

DEVELOPMENT REVIEW APPLICATION

For Office Use Only

STAFF CONTACT <b style="font-size: 1.2em;">John Floyd	PROJECT NO(S). DR-23-03	PRE-APPLICATION NO. <b style="font-size: 1.2em;">waived
NON-REFUNDABLE FEE(S) \$2,100	REFUNDABLE DEPOSIT(S)	TOTAL \$2,100

Type of Review (Please check all that apply):

- | | | |
|---|---|--|
| <input type="checkbox"/> Annexation (ANX) | <input type="checkbox"/> Final Plat (FP) | <input type="checkbox"/> Subdivision (SUB) |
| <input type="checkbox"/> Appeal (AP) | <input type="checkbox"/> Flood Management Area (FMA) | <input type="checkbox"/> Temporary Uses (MISC) |
| <input type="checkbox"/> CDC Amendment (CDC) | <input type="checkbox"/> Historic Review (HDR) | <input type="checkbox"/> Time Extension (EXT) |
| <input type="checkbox"/> Code Interpretation (MISC) | <input type="checkbox"/> Lot Line Adjustment (LLA) | <input type="checkbox"/> Right of Way Vacation (VAC) |
| <input type="checkbox"/> Conditional Use (CUP) | <input type="checkbox"/> Minor Partition (MIP) | <input type="checkbox"/> Variance (VAR) |
| <input type="checkbox"/> Design Review (DR) | <input type="checkbox"/> Modification of Approval (MOD) | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Tree Easement Vacation (MISC) | <input type="checkbox"/> Non-Conforming Lots, Uses & Structures | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP) |
| <input type="checkbox"/> Expediated Land Division (ELD) | <input type="checkbox"/> Planned Unit Development (PUD) | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG) |
| <input type="checkbox"/> Extension of Approval (EXT) | <input type="checkbox"/> Street Vacation | <input type="checkbox"/> Zone Change (ZC) |

Pre-Application, Home Occupation, Sidewalk Use, Addressing, and Sign applications require different forms, available on the website.

Site Location/Address:

Assessor's Map No.:

Tax Lot(s):

Total Land Area:

Brief Description of Proposal:
Applicant Name*:

 Address:
 City State Zip:

Phone:

Email:

Owner Name (required):

 Address:
 City State Zip:

Phone:

Email:

Consultant Name:

 Address:
 City State Zip:

Phone:

Email:

1. Application fees are non-refundable (excluding deposit). Applications with deposits will be billed monthly for time and materials above the initial deposit. ***The applicant is financially responsible for all permit costs.**
2. The owner/applicant or their representative should attend all public hearings.
3. A decision may be reversed on appeal. The decision will become effective once the appeal period has expired.
4. Submit this form, application narrative, and all supporting documents as a single PDF through the [Submit a Land Use Application](https://westlinnoregon.gov/planning/submit-land-use-application) web page: <https://westlinnoregon.gov/planning/submit-land-use-application>

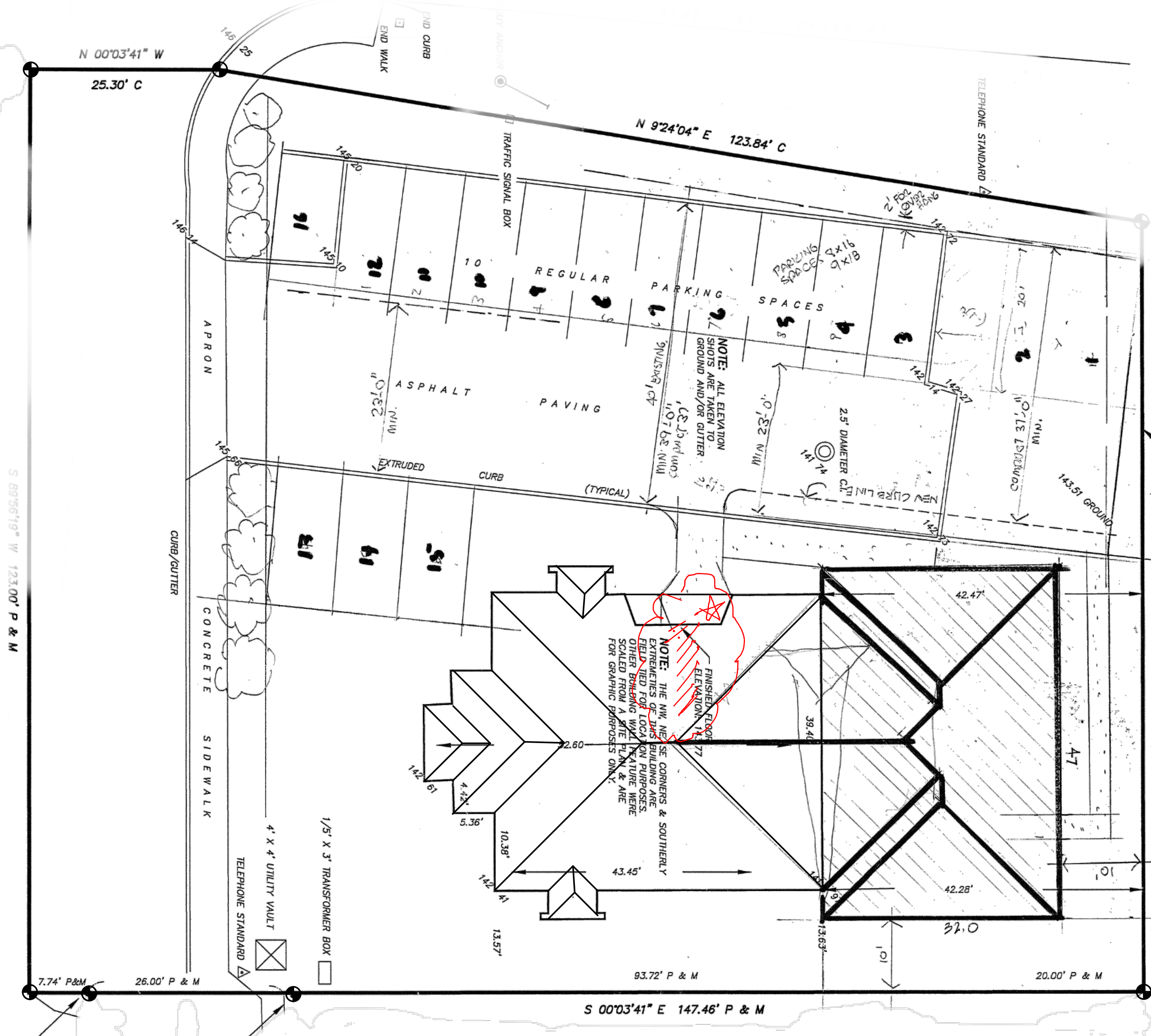
The undersigned property owner authorizes the application and grants city staff the **right of entry** onto the property to review the application. Applications with deposits will be billed monthly for time and materials incurred above the initial deposit. The applicant agrees to pay additional billable charges.

Applicant's signature

Date

 Owner's signature (*required*)

Date



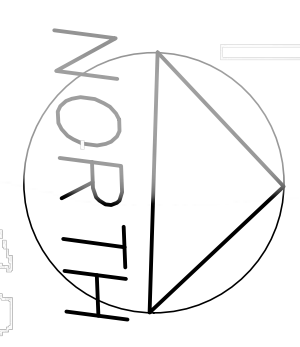
★ New Additional footage . relocate front door and match to exterior wall line (under (E) roof structure. . add New Exterior windows to add additional glazing. (existing glazing requirements meet code).

Gross Lot : 13,673.4 Sq Ft
 Exist Building: 3250 sq ft (23.76%)
 Proposed additional 48 sq ft
 New Building 3298 Sq ft (24.12%)

PROPERTY ID : Tax LOT 21E35D 01002
 CITY OF WEST LINN
 CLACKAMAS COUNTY
 STATE OF OREGON

SITE PLAN
 SCALE: 1" = 50'-0"

NOTE:
 ALL GRADES SHOWN ARE APPROXIMATE
 CONTRACTOR TO VERIFY ALL EXISTING
 AND FINISH GRADES.



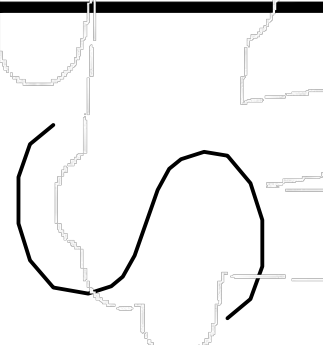
5/8" IRON ROD W/PC STAMPED "OK" INC.
 PER PLAN OF "WILLAHETTER COMMERCIAL PARK"
 5/8" IRON ROD W/PC STAMPED "OK" INC.
 N 97°05" E 1.32'

TITLE:
SITE PLAN
 PROJECT:
KIDS 1ST LLC OFFICE TENANT IMPROVEMENT
 OWNER:
KIDS FIRST LLC
 1673 10TH AVE
 WEST LINN, OREGON

THESE PLANS ARE FOR THE
 CONSTRUCTION OF ONE BUILDING
 REFERENCED IN ANY WA DE
 WITHIN THE EXPRESS METERS
 OF THE CITY OF WEST LINN
 DESIGNER: DESIGNWORKS OREGON
 VENDOR: CONTRACTORS AND SITE
 CONDITIONS AND REPORT ANY
 DISCREPANCIES TO THE STATE OF
 OREGON PRIOR TO THE START OF
 ANY WORK. DESIGNER'S LIABILITY
 IS LIMITED TO THE DIMENSIONS
 OVER SCALED DIMENSIONS.
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 Portland, Oregon 972

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CONSULTANTS:

ARCHITECT-CODE / STRUCTURAL CALCS BY
DESIGN PROFESSIONAL PER SECTION 107

JE KRAUSE, ARCHITECT, P.C.
14911 S.E. 82nd DRIVE
CLACKAMAS, OREGON 97015
(503) 656-4111 / FAX (503) 656-6297

DESIGNER

IDESIGNWORKS LLC
18047 SW LOWER BOONES FERRY RD #308
TIGARD, OREGON 97224
503-708-6204

CONTRACTOR

TBD
CCB#TBD
XXX-XXX-XXXX

GENERAL NOTES:

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE CURRENT STATE AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE GENERAL CONTRACTOR SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

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THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.

