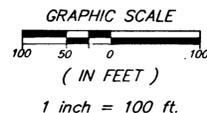
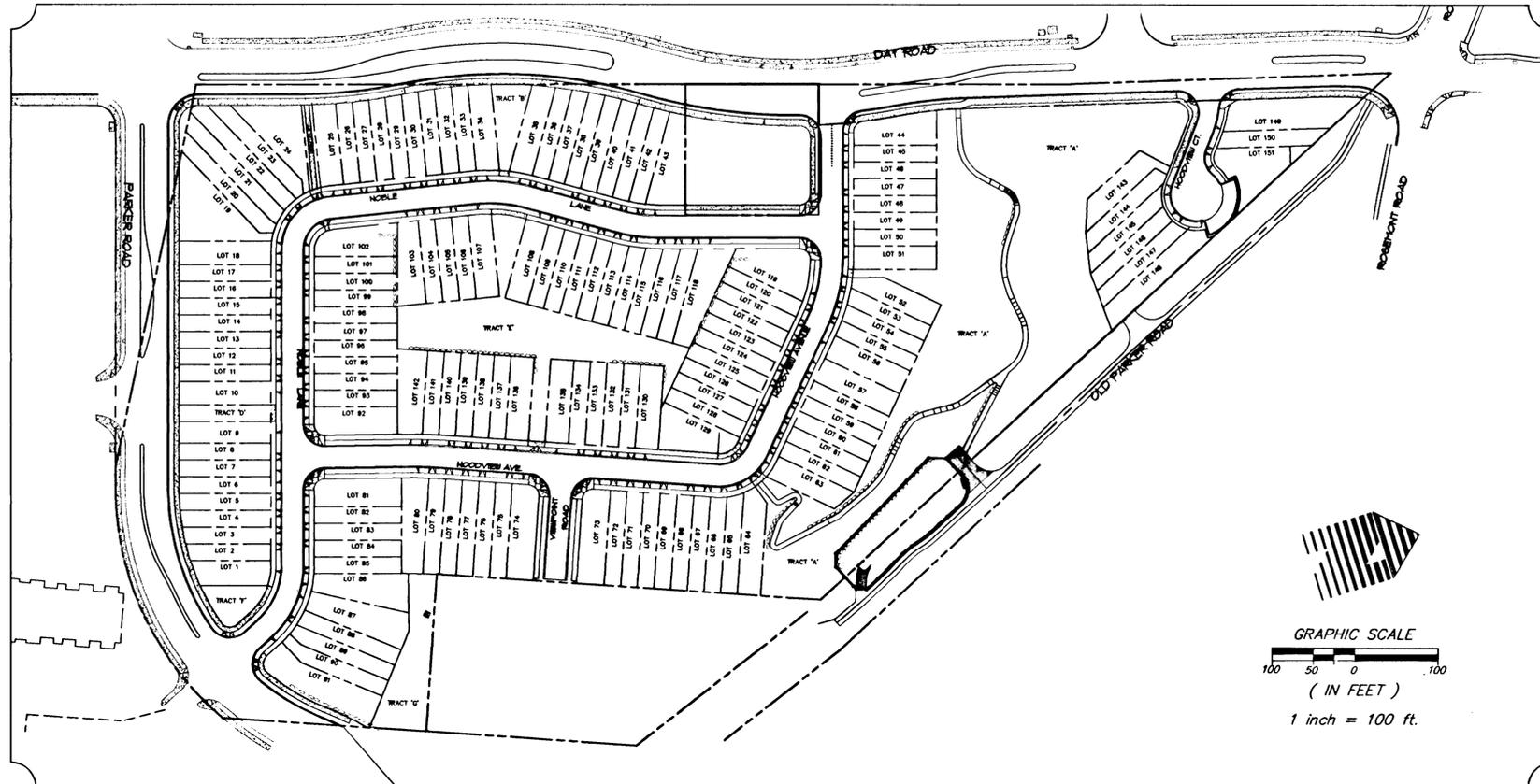
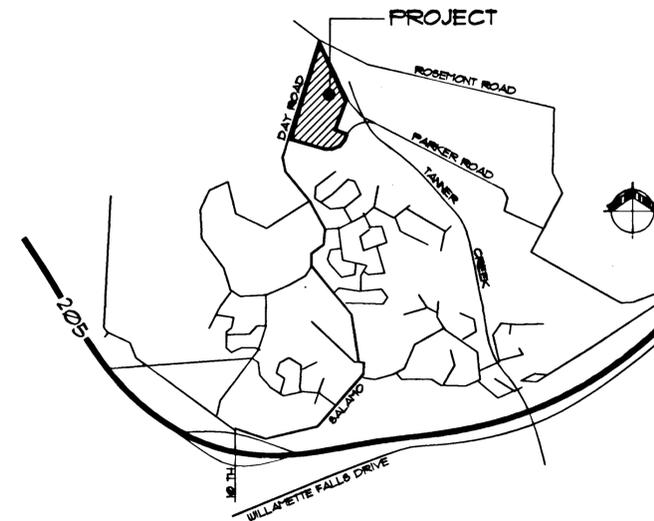


Hoodview Townhomes



VICINITY MAP



PROJECT TEAM

DEVELOPER

Hoodview Estates, LLC
23600 Salamo Road
West Linn, Oregon 97068

GEOTECHNICAL ENGINEER

Geo Design, Inc.
17400 SW Upper Boones Ferry Rd.
Portland, OR 97224

CIVIL ENGINEER

WRG Design, Inc.
10450 SW Nimbus Ave.
Portland, OR 97223
(503) 603-9933
Project Manager: Randy Dyer, PE
Project Engineer: Jerry Slater, PE
Project Designer: Ben Ledesma

SURVEYOR

WRG Design, Inc.
10450 SW Nimbus Ave.
Portland, OR 97223
(503) 603-9933
Principal: Terry Goodman

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E1	Street Lighting Plan

SITE INFORMATION

GENERAL LOCATION

A 16.1 acre site on the west side of Day Road, and the south side of the old Parker Road alignment at the intersection of Day Road and Rosemont Road

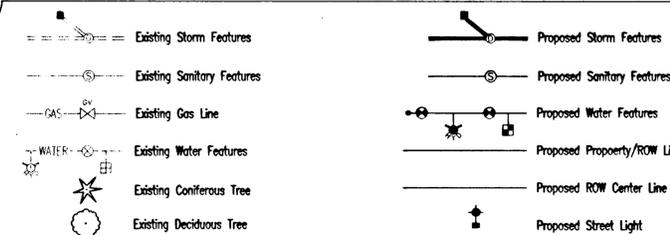
LEGAL LOCATION

In the SE 1/4 section of Section 26, Township 2 South, Range 1 East of the Willamette Meridian, in the County of Clackamas, in the State of Oregon.

BENCHMARK

City of West Linn Bench Mark 'B' is 93.5' East and 17.0' South of edge of pavement from 5-way intersection of Rosemont/Santa Ana. 3" cap on pipe with yellow water works lid. Elev: 667.22

LEGEND



Note: See Individual Cover Sheets for More Detailed Legends

GENERAL COVER SHEET
HOODVIEW TOWNHOMES

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

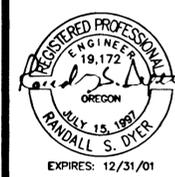
AS-BUILT DRAWING

05/04/2001
THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

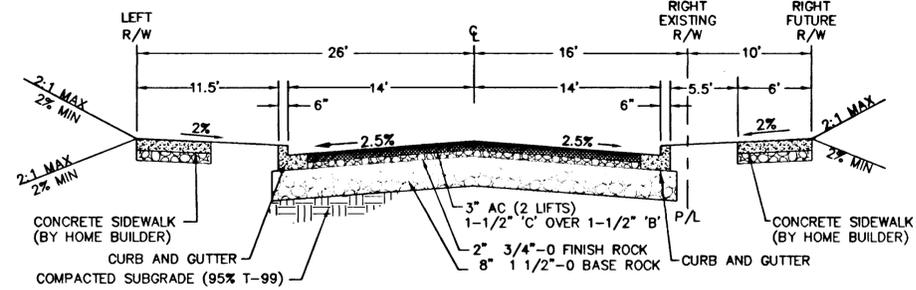
PROJECT NO.	JTS004
DATE	7/28/99
DESIGNED BY	J SLATER
ENGINEER	R DYER
CHECKED	

