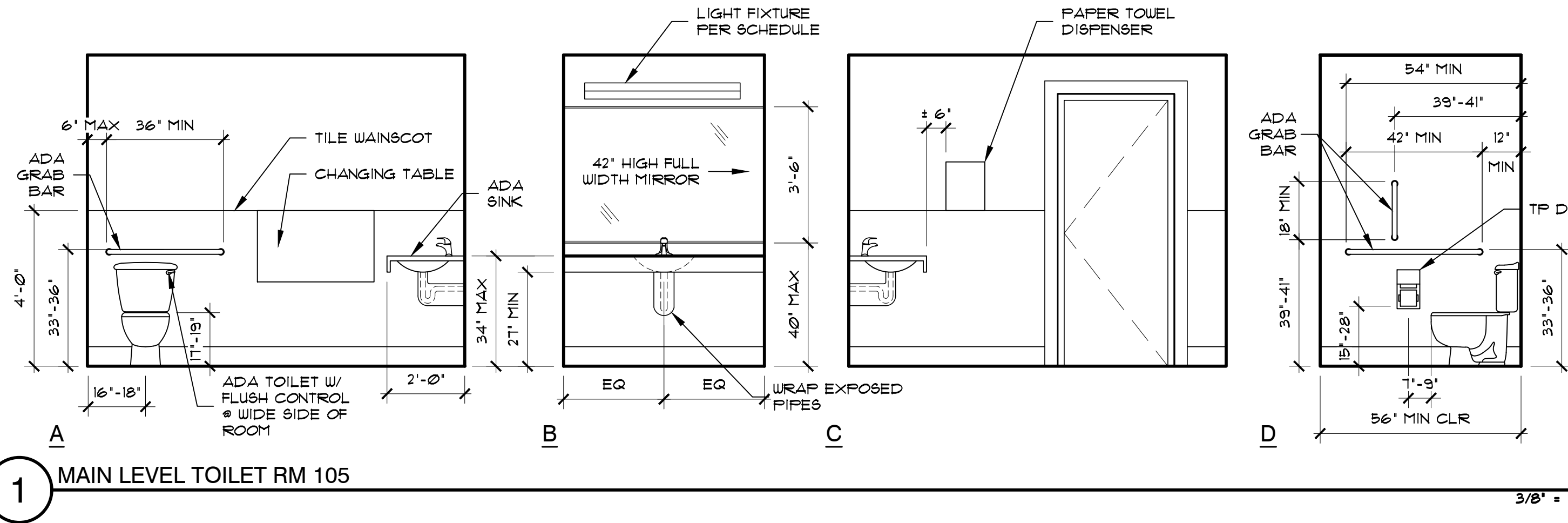
1/4" = 1'-0"

- KEYNOTES**
(NOT ALL KEYNOTES REFERENCED ON EACH PAGE)
- EXIST'G WALL TO REMAIN. PATCH & REPAIR AS REQ'D DUE TO REMOVAL OF FINISHES OR OTHER MODIFICATIONS. FINISH TO MATCH EXIST'G ADJACENT & PROVIDE SEAMLESS APPEARANCE, PAINT. REF FINISH SCHEDULE FOR ADD'L FINISH INFO.
 - INFILL OP'NG IN EXT WALL W/ CONC. BRICK VENEER & INTERIOR FURR'G. FINISH TO MATCH EXIST'G ADJACENT & PROVIDE SEAMLESS APPEARANCE, PAINT.
 - NEW WD FRMD WALL W/ GYP BD FINISH EA. SIDE. 2x4 @ 16' O.C. UNO. PER FRAMING NOTES. 2x6 AS REQ'D FOR PLUMBING. REF FINISH SCHEDULE FOR FINISHES, TYP.
 - INFILL WALL AS REQ'D W/ 2x STUDS @ SIZE AS REQ'D TO MATCH EXIST'G. FINISH TO MATCH EXIST'G ADJACENT & PROVIDE SEAMLESS APPEARANCE, PAINT.
 - NEW FIRE EXTINGUISHER & CABT.
 - FURNISHINGS TO BE PROVIDED & INSTALLED BY OWNER/TENANT.
 - STL PIPE COL TO BE EXPOSED. SAND & PAINT.
 - NEW GYP BD CLG OVER 2x6 CLG JOISTS @ 24' O.C.
 - NEW GYP BD CLG SUSP FROM EXIST'G FRMG. REF DTL 21/A5.2 FOR SEISMIC BRACING. VERIFY HT AS REQ'D TO CLEAR WINDOWS & CONCEAL EXIST'G ELECTRICAL CONDUIT & FIXTURES AS POSSIBLE.
 - NEW FLY SHTH'G OVER NEW 2x6 FLR FRMG @ 16' O.C.
 - NEW CONC RAMP. REF DTL. 24/A5.1
 - NEW LIGHT FIXTURE. REF RCP / LIGHTING PLANS.
 - DOOR/WINDOW PER SCHEDULE.
 - NEW GYP BD CLG @ CENTER SECTION OF COFFERED CLG.
 - 2x6 FLR JOISTS @ 16' O.C. W/ L2x6 TO 2x6 LEDGER W/ (2) #10 x 3' SCREWS @ 24' O.C. TO STUD OR SOLID BLK'G.
 - NEW 5 1/2" x 12" GLAM BM. SUPPORT W/ NEW POST @ CORNER & (4) NEW 2x STUDS @ EXIST'G WALL & FOUNDATION.
 - NEW 3 1/2" x 9" GLAM BM. INSTALL NEW HUC46 TO EXIST'G CONC BM W/ (8) TITEN TURBO SCREWS EA END.
 - NEW 6x6 POST W/ 24" SQ FTG. REF DTL 12/A5.1
 - NEW STAIR & RAILINGS. REF DTL 4/A5.2. PAINT SEMI-GLOSS BLACK.
 - EXIST'G WD WINDOW TO REMAIN. CLEAN, SAND & PAINT, TYP.
 - NEW PAINTED STL CHANNEL AWNING. REF PLANS & DTL FOR ADD'L INFORMATION. PROVIDE STRUCTURAL DRAWINGS BY LICENSED ENGINEER. PAINT SEMI-GLOSS BLACK.
 - NEW TILE WAINSCOT.
 - EXIST'G MASONRY TO BE CLEANED & SEALED.
 - EXIST'G EXTERIOR INSULATION & FINISH SYSTEM, SCUFFERS, DOWNSPOUTS & MISC ITEMS TO REMAIN TO BE CLEANED, PREPPED & PAINTED.
 - EXIST'G ALUM STOREFRONT ASSEMBLY TO REMAIN.
 - EXIST'G PRE-FIN MTL PARAPET CAP FLASH'G & COUNTER FLASH'G TO REMAIN.
 - INSTALL NEW INSUL ABOVE EXIST'G AS REQ'D TO PROVIDE R-49.
 - FURR FLR W/ 1/2" CDX FLY OVER P.T. 2x FURR'G @ 16' O.C. AS REQ'D TO ALIGN W/ ADJACENT FLR.
 - NEW NON-RATED DATA OR HVAC CHASE THROUGH UPPER LEVEL FLR FRMG TO UPPER LEVEL ATTIC FRMG. 2x4 FRMG W/ GYP BD @ OUTSIDE FACE. PROVIDE ± 10"x12" ACCESS PANEL IN DATA CHASE IN BREAK RM.
 - NEW SUSP ACT & GRID.
 - INSTALL NEW CONTINUOUS 5 1/2" x 10 1/2" G. LAM HEADER BETWEEN WINDOW AND TRANSOM.
 - EXISTING 3" WIDE DOOR(S) W/ ADA COMPLIANT THRESHOLD AND EXIT DEVICE TO REMAIN.
 - INSTALL HVAC EQUIPMENT PER PLANS ABOVE FINISH CEILING. HANG FROM SIDE OF EXISTING FLOOR JOISTS USING 'UNI-STRUT' P1000-H3 (OR EQUAL) USING (3) #10 x 1 1/2" SCREWS AND WASHERS.
 - FULL HEIGHT 4x4 POST AT END OF WALL W/ BC40 BASE AND (2) LL358 SCREWS TO JOIST OR SOLID BLKG AT EXIST'G FLOOR JOIST ABOVE.
 - INSTALL NEW ADA COMPLIANT DRINKING FOUNTAIN/ WATER BOTTLE FILL STATION.

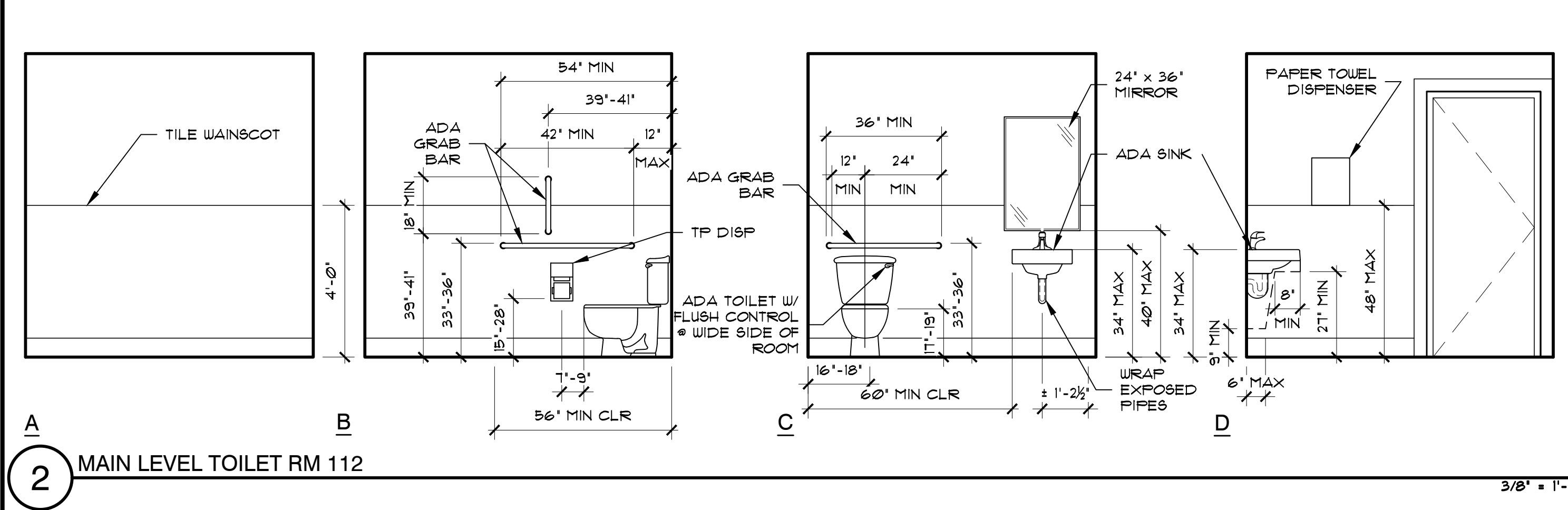
**Renovation and Remodel of
Historic West Linn City Hall Building
22825 Willamette Drive West Linn, OR 97068**
for Regional Cultural/ Tourism Center in partnership with
Willamette Falls and Landings Heritage Area Coalition