INSULATE WASTE LINES FOR SOUND CONTROL.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 90 CFM (MIN.) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.

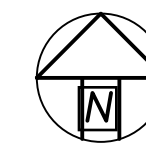
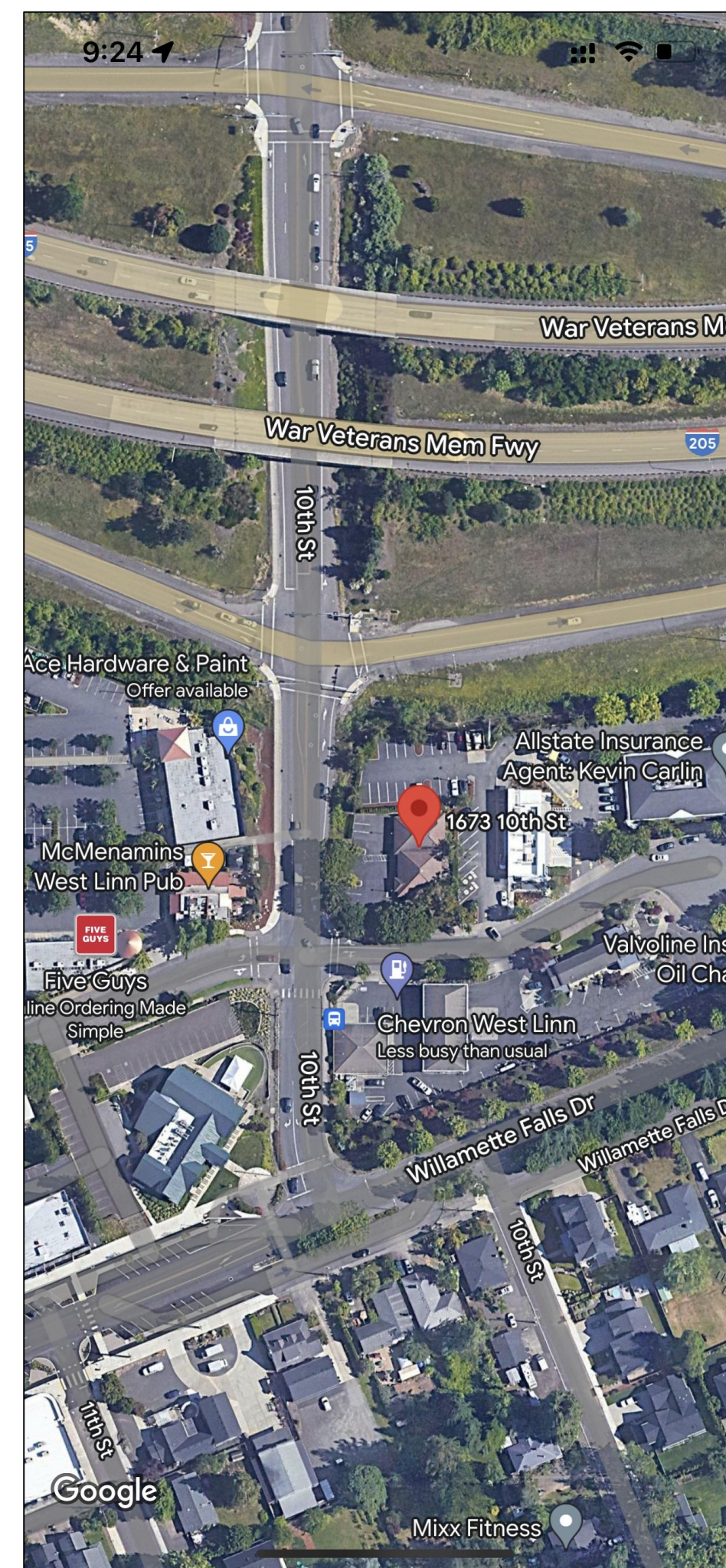
PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.

ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.

BUILDING THIS PLAN ON SITE CONDITIONS DIFFERENT FROM THOSE SHOWN ON THE PLANS MAY REQUIRE MODIFIED FOUNDATION AND FRAMING DETAILS. THE CONTRACTOR MUST REVIEW SPECIFIC SITE CONDITIONS WITH THIS OFFICE BEFORE CONSTRUCTION.

KEY PLAN

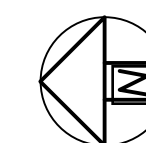
NTS



VICINITY MAP

NTS

ORIGINAL 1970



SCOPE OF WORK

REMODEL TENANT IMPROVMENT

DRAWING INDEX -

- ARCHITECTURAL
- 0 COVER SHEET
- 1 EXTERIOR ELEVATIONS
- 2 EXTERIOR ELEVATIONS
- 3 MAIN FLOOR PLAN
- 3S MAIN FLOOR STRUCTURAL
- 4 FOUNDATION PLAN
- 4S FOUNDATION STRUCTURAL
- 5 ROOF PLAN
- 5S ROOF PLAN STRUCTURAL
- 6 DETAILS AND SPECIFICATIONS

PROJECT SUMMARY:

2019 OSSC / 2018 IBC

EXISTING PROPERTY ADDRESS:

1673 10TH STREET, WEST LINN OREGON

OCCUPANCY TYPE-----B BUSINESS GROUP (SEC 304)

CONSTRUCTION TYPE-----TYPE 5-B (TABLE 601) NS

ALLOWABLE AREA -----9,000 SQ. FT. (TABLE 506.2) 5B

ACTUAL AREA-----1,800-3,500 SQ. FT.

ALLOWABLE HEIGHT-----2 STORY / 40 FEET (TABLE 504.3 & 504.4)

ACTUAL HEIGHT-----19'-0"

EXIT -----1 REQUIRED

TRAVEL DISTANCE 100'-0" MAX (TABLE 1006.2.1)

PLUMBING FIXTURES ----- 10

FIRE RESISTANCE ----- 5B NON RATED / NON SPRINKLED

OCCUPANCY LOAD CALCS (TABLE 1004.5)

BUSINESS AREA 15,50,100,150 SQ FT. / OCCUPANT

SUBMITTAL DOCUMENTS PER SECTION 107...EXCEPTION 2.1 <4000 S.F. <20>

SPECIAL INSPECTION PER 170 4.2.3. (NONE REQUIRED)

BUILDING ENVELOPE REQUIREMENTS:

- ROOFS (attic or ceiling spaces) R-30
- WALLS ABOVE GRADE (Wood Framed) R-19- (OFFICE ONLY)
- FLOORS (Wood Joists) R-38
- FLOORS (Slab on Grage unheated) R-15 24"
- DOORS (METAL - swinging) U 0.20

SEPARATE PERMITS- (DEFERRED SUBMITTALS)

- ELECTRICAL
- PLUMBING
- MECHANICAL

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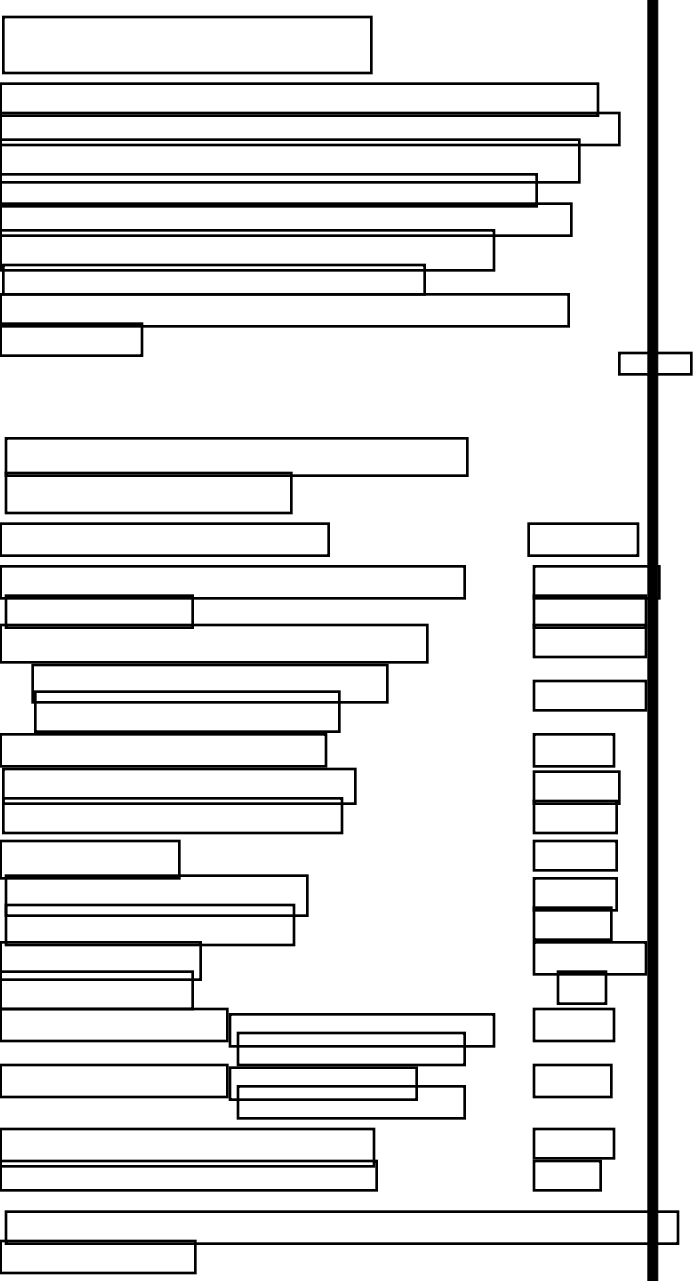
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 Portland, Oregon 97239