SHEET TITLE
TITLE SHEET
SHEET NUMBER

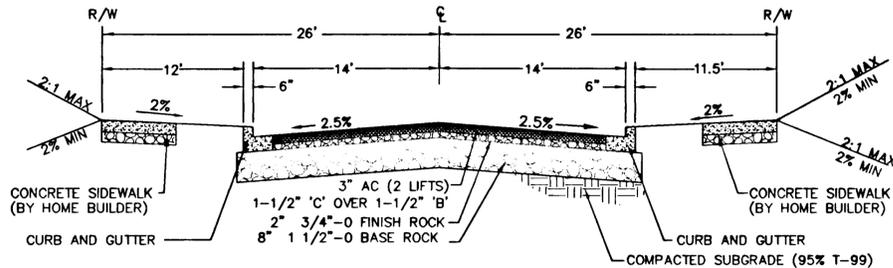
C000



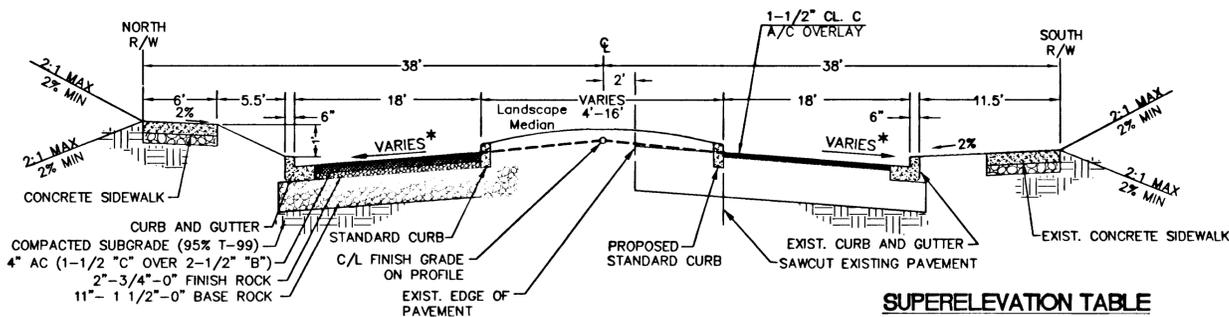
W R G
DESIGN INC.
10450 SW Nimbus Ave., Portland, Oregon 97223
503 | 603-9933 FAX: 503 | 603-9944
PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS • SURVEYORS



Hoodview Avenue / Noble Lane
Adjacent to City Parcel
N.T.S.



Hoodview Avenue and Noble Lane
TYPICAL SECTION
N.T.S.

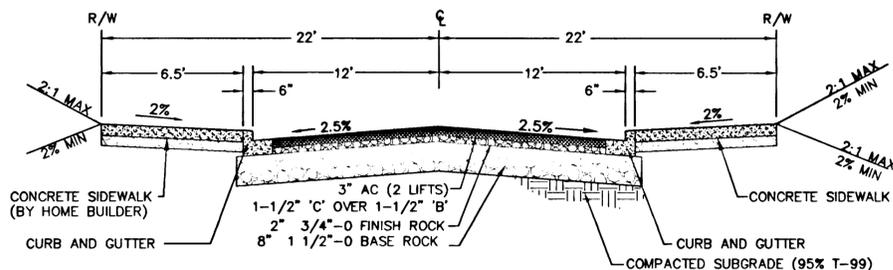


Parker Road (With Raised Median)
(Half Street Construction)
TYPICAL SECTION
N.T.S.

NOTE:
* REFER TO SUPERELEVATION TABLE

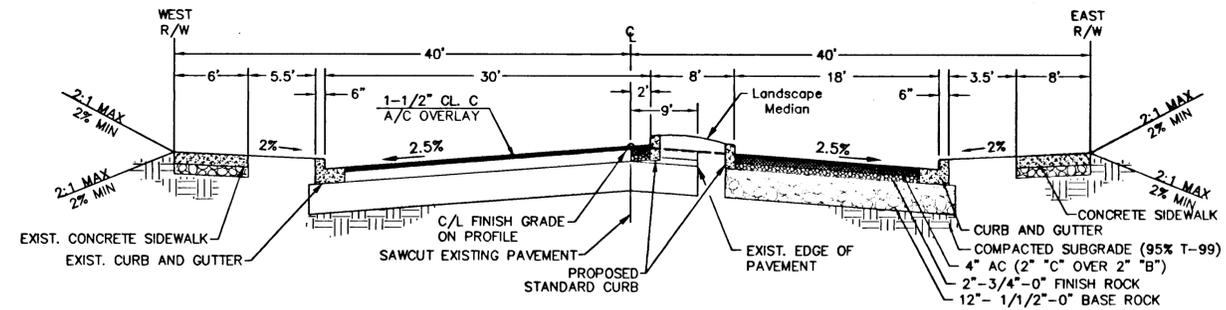
SUPERELEVATION TABLE

STATION	LEFT SLOPE	RIGHT SLOPE
10+50	-0.02	-0.02
13+96.26	-0.02	-0.02
14+96.00	-0.02	0.00
15+96.00	-0.02	0.02
17+83.00	-0.02	0.02
18+83.00	0.00	0.00
19+83.32	0.02	-0.02
22+35.43	0.02	-0.02
23+35.43	0.00	-0.02
24+35.93	-0.02	-0.02

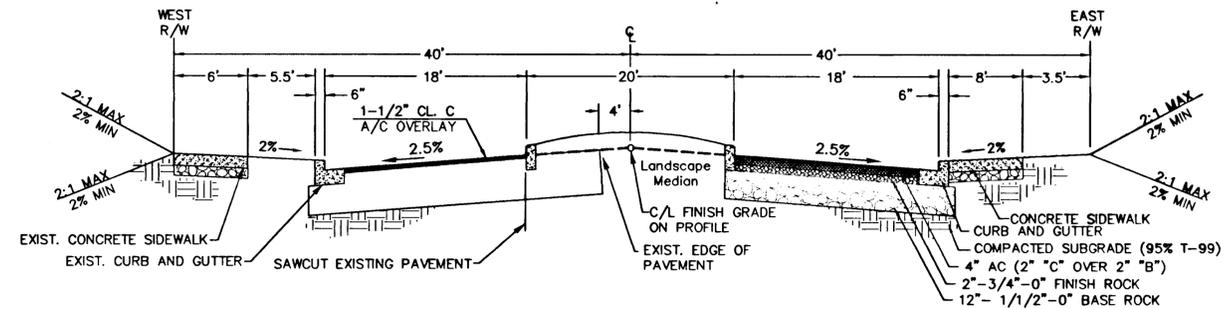


Hoodview Court
TYPICAL SECTION
N.T.S.

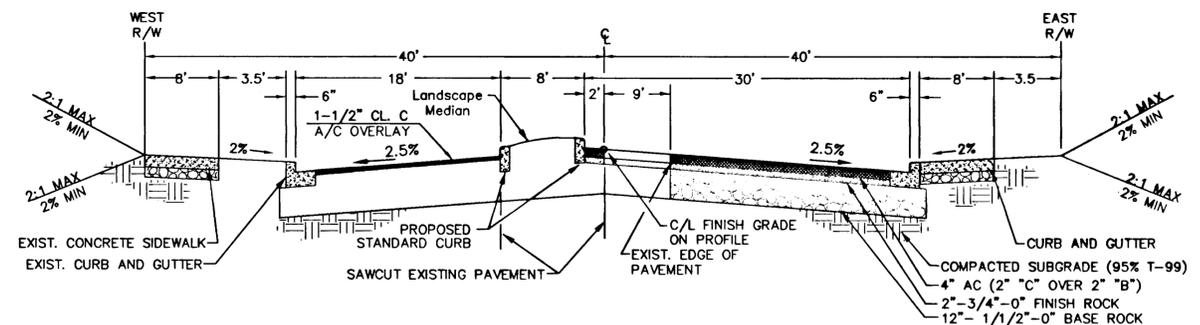
CONTRACTOR TO FIELD VERIFY ALL EXISTING ASPHALT GRADES PRIOR TO CURB CONSTRUCTION. REPORT ANY DISCREPANCIES TO ENGINEER FOR RESOLUTION.



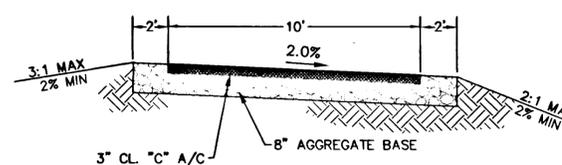
Day Road (With Raised Median)
STA. 58+55.00
N.T.S.



Day Road (With Raised Median)
STA. 60+50.00
N.T.S.



Day Road (With Raised Median)
STA. 68+00.00
N.T.S.



Old Parker (O.P.) Road
STA. 10+00.00
N.T.S.