PROJ. NO. : 1705.3
FILE : A-SEC
DATE : 7/12/2023
REVISIONS
1: 9/15/23

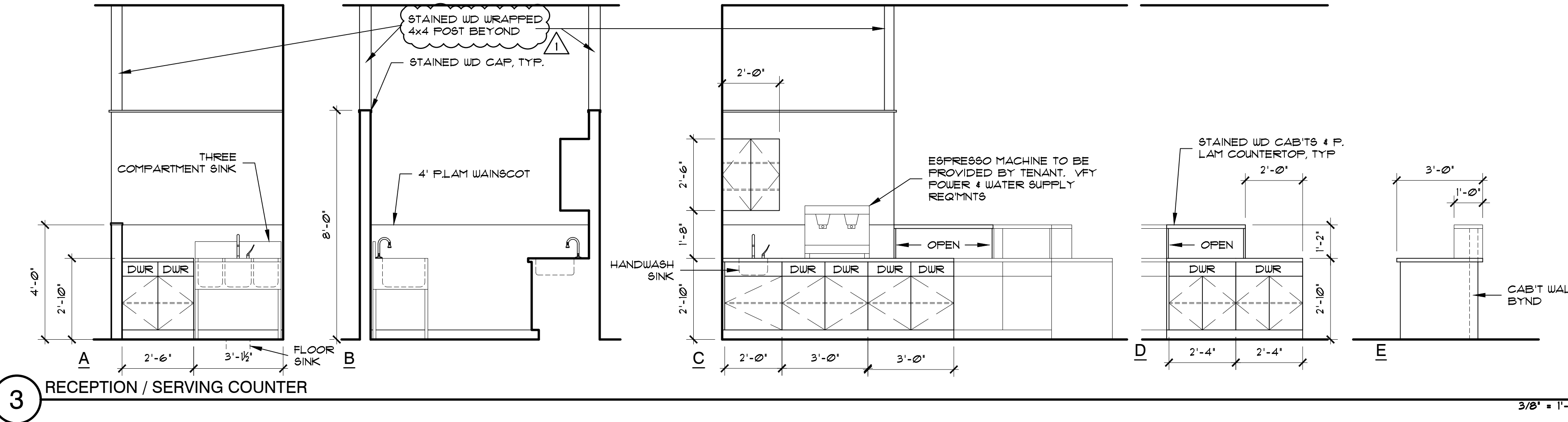
SHEET #
A3.3



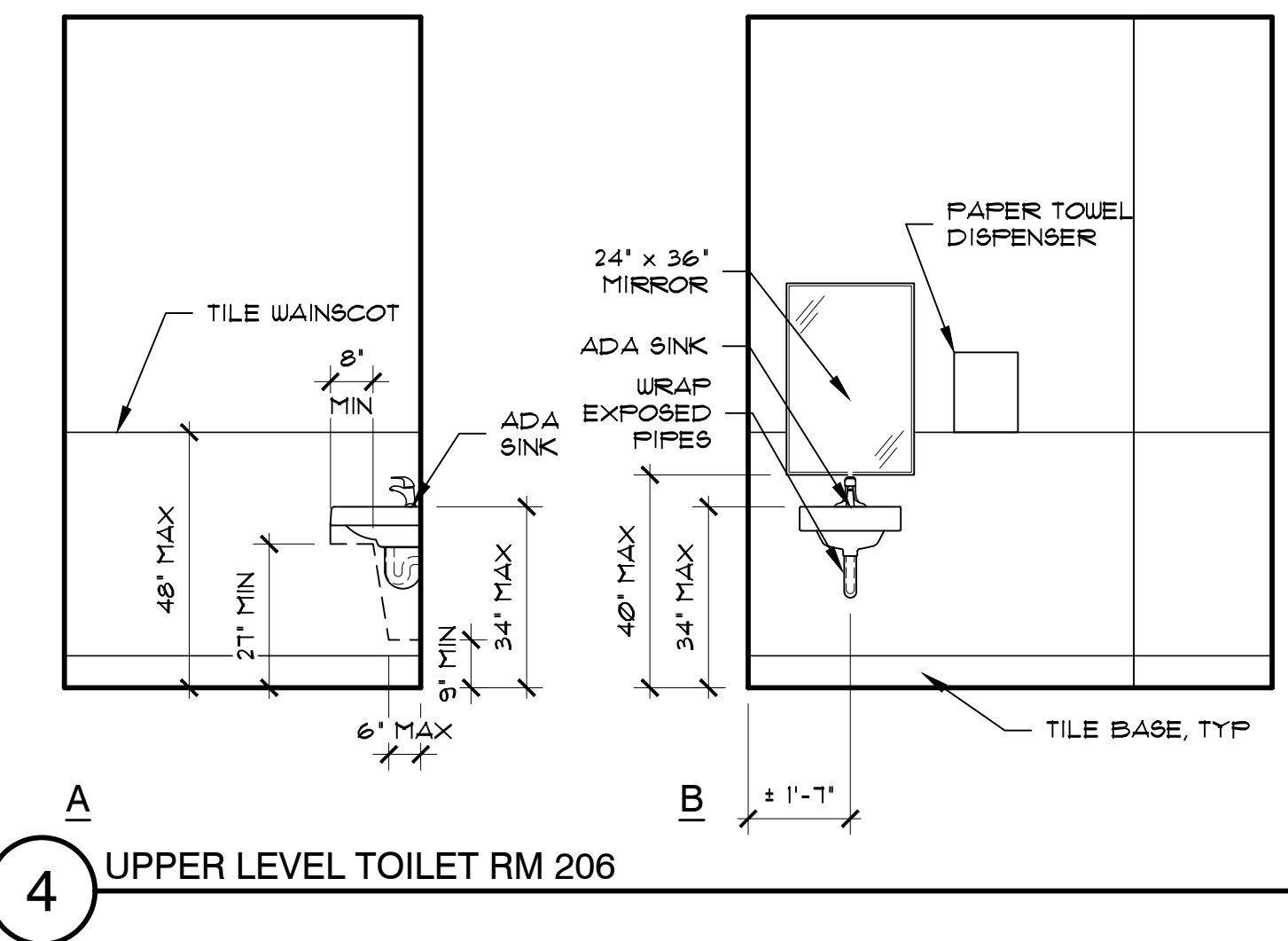
1 MAIN LEVEL TOILET RM 105



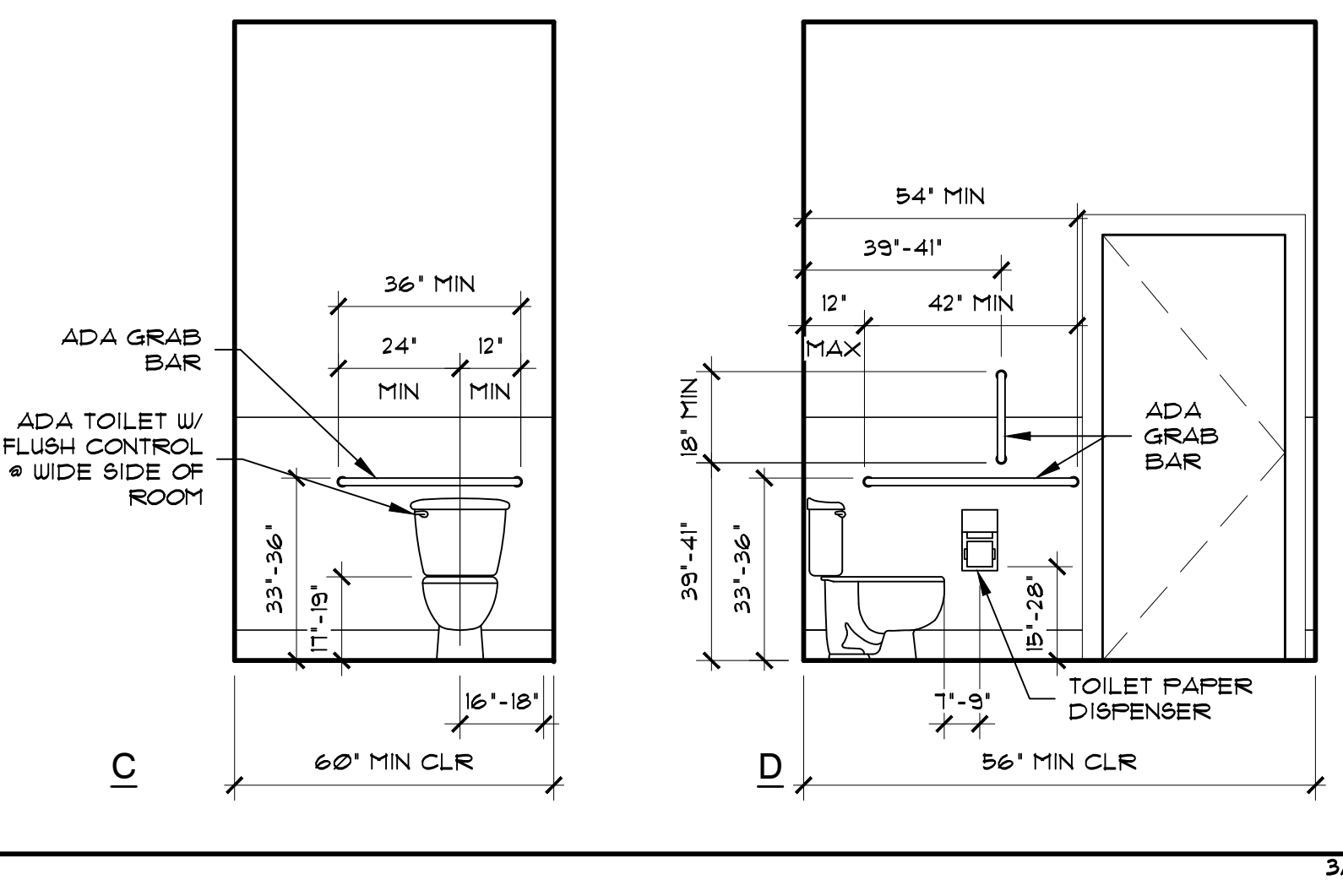
2 MAIN LEVEL TOILET RM 112



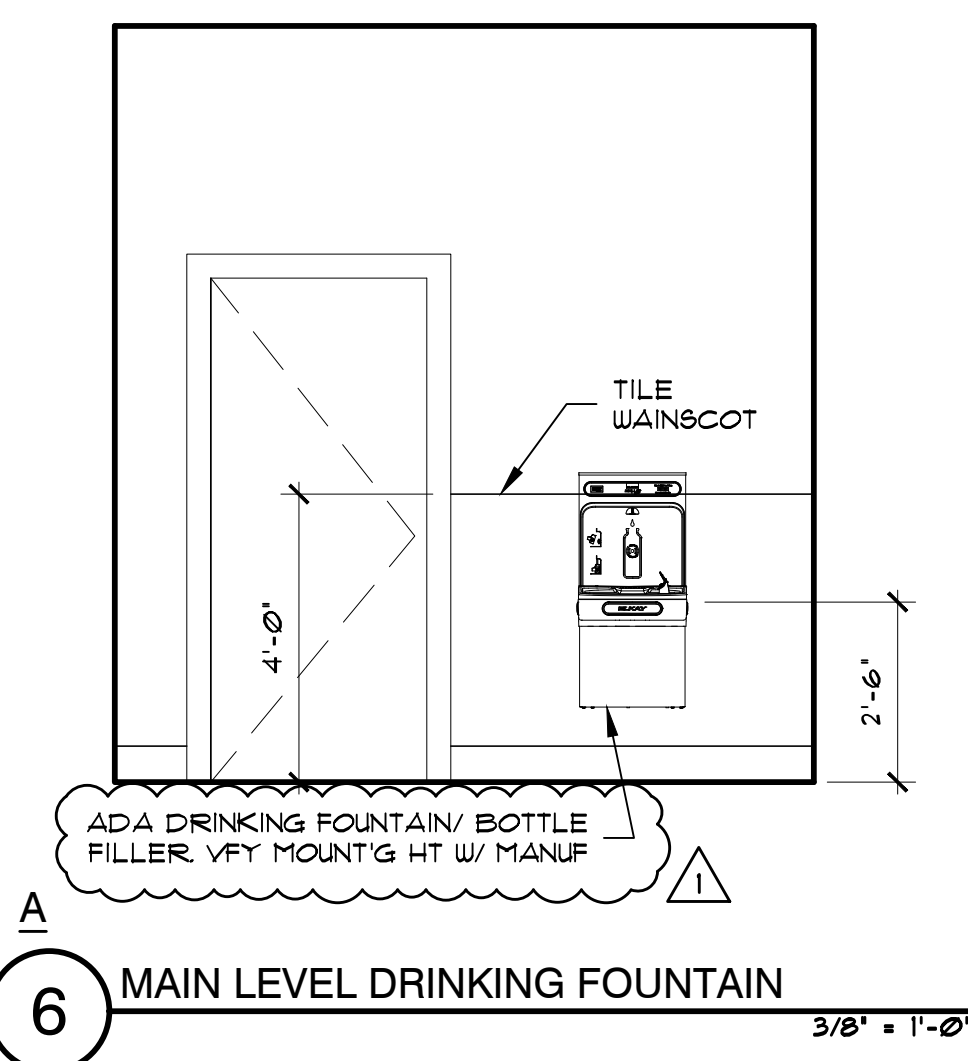
3 RECEPTION / SERVING COUNTER



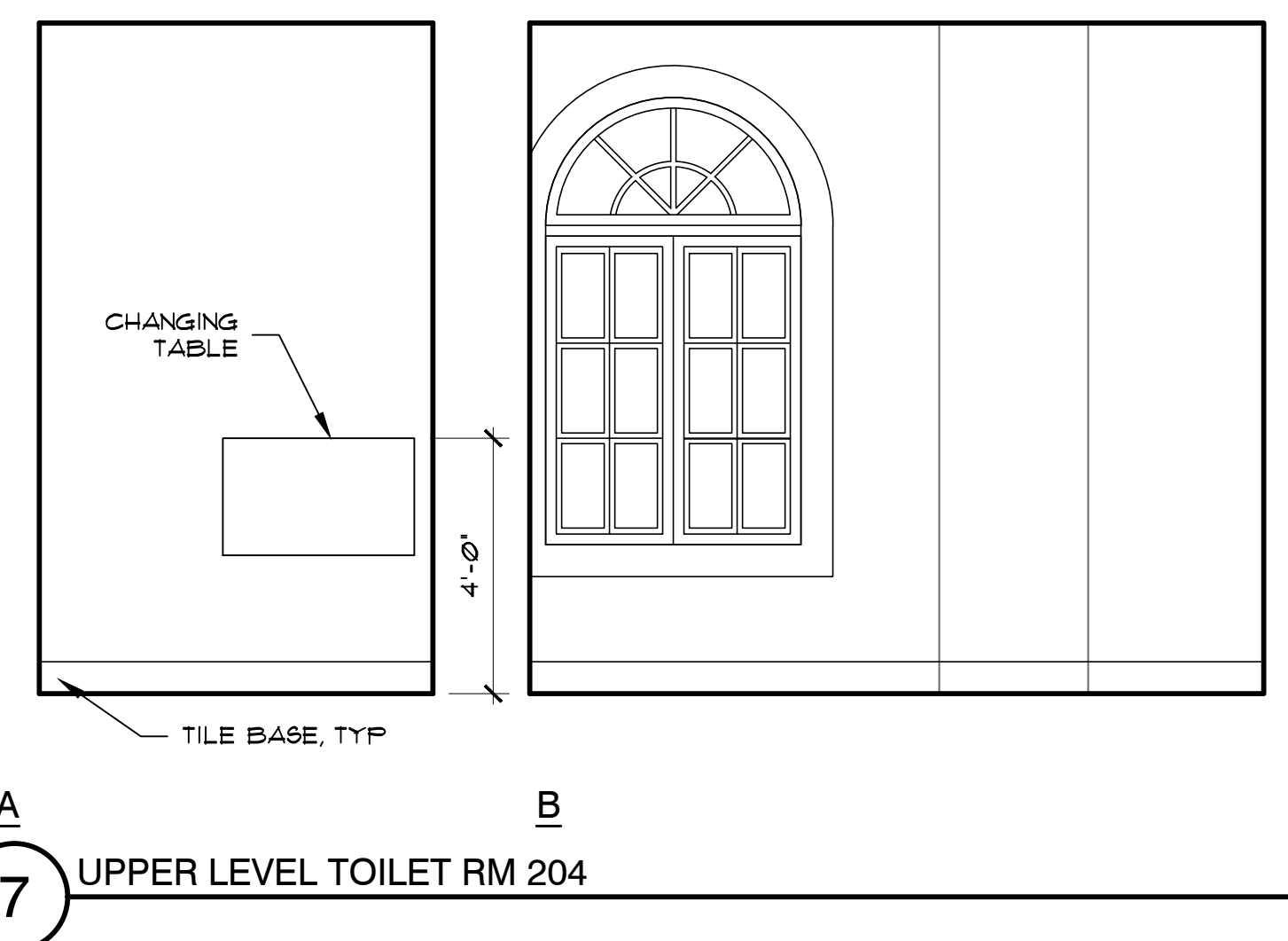
4 UPPER LEVEL TOILET RM 206



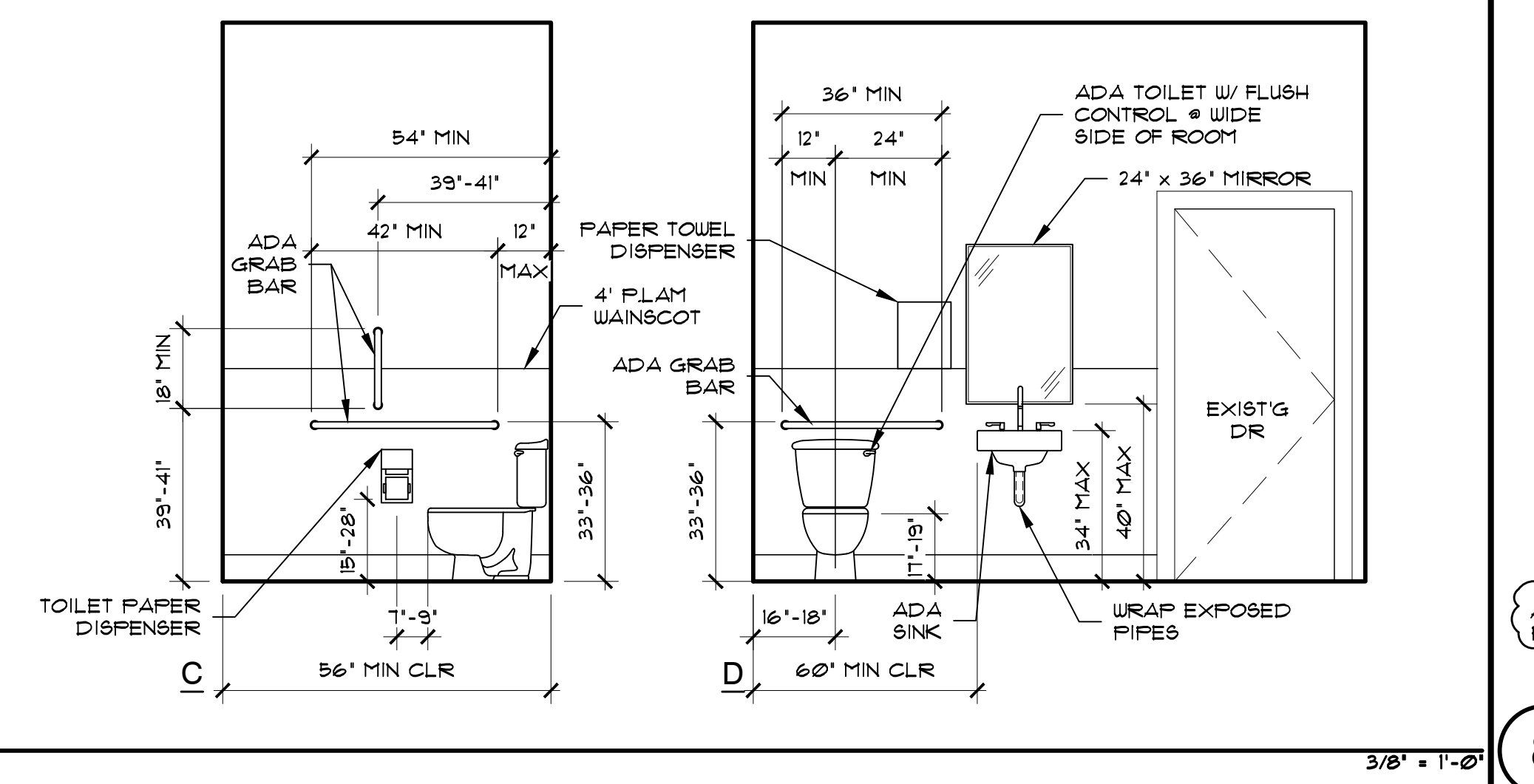
5 UPPER LEVEL BREAK RM



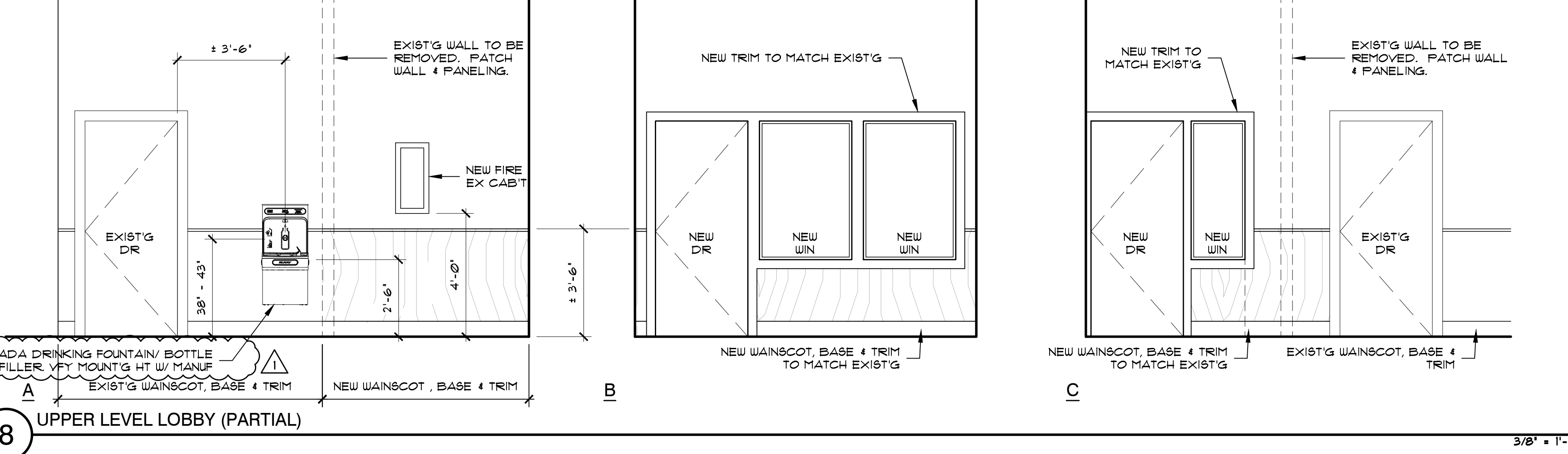
6 MAIN LEVEL DRINKING FOUNTAIN



7 UPPER LEVEL TOILET RM 204



8 UPPER LEVEL LOBBY (PARTIAL)



8 UPPER LEVEL LOBBY (PARTIAL)



1307 Seventh Street
Oregon City, OR 97045
503-656-1942
www.iselinarchitects.com



This Plan Review Approval Does not Prevent The Field Inspector From Requiring Further Code Correction!

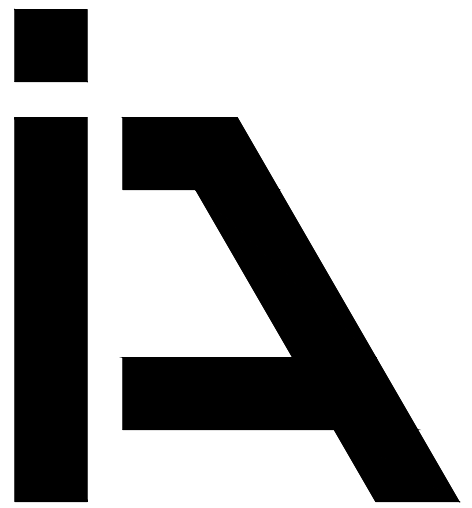
Renovation and Remodel of
Historic West Linn City Hall Building
22825 Willamette Drive West Linn, OR 97068
for Regional Cultural/ Tourism Center in partnership with
Willamette Falls and Landings Heritage Area Coalition

PROJ. NO. : 1705.3
FILE : A-IE
DATE : 7/12/2023
1: 9/15/23

SHEET #

A4.1

INTERIOR ELEVATIONS



ISELIN ARCHITECTS P.C.

1307 Seventh Street
Oregon City, OR 97045
503-656-1942
www.iselinarchitects.com

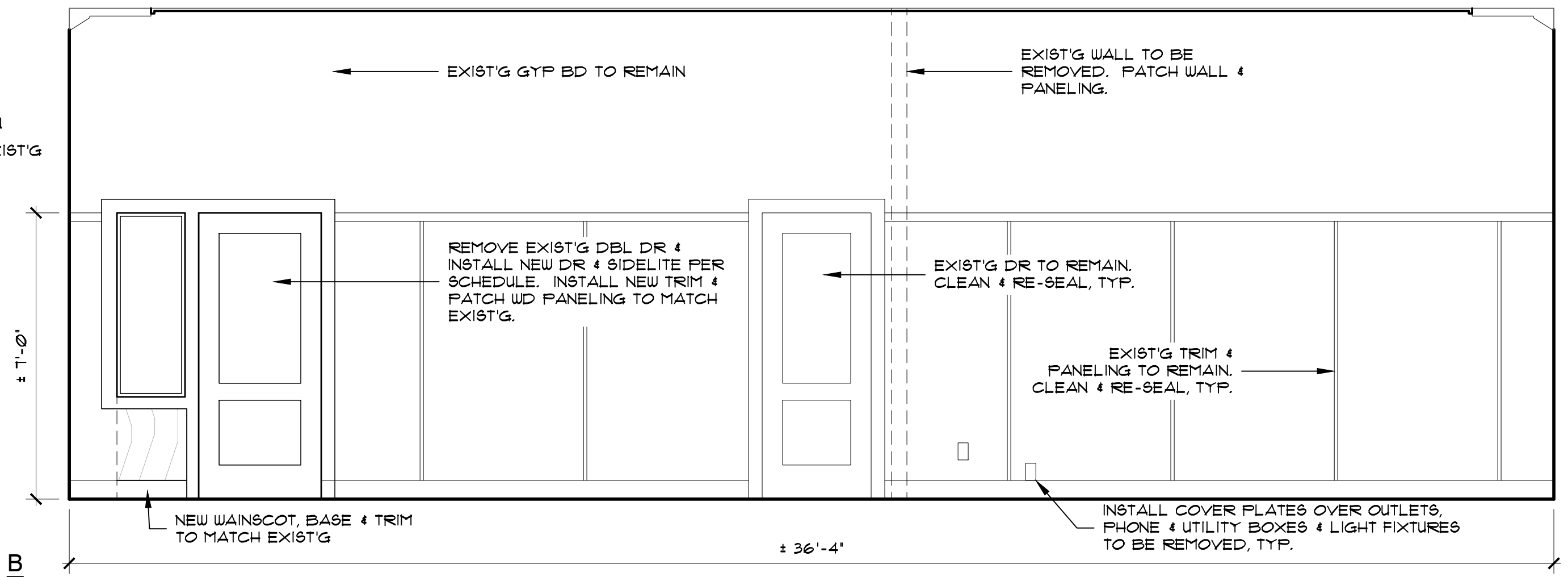
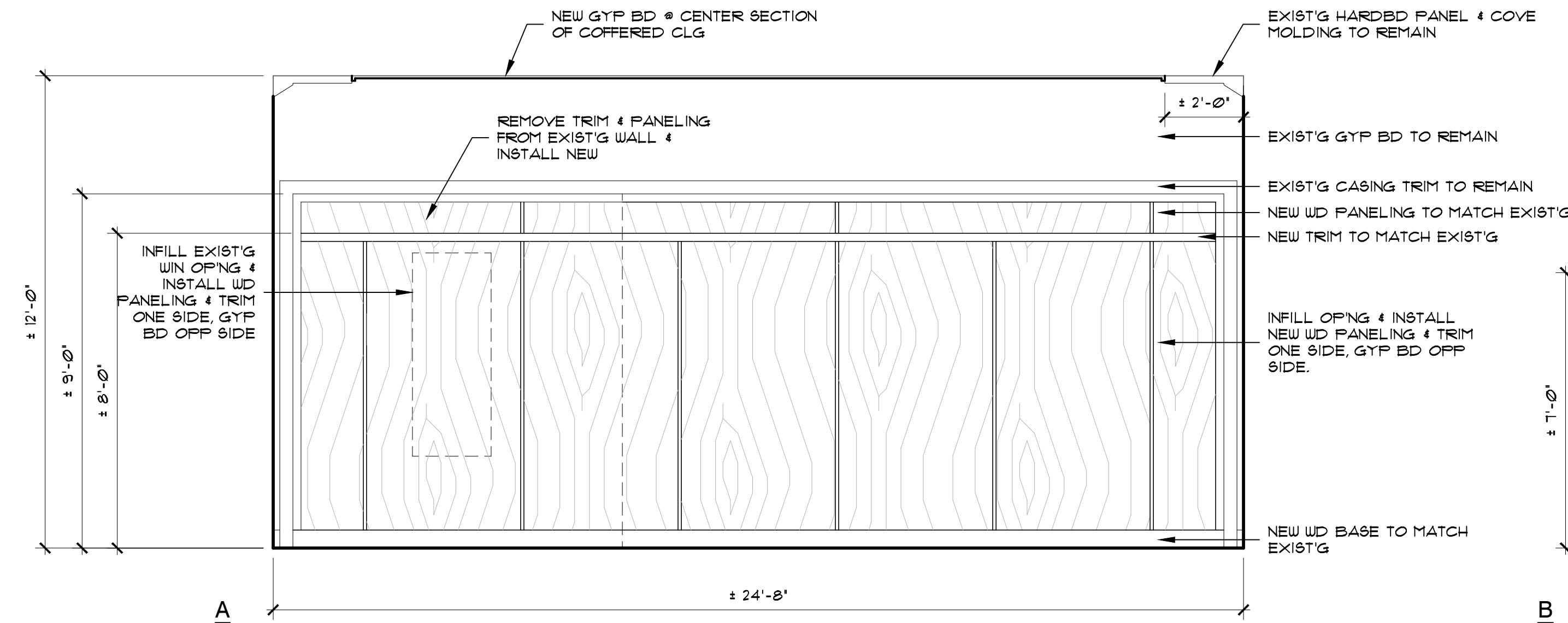