THESE PLANS ARE FOR THE PROVISION OF THE BUILDING CODE AND THE DESIGNER IS TO CHECK AND VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.
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COVER SHEET
 PROJECT: KIDS FIRST LLC OFFICE TENANT IMPROVMENT
 OWNER: KIDS FIRST LLC
 1673 10TH STREET
 WEST LINN, OREGON 97068

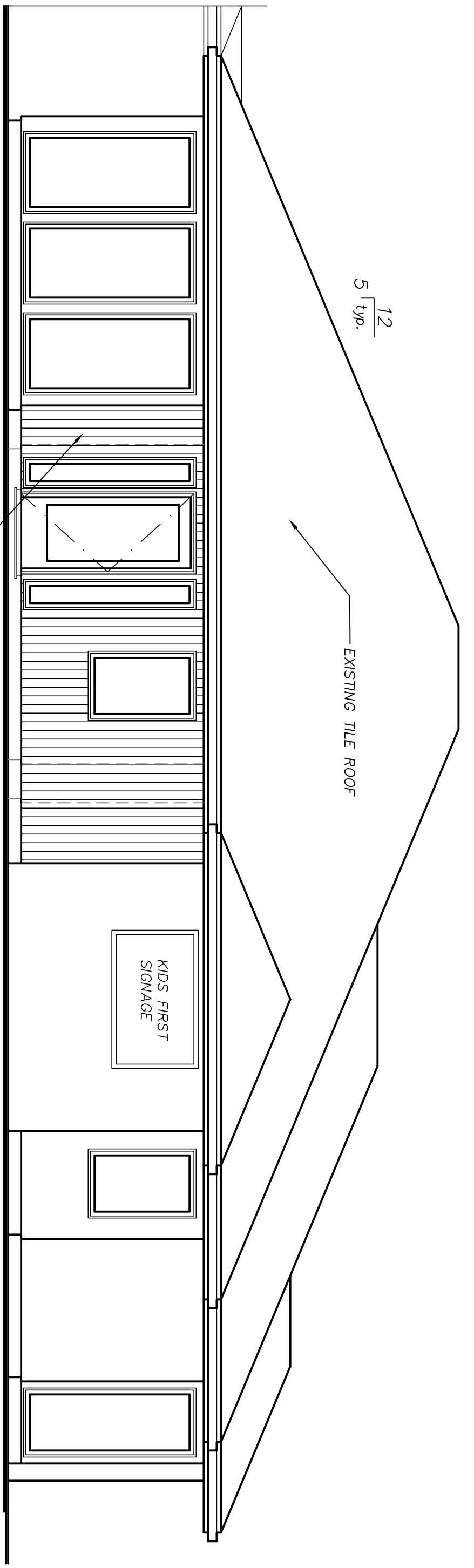
DATE: 12-26-2022
 PROJECT NO.: 22-10020
 REVISIONS: 2-10-2020

NO: 1
 OF



NOTICE

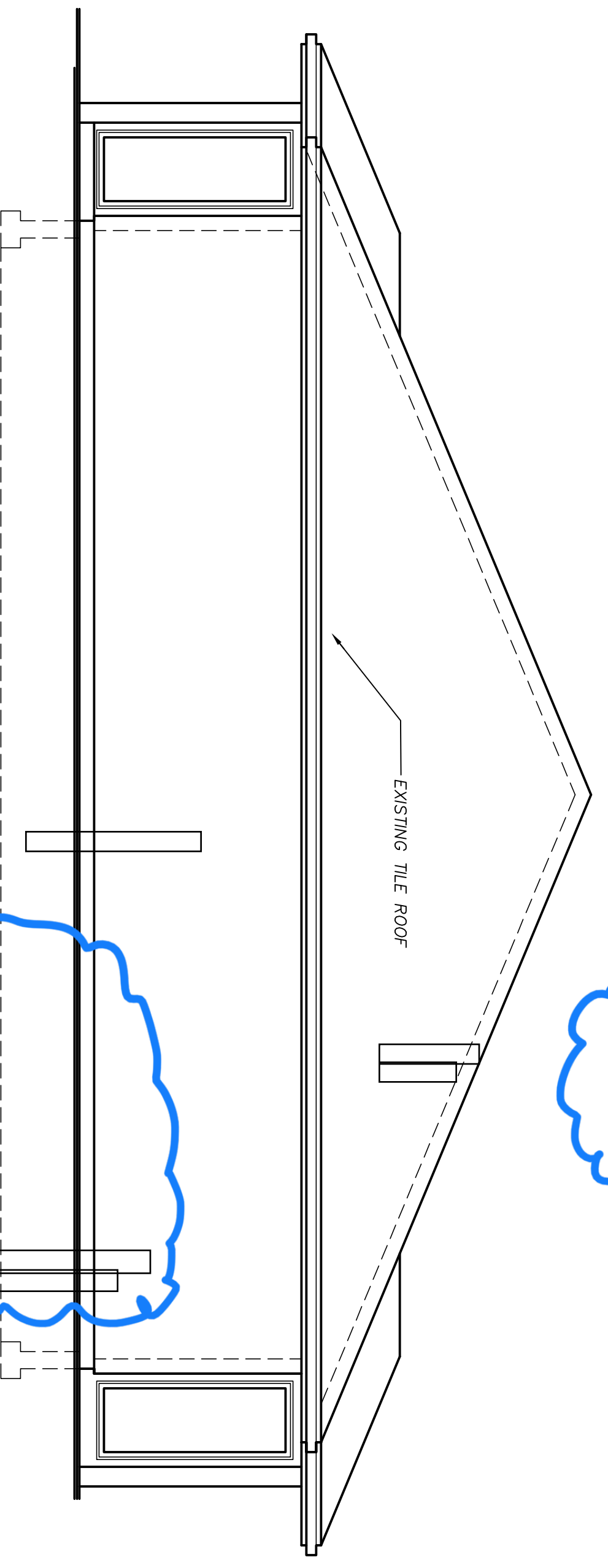
ALL CONSTRUCTION TO COMPLY WITH THE 2017 EDITION OF THE OREGON RESIDENTIAL SPECIALTY CODE / 2015 INTERNATIONAL RESIDENTIAL CODE WITH THE OREGON AMENDMENTS AND OREGON RESIDENTIAL AMENDMENTS (SECTION 11). COORDINATE ALL APPLICABLE MODIFICATIONS TO THESE DRAWINGS AS REQUIRED



NORTH-SIDE ELEVATION
SCALE: 1/4" = 1'-0"

NOTE:
EXTEND ALL ELDGES A MIN. OF 2'-0"
AND FINISH WITH 1/2" RADIUS
A 10'-0" HORIZONTAL RADIUS

NOTE:
ALL GRADES SHOWN ARE APPROXIMATE.
CONTRACTOR SHALL VERIFY ALL
EXISTING AND FINISH GRADES.



NORTH-SIDE ELEVATION
SCALE: 1/4" = 1'-0"

PRESCRIPTIVE ENVELOPE REQUIREMENTS:

BUILDING COMPONENTS	VALUES
Maximum Allowable Window Area	No Limit
Window Glass	U=0.20
Driveway Glass from Main Entry	U=0.20
Entrance Door Entry Door (maximum 25 s.f.)	U=0.54
Exterior Wall Insulation	R-15
Underfloor Insulation 10"	R-30
Underfloor Insulation 8"	R-25
Floor Ceilings	R-49
Vaulted Ceilings 10"	R-25
Vaulted Ceilings 8"	R-21
Skylight Glass	U=0.60
Skylight Area	<2%
Basement Walls (that do not extend more than 24" above grade)	R-15
Basement Walls (that do not extend more than 24" above grade)	R-21
Slab Floor Edge Insulation	R-15
Forced Air Duct Insulation	R-8

Taken from Table M101.2 of the 2017 O.R.S.C.