WEST LINN, OREGON
0 10 20 30 40 50 60 70 80 90 100

10450 SW Nimbus Ave., Portland, Oregon 97223
503 | 603-9933 FAX: 503 | 603-9944
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TYPICAL STREET SECTIONS
HOODVIEW TOWNHOMES

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

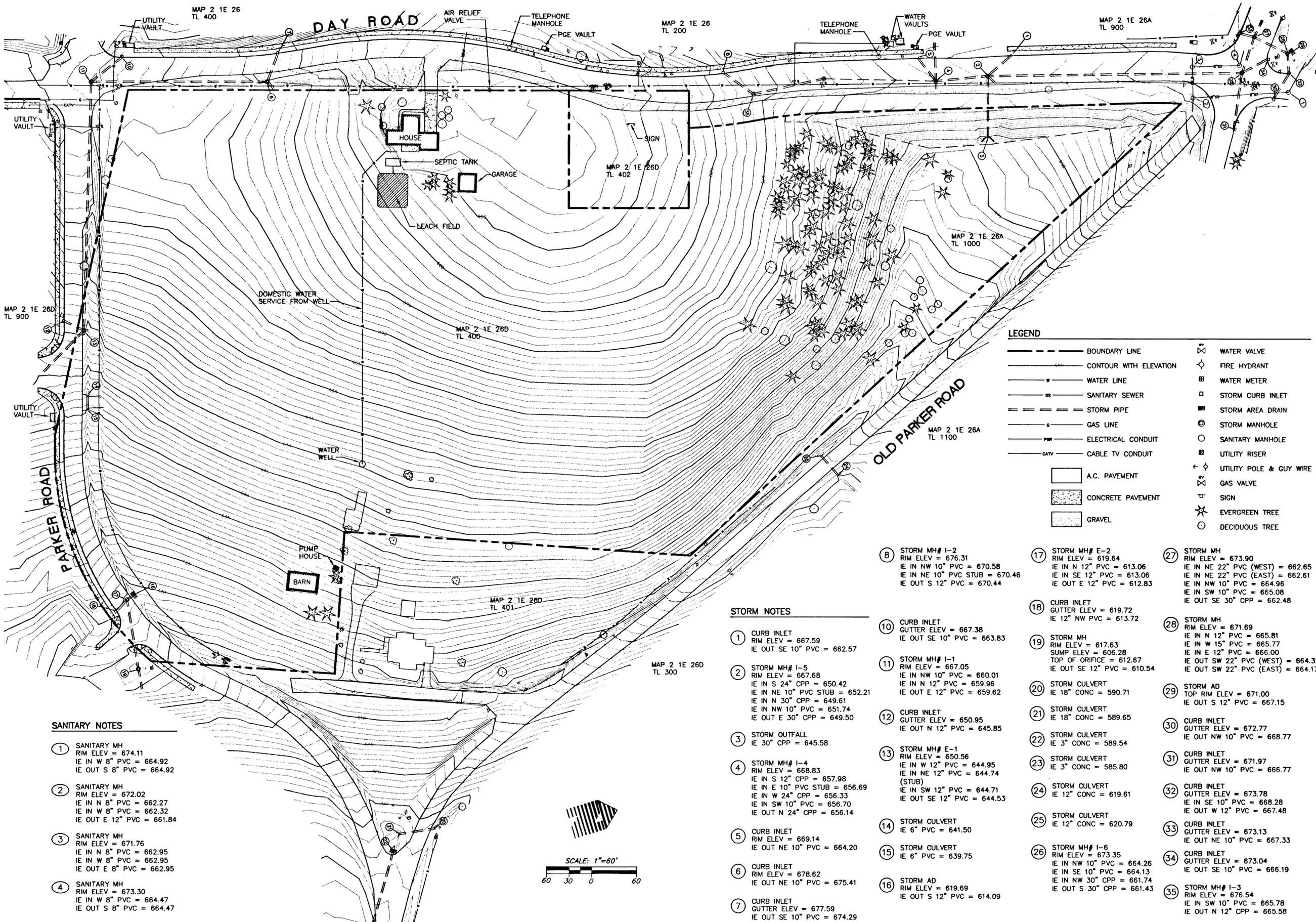
AS-BUILT DRAWING
05/04/2001

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PROJECT NO. JTS004
DATE 7/28/99
DESIGNED J SLATER
ENGINEER R DYER
CHECKED

SHEET TITLE TYP. SECTION
SHEET NUMBER

C001



W R G
 DESIGN
 10450 SW Nimbus Ave., Portland, Oregon 97223
 503 | 603-9933 FAX: 503 | 603-9944
 PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS • SURVEYORS

**EXISTING CONDITIONS PLAN
 HOODVIEW TOWNHOMES**

WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

**AS-BUILT
 DRAWING**

05/04/2001
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PROJECT NO.
JTS004
 DATE | 7/28/99
 DESIGNED | R DYER
 ENGINEER | R DYER
 CHECKED |

SHEET TITLE
EXISTING
 SHEET NUMBER
C002

LEGEND

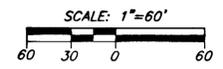
- | | | | |
|---|------------------------|---|-------------------------|
| — | BOUNDARY LINE | ⊗ | WATER VALVE |
| — | CONTOUR WITH ELEVATION | ⊙ | FIRE HYDRANT |
| — | WATER LINE | ⊕ | WATER METER |
| — | SANITARY SEWER | □ | STORM CURB INLET |
| — | STORM PIPE | ■ | STORM AREA DRAIN |
| — | GAS LINE | ⊙ | STORM MANHOLE |
| — | ELECTRICAL CONDUIT | ○ | SANITARY MANHOLE |
| — | CABLE TV CONDUIT | ⊕ | UTILITY RISER |
| □ | A.C. PAVEMENT | ⊕ | UTILITY POLE & GUY WIRE |
| ▨ | CONCRETE PAVEMENT | ⊕ | GAS VALVE |
| ▩ | GRAVEL | ⊕ | SIGN |
| | | ★ | EVERGREEN TREE |
| | | ○ | DECIDUOUS TREE |