**This Plan Review Approval
Does not Prevent The Field
Inspector From Requiring
Further Code Correction!**

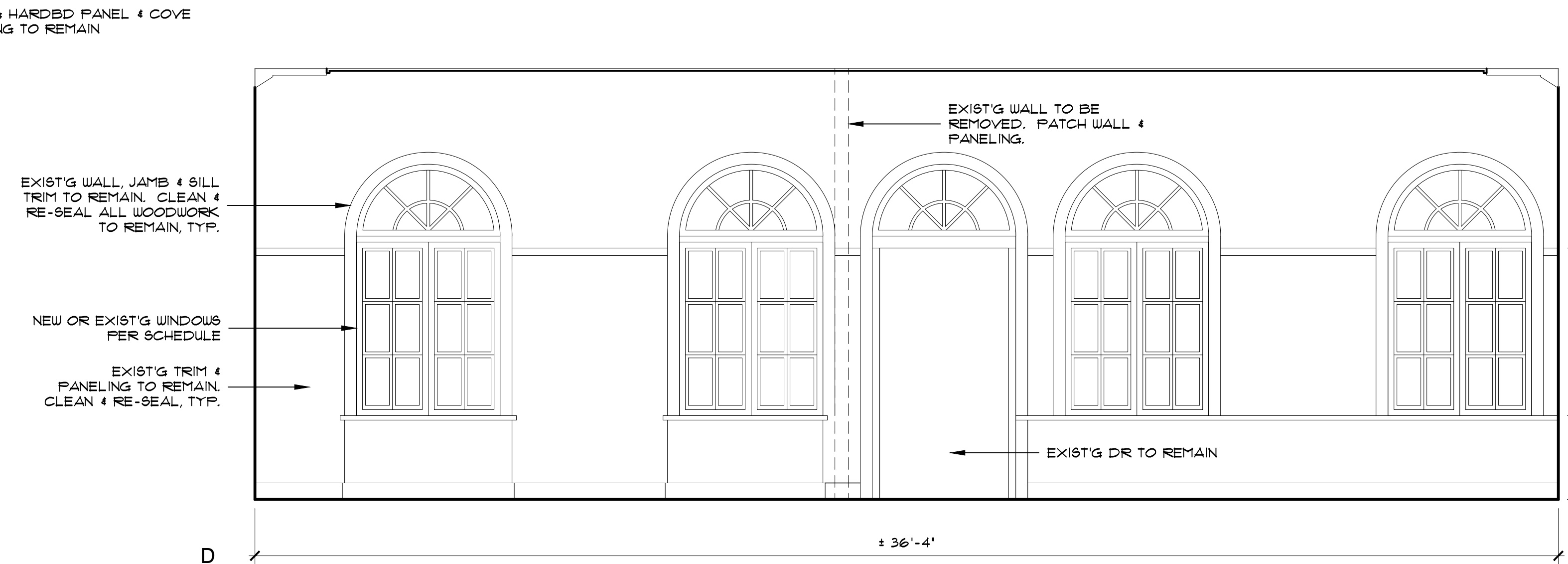
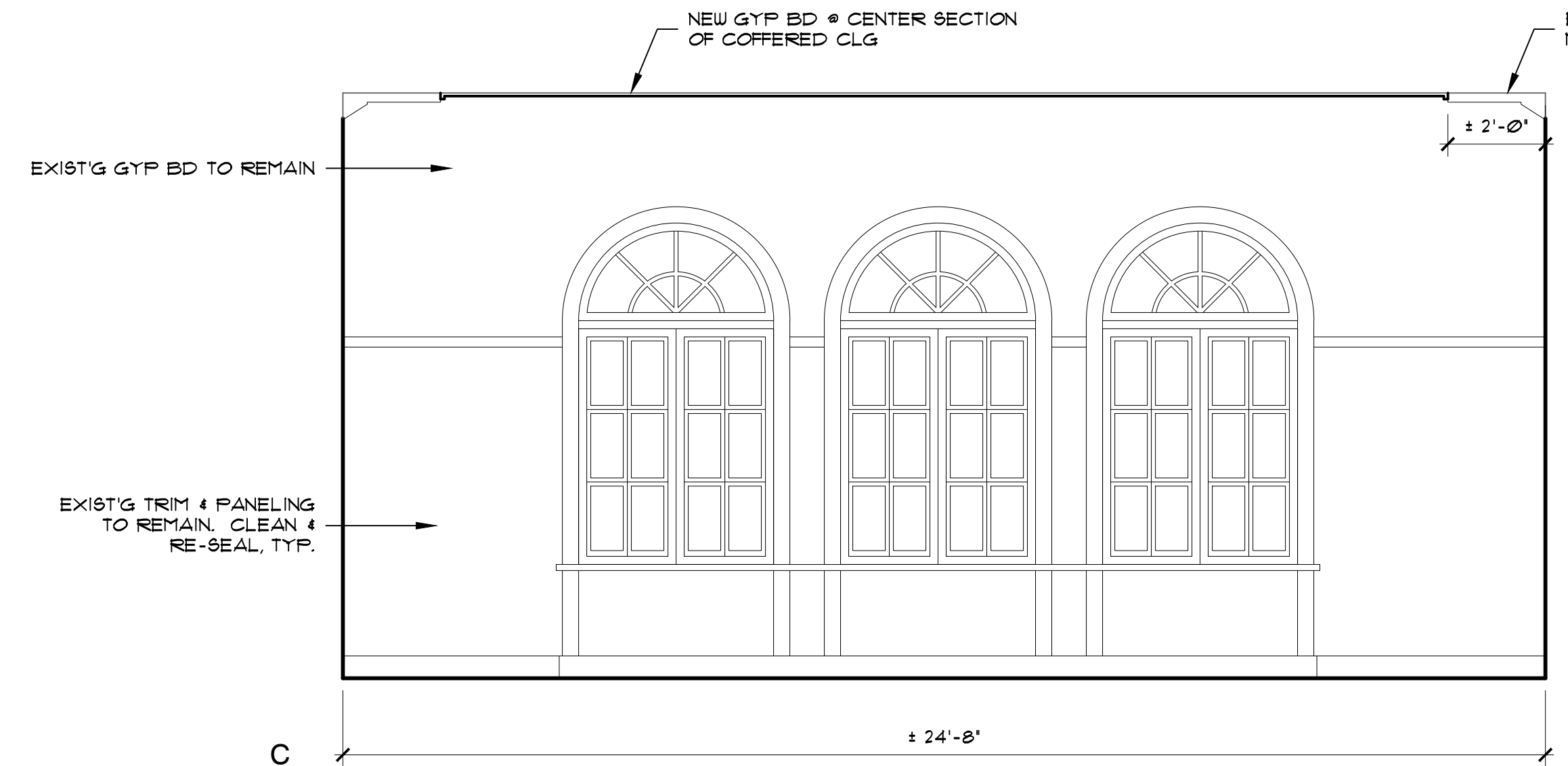
**Renovation and Remodel of
Historic West Linn City Hall Building
22825 Willamette Drive West Linn, OR 97068**
for Regional Cultural/ Tourism Center in partnership with
Willamette Falls and Landings Heritage Area Coalition

PROJ. NO. : 1705.3
FILE : A-IE
DATE : 7/12/2023
REVISIONS
1: 9/15/23

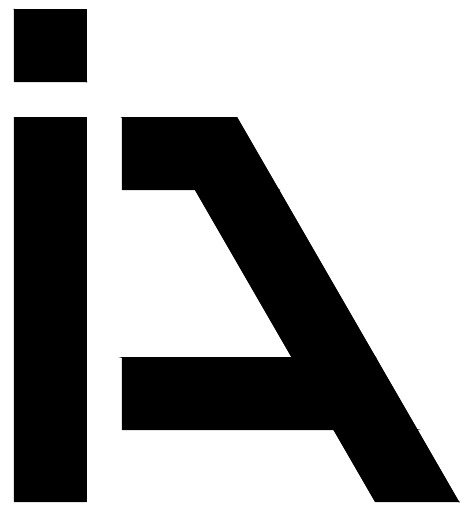
SHEET #
A4.2
INTERIOR ELEVATIONS



1 UPPER LEVEL MEETING ROOM



UPPER LEVEL MEETING ROOM



ISELIN ARCHITECTS P.C.