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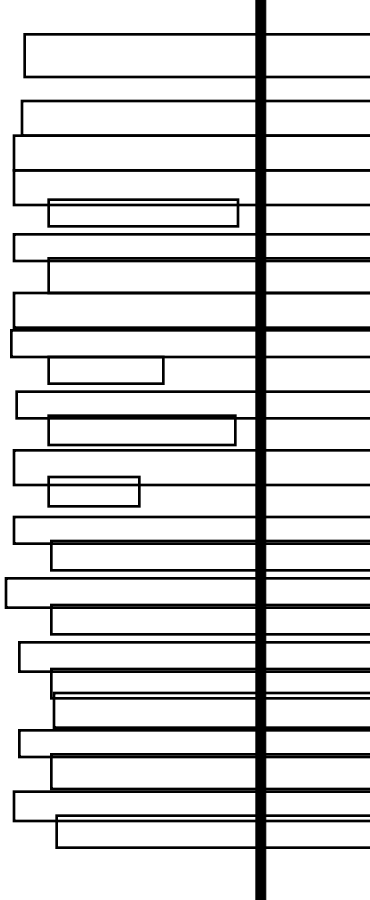
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TITLE: **KIDS FIRST LLC OFFICE TENANT IMPROVMENT**
OWNER: **KIDS FIRST LLC**
1673 10TH STREET
WEST LINN, OREGON 97068

DATE: 12-26-2022
PROJECT NO.: 22-18020
REVISIONS: 2-10-2020

ND: 1
DF



DOOR SCHEDULE - MAIN FLOOR

DOOR NUMBER	TYPE	SIZE	MATERIAL	GLASS FINISH	FRAME MATERIAL	REMARKS / NOTES
1	WD	3'-0" X 6'-6"	WD		WD	TRP. INTERIOR DOOR OFFICE
2	WD	2'-10" X 6'-8"	WD		WD	TRP. INTERIOR DOOR BATHROOM
3	WD	2'-4" X 8'-8"	WD		WD	TRP. INTERIOR DOOR BATHROOM
4						
5						
6						
7						
8						
9						

LEGEND

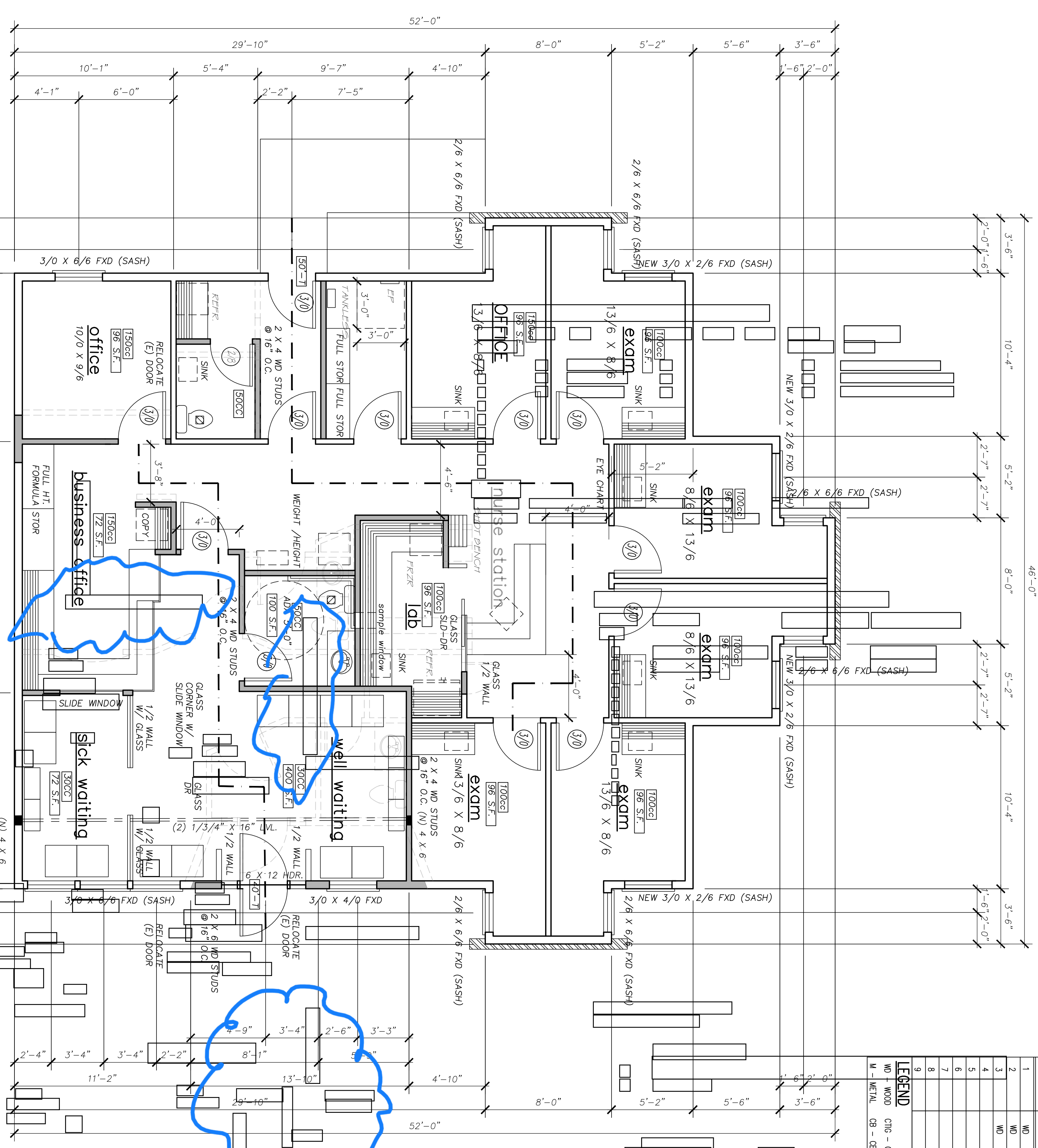
WD - WOOD
 CB - CEMENT BOARD
 WS - WOOD STAINED
 NM - METAL CLAD WOOD

WINDOW SCHEDULE - MAIN FLOOR

WINDOW NUMBER	TYPE	FRAME TYPE	FRAME SIZE (WxH)	STYLE / OPERATION
A	OFFICE / FULL WINDOW (SASH)	EXISTING		VERTILY W/ MANUF
B	RECEPTION GLASS	EXISTING		VERTILY W/ MANUF
C				
D				
E				
F				
G				
H				
I				
J				
K				
L				

GENERAL NOTES:

- ALL EXTERIOR WALLS TO BE 2 X 6 STUDS AT 16" O.C. (TRP. UNO.)
- ALL INTERIOR WALLS TO BE 2 X 4 STUDS AT 16" O.C. (TRP. UNO.)
- ASSUME A MINIMUM OF (2) 2 X 4 STUDS AS BEAM SUPPORTS AT RELOCATED WALLS.
- ALL PARTITIONS AND SLIDING GLASS DOORS SHOWN ARE TO BE VINYL GLASS.
- 5.1.1. PROVIDE ALL ROOMS WITH OVERHEAD BEARING WALLS.
6. PROVIDE OUTSIDE COMBUSTION AIR FOR ALL FIREPLACES AND FIREWALLS.
7. CONNECT ALL SMOKE DETECTORS TOGETHER AND TO HOUSE POWER SOURCE.
8. PROVIDE 5/8" TYPE "X" G.W.B. AT ALL ACCESSIBLE AREAS UNDER STAIRS.
9. PROVIDE ALL LISTED PLUGS AT ALL FIREPLACE AND METAL FIREPLACE LOCATIONS AS REQUIRED BY MANUFACTURER.
10. PROVIDE 18" HIGH NON-COMBUSTIBLE PLATFORM FOR ALL GAS FIREPLACES LOCATED IN CONDITIONED SPACE.
11. PROVIDE 3" DIA. X 5'-0" CONCRETE FILLED STEEL PIPE ROLLER IN GARAGE FOR PROTECTION OF FINISHERS AND WATER HEATER (EMBED IN 12" DIA. X 24" CONCRETE FOOTING).
12. IF REQUIRED, "X" PER MECHANICAL CODE W/ 1/2" TIGHTENMENT STRAPPING EXCEEDING 10'-0" IN HEIGHT, AS PER 2014 OSSC.
13. FIRE BLOCKING REQUIRED AT CONSTRUCTION JOISTS AND WALL CAVITIES.