STORM NOTES

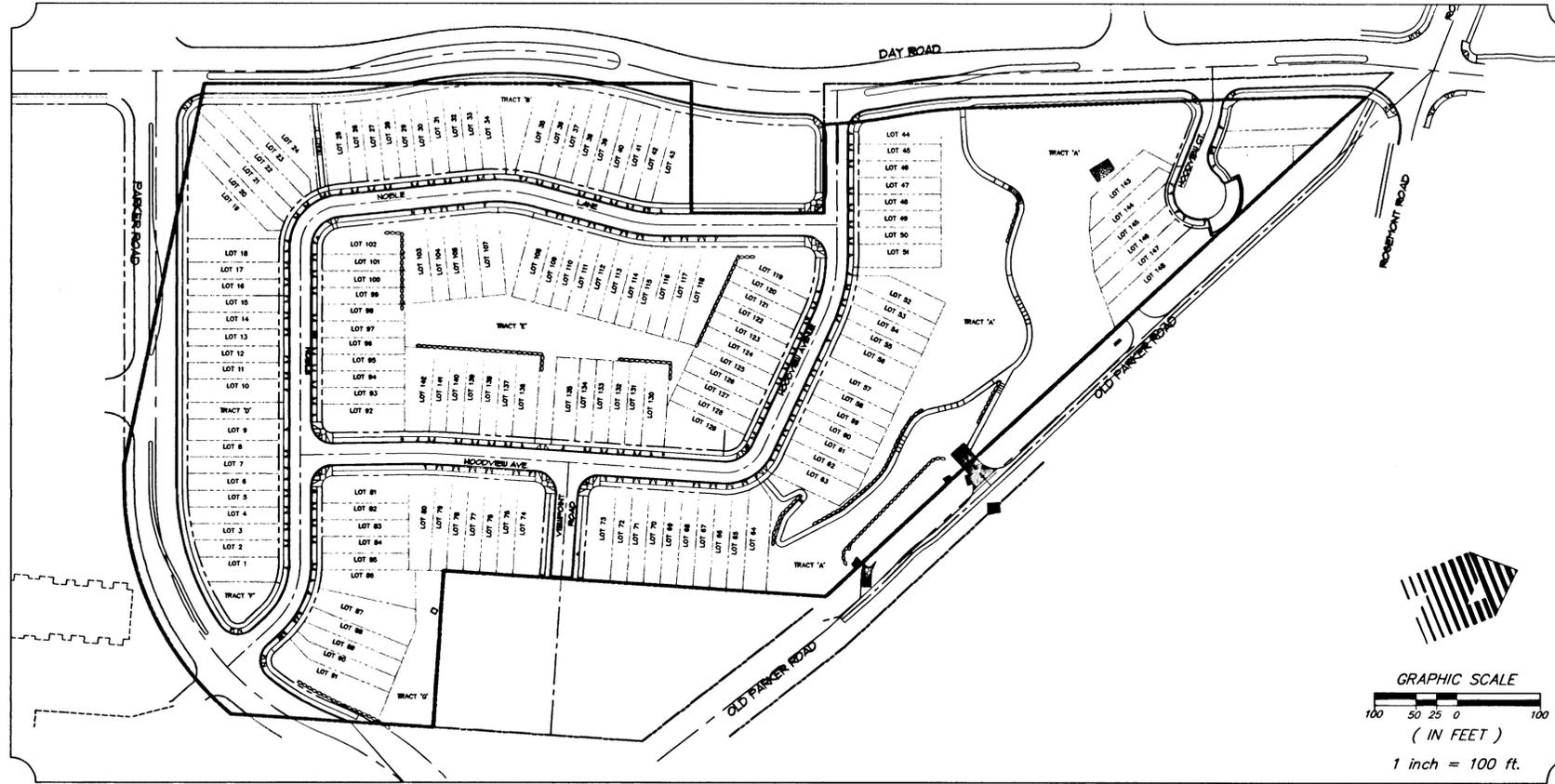
- 1 CURB INLET
RIM ELEV = 667.59
IE OUT SE 10" PVC = 662.57
- 2 STORM MH# 1-5
RIM ELEV = 667.68
IE IN S 24" CPP = 650.42
IE IN NE 10" PVC STUB = 652.21
IE IN N 30" CPP = 649.61
IE IN NW 10" PVC = 651.74
IE OUT E 30" CPP = 649.50
- 3 STORM OUTFALL
IE 30" CPP = 645.58
- 4 STORM MH# 1-4
RIM ELEV = 668.83
IE IN S 12" CPP = 657.98
IE IN E 10" PVC STUB = 656.69
IE IN W 24" CPP = 656.33
IE IN SW 10" PVC = 656.70
IE OUT N 24" CPP = 656.14
- 5 CURB INLET
RIM ELEV = 669.14
IE OUT NE 10" PVC = 664.20
- 6 CURB INLET
RIM ELEV = 678.62
IE OUT NE 10" PVC = 675.41
- 7 CURB INLET
GUTTER ELEV = 677.59
IE OUT SE 10" PVC = 674.29
- 8 STORM MH# 1-2
RIM ELEV = 676.31
IE IN NW 10" PVC = 670.58
IE IN NE 10" PVC STUB = 670.46
IE OUT S 12" PVC = 670.44
- 10 CURB INLET
GUTTER ELEV = 667.38
IE OUT SE 10" PVC = 663.83
- 11 STORM MH# 1-1
RIM ELEV = 667.05
IE IN NW 10" PVC = 660.01
IE IN N 12" PVC = 659.96
IE OUT E 12" PVC = 659.62
- 12 CURB INLET
GUTTER ELEV = 650.95
IE OUT N 12" PVC = 645.85
- 13 STORM MH# E-1
RIM ELEV = 650.56
IE IN W 12" PVC = 644.95
IE IN NE 12" PVC = 644.74 (STUB)
IE IN SW 12" PVC = 644.71
IE OUT SE 12" PVC = 644.53
- 14 STORM CULVERT
IE 6" PVC = 641.50
- 15 STORM CULVERT
IE 6" PVC = 639.75
- 16 STORM AD
RIM ELEV = 619.69
IE OUT S 12" PVC = 614.09
- 17 STORM MH# E-2
RIM ELEV = 619.64
IE IN N 12" PVC = 613.06
IE IN SE 12" PVC = 613.06
IE OUT E 12" PVC = 612.83
- 18 CURB INLET
GUTTER ELEV = 619.72
IE 12" NW PVC = 613.72
- 19 STORM MH
RIM ELEV = 617.63
SUMP ELEV = 606.28
TOP OF ORIFICE = 612.67
IE OUT SE 12" PVC = 610.54
- 20 STORM CULVERT
IE 18" CONC = 590.71
- 21 STORM CULVERT
IE 18" CONC = 589.65
- 22 STORM CULVERT
IE 3" CONC = 589.54
- 23 STORM CULVERT
IE 3" CONC = 585.80
- 24 STORM CULVERT
IE 12" CONC = 619.61
- 25 STORM CULVERT
IE 12" CONC = 620.79
- 26 STORM MH# 1-6
RIM ELEV = 673.35
IE IN NW 10" PVC = 664.26
IE IN SE 10" PVC = 664.13
IE IN NW 30" CPP = 661.74
IE OUT S 30" CPP = 661.43
- 27 STORM MH
RIM ELEV = 673.90
IE IN NE 22" PVC (WEST) = 662.65
IE IN NE 22" PVC (EAST) = 662.61
IE IN NW 10" PVC = 664.96
IE IN SW 10" PVC = 665.08
IE OUT SE 30" CPP = 662.48
- 28 STORM MH
RIM ELEV = 671.69
IE IN N 12" PVC = 665.81
IE IN W 15" PVC = 665.77
IE IN E 12" PVC = 666.00
IE OUT SW 22" PVC (WEST) = 664.32
IE OUT SW 22" PVC (EAST) = 664.17
- 29 STORM AD
TOP RIM ELEV = 671.00
IE OUT S 12" PVC = 667.15
- 30 CURB INLET
GUTTER ELEV = 672.77
IE OUT NW 10" PVC = 668.77
- 31 CURB INLET
GUTTER ELEV = 671.97
IE OUT NW 10" PVC = 666.77
- 32 CURB INLET
GUTTER ELEV = 673.78
IE IN SE 10" PVC = 668.28
IE OUT W 12" PVC = 667.48
- 33 CURB INLET
GUTTER ELEV = 673.13
IE OUT NE 10" PVC = 667.33
- 34 CURB INLET
GUTTER ELEV = 673.04
IE OUT SE 10" PVC = 666.19
- 35 STORM MH# 1-3
RIM ELEV = 676.54
IE IN SW 10" PVC = 665.78
IE OUT N 12" CPP = 665.58

SANITARY NOTES

- 1 SANITARY MH
RIM ELEV = 674.11
IE IN W 8" PVC = 664.92
IE OUT S 8" PVC = 664.92
- 2 SANITARY MH
RIM ELEV = 672.02
IE IN N 8" PVC = 662.27
IE IN W 8" PVC = 662.32
IE OUT E 12" PVC = 661.84
- 3 SANITARY MH
RIM ELEV = 671.76
IE IN N 8" PVC = 662.95
IE IN W 8" PVC = 662.95
IE OUT E 8" PVC = 662.95
- 4 SANITARY MH
RIM ELEV = 673.30
IE IN W 8" PVC = 664.47
IE OUT S 8" PVC = 664.47



Hoodview Townhomes



GENERAL GRADING CONTROL NOTES

- CONTRACTOR SHALL REMOVE ALL TREES (MARKED), SHRUBS, RUBBISH, AND MAN-MADE STRUCTURES INCLUDING, BUT NOT LIMITED TO, CONCRETE SLABS, SPIGOTS, WALLS, VAULTS, FOOTINGS, ASPHALTIC PAVED SURFACES, GRAVELED AREAS, SHEDS OR OTHER FREE-STANDING BUILDINGS CONSTRUCTED OF WOOD, CONCRETE, METAL, ETC., BUILDING FOUNDATIONS, FENCES, RAILING, MACHINERY, ETC. FROM THE ENTIRE SITE. THE ITEMS LISTED ABOVE SHALL BE DISPOSED OF OFF-SITE. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VISIT THE SITE AND CONFIRM THE NUMBER OF ITEMS TO BE REMOVED.
- ALL BURIED STRUCTURES (I.E. LEACH LINES, DRAIN TILE, PIPES, SEPTIC TANKS) NOT DESIGNATED TO REMAIN ON THE SITE, SHALL BE REMOVED AND THE RESULTING EXCAVATIONS SHALL BE PROPERLY BACKFILLED AND COMPACTED PRIOR TO ANY GRADING OR FILLING OPERATIONS. THIS IS TO INCLUDE STUMPS AND ROOTBALLS OF TREES TO BE REMOVED FROM THE SITE.
- ALL UNSUITABLE MATERIAL (SOIL & VEGETATION) REMOVED DURING THE CLEARING AND GRUBBING OPERATIONS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A SUITABLE LOCATION APPROVED BY THE ENGINEER.
- EXCAVATORS MUST COMPLY WITH ALL PROVISIONS OF ORS 757.541 TO 757.571 BY CONTACTING THE OREGON UTILITY NOTIFICATION CENTER AT LEAST 2 BUSINESS DAYS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING EXCAVATION. ON CALL NUMBER IS 246-6699. EXCEPTIONS APPLY, SEE ORS FOR EXACT DETAILS.
- ALL EXCESS MATERIAL (SUITABLE OR UNSUITABLE) NOT UTILIZED ON-SITE SHALL BE REMOVED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.
- EXISTING TREES 10' BEYOND DRIPLENE AND TREES NOT DESIGNATED TO BE REMOVED SHALL BE PROTECTED AT ALL TIMES. A TREE CUTTING PERMIT MUST BE OBTAINED FROM THE CITY OF WEST LINN PRIOR TO THE REMOVAL OF ANY TREES.
- THE CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO PERFORM WORK WITHIN THE DESIGNATED WORK LIMITS. EXISTING FENCES AND OR LANDSCAPING OUTSIDE THE PROJECT LIMITS DISTURBED OR REMOVED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED IN-KIND. CONTRACTOR SHALL COORDINATE WITH INDIVIDUAL PROPERTY OWNERS. THE CONTRACTOR SHALL PROVIDE COPIES OF RELEASE & WAIVER DOCUMENTS TO THE CITY, FROM ALL IMPACTED OWNERSHIPS PRIOR TO THE CITY CONDITIONAL ACCEPTANCE OF PROJECT WORK.
- OWNER/ENGINEER SHALL REVIEW TESTING FOR ALL FILL PLACED IN EXCESS OF 1 FOOT IN DEPTH. CONTRACTOR SHALL BE RESPONSIBLE FOR REQUESTING TESTING AS REQUIRED.
- ON-SITE WELLS SHALL BE ABANDONED AT THE EXPENSE OF THE CONTRACTOR IN ACCORDANCE WITH OREGON STATE WATER RESOURCES DEPARTMENT REQUIREMENTS.
- NO TOP-SOIL/STRIPPING MATERIAL SHALL BE PLACED ON THE LOT AREAS.
- A DEMOLITION PERMIT IS REQUIRED TO BE SECURED FROM THE CITY BUILDING DEPARTMENT PRIOR TO THE REMOVAL OF ANY EXISTING STRUCTURES.