1307 Seventh Street
Oregon City, OR 97045
503-656-1942
www.iselinarchitects.com



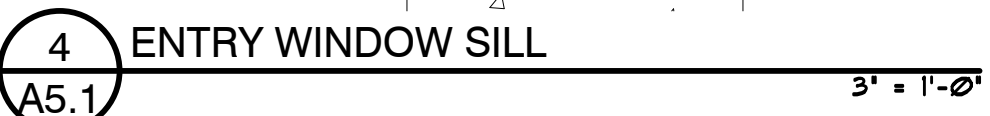
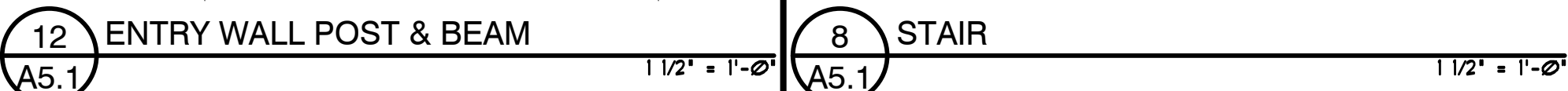
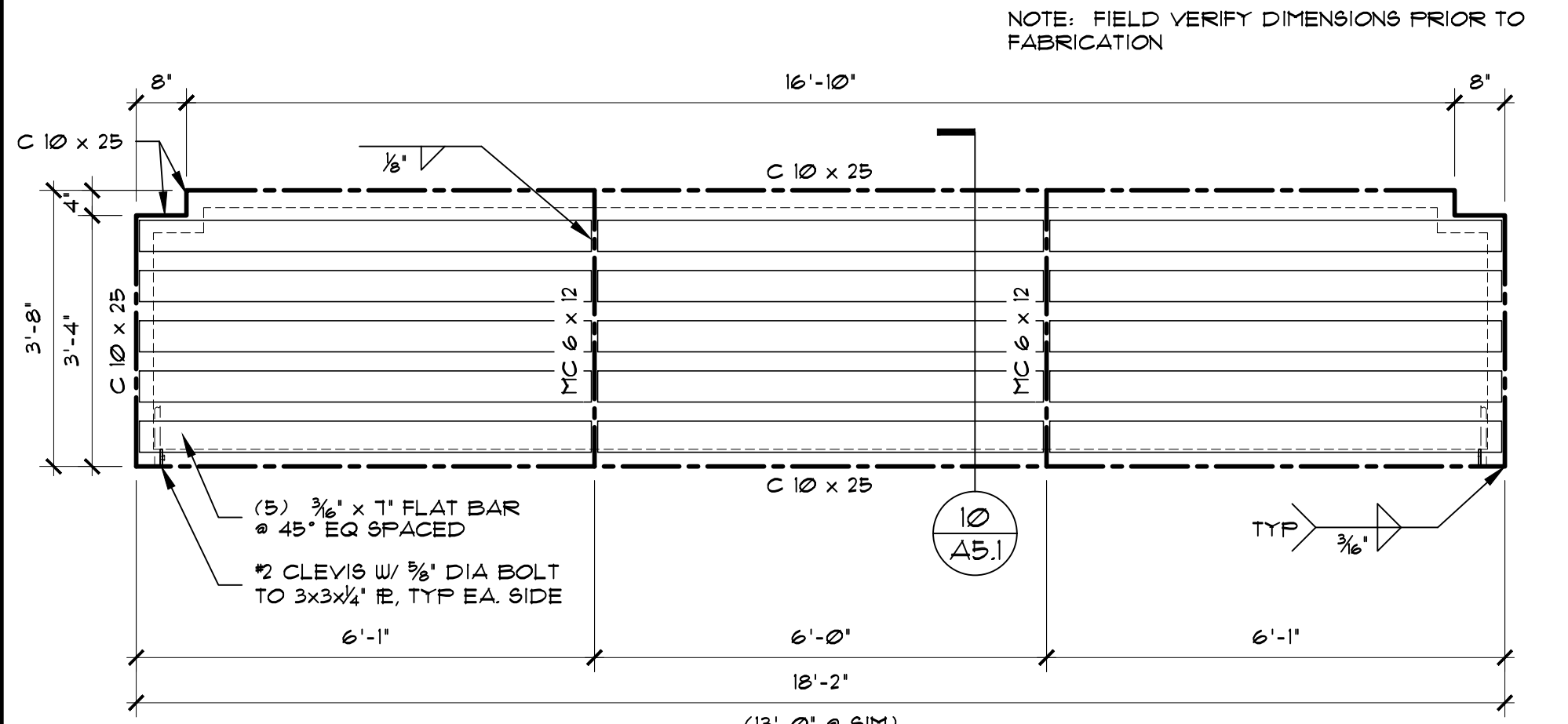
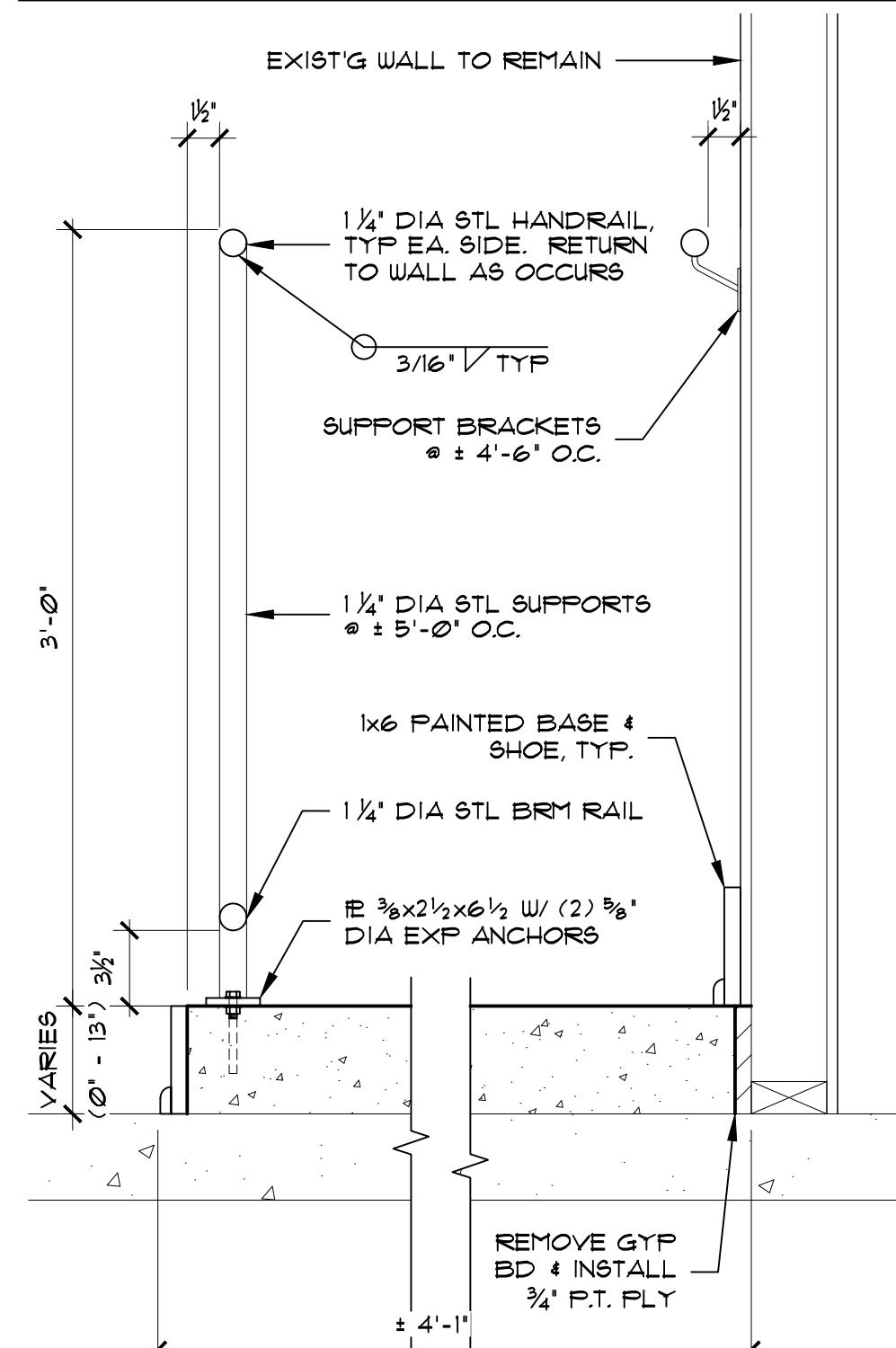
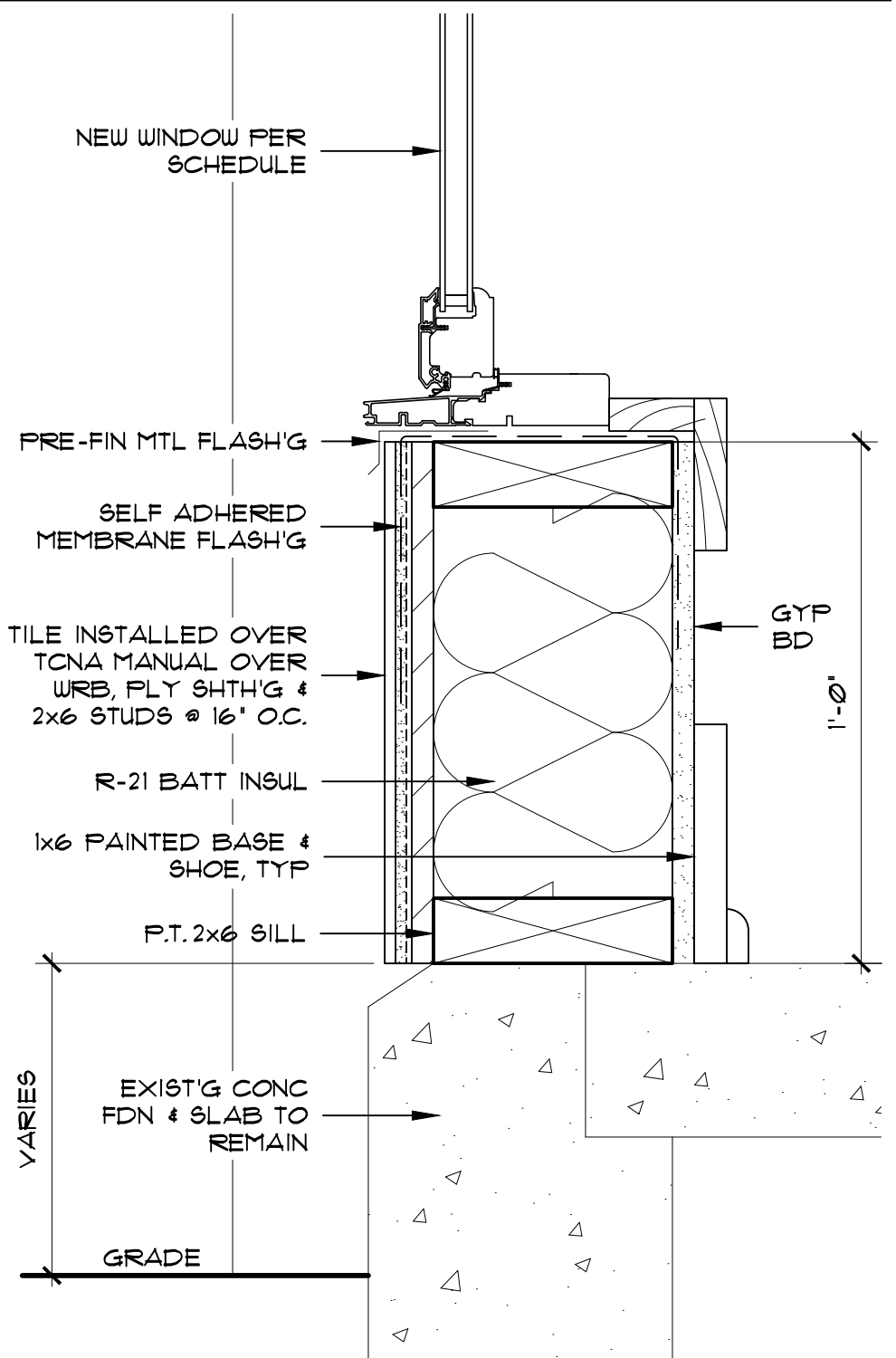
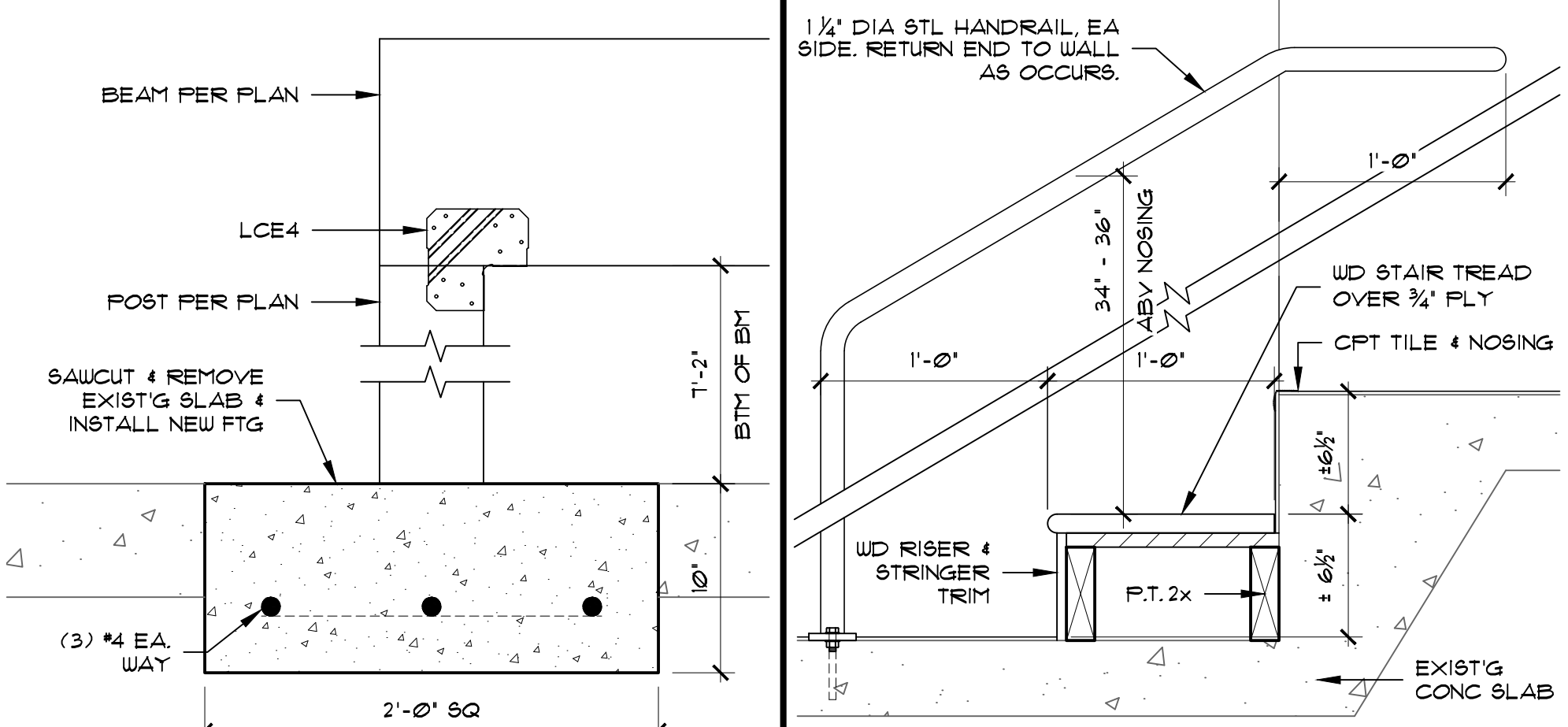
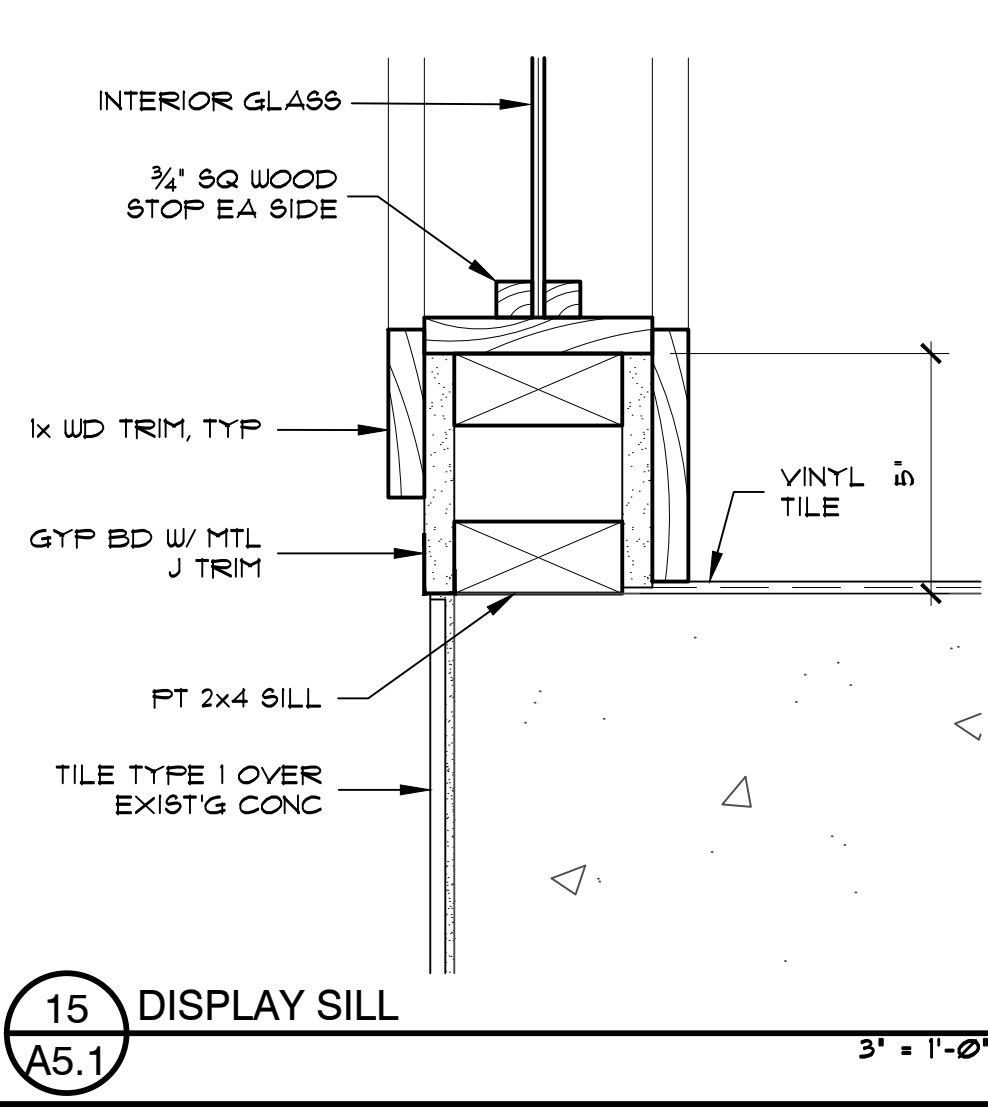
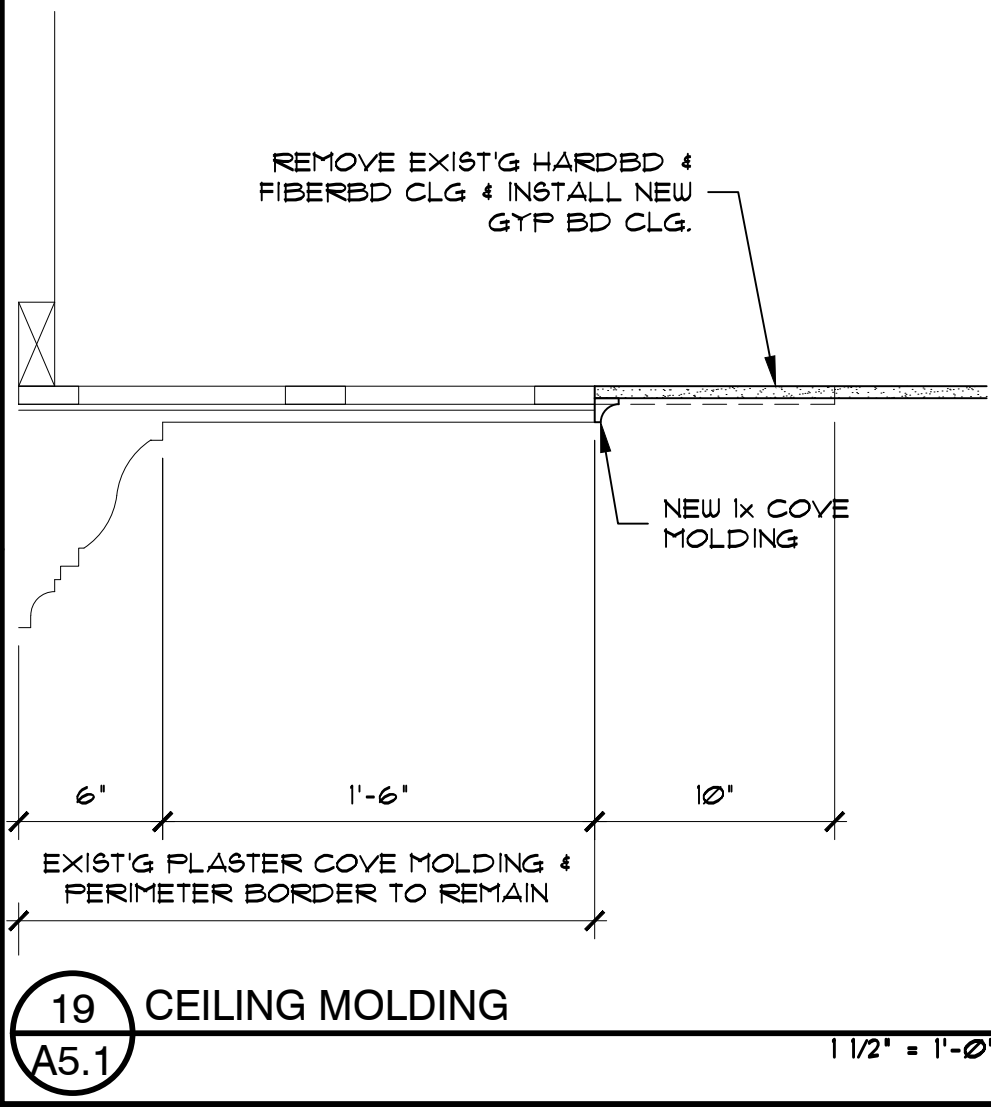
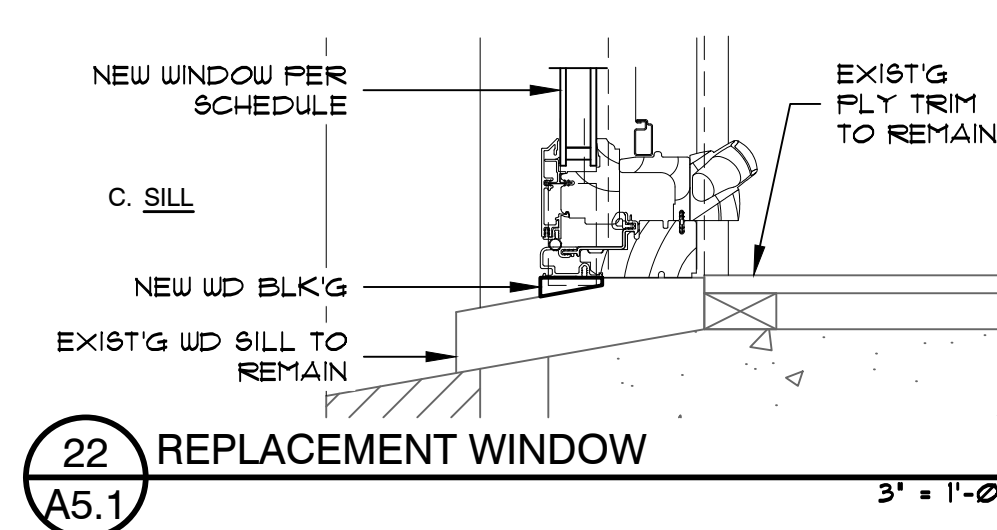