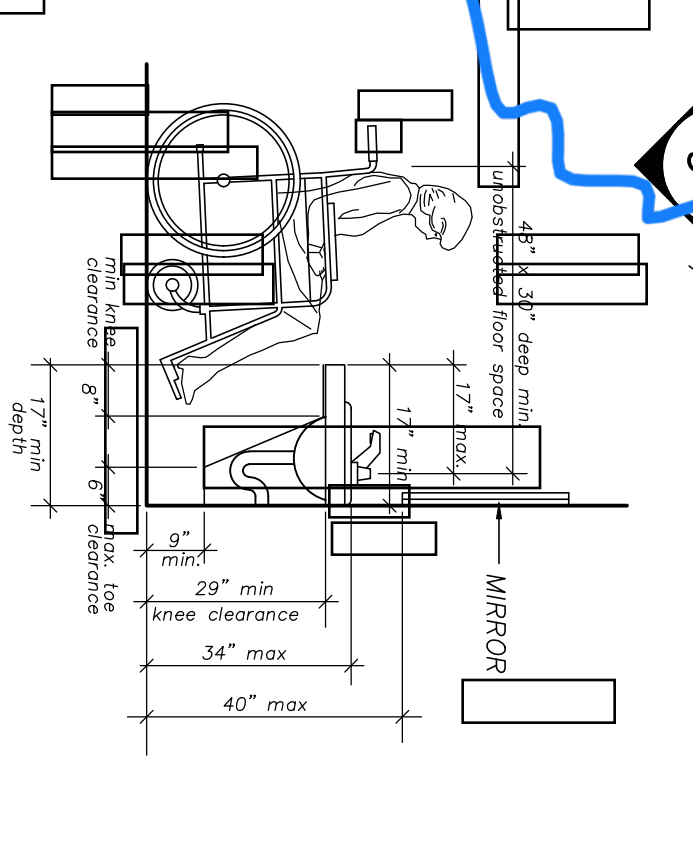
LEGEND:

- DENOTES EXISTING WALLS
- ==== DENOTES NEW WALLS
- DENOTES WALLS & OBJECTS TO BE REMOVED.

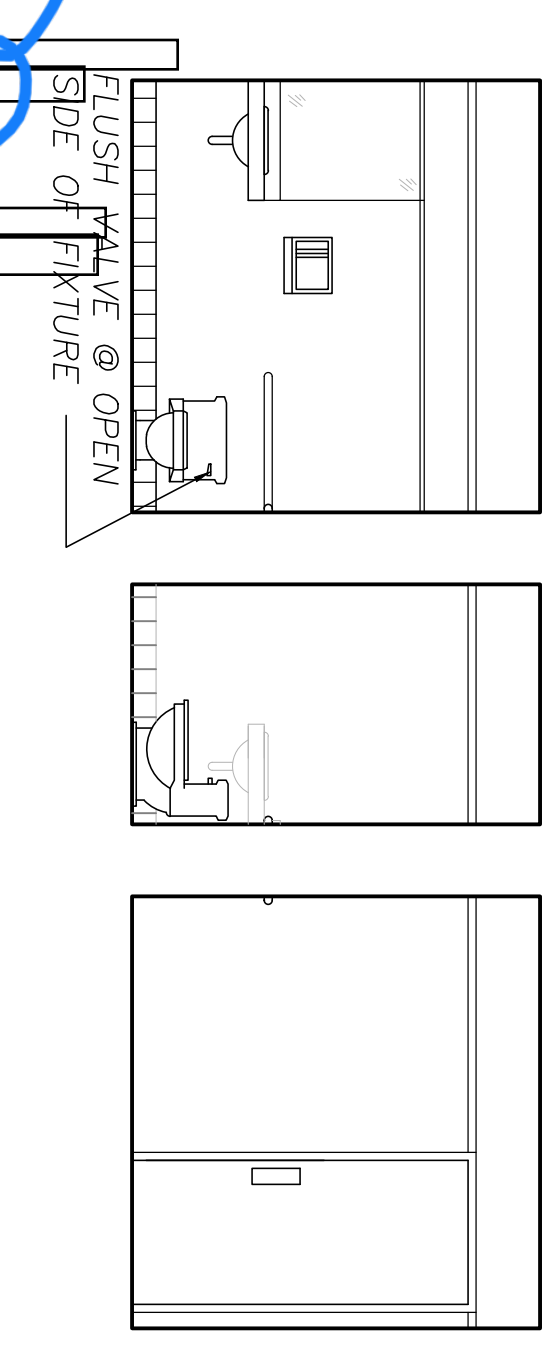
MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

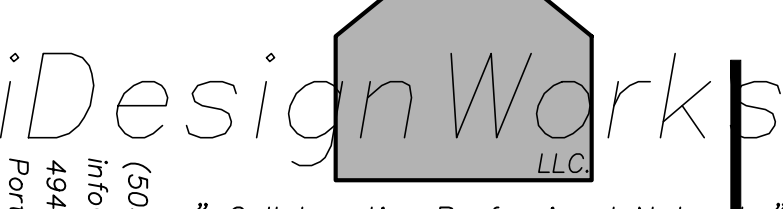
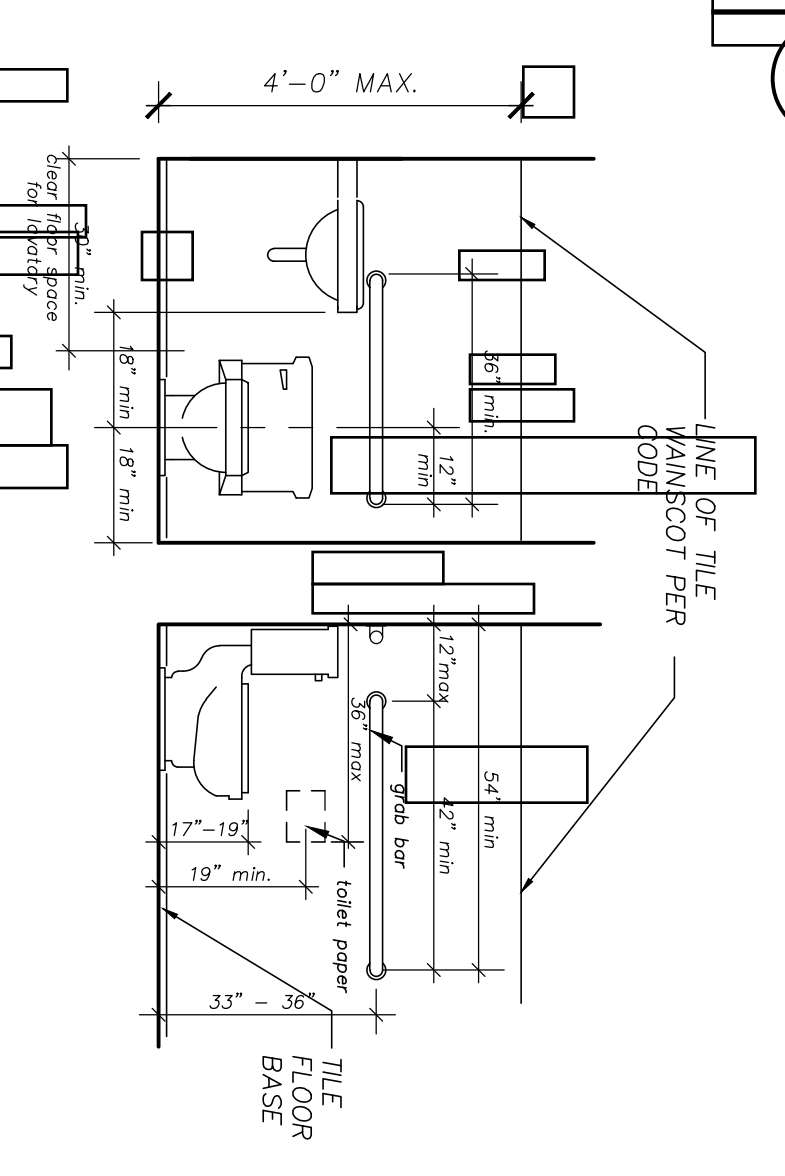
5 LAVATORY CLEARANCES