INDEX OF GRADING SHEETS

GRADING AND EROSION CONTROL CONSTRUCTION PLANS

- C003 Grading/Erosion Control Cover Sheet
- C004 Grading and Erosion Control Plan
- C005 Grading and Erosion Control Details
- C006 Rock Retaining Wall Plan
- C007 Pedestrian Pathway Plan

LEGEND

- Install Rock Wall
- Existing 10' Contour
- Existing 2' Contour
- Proposed 10' Contour
- Proposed 2' Contour
- Existing Coniferous tree to remain
- Existing Deciduous tree to remain
- 3-Rail PVC Fence (Not in Contract)
- 6' High Cedar Fence (Not in Contract)
- Existing Storm Features
- Existing Sanitary Features
- Existing Gas Line
- Existing Water Features
- Existing Coniferous Tree
- Existing Deciduous Tree
- Proposed Storm Features
- Proposed Sanitary Features
- Proposed Water Features
- Proposed Property/ROW Line
- Proposed ROW Center Line
- Proposed Street Light



GRADING/EROSION CONTROL COVER SHEET
HOODVIEW TOWNHOMES

WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

AS-BUILT DRAWING

05/04/2001

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PROJECT NO.

JTS004

DATE 7/28/99

DESIGNED J SLATER

ENGINEER R DYER

CHECKED

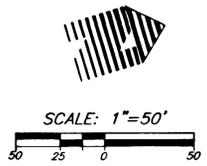
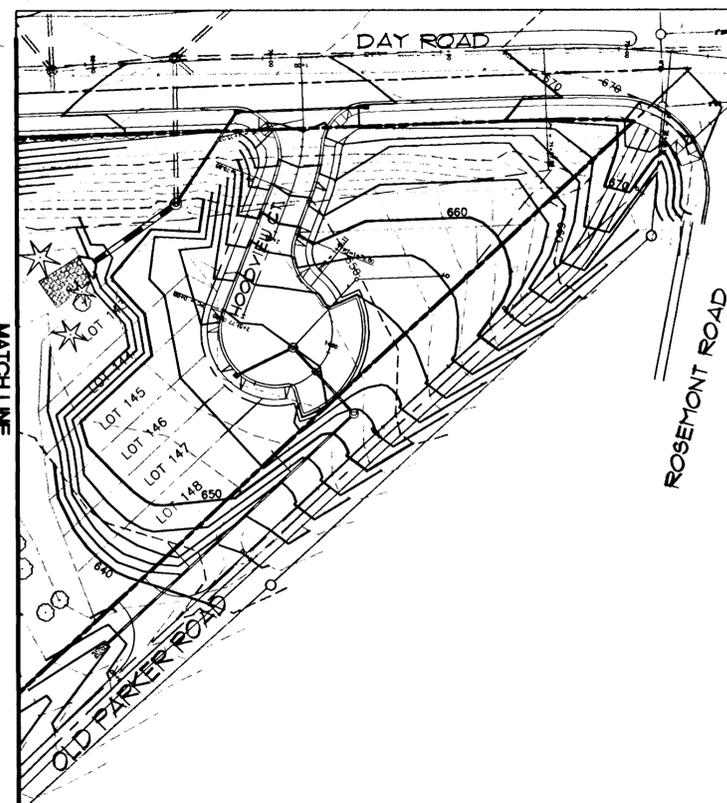
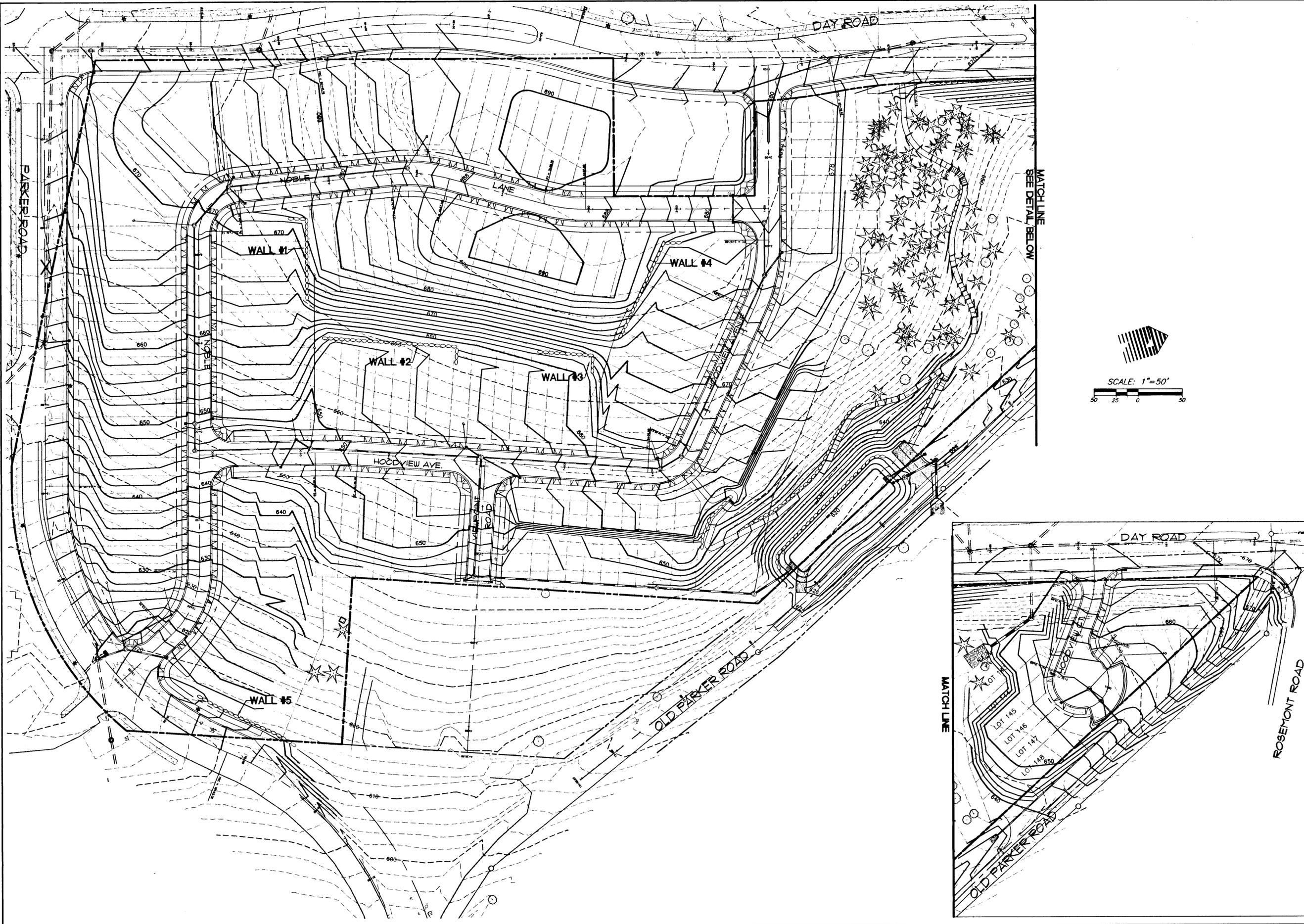
SHEET TITLE

GRADING/EROSION

SHEET NUMBER

C003

W R G
D E S I G N
 10450 SW Nimbus Ave., Portland, Oregon 97223
 503 | 603-9933 FAX: 503 | 603-9944
 PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS • SURVEYORS



W R G
DESIGN INC.

10450 SW Nimbus Ave., Portland, Oregon 97223
503 | 603-9933 FAX: 503 | 603-9944
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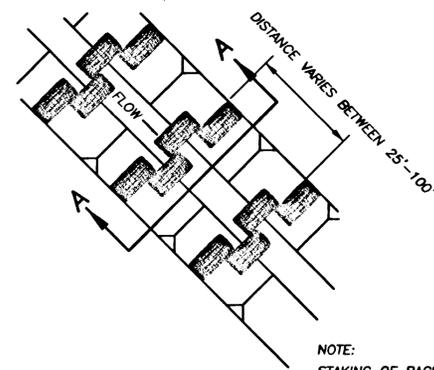
**GRADING/EROSION CONTROL PLAN
HOODVIEW TOWNHOMES**

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

AS-BUILT DRAWING
05/04/2001
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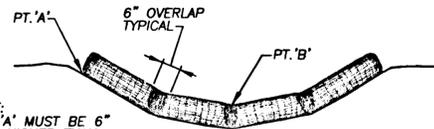
PROJECT NO. **JTS004**
DATE 7/28/99
DESIGNED J. SLATER
ENGINEER R. DYER
CHECKED _____

SHEET TITLE _____
GRADING/EROSION
SHEET NUMBER _____
C004



PLAN VIEW
NTS

NOTE:
STAKING OF BAGS MAY BE
REQUIRED USING (2) 1" x 2"
WOOD STAKES OR APPROVED
EQUAL PER BAG.