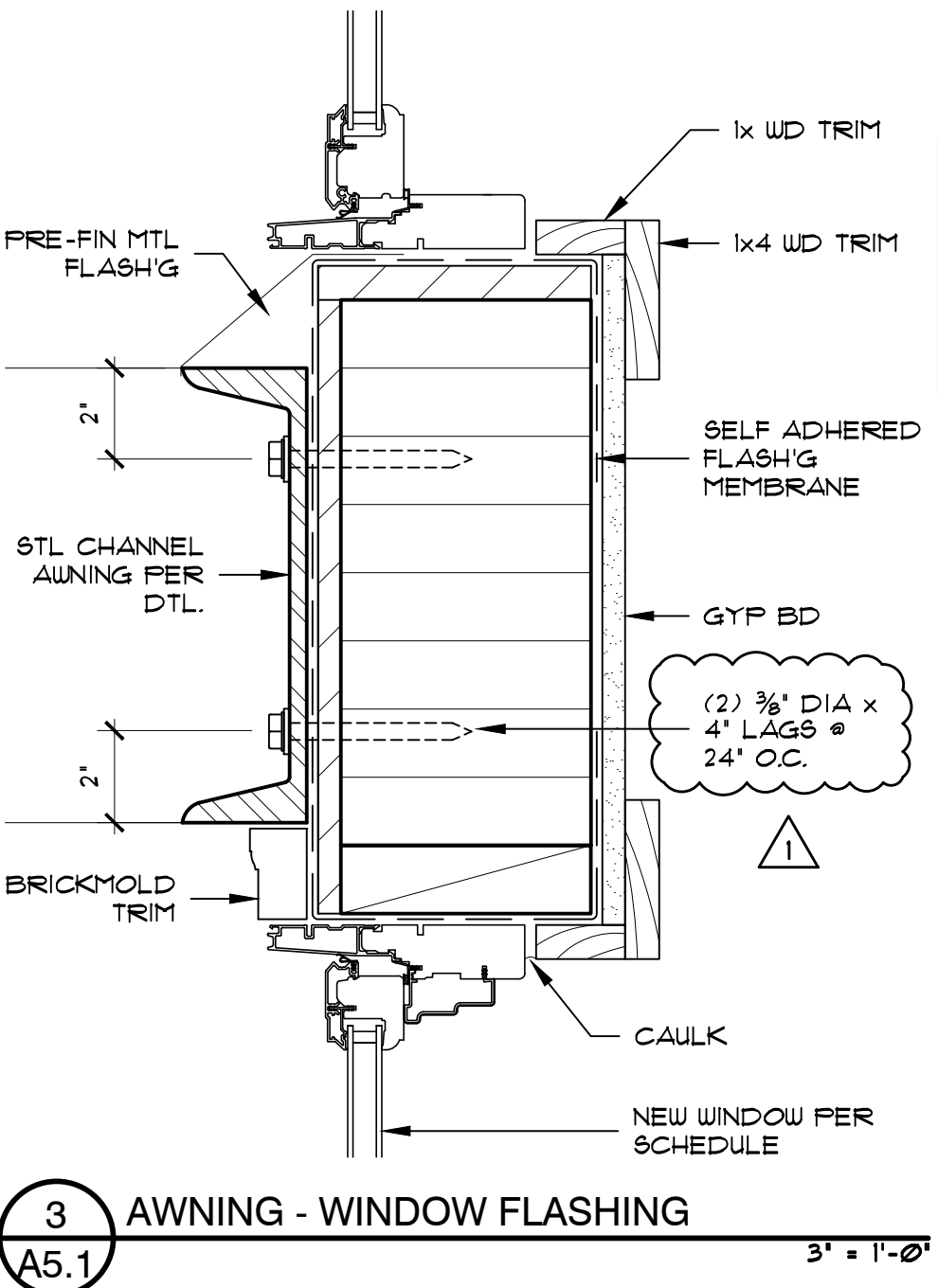
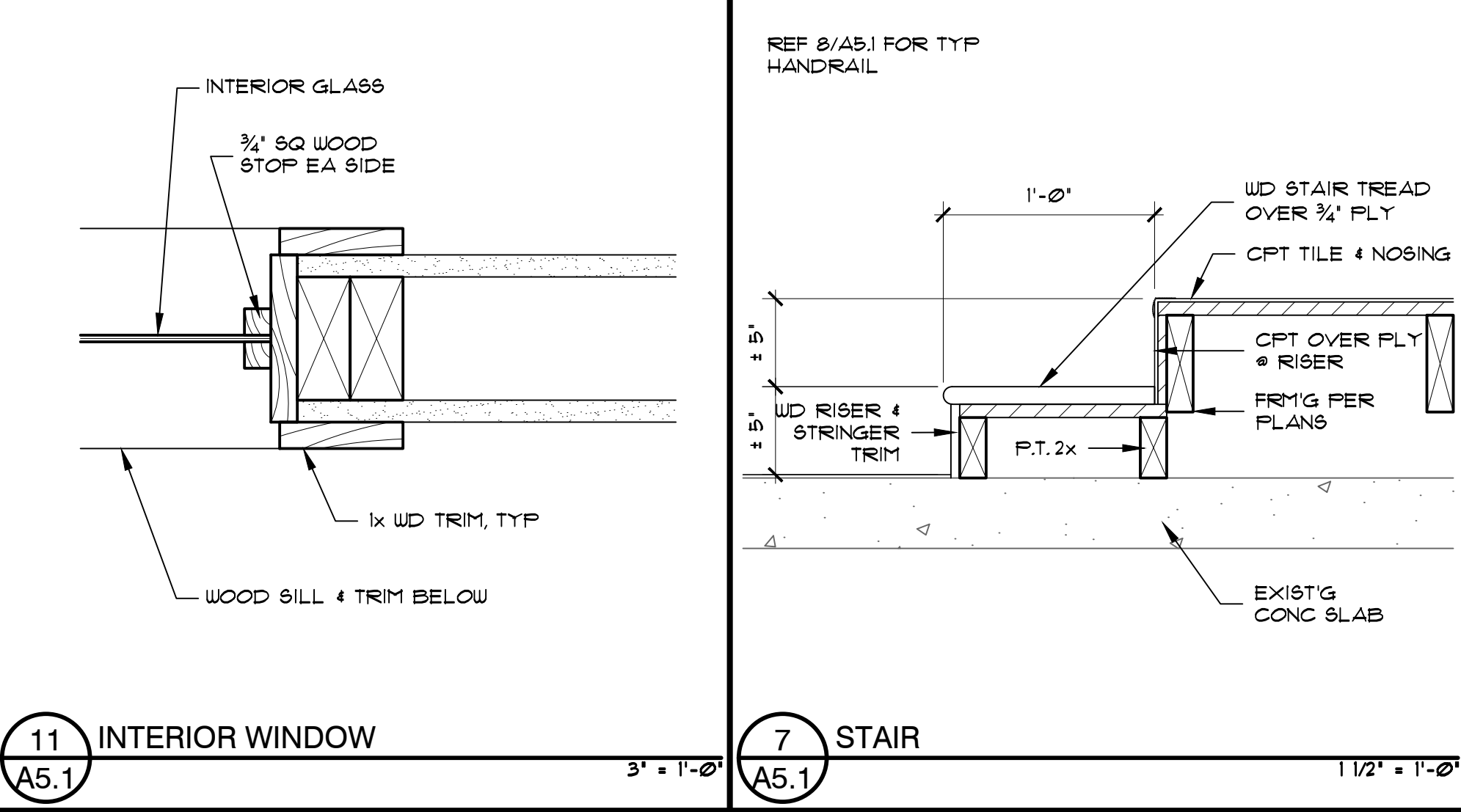
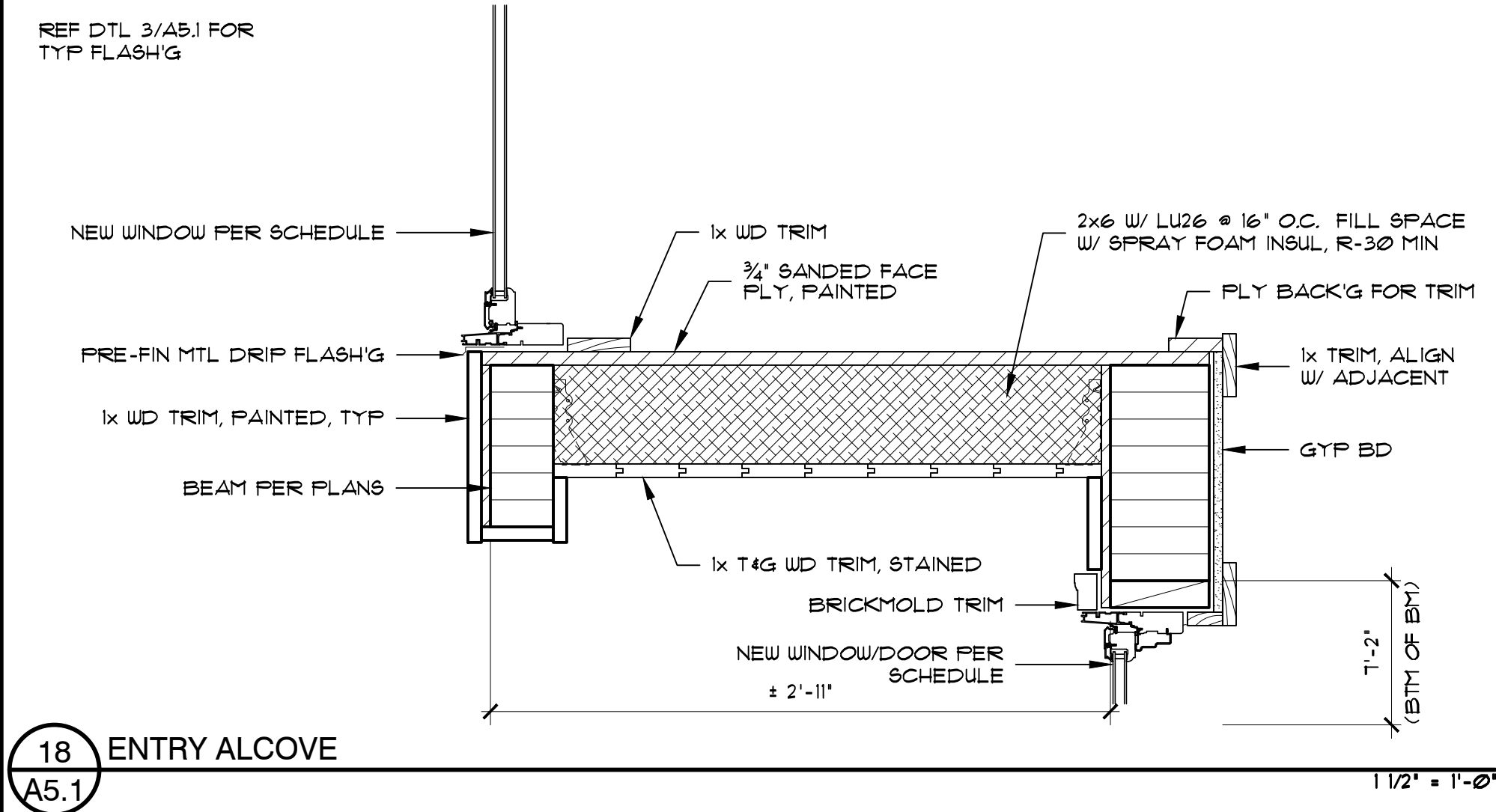
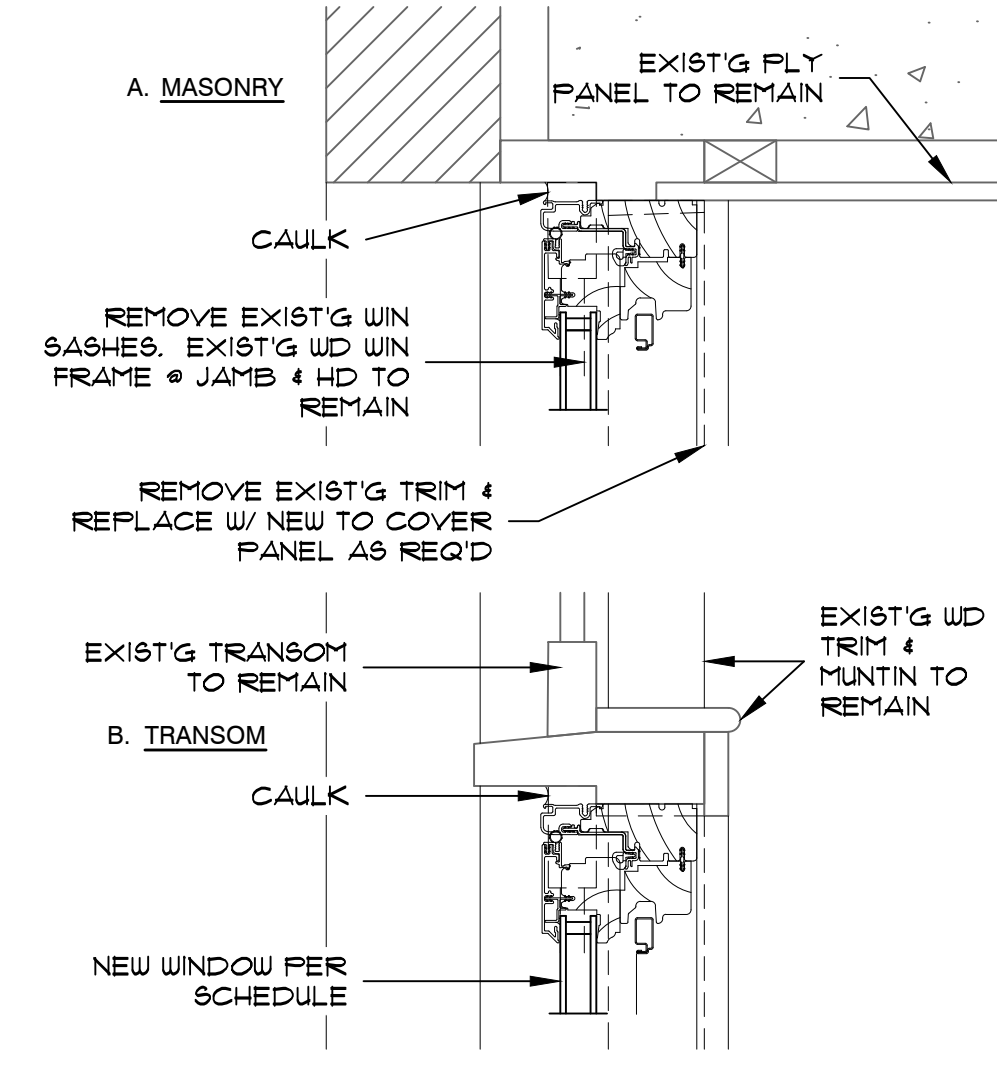
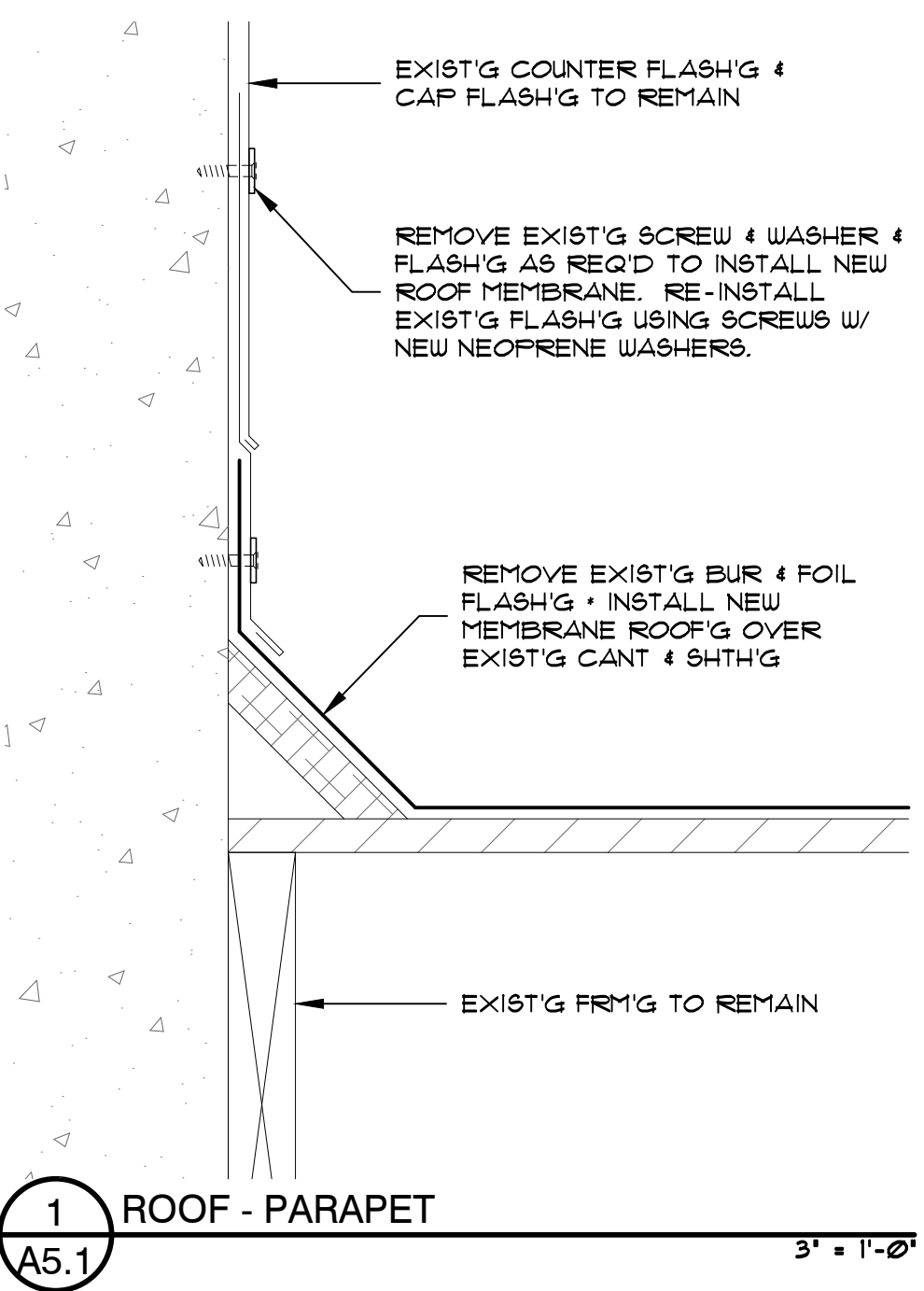
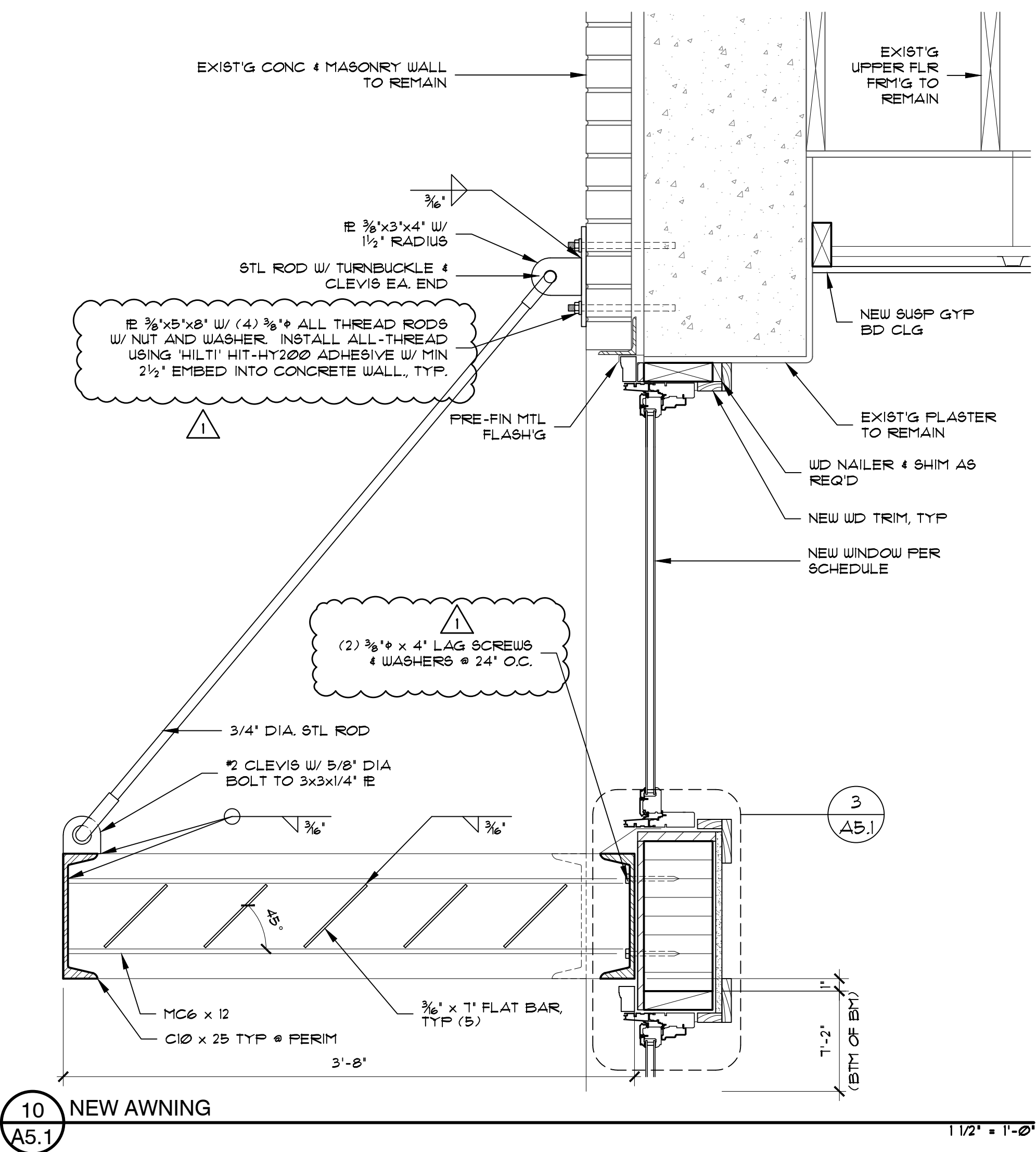
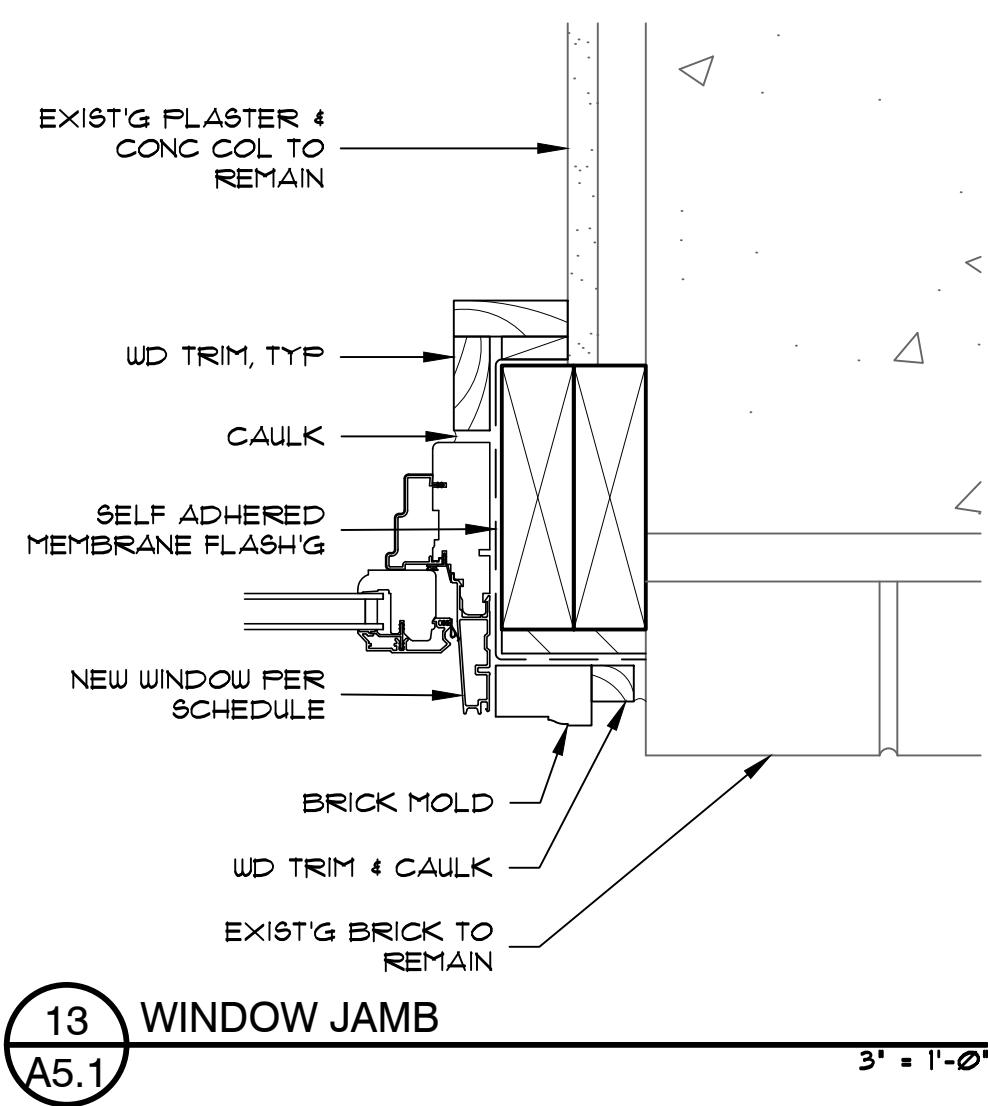
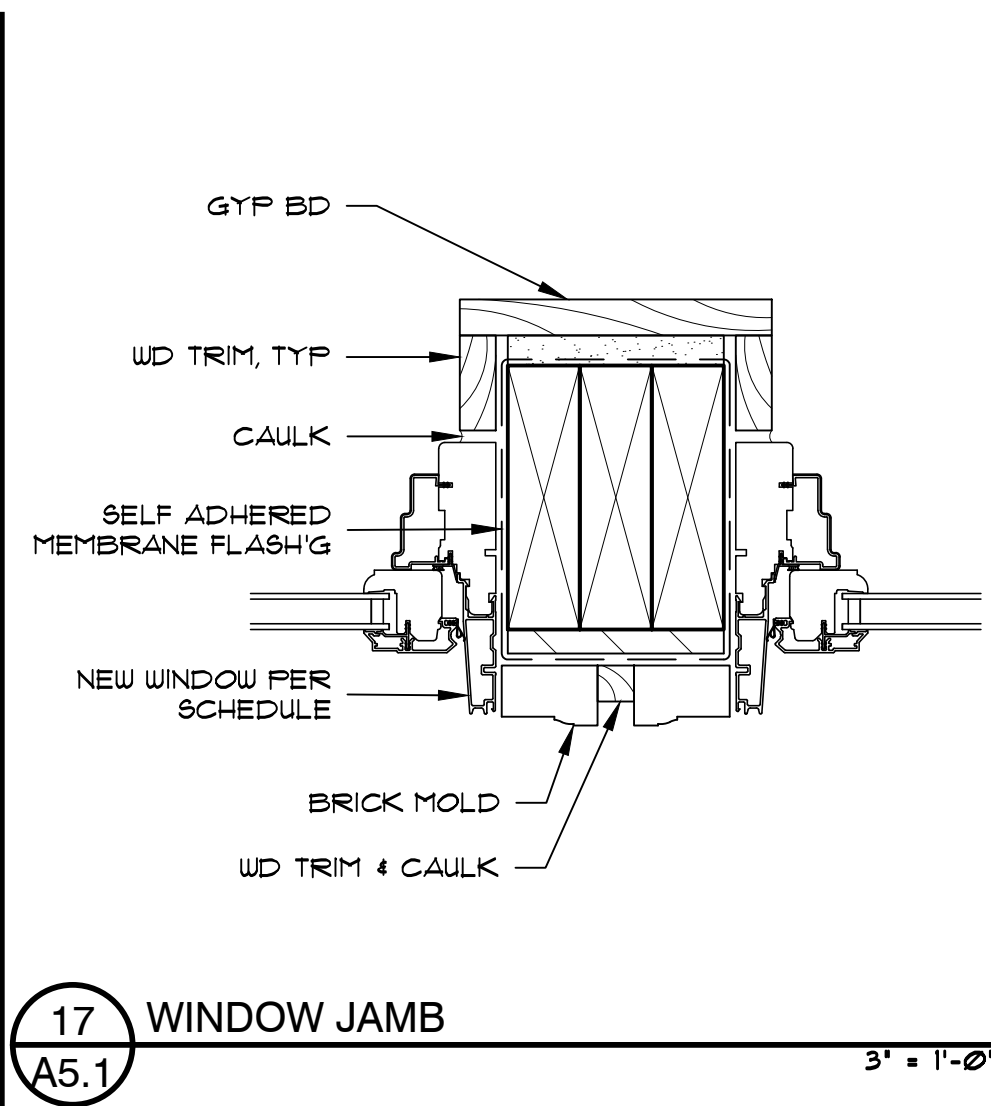
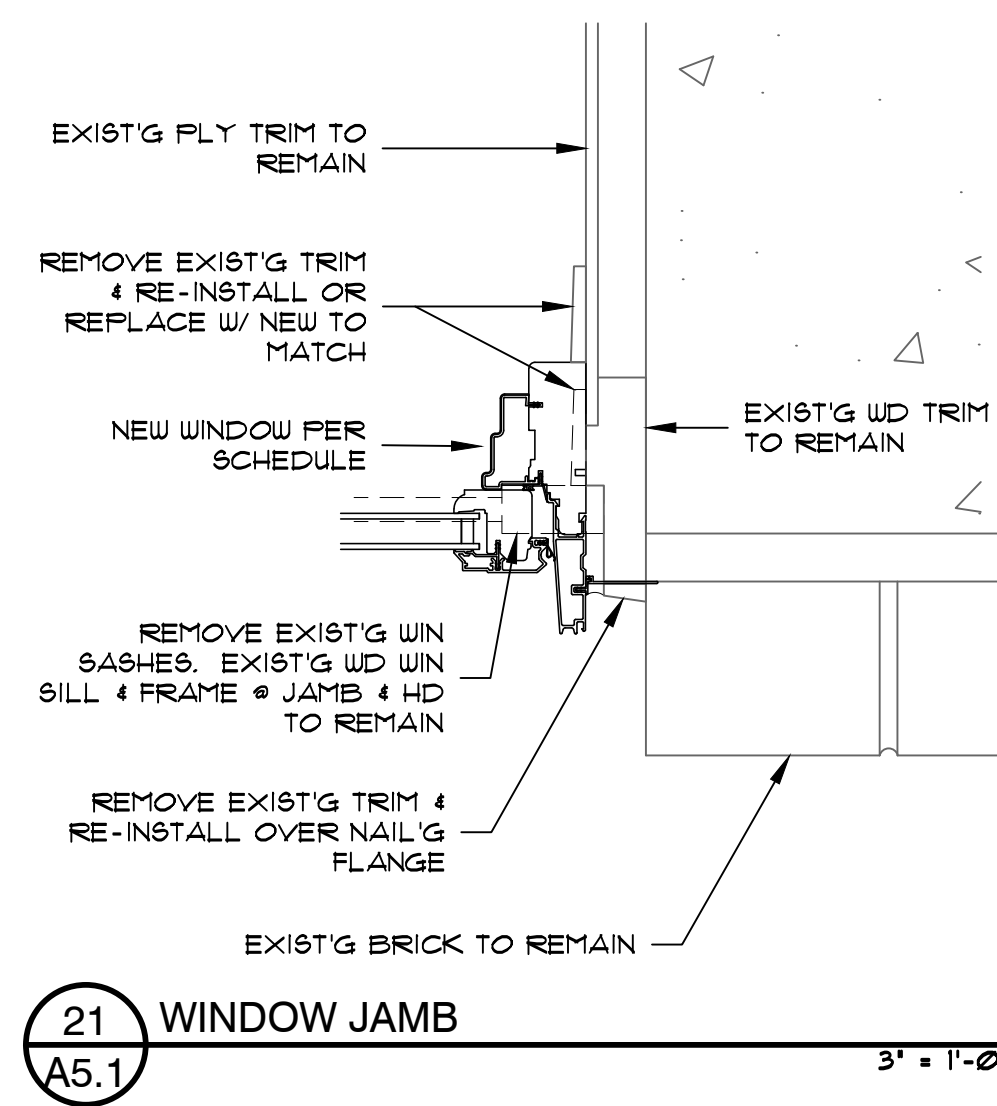
This Plan Review Approval Does not Prevent The Field Inspector From Requiring Further Code Correction!