3 MEN / WOMEN LAVATORY ELEVATIONS



4 WATER CLOSET DETAIL



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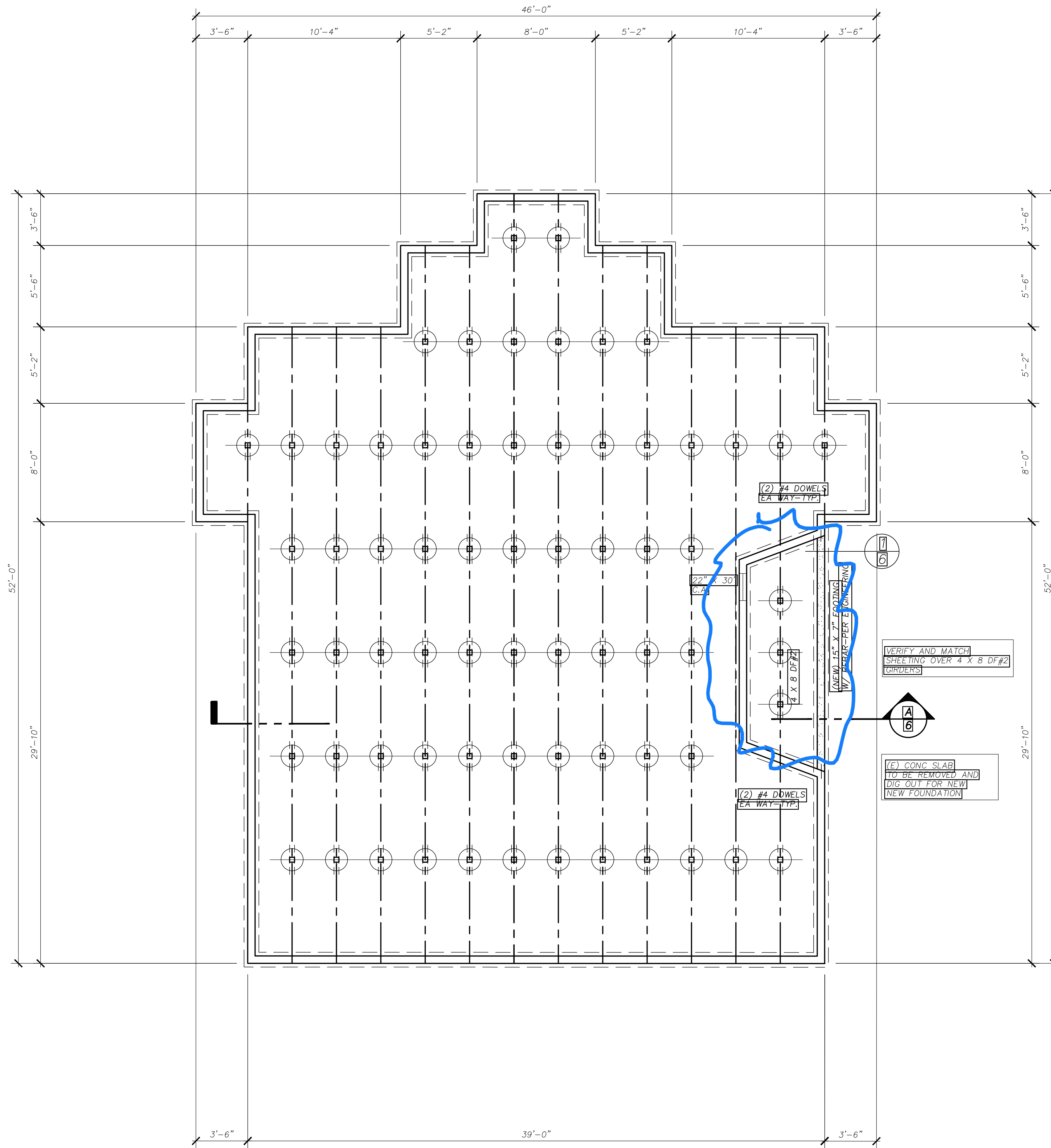
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TITLE: MAIN FLOOR PLAN
PROJECT: KIDS FIRST LLC OFFICE TENANT IMPROVEMENT
OWNER: KIDS FIRST LLC
 1673 10TH STREET
 WEST LINN, OREGON 97068

DATE: 12-26-2022
PROJECT NO.: 22-101
REVISIONS:

ND: 3
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FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

CONCRETE FOOTINGS			
(SOIL PRESSURE= 1500 psf)			
	L X	W X	THICKNESS
12	12	12	6
14	14	14	7
16	16	16	8
18	18	18	9
20	20	20	10
22	22	22	11
24	24	24	12
26	26	26	13
28	28	28	14
30	30	30	15
32	32	32	*
34	34	34	*
36	36	36	*
38	38	38	*
40	40	40	*
42	42	42	*
44	44	44	*
46	46	46	*
48	48	48	*
12	12	IN. DIA.	6
16	16	IN. DIA.	8
18	18	IN. DIA.	9
20	20	IN. DIA.	10
24	24	IN. DIA.	12
30	30	IN. DIA.	15
*	1/6" THK. FIG. REINFORCED W/ #4 @ 12" O.C. EA. WAY		

FOUNDATION NOTES:

- CONTRACTOR TO EXCAVATE AS TO MAINTAIN 18" MIN. GROUND TO GIRDER CLEARANCE
- COVER ENTIRE GROUND AREA OF CRAWLSPACE W/6 MIL. "VISQUEEN", EXTEND A MIN. OF 1'-0" UP FOUNDATION WALL
- GIRDERS TO HAVE 3" MIN. BEARING ON ASPHALT COMPOSITE SHINGLE W/ 1/2" AIR SPACE AT ENDS AND SIDES OF GIRDER AND FOUNDATION WALL
- FOUNDATION VENTS TO 16" X 8" W/#4 MESH CORR. RESIST. SCREEN (CLOSABLE) REQUIRED
- PROVIDE 18" X 24" CRAWLSPACE ACCESS AS PER 2014 OSSC (22" X 30" RECOMMENDED)
- PROVIDE CRAWLSPACE DRAIN AS PER 2014 OSSC
- MIN. REBAR PER CODE, 1-#4 TOP & BOTTOM (CONT.) W/ #4 @ 48" O.C. VERT. STANDARD FOOTING. (TYP.) W/ LAPS PER R404.1.3.3.75
- MINIMUM 3" X 3" X 1/4" PLATE WASHERS ON FULL LENGTH OF BRACED WALL LINES PER 2014 OSSC
- PROVIDE RADON MITIGATION PER APPENDIX F 2014 OSSC IN COUNTIES AS REQUIRED PER CODE

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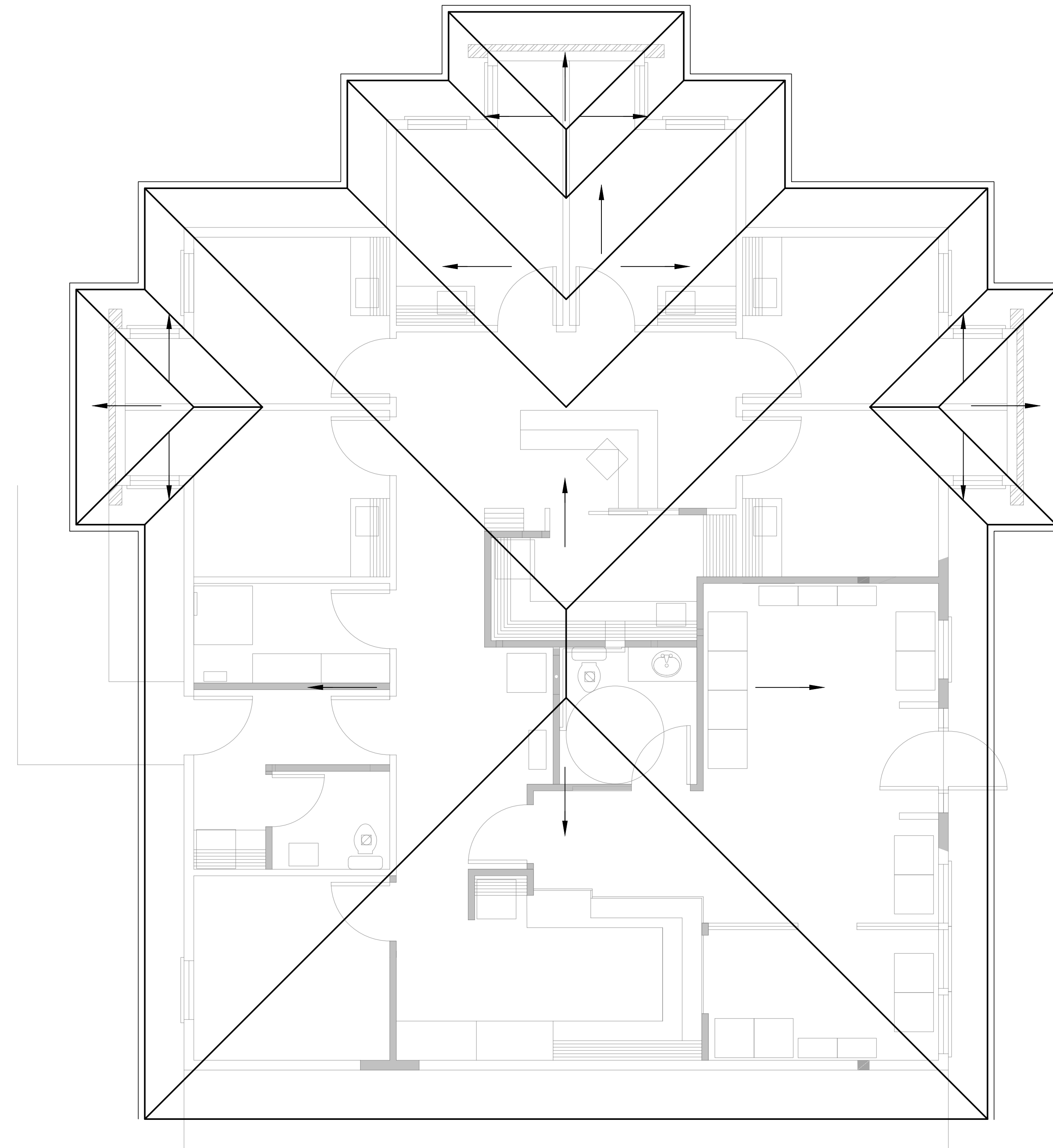
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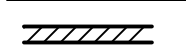
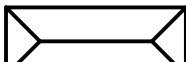

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FOUNDATION PLAN
 PROJECT: KIDS FIRST LLC OFFICE TENANT IMPROVEMENT
 OWNER: KIDS FIRST LLC
 1673 10TH STREET
 WEST LINN, OREGON 97068

DATE: 12-26-2022
 PROJECT NO.: 22-101
 REVISIONS:



ROOF FRAMING LEGEND (TILE)