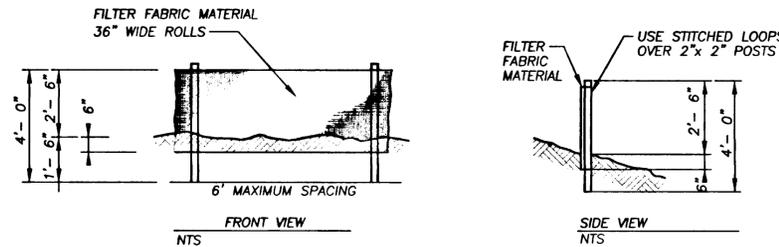


SECTION A-A
NTS

NOTE:
PT. 'A' MUST BE 6"
MIN. HIGHER THAN
PT. 'B'

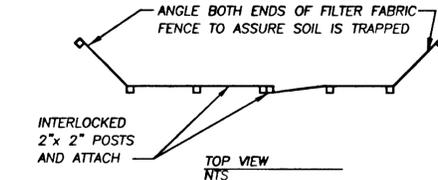
**BIOFILTER BAG
DITCHES & SWALES**

NTS



FRONT VIEW
NTS

SIDE VIEW
NTS



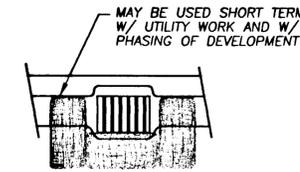
TOP VIEW
NTS

SEDIMENT FENCE

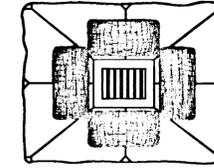
NTS

NOTES:

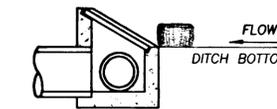
1. BURY BOTTOM OF FILTER FABRIC 6" VERTICALLY BELOW FINISHED GRADE.
2. 2" x 2" FIR, PINE OR STEEL FENCE POSTS.
3. STITCHED LOOPS TO BE INSTALLED UPHILL SIDE OF SLOPE.
4. COMPACT ALL AREAS OF FILTER FABRIC TRENCH.



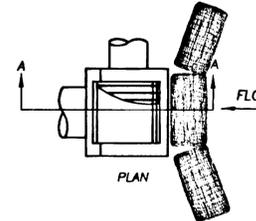
CATCH BASIN
NTS



AREA DRAIN
NTS



SECTION A-A
NTS



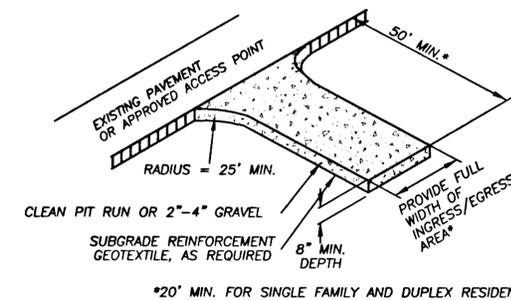
PLAN
NTS

BIO-BAG INLET PROTECTION

NTS

EROSION CONTROL NOTES:

1. CONTRACTOR SHALL REMAIN WITHIN WORK AREA AS SHOWN ON PLAN. CONTRACTOR SHALL NOT DISTURB VEGETATION OUTSIDE DESIGNATED WORK AREA. NECESSARY STAGING SHALL BE DONE WITHIN WORK AREA. CONTRACTOR MUST NOTIFY CCSD#1 24 HOURS PRIOR TO BEGINNING CONSTRUCTION AT 650-3737.
2. THE FOLLOWING EROSION CONTROL MEASURES SHALL BE TAKEN:
 - A. SEDIMENT FENCES AND GRAVEL ENTRANCE SHALL BE INSTALLED PRIOR TO ANY FIELD CONSTRUCTION, EXCEPT AS INDICATED ON THE PLANS, IN LOCATIONS SHOWN ON PLANS.
 - B. SEDIMENT FENCE SHALL BE WOVEN GEOTEXTILE FABRIC, AND SHALL BE STAKED IN PLACE, ANCHORED ALONG THE BOTTOM OF THE FABRIC. 6" EMBEDMENT, PER STANDARD DETAIL. SEDIMENT FENCE SHALL BE CONTINUOUS WITHOUT GAPS IN THE AREAS SHOWN.
 - C. SEDIMENT FENCES SHALL BE MAINTAINED DURING THE PERIOD OF CONSTRUCTION AND FINAL ACCEPTANCE OF THE PROJECT BY THE CITY OF WEST LINN.
 - D. ALL DISTURBED AREAS SHALL BE SEEDED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION. ALL DISTURBED AREAS STEEPER THAN 15% SHALL BE MULCHED WITH 2 INCH THICKNESS OF STRAW MULCH AFTER SEEDING.
 - E. CONTRACTOR SHALL BE RESPONSIBLE TO RESEED AND REPAIR ANY ERODED AREAS (GREATER THAN 1 C.Y.) WITHIN WORK AREA UNTIL FINAL ACCEPTANCE OF THE PROJECT BY THE CITY OF WEST LINN.
 - F. HAY BALES IN DRAINAGE CHANNEL SHALL BE HAND-PLACED AND STAKED IN PLACE, PER STANDARD DETAIL. HAY BALES SHALL BE REPLACED WHEN EXCESSIVELY LOADED WITH SEDIMENT AND NO LONGER FUNCTIONAL.
 - G. GRAVEL CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT LOCATION OF PROPOSED STREET ACCESS ON PARKER ROAD. ALL CONSTRUCTION VEHICLES LEAVING SITE SHALL LEAVE BY DRIVING ACROSS THIS GRAVEL ENTRANCE. IF GRAVEL ENTRANCE BECOMES FILLED WITH MUD AND IS NO LONGER FUNCTIONAL, ADDITIONAL GRAVEL SHALL BE PLACED.
 - H. CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL MEASURES AS MAY BE REQUIRED TO MEET CITY OF WEST LINN STANDARDS AND AS NECESSARY TO PREVENT SEDIMENT REMOVAL FROM SITE TO THE EXTENT PRACTICAL.
 - I. STORM DRAIN INLET PROTECTION BARRIER SHALL BE PROVIDED FOR ALL CATCH BASINS.
 - J. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF CLACKAMAS COUNTY'S "EROSION CONTROL PLANS AND TECHNICAL GUIDANCE HANDBOOK", DATED AUGUST 1994.
 - K. SEDIMENT FENCING SHALL BE ORIENTED PRIMARILY ALONG LINES CONTOURING THE SLOPE. SHORT SPURS OF FENCING WILL BE USED WHERE NECESSARY. AT THE BASE OF ALL FILL SLOPES - SILT FENCE SHALL BE IN PLACE BEFORE PLACEMENT OF ANY FILL. SEDIMENT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL LIFE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN SEEDED AND MULCHED.
3. ANY EXCAVATION SPOILS, IN EXCESS OF FILL REQUIREMENTS SHOWN ON THE PLANS, SHALL NOT BE PLACED ON THE SITE, EXCEPT AS SHOWN. SUCH EXCESS SPOILS, WHICH ARE NOT SUITABLE FOR FILL, SHALL BE HAULED TO AN OFF-SITE LOCATION AT NO ADDITIONAL COST TO THE OWNER.
4. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENTS, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND ACCEPTED BY THE CITY OF WEST LINN. OWNER IS RESPONSIBLE FOR ALL SUCH ESC MAINTENANCE AFTER FINAL ACCEPTANCE BY COUNTY UNTIL VEGETATION IS ESTABLISHED OR UNTIL SALE OF LOTS BY OTHERS.
5. THE BOUNDARIES OF THE WORK LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
6. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
7. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THE CONTRACTOR SHALL UPGRADE THESE FACILITIES AS NEEDED, AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER ARE MINIMAL TO THE EXTENT POSSIBLE.
8. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
9. THE ESC FACILITIES SHALL BE INSPECTED IMMEDIATELY FOLLOWING A STORM EVENT DURING CONSTRUCTION, AND SHALL BE INSPECTED A MINIMUM OF ONCE A MONTH BY THE OWNER FOLLOWING FINAL ACCEPTANCE BY THE CITY OF WEST LINN.
10. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
11. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
12. AREAS DESIGNATED TO BE FILLED SHALL BE STRIPPED OF VEGETATION AND ORGANIC MATERIAL PRIOR TO FILL PLACEMENT.
13. ALL RESIDENTIAL SITE CONSTRUCTION AND EASEMENT WORK PERFORMED IN OR NEAR THE PROPOSED OPEN SPACE, OR CONSERVATION EASEMENT AREA BOUNDARIES SHALL NOT IMPOSE ANY PERMANENT NEGATIVE EFFECTS TO THE DESCRIBED AREAS. ALL CONSTRUCTION DEBRIS, SURPLUS GRADING MATERIAL, CUT OR FALLEN LIMBS, STUMPS, SNAGS, OR CLIPPINGS, OR OTHER DELETERIOUS OR FOREIGN MATERIAL, SHALL BE REMOVED AND SHALL NOT BE PUSHED INTO THE OPEN AREAS.
14. RIGHT OF WAY AREAS BEHIND BACK OF CURB SHALL BE ROUGH GRADED FOR SIDEWALK AT A SLOPE OF 2%. CUT SLOPES FROM STREET RIGHT-OF-WAY TO BACK EDGE OF PUBLIC UTILITY EASEMENT 5' BEHIND EDGE OF RIGHT OF WAY, (8' PUE) SHALL BE GRADED AT A MAXIMUM SLOPE OF 5H:1V. SLOPES FROM BACK EDGE OF 8' PUE ONTO LOTS SHALL NOT EXCEED 3H:1V. FOR STREET CROSS SECTIONS SEE SHEET 4.
15. FINAL GRADES SHOWN ON PLANS TO DIRECT SURFACE DRAINAGE TO STREET OR APPROVED STORM DRAINAGE SYSTEM.
16. ALL CATCH BASINS, MANHOLES AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TOPAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
17. ANY IN-STREAM WORK SHALL BE SCHEDULED IN STRICT ACCORDANCE WITH SPECIFIC LOCAL REQUIREMENTS OF THE DIVISION OF STATE LANDS, AND OREGON DEPARTMENT OF FISH AND WILDLIFE.
18. AFTER NOVEMBER 1 ALL BARE SOIL SHALL BE RE-SEEDED, COVERED WITH AN APPROPRIATE EROSION CONTROL BLANKET, AND FERTILIZED. WHERE RAPID GERMINATION IS REQUIRED USE ANNUAL RYEGRASS BLEND AS RECOMMENDED IN THE "TECHNICAL GUIDANCE HANDBOOK".
19. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND MAINTAINING ALL IMPACTED EXISTING STORM FACILITIES FOR THE DURATION OF CONSTRUCTION AND FINAL ACCEPTANCE BY THE CITY OF WEST LINN.