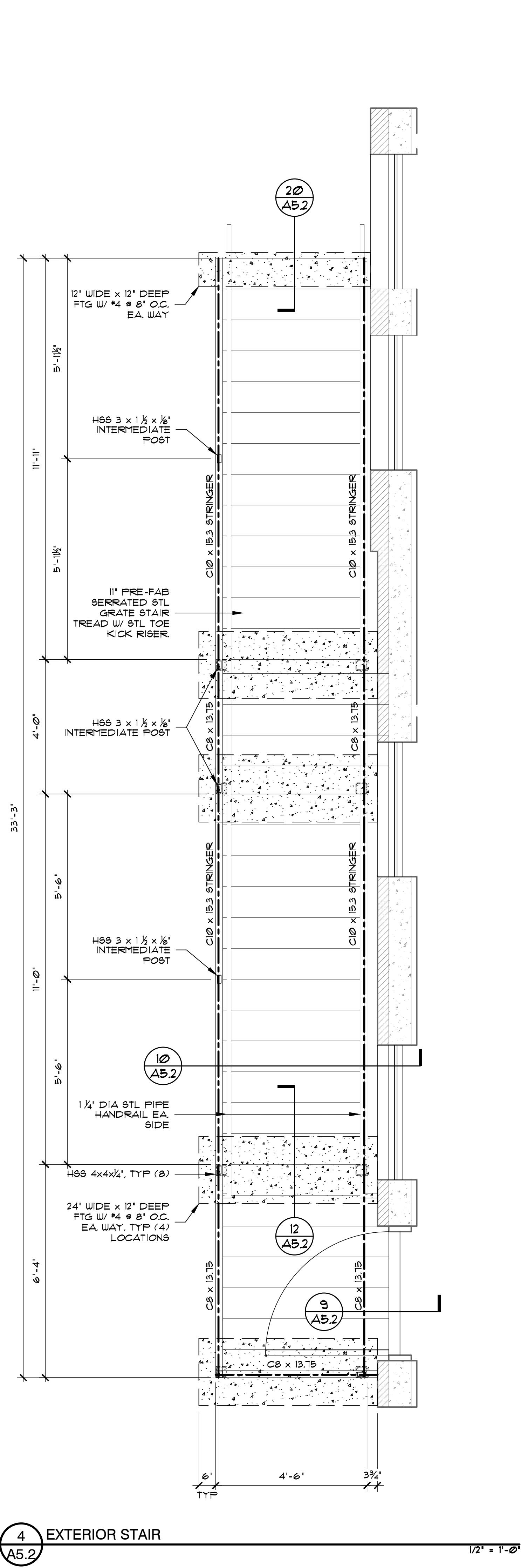
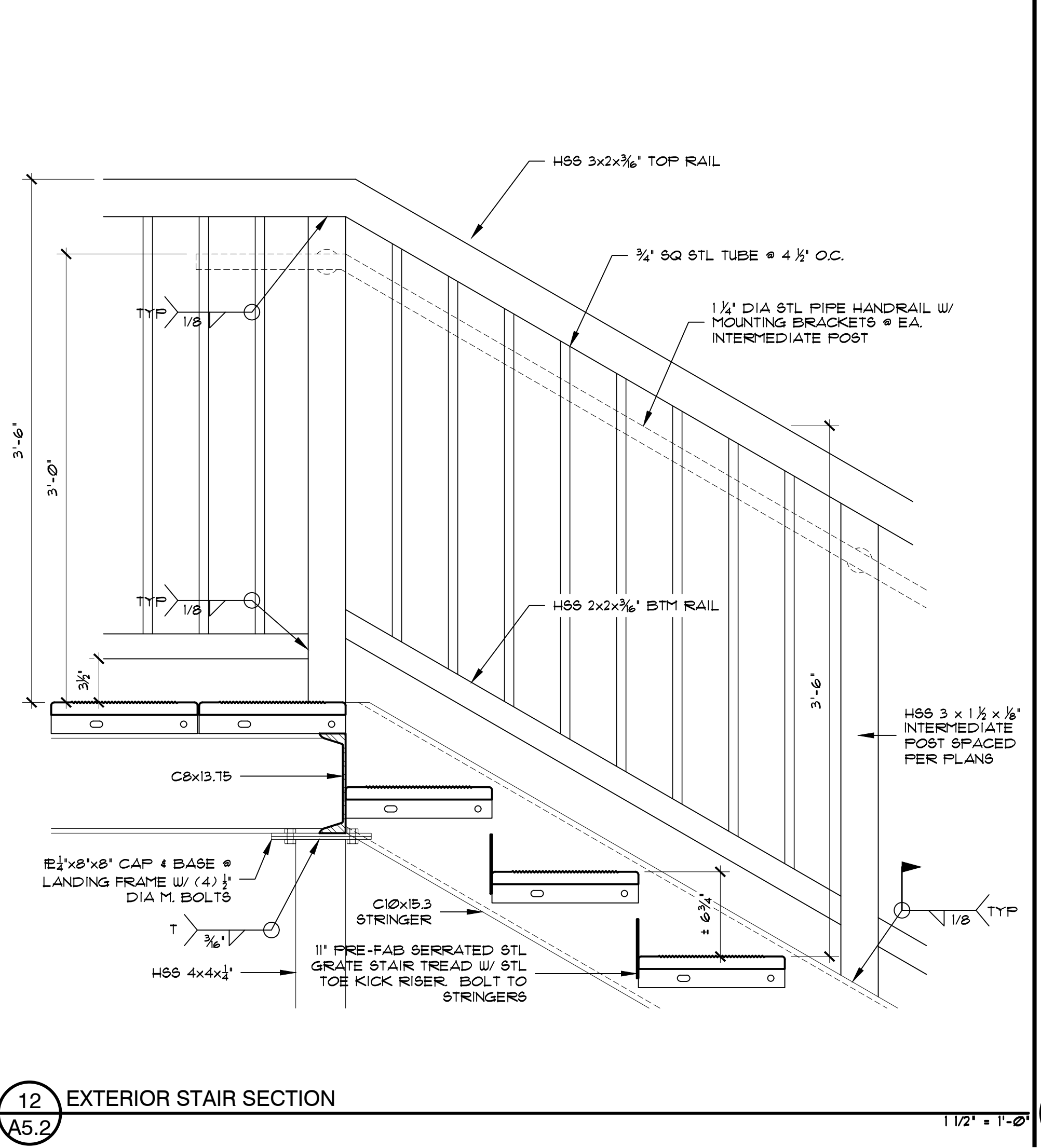
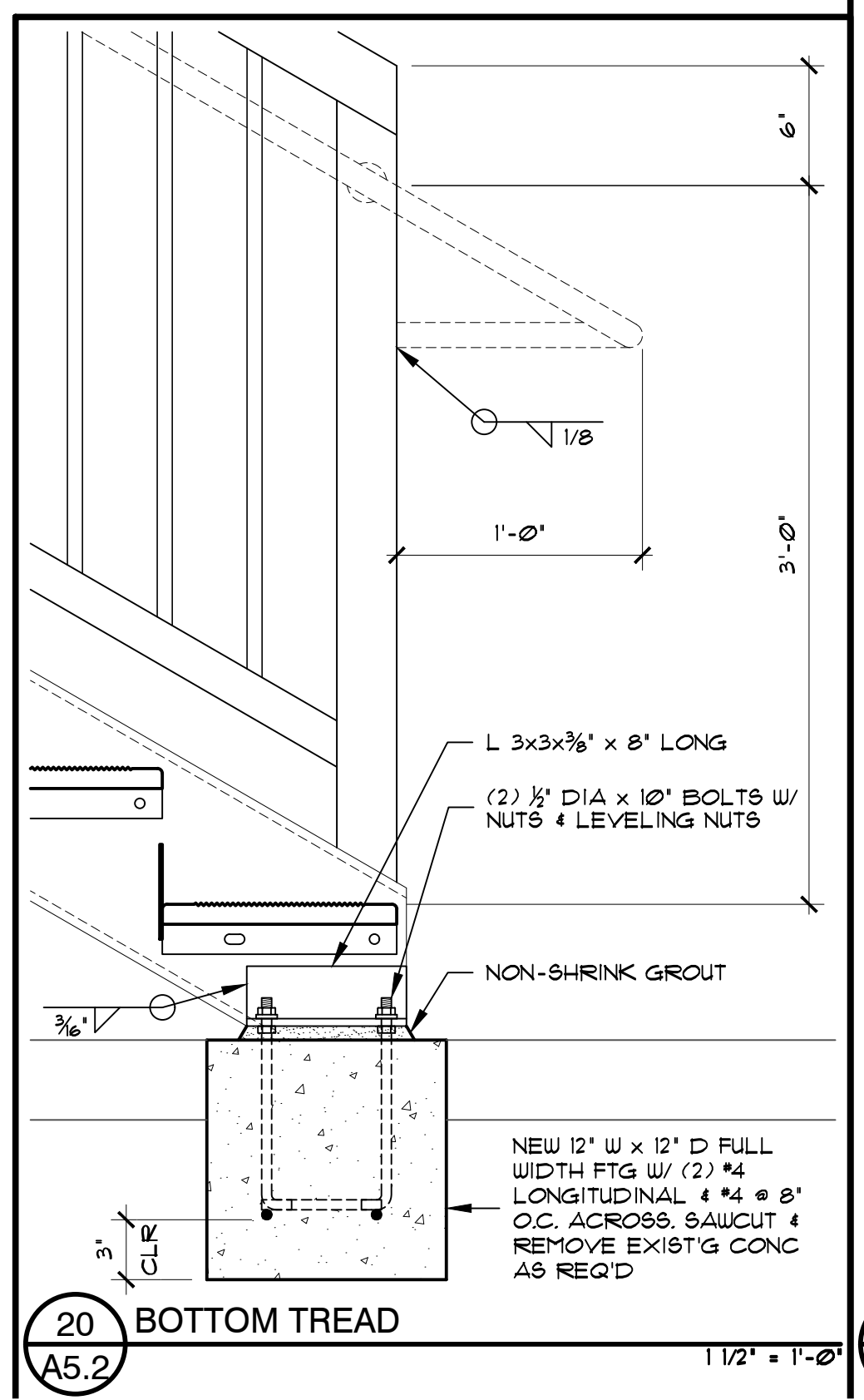
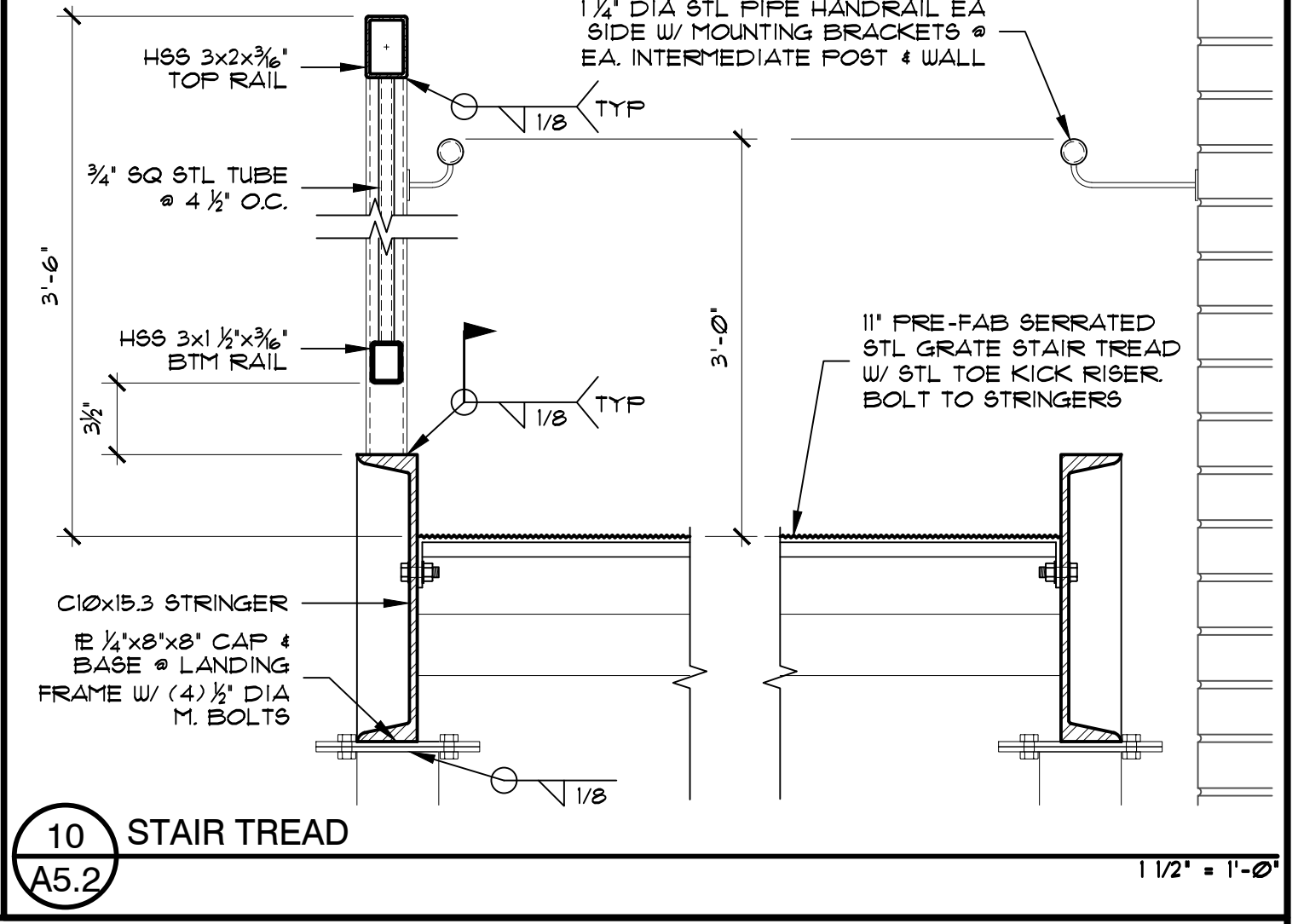
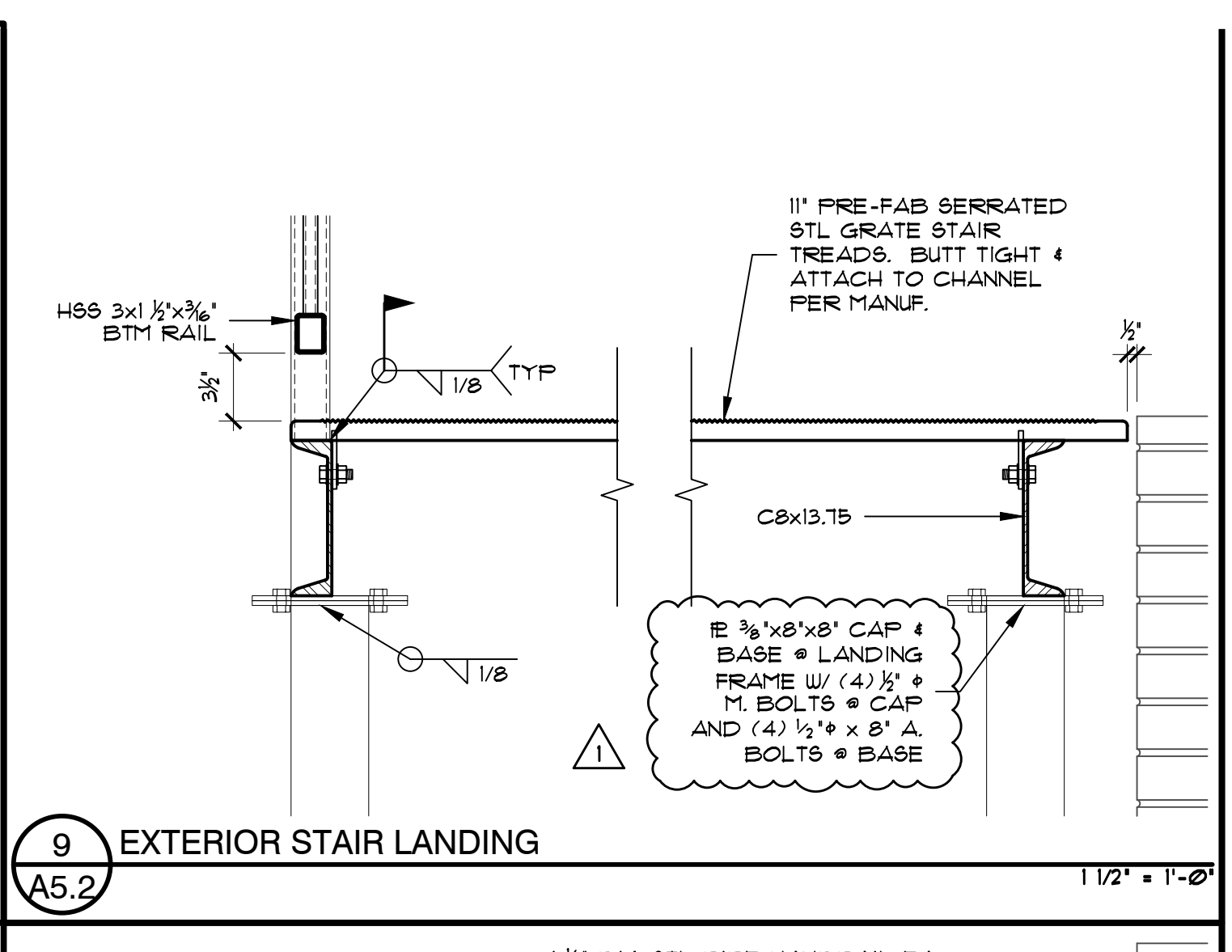
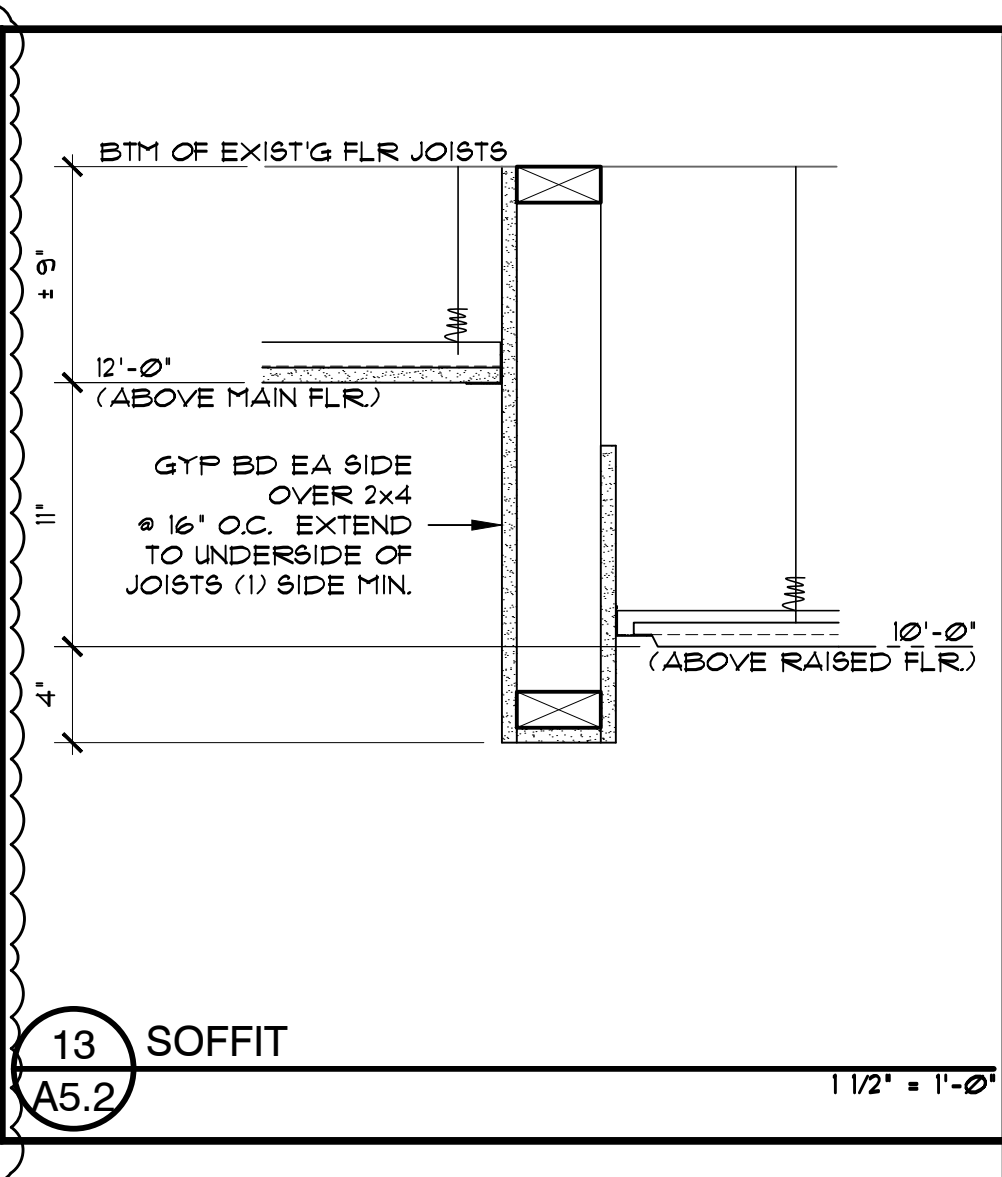
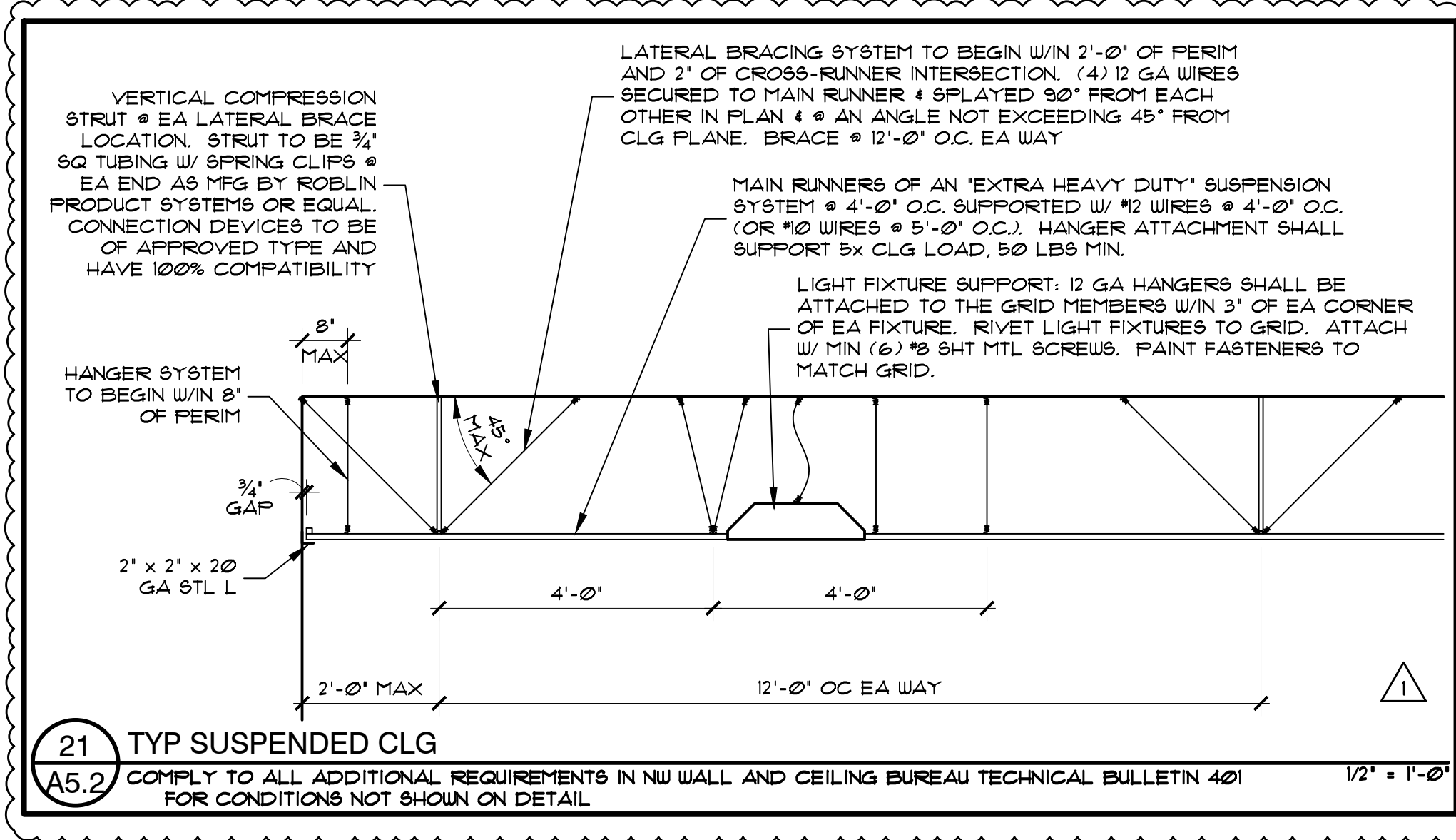
Renovation and Remodel of Historic West Linn City Hall Building
22825 Willamette Drive West Linn, OR 97068
for Regional Cultural/ Tourism Center in partnership with Willamette Falls and Landings Heritage Area Coalition