-  BEARING WALL BELOW
-  ALL HIP, VALLEYS AND RIDGES TO BE 2 X UNLESS NOTED OTHERWISE
- 1 2 X 8 RAFTERS @ 24" O.C. (11'-0" MAXIMUM SPAN)
- 2 2 X 8 RAFTERS @ 12" O.C. (15'-7" MAXIMUM SPAN)
- 3 2 X 10 RAFTERS @ 24" O.C. (13'-6" MAXIMUM SPAN)
- 4 2 X 12 RAFTERS @ 24" O.C. (17'-6" MAXIMUM SPAN)
- 5 --- 2X PURLINS @ 24" O.C. @ 45° MAX. FROM VERTICAL, SUPPORT FROM BEARING TO RAFTERS
- 6 OVERFRAME W/ 2 X 8 RAFTERS @ 24" O.C.
- 7  POST UP FROM BEARING POINT BELOW
- 8 AT ALL VAULTED 2 X 8 CEILINGS, USE 2 X 4 FURRING BELOW FOR INSULATION, REQ'MTS.
- 9 MANUF. TRUSSES @ 24" O.C.
- 10 MANUF. "SCISSOR" TRUSSES @ 24" O.C.
- 11 MANUF. "STUB" TRUSSES @ 24" O.C.
- 12 MANUF. "ATTIC" TRUSSES
- 13 EXISTING ROOF SYSTEM

ROOF PLAN NOTES:

- 1. ALL OVERHANGS TO BE 24" (TYP. U.N.O.) MATCH EXISTING. VERIFY.
- 2. ALL RAKES TO BE 18" (TYP. U.N.O.) MATCH EXISTING. VERIFY.
- 3. ROOFING TO BE CONC. TILE ROOF SHINGLES. MATCH EXISTING. VERIFY.
- 4. ROOF VENTS TO BE 50 SQ. IN. EA. (REQUIRED) MATCH EXISTING. VERIFY.
- 5. ALL ROOF SLOPES TO BE 14:12 PITCH (TYP. U.N.O.) MATCH EXISTING. VERIFY.

NOTE
VERIFY EXISTING TILE MANUF FOR AND REPAIRS OR SEALING - SEE CONTRACTOR

ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

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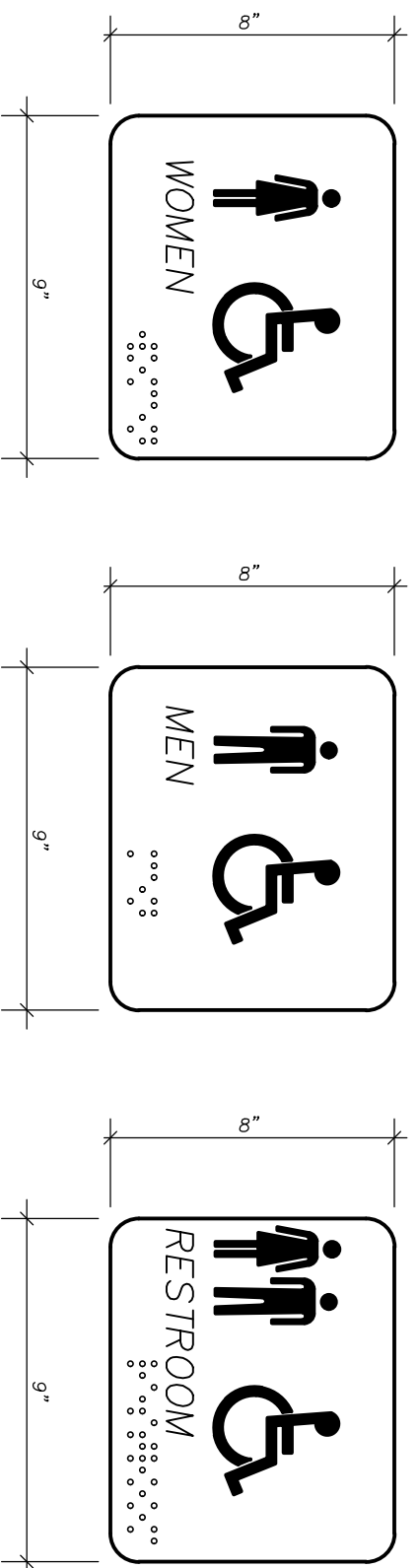
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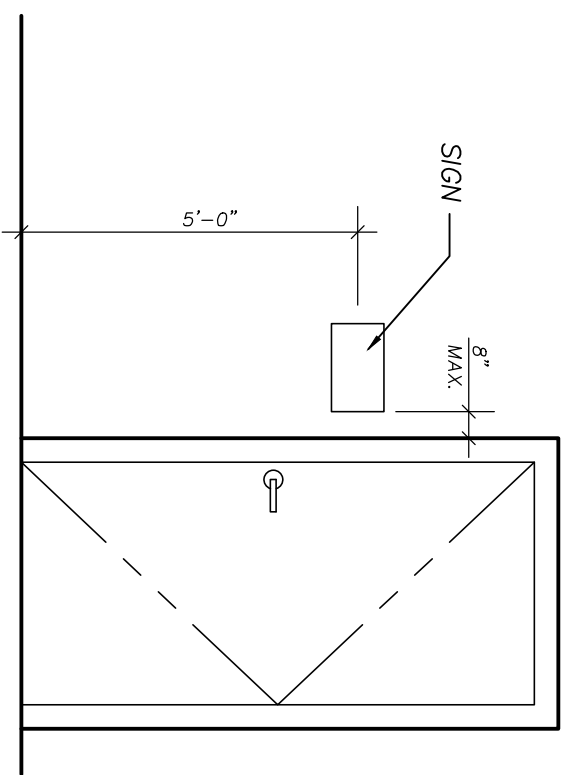
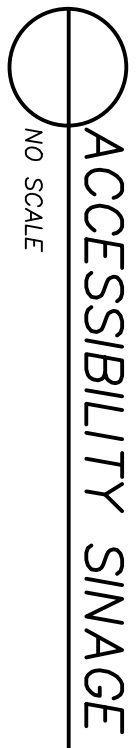
TITLE ROOF FRAMING PLAN
PROJECT KIDS FIRST LLC OFFICE TENANT IMPROVEMENT
OWNER KIDS FIRST LLC
1673 10TH STREET
WEST LINN, OREGON 97068

DATE: 12-26-2022
PROJECT NO.: 22-101
REVISIONS:

NO: 5
OF



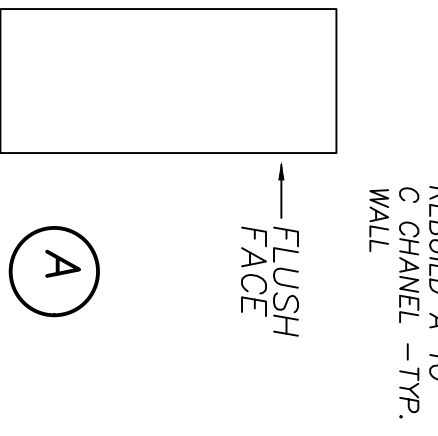
ACCESSIBILITY SIGNAGE
 PROVIDE (1) SIGN PER TOILET COMPLIING W/ ADA LOCAL CODE.
 SIGNS TO HAVE RAISED AND BRILLE CHARACTERS AND PICTORIAL
 SYMBOL. ACCESSIBILITY MOUNT 5'-0" TO CENTERLINE AT 7.5" SIGN
 SIZE 8"x9"



NOTE:
 FINISH MATERIALS @ INT. WALLS &
 C.L.C. SHALL NOT EXCEED OSSC TABLE 8A,B
 REGARDING FLAME SPREAD

DOOR SCHEDULE		O = MATERIAL TO BE USED									
#	SIZE	1 3/4" THK. WOOD	MATERIAL METAL	SOLID CORE	CLOSER	WOOD FRAME	20 MIN. FIRE LABEL ASSEMBLY	TYPE (BELOW)	COMMENTS	1-HR FIRE LABEL ASSEMBLY REQ'D	NOTES
1	3/0 x 6/8	○	○	○	-	-	-	(A)	INTERIOR	-	BIRCH

GENERAL NOTES
 1.) COORDINATE ALL PLUMBING, HVAC, SPRINKLER AND ELECTRICAL WORK PER CODE.
 2.) VERIFY SIGNAGE WITH TENANT.
 3.) ALL CABINET SPECS SIMILAR TO EXISTING
 4.) ALL INTERIOR FINISHING SIMILAR TO EXISTING
 5.) PROVIDE VENT PER CODE FOR EXHAUST FANS.



WALL SCHEDULE	WALL SCHEDULE	WALL SCHEDULE	WALL SCHEDULE	WALL SCHEDULE
2 X 4 INT SHEARWALL "A" 1" GYP. BD TYPE 'X' 2 X 6 STUDS AIR SPACE PER STRUCTURAL R-19 BATT INSUL.	1-HOUR RATED EXT. "B" 1" GYP. BD TYPE 'X' 2 X 6 STUDS AIR SPACE PER STRUCTURAL R-19 BATT INSUL.	2 X 4 INT BRG / SHEARWALL 1" GYP. BD TYPE 'X' PLYMD PER STRUCTURAL 2 X 4 STUD	4" METAL STUD INT "C" 1" GYP. BD TYPE 'X' 4" METAL STUD	2 X 4 INT BRG "D" 1" GYP. BD TYPE 'X' 2 X 4 STUD
2 X 4 INT SHEARWALL "E" 1" GYP. BD TYPE 'X' 2 X 4 STUD	2 X 4 NON-BRG "F" 1" GYP. BD TYPE 'X' 2 X 4 STUD	2 X 4 INT BRG / SHEARWALL 1" GYP. BD TYPE 'X' 4" METAL STUD	1-HOUR RATED INT "G" 1" GYP. BD TYPE 'X' 6" METAL STUD R-19 INSUL.	1-HOUR RATED INT "H" 1" GYP. BD TYPE 'X' 6" METAL STUD R-19 INSUL.