GRAVEL CONSTRUCTION ENTRANCE

NTS

W R G
DESIGN
10450 SW Nimbus Ave., Portland, Oregon 97223
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**GRADING AND EROSION CONTROL DETAILS
HOODVIEW TOWNHOMES**

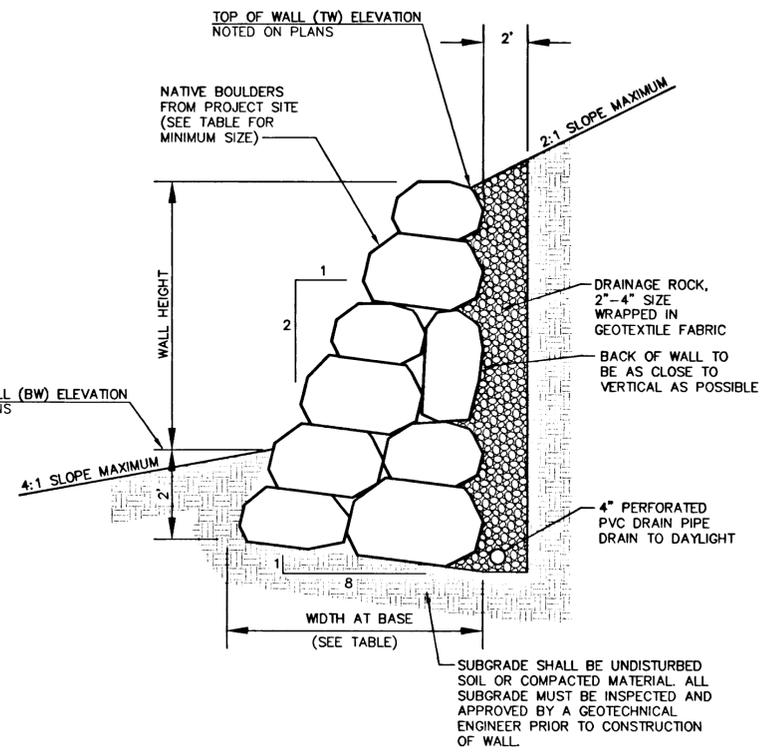
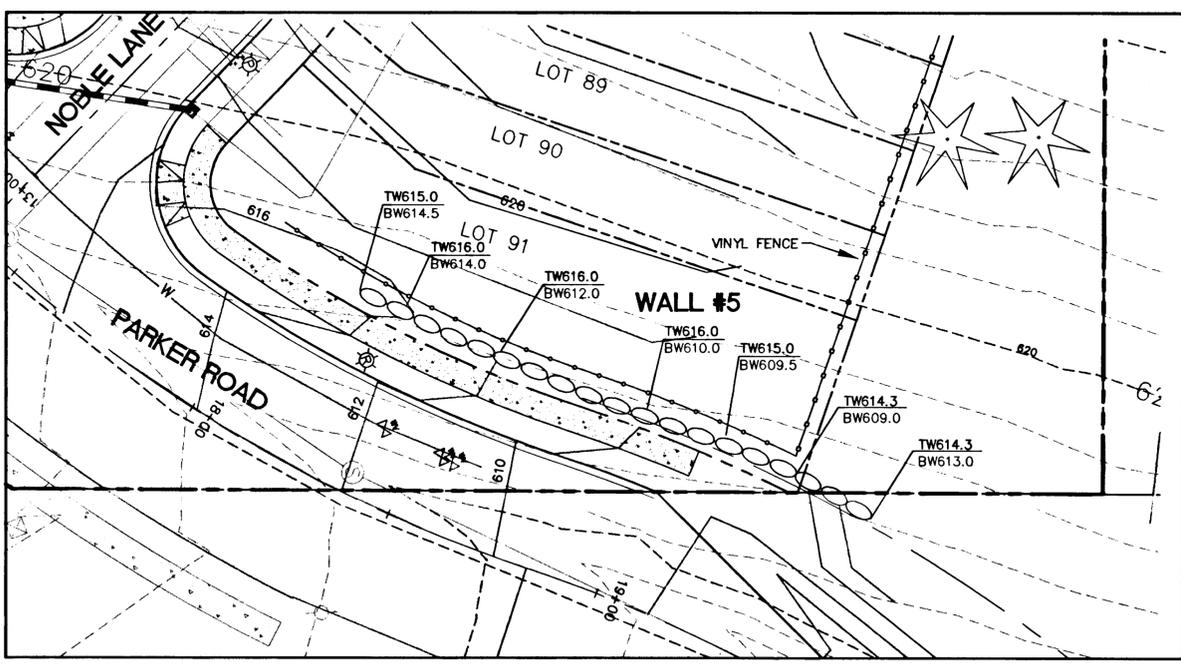
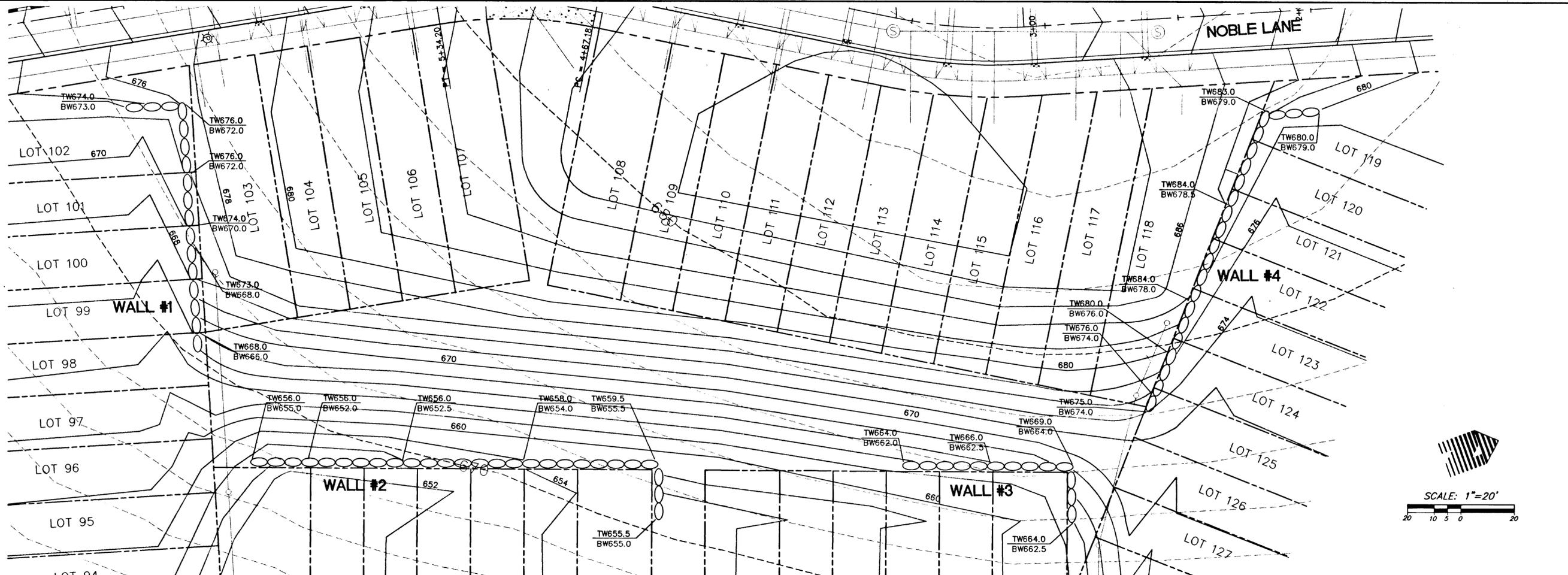
WEST LINN, OREGON
HOODVIEW ESTATES, LLC