PROJ. NO.: 1705.3
FILE: A-DET
DATE: 7/12/2023
REVISIONS
1: 9/15/23

SHEET #
A5.1

DETAILS





ISELIN ARCHITECTS P.C.

1307 Seventh Street
Oregon City, OR 97045
503-656-1942
www.iselinarchitects.com

REGISTERED ARCHITECT
#3272
TODD L. ISELIN
OREGON CITY, OREGON
STATE OF OREGON

This Plan Review Approval Does not Prevent The Field Inspector From Requiring Further Code Correction!

**Renovation and Remodel of
Historic West Linn City Hall Building
22825 Willamette Drive West Linn, OR 97068**

for Regional Cultural/ Tourism Center in partnership with
Willamette Falls and Landings Heritage Area Coalition

PROJ. NO. : 1705.3
FILE : A-DET
DATE : 7/12/2023
1: 9/15/23

REVISIONS

SHEET #
A5.2

DETAILS

SPECIFICATIONS

DIVISION 1 - GENERAL REQUIREMENTS

The Contractor shall fully comply with the current edition of the State of Oregon Structural Specialty Code (Oregon Modified International Building Code), Plumbing and Mechanical Specialty Codes, National Electrical Code and all additional state and local code requirements. The Contractor shall assume full responsibility for any work knowingly performed contrary to such laws, ordinances, or regulations. The contractor is to obtain all required permits and licenses required for the work. The Contractor shall also perform coordination with all utilities and state service authorities. Written dimensions on these drawings shall have precedence over scaled dimensions. The Contractor shall verify and is responsible for all dimensions (including rough opening) and conditions on the job and must notify the Architect of any variations from these drawings.

APPLICATIONS FOR PAYMENT

Submit three copies of each application on AIA Form G702 and G703. Utilize Schedule of Values for listing items in each Application for Payment. Progress payments shall be issued monthly, minus a 5% retainage to be released at completion of project.

CHANGE PROCEDURES

Stipulated Sum/Price Change Order: Based on Proposal Request and Contractor's fixed price quotation or Contractor's request for Change Order as approved by Architect. Change Order Forms: AIA G701.

PROGRESS MEETINGS

Attend regularly scheduled meetings throughout progress of the Work at twice-monthly intervals.

CONSTRUCTION PROGRESS SCHEDULES

Submit initial progress schedule within 10 days after date of Owner-Contractor Agreement. Submit revised schedules with each Application for Payment, identifying changes since previous version. Indicate estimated percentage of completion for each item of Work at each submission.

TESTING AND INSPECTION LABORATORY SERVICES

Owner to appoint, employ, and pay for specified services of independent firm approved by Architect to perform testing and inspection as required.

SECURITY

Provide security and facilities to protect Work and existing facilities, and Owner's operations from unauthorized entry, vandalism, or theft.

TEMPORARY FACILITIES AND PARKING

Contractor to provide and pay for temporary, portable sanitation facilities, power and other utilities required for construction.

FINAL CLEANING

Execute final cleaning prior to final inspection. Clean interior and exterior surfaces exposed to view. Use low toxic or citrus based cleaning supplies. Broom clean and mop finish slab within building. Clean debris from site, roofs, gutters, downspouts, and drainage systems. Remove waste and surplus materials, rubbish, and construction facilities from site.

TESTING, ADJUSTING, AND BALANCING

Adjust operating products and equipment to ensure smooth and unhindered operation.

PROJECT RECORD DOCUMENTS

Maintain on site one set of Contract Documents to be utilized for record documents. Record actual revisions to the Work. Record information concurrent with construction progress. Submit documents to Architect with final Application for Payment.

DIVISION 2 - EXISTING CONDITIONS

Selective Demolition:

General: Section includes selective demolition and removal of site work and exterior and interior building elements including, but not limited to: concrete curbs, sidewalks, framing, windows, doors, lighting, cabinets, wiring, plumbing fixtures and wall, floor and ceiling finishes.

Execution: Provide, erect, and maintain temporary barriers, security devices, and weatherproof closures for exterior openings. Conduct demolition to minimize interference with adjacent properties and structures. Protect existing supporting structural members, landscape areas, and all work to remain. Water, sewer and rain drain lines to be disconnected and capped to be concealed within walls, floors or ceilings. Remove demolished materials from site as work progresses and leave areas of work in clean condition.

Salvage items indicated on drawings to be re-used or relocated, including, but not limited to, brick, doors and wood paneling.

Asbestos Containing Materials (ACM):

ACMs exist within the building and are identified in the available Asbestos Survey. Additional ACMs exist within the pipe wrap in the attic space. These are not noted in the survey, but have been identified and tagged.

For any previously untested building components suspected to contain asbestos and located in areas impacted by the work, the Contractor shall notify the architect.

Abatement work performed under this contract shall comply with EM 385-1-1 and all applicable federal, state, and local laws, ordinances, criteria, rules and regulations regarding handling, storing, transporting, and disposing of asbestos waste materials. The Contractor shall use the engineering controls and work practices required in 29 CFR 1926.1101(g) in all operations regardless of the levels of exposure. Personnel shall be certified and shall wear and utilize protective clothing and equipment. All ACM waste shall be collected including contaminated wastewater filters, scrap, debris, bags, containers, equipment, and asbestos contaminated clothing and placed in leak-tight containers. Asbestos-containing waste shall be disposed of at an EPA, state and local approved asbestos landfill.

DIVISION 3 - CONCRETE

General: Section includes concrete footings and slabs and patching of slabs at areas of new work.

Products:

Concrete: Compressive strength to be 3,000 psi minimum
Reinforcing steel: ASTM A615, Grade 60
Cementitious Grout: ASTM C1107, Grade A and CRD-C621; minimum compressive strength of 5,000 psi.

Execution: Concrete work shall conform to all requirements of ACE 301; provide a minimum of three concrete test cylinders for each 100 cubic yards, or each day of pour. Footings to be placed on firm, undisturbed soil or structural granular fill compacted to 95% of the ASTM D1557 density. Detail, fabricate and install reinforcing steel in accordance with ACI 315.

DIVISION 4 - MASONRY

General: Section includes infill and patching limited areas of exterior masonry walls as indicated on drawings and cleaning and sealing of all existing brick masonry.

Products:

Brick: Salvaged from building
Mortar and Grout: Type N, Portland cement, color to match existing
Sealer: Clear, penetrating, breathable, non-film forming; Lastiseal or approved.

Execution:

Infill: Maintain masonry courses to uniform dimension to match adjacent. Form vertical and horizontal joints of uniform thickness.
Cleaning: Clean masonry with low pressure water only sprayer.
Sealing: Spray apply using low pressure or airless sprayer as recommended by manufacturer. Protect or clean adjacent areas of overspray.

DIVISION 5 - METALS

General: Section includes shop prefabricated exterior steel stair and railing, shop fabricated steel awnings, handrails, fittings, and miscellaneous items.

Shop Drawings: Shop prefabricated items to be designed by a licensed engineer. Submit drawings and calculations to Architect for review and approval, indicating profiles, sizes, connection attachments, reinforcing, anchorage, size, and type of fasteners, and accessories.

Products: Components: Steel Plate - ASTM A282; Steel Pipe - ASTM A53, Grade B Schedule 40 and 1 1/2 inch diameter; Bolts, Nuts, and Washers - ASTM A325. Prime and paint to match rail paint finish; Handrail fittings - Elbows, T-shapes, wall brackets, escutcheons, steel welded joints. Fit and shop assemble items in largest practical sections, for delivery to site. Grind exposed joints flush and smooth with adjacent finish surface. Make exposed joints butt tight, flush, and hairline. Ease exposed edges to small uniform radius. Fabricate anchors and related components of same material and finish as fabrication. Powder coated finish at all surfaces; color to be selected by Architect.

Execution: Install items plumb and level, accurately fitted, free from distortion or defects. After erection, prime welds, abrasions, and surfaces not shop primed or painted.

DIVISION 6 - WOOD & PLASTIC

Rough Carpentry:

General: Selection includes wall framing, sheathing and wood furring.

Products:

Beams: DF-L, #2 or better grade.
Joists/Rafters: DF-L, #2 or better grade, 19% max moisture content.
Non-structural Light Framing/Studs: DF-L stud grade, 19% max moisture content.
Exterior Wall Furring: DF-L stud grade, pressure preservative treated.01
Below Grade Wood, Wood Exposed to Concrete Framing: Hem-Fir species, #2 grade, pressure preservative treated.
Wall/Roof Sheathing: APA Rated Sheathing plywood Span Rating 32/16; Exposure Durability 1; match existing thickness.
Floor Sheathing: APA Rated Sheathing Structural I, Span Rating 48/24; Exposure Durability 1; match existing thickness.
Underlayment: APA Particleboard; wood flakes set with waterproof resin binder. underlayment grade; sanded faces; match existing thickness.
Fasteners: Galvanized steel for exterior, high humidity, and treated wood locations.

Execution:

Examine all substrates for compliance with requirements for tolerances and other conditions affecting the installation of finished surfaces.
 All members 3x or less (least dimensions) shall be maximum 19% moisture content. In applications where gypsum sheathing or wallboard is to be applied to framing lumber, the maximum moisture content of the framing lumber at the time of installation of the gypsum product shall not exceed 15%.
 Provide solid blocking (same depth of member) at points of bearing. Solid bridging at 8'-0" o.c. maximum shall be required where joists have a five-to-one or greater depth-to-thickness ratio and where one edge is not held in line by sheathing, wallboard, bracing, etc.
 Top plates: two pieces, same size as studs, stagger splices 4'-0" minimum. Splice with 8-16d minimum, u.n.o.
 Plywood sheathing: laid with end joints staggered. Block wall sheathing with 2 x 4 flat blocking at edges. Lay out plywood to eliminate any width less than 1'-0", except at plywood floors where minimum dimension shall be 2'-0" unless edges of the undersized sheets are supported by blocking. All floor and roof sheathing shall be installed with face grain perpendicular to supports, unless otherwise noted. Wall sheathing may be installed either horizontally or vertically, unless otherwise noted.

SCHEDULES

(Unless Noted Otherwise)

Framing Lumber:

Joist / Rafters DF-L #2
 Studs DF-L #2
 4x and 6x beams DF-L #1 (#2 at foundation)
 Glu-lam beams Grade 24F V-4 or as noted on plans

Sheathing Materials:

All sheathing shall be APA span-rated
 Roof sheathing 15/32" CDX plywood
 Wall sheathing 15/32" OSB
 Floor sheathing 3/4" T&G plywood sturdi-floor

Nailing Schedule (all nails are common U.N.O.):

Joist to sill or girder toe nail (3) 8d
 Bridging to joist toe nail (2) 8d
 Sole plate to joist or blocking face nail 16d @ 16" oc
 Top plate to stud end nail (2) 16d
 Stud to sole plate toe nail (4) 8d
 end nail (2) 16d
 Double studs face nail 16d @ 24" oc
 Double top plates face nail 16d @ 16" oc

lap splice (8) 16d
 Blk'g btwn joist/rafter to top plate toe nail (3) 8d
 Rim joist to top plate toe nail 8d @ 6" oc
 Top plates, laps and intersections face nail (2) 16d
 Continuous header, two pieces 16d @ 16" oc along ea edge
 Ceiling joists to plate toe nail (3) 8d
 Continuous header to stud toe nail (4) 8d
 Ceiling joists, laps over partitions face nail (3) 16d (min)
 Ceiling joists to parallel rafters face nail (3) 16d
 Rafter to plate toe nail (3) 8d
 Built-up corner studs 16d @ 24" oc
 Built-up girders & beams (3) or fewer members face nail @ top & bottom 20d @ 32" oc
 staggered on opposite sides or (16d common)
 (3) or fewer members face nail @ ends & splices (2) 20d or (16d common)
 (4) or more members (2) rows, staggered 3" x 0.131" nail @ 24" oc
 1/2" Ø A307 bolts @ 24" oc
 2x T&G Subfloor @ each bearing (2) 16d
 Collar tie to rafter face nail (3) 12d
 Jack rafter to hip toe nail (3) 12d
 face nail (2) 16d
 Rafter to 2x ridge toe nail (2) 16d
 face nail (2) 16d
 Joist to band joist face nail (3) 16d
 Ledger face nail @ ea joist (3) 16d
 Sheathing 1/2" & less 8d
 19/32" -3/4" 10d
 7/8" - 1" 10d
 11/8" - 11/4" 12d
 (Sheathing nailing @ 6" oc @ panel edges & 12" oc @ intermediate supports except 6" @ intermediate supports where spans are 48" or more)

Finish Carpentry:

General: Section includes finish carpentry items, other than shop prefabricated casework, including wood base and trim.

Products:

Interior Trim (Typical): Painted finish, unless noted otherwise, hemlock, sizes as indicated on drawings.
Interior Trim (Stained): Hemlock, CVG, sizes as indicated on drawings.
Interior Paneling (Stained): Spruce or birch veneer, plain sliced (verify to match existing), over plywood, thickness to match existing.
Laminate: High pressure plastic laminate, 0.062", color as selected from manufacturer's standard range.
Fasteners: Finish nails, typically; wall adhesive compatible with wall substrate.

Execution: Install wood trim plumb, level, true, and straight. Cut trim to fit, scribe where necessary. Miter trim at corners. Set exposed fasteners and fill with color matching putty. Seal edges with clear, compatible sealant.

DIVISION 7 - THERMAL & MOISTURE PROTECTION

Thermal Insulation:

General: Section includes batt thermal insulation and vapor retarder in exterior wall infill and unfaced batt acoustic insulation at select interior walls.

Products:

Batt Insulation: ASTM C665, preformed glass or mineral fiber batt, Kraft paper faced, R-21 or maximum to fit within wall furring.
Acoustic Insulation: ASTM C665, preformed glass fiber, friction fit, unfaced, 3" thick, at bathroom walls and other locations as indicated on drawings.
Fiber-fill Insulation: ASTM C739, cellulose fiber type, bulk for pneumatic placement.

Execution: Install insulation between framing members with vapor barrier on the inside face. Tape joints, ruptures, and terminal edges of vapor barrier faces with insulation type to form a completely sealed vapor barrier. Install insulation at existing uninsulated areas exposed due to the extents of the work of this project. Blow in insulation in attic spaces to increase R value as indicated on drawings. Do not reuse insulation that has been removed during construction. Install insulation on outside of piping where water lines occur in exterior walls. Remove and replace wet mineral blanket insulation.

Weather Resistive Barriers:

General: Section includes air seal building enclosure materials and assemblies.

Products:

Manufacturers: Super Jumbo Tex, 60-minute, manufactured by Henry
Accessories: Self-adhering tape, compatible with sheet material; Galvanized steel staples, nails.

Execution:

Remove loose or foreign matter impairing adhesion of materials. Secure flexible sheet seal to wood sheathing materials with staples or nails. Lap and tape per manufacturer's recommendations.

Elastomeric Membrane Roofing:

General: Section includes Thermoplastic Polyolefin (TPO) membrane roofing, mechanically applied; coverboard.

Products:

Membrane: 60 mil, smooth, white, minimum 10' roll width; Firestone UltraPly, GAF Everguard Pro, Carlisle Sure-Weld, or approved.
Coverboard: Coverboard at insulated roofs as required by manufacturer for warranted installation.
Fasteners: Fasteners, plates, termination bars and other items as recommended by manufacturer for warranted installation.

Accessories: Surface conditioners and adhesives as recommended by manufacturer; flexible flashings for inside corners, scuppers, deck penetrations and other items as required to suit application.

Execution: Verify surfaces and site conditions are ready to receive work; deck is clean and smooth, free of snow or ice; properly sloped to drains. Verify roof openings, curbs, and protrusions through roof are solidly set. Roll out membrane free from air bubbles, wrinkles, or tears and securely bond sheet to substrate or existing membrane without stretching per manufacturer recommendations for minimum 20-year warranty.

Sheet Metal Flashing and Trim:

General: Section includes miscellaneous pre-finished metal flashing.

Products: Pre-finished Galvanized Steel Sheet: ASTM A924/924M, Grade A, or ASTM A653/A653M, G90 (Z275) zinc coating; 24 gage core steel, shop pre-coated with modified silicone coating; color to match adjacent trim. Profiles to suit application, or as indicated on drawings. Galvanized steel fasteners.

Execution: Paint concealed metal surfaces and surfaces in contact with dissimilar metals with protective backing paint to minimum dry film thickness of 15 mil. Comply with SMACNA's "Architectural Sheet Metal Manual" (5th edition). Allow for thermal expansion, set true to line and level as indicated. Install work with laps, joints, and seams permanently watertight and weatherproof; conceal fasteners where possible. Fit components tight in place. Make corners square, surfaces true and straight in planes, and lines accurate to profiles.

Joint Protection:

General: Section includes sealants and joint backing.

Products:

High Performance General Purpose Exterior (Non-traffic) Sealant: Polyurethane; ASTM C920, Grade NS, Class 25, single component; standard color matching adjacent finished surfaces.
General Purpose Interior Sealant: Acrylic emulsion latex; ATM C834, single component, paintable, mildew resistant; standard color matching adjacent finished surfaces.
Bath/Tub/Tile Sealant: White silicone; ASTM C920, single component, mildew resistant.
Joint Backing: Round foam rod compatible with sealant; ASTM D1667, closed cell PVC; oversized 30 to 50 percent larger than joint width.

Execution: Prepare and install sealant in accordance with ASTM C1193. Install sealant free of air pockets, foreign embedded matter, ridges, and sags. Apply sealant within recommended application temperature ranges. Tool joints concave.

DIVISION 8 - DOORS AND WINDOWS

Wood Doors and Frames:

General: Section includes new exterior and interior wood doors and frames. Refer to Door and Hardware Schedules.

Performance Requirements:
Exterior Doors: Y = 0.370 max

Submittals:

Shop Drawings: Indicate door dimensions, panel configuration, and cutouts for glazing and hardware.
Product Data: Provide component configuration, reinforcement and finish.

Products:

Exterior Doors: Insulated core, panel, metal clad, wood interior, pre-hung, metal clad frame, stained finish; design as indicated on schedule.
Interior Doors: Solid core, design per schedule, pre-primed for painted finish.
Interior Frames: Solid wood, pre-primed for painted finish.

Execution: Verify opening sizes and tolerances are acceptable and install doors secure, plumb and level. Adjust as required for smooth and balanced operation.

Wood Windows:

General: Section includes fixed and/or operable wood windows, glass.

Performance Requirements:

Meet performance criteria for AAMA 101/I.S. C30
Air Infiltration: Limit air leakage through assembly to 0.22 cfm/min/sq ft of wall area, measured at reference differential pressure across assembly of 1.57 psf as measured in accordance with ASTM E283.
Water Leakage: None, when measured in accordance with ASTM E331.
U Value: 0.36 max fixed; 0.45 max operable
SHGC: 0.36 max fixed; 0.33 max operable

Products: Marvin Ultimate wood windows, or equivalent manufactured by Anderson, Pella, or others as approved.

Wood: Clear species, clear preservative treated, of type suitable for stained interior finish.
Exterior Cladding: Formed aluminum factory fit to profile or exterior exposed surface; factory finished, white.
Interior: Vertical grain fir, stained to match existing
Lites: Simulated divided lites with spacer bars
Insulating Glass: SIGMA sealed double pane float glass with clear outer pane; total thickness 1 inch; low 'E' coating; Tempered glass in locations indicated on drawings.
Interior Glass: Single pane, 3/16" for panes not exceeding 24 s.f.; 1/4" for panes greater than 24 s.f., tempered typ.
Hardware: Manufacturer's standard, Oil Rubbed Bronze finish.