WALL LEGEND

TYPICAL EXTERIOR

1 HOUR RATED EXTERIOR

2 X 4 STUD BEARING / SHEAR WALL - INTERIOR

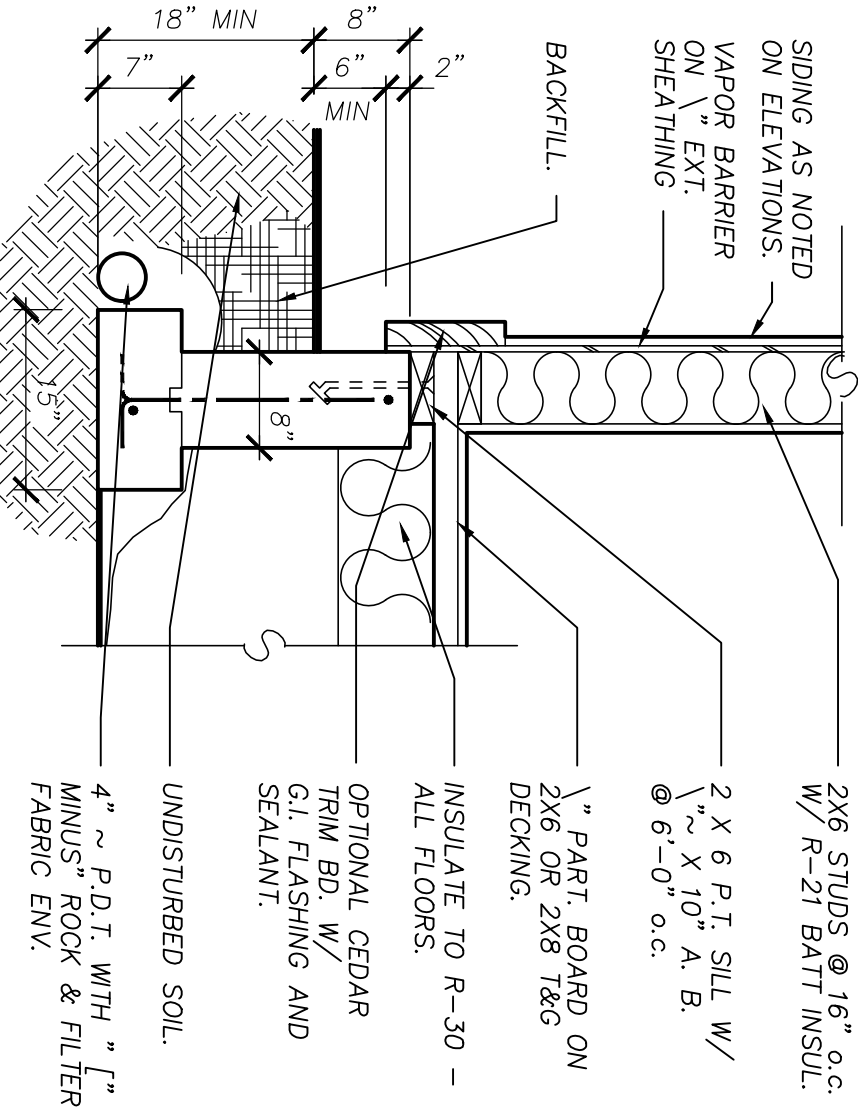
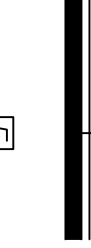
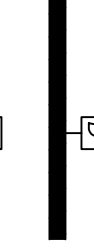
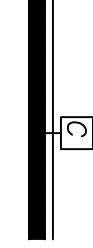
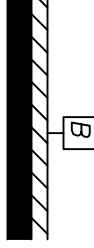
2 X 4 STUD BEARING / INTERIOR

2 X 4 STUD SHEARWALL INTERIOR

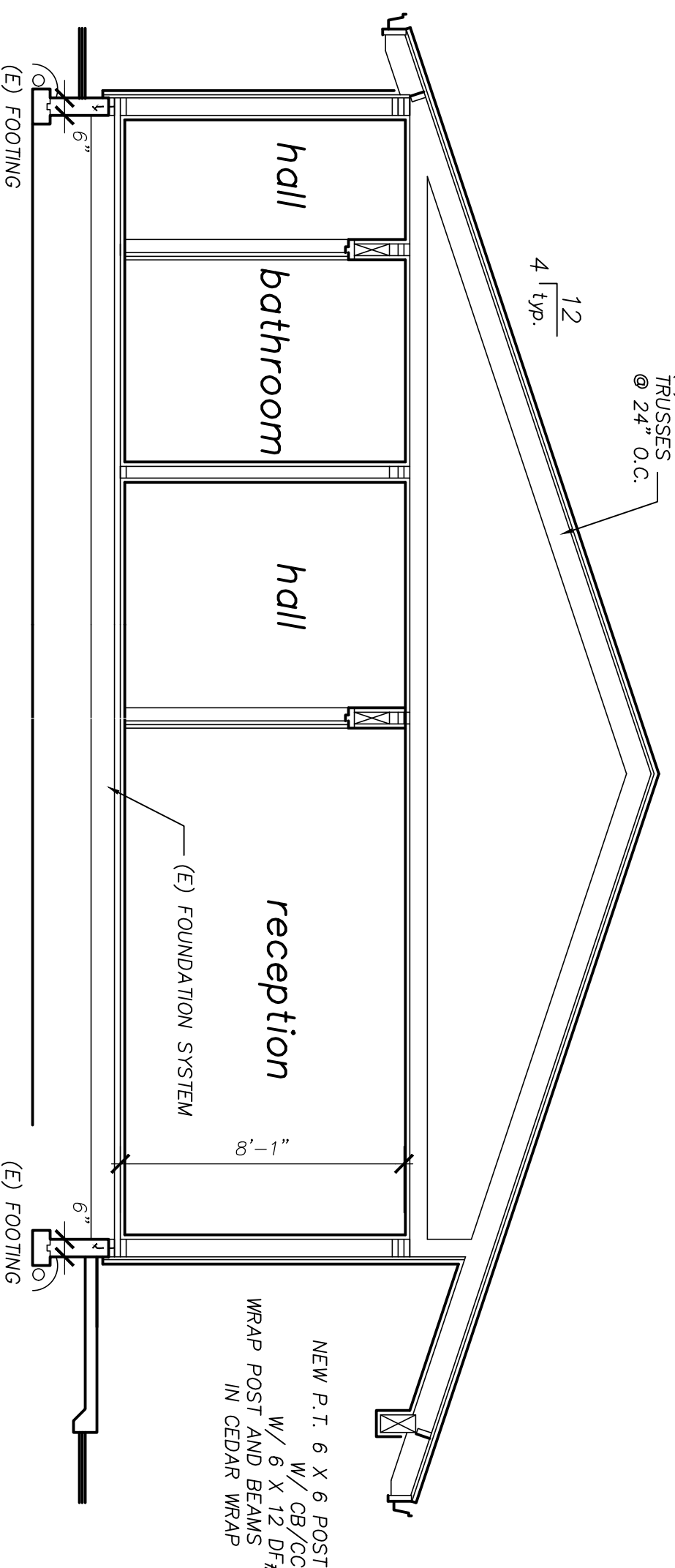
2 X 4 STUD NON-BRG. INTERIOR

4" METAL STUD NON-BEARING INTERIOR

6" METAL STUD NON-BEARING INTERIOR 1 HOUR RATED



(A) BUILDING SECTION
 SCALE 1/4" = 1'-0"



(1) FOUNDATION DETAIL
 SCALE: 3/4" = 1'-0"

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TITLE: DETAILS AND SECTIONS
PROJECT: KIDS FIRST LLC OFFICE TENANT IMPROVEMENT
OWNER: KIDS FIRST LLC
 1673 10TH STREET
 WEST LINN, OREGON 97068

DATE: 12-26-2022
PROJECT NO.: 02-18020
REVISIONS: 2-10-2020

ND: 5
 DP

Schroder, Lynn

From: Wyss, Darren
Sent: Thursday, April 27, 2023 5:17 PM
To: Wyss, Darren
Cc: Schroder, Lynn; Floyd, John; Williams, John
Subject: Waiving Pre-Application Conference Requirement

Greetings,

Under the authority prescribed by Community Development Code Chapter 99.030.B(4), I have waived the need for a pre-application conference for a Class I Design Review at 1673 10th Street. It was determined the limited impact of the project (enclosing 48 square feet of a recessed entryway), the fact the entry door will remain, the fact there will be no expansion of the building outside of the existing roofline, the fact there will be no impacts to parking, and the fact there is limited applicable criteria, made the pre-application conference unwarranted. The Planning File number for this proposal is DR-23-03. This email meets the requirement of written notification to the Planning Commission and applicable neighborhood association (Willamette NA) as outlined in Community Development Code Chapter 99.030.B(4). Please let me know if you have any questions. Thanks.

Darren Wyss
Planning Manager
Planning

[#6064](#)



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