Execution: Align assembly plumb and level, free of warp or twist. Coordinate attachment and seal of air and vapor barrier materials. Pack fibrous insulation in shim spaces at perimeter of assembly to maintain continuity of thermal barrier. Adjust frames and hardware as required for smooth operation and secure weather tight closure. Wash surfaces by method recommended and acceptable to sealant and window manufacturer; rinse and wipe surfaces clean.



**ISELIN
ARCHITECTS
P.C.**

1307 Seventh Street
Oregon City, OR 97045
503-656-1942
www.iselinarchitects.com



**This Plan Review Approval
Does not Prevent The Field
Inspector From Requiring
Further Code Correction!**

**Renovation and Remodel of
Historic West Linn City Hall Building
22825 Willamette Drive West Linn, OR 97068**
for Regional Cultural/ Tourism Center in partnership with
Willamette Falls and Landings Heritage Area Coalition

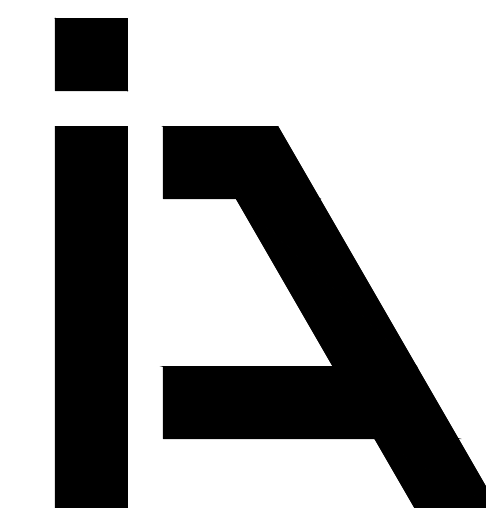
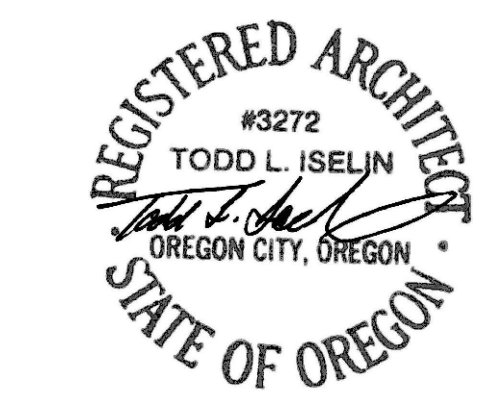
PROJ. NO. : 1705.3
FILE : A-SPEC
DATE : 7/12/2023

SHEET #

A6.1

Door Hardware:**General:** Section includes assorted hardware for doors. Refer to Door and Hardware Schedules.**Submittals:****Product Data:** Manufacturer's technical data for each item of hardware. Include information required to show compliance with specified requirements, and instructions for installation and maintenance.**Products:** Provide complete hardware of the type noted on the door schedule for each door. Hardware to be commercial grade, medium duty, lever type ADA approved. Where not specifically indicated, comply with applicable ANSI A156 standard for type of hardware required. Furnish each type of hardware with accessories as required for applications indicated and for complete, finished, operational doors. Coordinate with Owner for keying and master keying requirements. Finish to be 613, Oil Rubbed Bronze.

Hinges:	Stanley, Lawrence 4 ½" full mortise, 3 per door
Concealed Hinges:	ASSA ABLOY
Locksets:	Schlage A Series, Rhodes
Exit Devices:	Von Duprin Series 33A
Closers:	LCN, Corbin-Russwin
Stops:	Ives
Thresholds, Gaskets:	Pemko
Pulls:	Stanley, Lawrence
Occupancy Indicators:	Falcon, Stanley

Execution: Install each hardware item in compliance with the manufacturer's instructions and recommendations. General Contractor shall coordinate the installation of Owner installed equipment as required, including the provision of electrical service and outlets as necessary for such equipment.**DIVISION 9 - FINISHES****Gypsum Board Assemblies:****General:** Section includes direct mount and suspended gypsum board with joint treatment and texturing.**Products:****Gypsum Board:** Maximum available length in place; tapered or square edges; ASTM C36, 1/2" thick or as required to align with existing or noted on drawings, Type 'X' u.n.o.; Moisture Resistant, ASTM C630, at bathrooms.**Suspension System:** Pre-engineered system with Main Tees, Cross Tees, Perimeter Angles, Perimeter Channels, Hanger Wire, and Accessories; ASTM C754; maximum deflection of 1/360 between supports**Accessories:** Metal corner beads; Metal edge trim; GA-201 and GA-216, open mesh fiberglass joint reinforcing tape, joint compound; Type S12 hardened screws.**Execution:** Install gypsum board and suspension system per manufacturer's engineering requirements. At all areas where existing gypsum board or plaster is damaged or missing, provide new gypsum board to match thickness of existing adjacent material. Gypsum board joints shall be located so that no joint will align with the edge of an opening. Tape, fill, and sand exposed joints, edges, and corners to produce smooth surface ready to receive finishes. Feather coats on to adjoining surfaces so that camber is maximum 1/32 inch. Level 4, light texture finish.**Tiling:****General:** Section includes tile for interior floor and wall applications, exterior wall application, base and cementitious backer board.**Products:****Ceramic Floor Tile (T1):** Matte porcelain; 12" x 24", 5/16" thick; Daltile Portfolio, PF09 Charcoal or approved.**Ceramic Floor Tile (T2):** Matte porcelain; 6" x 24", 5/16" thick; Daltile Portfolio, PF05 Ash Gray or approved.**Ceramic Wall Tile (T3):** Glazed porcelain; random linear mosaic, Daltile Portfolio, PF12 Skyline Blend or approved.**Wall Cap:** Glazed porcelain; bullnose, Daltile Portfolio, PF05 Ash Gray or approved.**Base:** 6" coved, bullnose edge; Daltile Portfolio, PF05 Ash Gray or approved.**Exterior Wall Tile:** Glazed porcelain, 24" x 24", 3/8" thick; Daltile Marble Attache, Calacatta, or approved.**Grout:** As suited for application, Gray color as selected from manufacturer's standard range.**Cementitious Backer Board:** High density glass fiber reinforced, ½" thick, 2" glass fiber tape at joints and corners.**Execution:** Install in accordance with current edition of TCNA manual; F115-22, interior floors, W244C-22, interior walls; W244E-22, exterior walls. Cut and fit tile to penetrations through tile, leaving sealant joint space. Form corners and bases neatly. Align floor, base and wall joints. Place tile joints uniform in width, 1/8", subject to variance in tolerance allowed in tile size. Make joints watertight, without voids, cracks, excess mortar or excess grout.**Acoustical Panel Ceilings:****General:** Section includes suspended acoustical ceiling tiles and grid.**Products:****Grid:** Non fire rated, interlocking metal, exposed T, stabilizers, clips, support channels and seismic hangers as required, white**ACT:** ASTM E 1264, 24" x 48", 9/16", angled tegular, white, Armstrong Dune, Second Look or approved.**Execution:** Install system in accordance with ASTM C636. Coordinate location of hangers with other work; hang system independent of walls, columns, ducts, pipes and conduit; center system on room axis leaving equal border units or as shown on drawings; Install edge molding at intersection of ceiling and vertical surfaces, using longest practical lengths. Install acoustic units level, free from damage, twist, warp or dents; lay directional patterned units one way with pattern parallel to longest room axis or as indicated on drawings.**Resilient Flooring:****General:** Section includes resilient tile flooring and base.**Products:****Vinyl Tile:** Luxury vinyl tile, min. 0.10" thick, 0.02" min wear layer, 18" x 36", Armstrong Duo Spettro or approved, color as selected from standard range.**Base:** Flexco, Wallflowers, or approved; coved, 4", Black Dahlia.**Accessories:** Subfloor filler, adhesive, sealer, and wax of type recommended by manufacturer; vinyl edge strip to match flooring.**Execution:** Fill low spots and other defects with sub-floor filler and sand smooth. Install sheet flooring parallel to length of room. Provide minimum of 1/3 full roll width. Double cut sheet and butt joints hairline, heat weld seams. Terminate flooring at centerline of door openings where adjacent floor finish is dissimilar. Install edge strips where floor terminates. Remove excess adhesive from surfaces without damage and apply at least two coats of sealer/wax as recommended by manufacturer.**Carpeting:****General:** Section includes carpet tile, direct glued.**Samples:** Submit a minimum of three (3) samples to Architect from selected material line as requested.**Products:****Carpet Type 1:** Tile, 24" x 24", solution dyed nylon, 24 oz, Multi-level pattern loop, Shaw Contract 5T193, Hana or approved.**Carpet Type 2B:** 12' roll, solution dyed nylon, 24 oz, Multi-level pattern loop, Shaw Contract Kusa 5A238, or approved.**Carpet Type 2T:** Tile, 24" x 24", solution dyed nylon, 24 oz, Multi-level pattern loop, Shaw Contract Kusa 5T194, or approved.**Carpet Type 3:** Tile, 24" x 24", solution dyed nylon, 30 oz min, entry mat, Shaw Contract Divvy, 12505 Stride, or approved.**Accessories:** Rubber edge and transition strips; Adhesives and filler as recommended by manufacturer.**Execution:** Remove sub-floor ridges and bumps and fill cracks, holes, and low areas with floor patching compound. Locate seams in area of least traffic, out of areas of pivoting traffic. Do not locate seams perpendicular through door openings. Align run of pile in same direction as anticipated traffic and in same direction on adjacent pieces. Install tile in quarter turn pattern. Join seams using hot adhesive tape. Form seams straight and free of gaps.**Painting and Coating:****General:** Section includes surface preparation and field application of paints and other coatings.**Products:****Interior Paints & Coatings:** Miller, Rodda, Sherwin-Williams, Behr or approved.**Execution:****Preparation:****Remove electrical plates, hardware, light fixture trim, escutcheons, and fittings prior to preparing surfaces or applying finishes.****Gypsum Board Surfaces:** Fill minor defects with filler compound. Spot prime defects after repair.**Stained Wood Surfaces:** Hand sand areas with visible scratches and defects. Clean with water and mild detergent.**Galvanized Surfaces:** Remove surface contamination and oils and wash with solvent. Apply coat of etching primer.**Uncoated Steel and Iron Surfaces:** Remove scale by wire brushing, sandblasting, clean by washing with solvent. Apply treatment of phosphoric acid solution. Prime paint after repairs.**Shop Primed Steel Surfaces:** Sand and scrape to remove loose primer and rust. Clean surfaces with solvent. Prime bare steel surfaces.**Exterior Wood Scheduled to Receive Paint Finish:** Remove dust, grit, and foreign matter. Seal knots, pitch streaks, and sappy sections.**Application & Cleaning:** Sand wood and metal surfaces lightly between coats to achieve required finish. Prime concealed surfaces of new exterior woodwork with primer paint. Apply additional coats of primer and paint if undercoats, stains, or other conditions show through final coat of paint until paint film is of uniform finish, color, and appearance. Where mold or mildew is visible on existing interior walls and ceilings to be painted, scrub area with a solution of one cup of bleach to one gallon of water. Allow area to dry for two hours minimum prior to painting. Remove temporary protective wrappings provided by others to protect their work after completing painting operations. At completion of construction activities of other trades, touch up and restore damaged or defaced painting surfaces. Provide labeled touch-up paint, label all leftover paint, and store as directed by Owner.**Exterior Surfaces Schedule:****Steel - Shop Primed:** Touch-up with compatible primer. Two coats of acrylic enamel, semi-gloss.**Steel - Galvanized:** One coat of galvanize primer. Two coats of acrylic enamel, semi-gloss.**Wood - Painted:** One coat of latex primer sealer. Two coats of latex enamel, satin.**Wood -Transparent:** Two coats of clear, penetrating waterproofing, sealer.**Interior Surfaces Schedule:****Steel - Primed:** Touch-up with compatible primer. Two coats of acrylic emulsion latex, eggshell.**Steel - Galvanized:** One coat of galvanize primer. Two coats of acrylic emulsion latex, eggshell.**Plaster, Gypsum Board:** One coat of PVA primer sealer. Two coats of acrylic emulsion latex, Eggshell finish.**Wood - Stained:** Existing: One coat varnish, satin.
New: Two coats stain, two coats varnish, satin.**Wood - Painted:** One coat of latex primer/sealer. Two coats of latex enamel, semi-gloss.**DIVISION 10 - SPECIALTIES****Toilet, Bath and Laundry Accessories:****General:** Section includes toilet and bath accessories and fire extinguisher cabinet.**Products:** ADA compliant, manufactured by Bobrick, American Specialties, Franklin Brass, Larsen, Potter-Roemer or approved. All Touch free units to include power adaptor. Battery operation not allowed.**Toilet Paper holder:** Surface mounted, double roll, stainless steel, Bobrick B-7686.**Paper Towel Dispenser:** Surface mounted, Touch free, roll, Bobrick B-72974.**Wall Mount Soap Dispenser:** Liquid soap, Bobrick B-40.**Counter Mount Soap Dispenser:** Touch free, counter mounted, liquid soap, Bobrick B-826.**Grab Bars:** Satin stainless steel, 1 ½" diameter, concealed mounting, Bobrick B-6206.**Changing Table:** Horizontal surface mounted, plastic, Koala Corp. PHX-1 or approved.**Fire Extinguisher Cabinet:** Semi-recessed, steel, full vision panel, Black, Larsen 2409-SR or approved.**Execution:** Verify surfaces and internal wall blocking are ready to receive work. Install items plumb and level, securely and rigidly anchored to substrate. Mounting heights and locations as indicated on drawings.**DIVISION 11 - NOT USED****DIVISION 12 - FURNISHINGS****Casework:****General:** Section includes modular plastic laminate veneer over wood cabinets, countertops, and related hardware.**Shop Drawings:** Indicate casework locations, scale plans, elevations, cabinet dimensions, clearances required, location and number of shelves, swing of doors, location of hardware, countertops and backsplashes.**Products:****Cabinets:****Face Frames or Stiles:** Wood**Shelves:** ½ inch minimum MDO plywood, edge banded. One full depth shelf at each base, full depth shelves at wall cabinets, adjustable height in 1-inch increments. Two shelves at 30-inch high and greater wall cabinets. One shelf at wall cabinets less than 30 inches high. Shelf brackets shall be heavy duty metal.**Doors:** Wood, flush overlay type**Door Hinges:** Heavy-duty self-closing semi-concealed hinges with independent height and side adjustment; Brushed chrome.**Door and Drawer Pulls:** Solid brass, style and finish as selected by Architect.**Drawers:** Fronts same material as doors. Sides, backs, and sub-front shall be ½ inch thick exterior grade plywood or solid lumber "C" grade. Bottom shall be ½ inch exterior plywood. Drawer slides KV 1284 or equal, load rating class 100 lbs, side mounting single channel.**Countertops and Backsplashes:** Plastic laminate.**Accessories:** Plastic grommets, locking hardware, pullout keyboard trays and glides as indicated on drawings.**Factory Finishings:****Plastic Laminate:** Fully post formed high-pressure plastic laminate, nominal thickness .062 inches. Color and texture as selected from manufacturer's standard range.**Wood:** Medium stain with transparent finish**Execution:** Verify adequacy of backing and location of mechanical and electrical outlets. Set and secure casework in place rigid, plumb, and level. Provide cutouts for plumbing fixtures, appliances, and other fixtures and fittings. Use concealed joint fasteners to align and secure adjoining cabinet units and counter tops. Carefully scribe casework against other building materials, leaving gaps of 1/32 inch maximum. Use filler strips not additional overlay trim for this purpose. Secure cabinet bases to floor using appropriate anchorage. Adjust operating hardware to function smoothly and correctly. Install backsplashes and end splashes where indicated. Clean exposed and semi-exposed surfaces ready for use.**DIVISION 13 - 21 NOT USED****DIVISION 22 - PLUMBING****Basic Plumbing Materials and Methods:****General:****Section includes modifications to existing plumbing systems as required to accommodate new work. The work of this section shall be completed on a Design-Build basis. Plumbing contractor shall provide and submit to the authority having jurisdiction all documents necessary to obtain such permits and receive all required inspections. The information provided on the drawings and listed below is provided to show general design intent and parameters. Contractor shall coordinate and verify all specific details and requirements as necessary to provide complete and functional systems complying with all applicable current codes, including ADA. Contractor shall submit documents to Architect for review prior to permit submittal.****Products:****All fixtures to be commercial grade, ADA compliant, Touch free operation as noted.****Water Closets:** Floor mounted, tank type, elongated bowl, ADA approved, commercial weight, heavy-duty solid plastic seat with open front, American Standard 'Cadet' or equal.**Countertop Lavatory:** Vitreous china, ADA approved, Kohler K-2351 'Cimarron' or equal; lever handle chrome faucet, .5 gpm flow restricting aerator, Kohler K-12181 or equal, pop-up drain.**Wall Hung Lavatory:** Vitreous china, ACA approved, American Standard 'Lucerne' or equal; lever handle chrome faucet, .5 gpm spray outlet, Moen #4621 or equal, pop-up drain.**Three compartment sink:** Freestanding, 36" w x 21.5" d x 41" h, 16 ga stainless steel.**Handwash sink:** Drop in, 15"x22", 18 ga stainless steel.**Drinking Fountain:** Combination drinking fountain/ water bottle fill station, Elkay EZ28WSK or approved.**Floor Sink:** Stainless steel, grate, min size required by code**Execution:****Install all equipment in strict accordance with the manufacturer's instructions unless otherwise indicated. Where the installation shown or specified is contrary to the manufacturer's instructions, advise the Architect in writing of the differences before proceeding with the installation.****Install unions in all non-flanged piping connections to apparatus and adjacent to screwed control valves and any appurtenances requiring removal for servicing, so located that piping may be disconnected without disturbing the general system. Provide dielectric fittings between dissimilar metals.****Provide supports for all apparatus as required by the manufacturer. Remove, clean and replace all existing grilles and diffusers and clean ductwork of debris and dust accumulation prior to****starting fan systems. Touch up factory-painted surfaces, as necessary, with paint of matching color.****Upon completion of installation, fully instruct Owner's Representative in complete operations, adjustment and maintenance of each respective installation.****DIVISION 23 - HVAC****Basic HVAC Materials and Methods:****General:****Section includes modifications to existing HVAC systems as required to accommodate new work. The work of this section shall be completed on a Design-Build basis. Mechanical contractor shall provide and submit to the authority having jurisdiction all documents necessary to obtain such permits and receive all required inspections. The information provided on the drawings and listed below is provided to show general design intent and parameters. Contractor shall coordinate and verify all specific details and requirements as necessary to provide complete and functional systems complying with all applicable current codes. Contractor shall submit documents to Architect for review prior to permit submittal.****Execution:****Examination:****Verify that building is ready to receive work and opening dimensions are as illustrated by the manufacturer.****Verify that proper power supply is available.****Installation:****Install in accordance with manufacturer's instructions and applicable code.****Ensure make-up air, ventilation and fixture clearances are all in accordance with manufacturer's installation instructions.****Run all systems minimum of 4 hours continuously at start up. Notify Owner 2 days in advance of start up.****Provide supports for all apparatus as required by the manufacturer. Remove, clean and replace all existing grilles and diffusers and clean ductwork of debris and dust accumulation prior to starting fan systems. Touch up factory-painted surfaces, as necessary, with paint of matching color.****Upon completion of installation, fully instruct Owner's Representative in complete operations, adjustment and maintenance of each respective installation.****DIVISION 24 TO 25 - NOT USED****DIVISION 26 - ELECTRICAL****Basic Electrical Materials and Methods:****General:** Section includes modifications to existing electrical and lighting systems as required to accommodate new work.**The work of this section shall be completed on a Design-Build basis. Electrical and low voltage contractors shall provide and submit to the authority having jurisdiction all documents necessary to obtain such permits and receive all required inspections. The information provided on the drawings and listed below is provided to show general design intent and parameters. Contractor shall coordinate and verify all specific details and requirements as necessary to provide complete and functional systems complying with all applicable current codes. Contractor shall submit documents to Architect for review prior to permit submittal.****All low voltage systems and wiring, including fire/smoke alarms, security, phone and data, to be the responsibility of the Tenant.****Products:****Lighting:** Refer to Drawings for Light Fixture Schedule.**Execution:****Install all items in strict accordance with the manufacturer's instructions unless otherwise indicated.****Install luminaires uniformly aligned and level at heights indicated on drawings. Provide each fixture with a lamp as specified or as catalogued for the specific fixture type. Remove diffuser/globe of any existing fixtures to remain; thoroughly clean, re-lamp and replace upon completion of construction.****Install all new wiring within new and existing walls, floors and ceilings. No exposed, surface conduit allowed.****Touch up factory-painted surfaces, as necessary, with paint of matching color.****DIVISION 27 TO 31 - NOT USED****DIVISION 32 - EXTERIOR IMPROVEMENTS****General:** Section includes bike racks, parking lot barriers.**Products:****Bike Rack:** Wave style, powder coated steel, Black, 1 7/8" o.d., surface mount, capacity per plans; Timberform Cycloops, Belson CBBR or approved.**Barriers:** Jersey style, concrete, 32" min. height, 6' min. length; new or 'A' grade used.**Execution:** Surface mount bike rack to solid concrete base per manufacturer recommendations and drawings. Place barriers on asphalt paving with no permanent attachment, spaced per plans.**IASELIN ARCHITECTS P.C.**1307 Seventh Street
Oregon City, OR 97045
503-656-1942
www.iselinarchitects.com**This Plan Review Approval Does not Prevent The Field Inspector From Requiring Further Code Correction!****Renovation and Remodel of Historic West Linn City Hall Building 22825 Willamette Drive West Linn, OR 97068**
for Regional Cultural/ Tourism Center in partnership with Willamette Falls and Landings Heritage Area CoalitionPROJ. NO. : 1705.3
FILE : A-SPEC
DATE : 7/12/2023

SHEET #

A6.2

SPECIFICATIONS