**AS-BUILT
DRAWING**

05/04/2001
THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

PROJECT NO.
JTS004
DATE | 7/16/99
DESIGNED | J SLATER
ENGINEER | R DYER
CHECKED |

SHEET TITLE
GRADING/EROSION
SHEET NUMBER
C005



WALL HEIGHT (FT)	MINIMUM WIDTH AT BASE (FT)	MINIMUM ROCK SIZE	
		DIAMETER	APPROXIMATE WEIGHT (LBS)
2	3.25	15"	120 - 250
3	3.75	15"	120 - 250
4	4.25	15"	120 - 250
5	5.00	18"	220 - 420
6	5.75	21"	340 - 670
7	6.50	24"	510 - 1000
8	7.25	27"	730 - 1430

W R G
 DESIGN INC.
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**ROCK RETAINING WALL PLAN
 HOODVIEW TOWNHOMES**

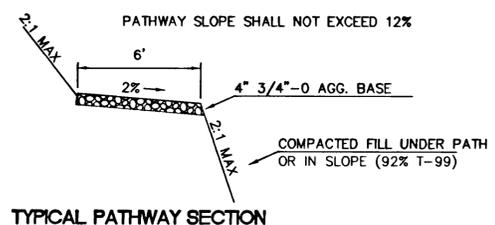
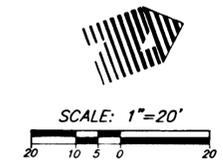
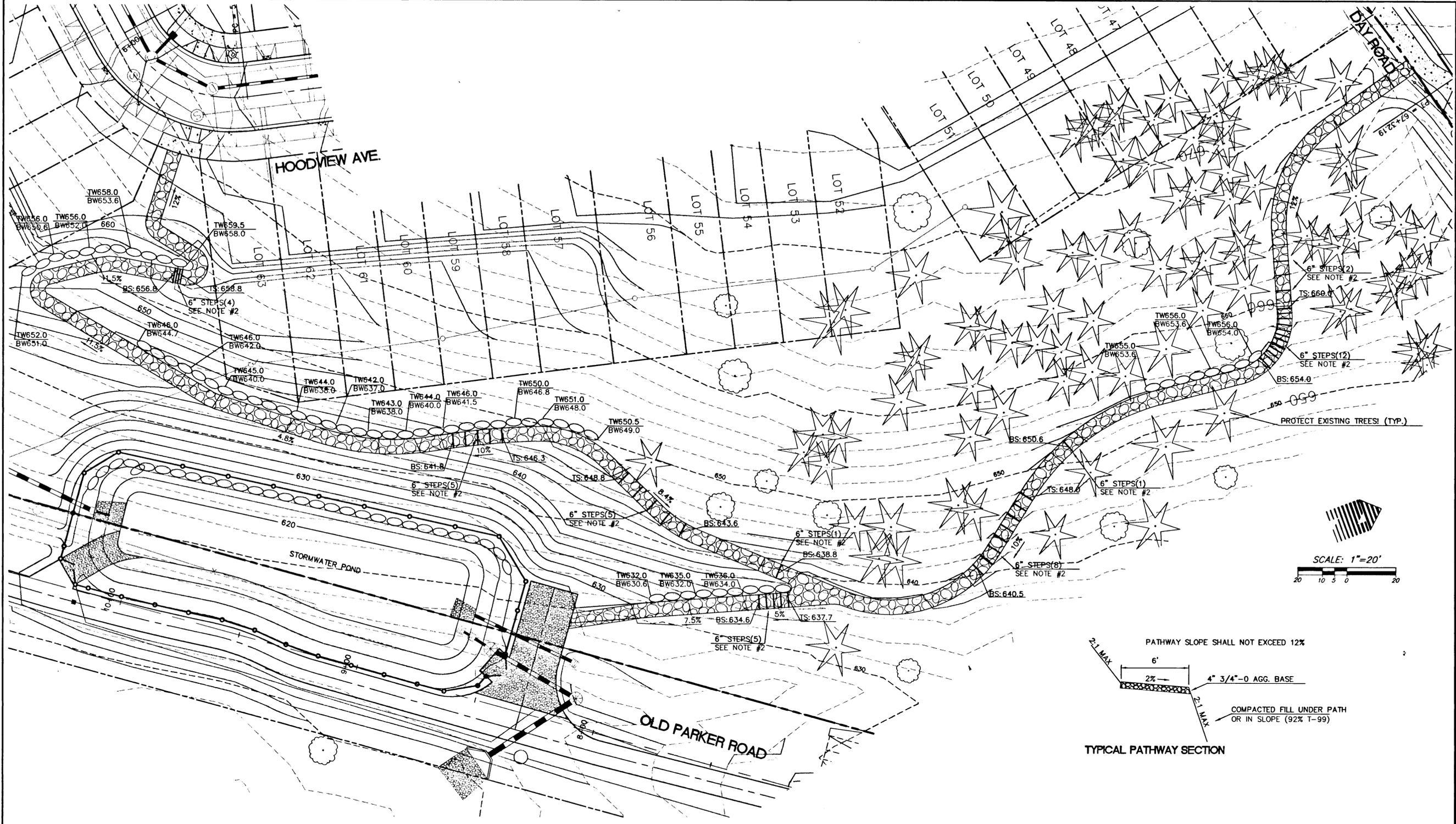
WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

**AS-BUILT
 DRAWING**
 05/04/2001

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PROJECT NO. **JTS004**
 DATE **7/28/99**
 DESIGNED **J SLATER**
 ENGINEER **R DYER**
 CHECKED

SHEET TITLE **GRADING/EROSION**
 SHEET NUMBER **C006**



- NOTES:**
1. SEE SHEET C006 FOR ROCK WALL DETAIL
 2. 6" STEPS SHALL BE UNTREATED RAILROAD TIES OR APPROVED EQUAL

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**PEDESTRIAN PATHWAY PLAN
 HOODVIEW TOWNHOMES**

WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

**AS-BUILT
 DRAWING**

05/04/2001
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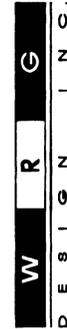
PROJECT NO.
JTS004
 DATE 7/28/99
 DESIGNED J SLATER
 ENGINEER R DYER
 CHECKED

SHEET TITLE
GRADING/EROSION
 SHEET NUMBER
C007

CONDITIONS OF APPROVAL

City of West Linn
Final Decision Notice
Conditions of Approval
March 30, 1999

1. The applicant shall provide a 40-foot transition between the townhomes and the adjacent Morton Property. Instead of a landscaped berm, a six-foot high fence shall be installed on the property line with landscaping behind per landscape plan (e.g., 1-1/2 inch caliper trees at 30 ft. on center). This buffer will involve shifting the project 12 feet to the northwest.
2. The applicant shall use the architectural elevations prepared by Gregg Creighton (architect) dated 22 November, '98 identified as Exhibit PC-2 with the exception that in 6- to 10-plexes, at least two or three shed dormer roofs shall be used instead of gable dormer roofs.
3. Transition Option TB, as described on the Montgomery Watson report titled Horton Pump Station Improvements Concept Design dated February 1999 shall be designed and constructed. There shall be no issuance of final occupancy permits for any units within the Hood View Townhomes development until transition Option TB is in operation. The City Engineer has indicated that Transition Option TB shall be in place by April 1, 2000. If at any time it appears that Transition Option TB will not be operational by that time, the applicant may seek modification of this condition to allow some or all of the occupancy permits to be issued.
4. The Hood View Avenue waterline connection to the Salamo (Day) Road 12-inch water transmission main shall connect at Tract 'B' unless approved otherwise by the City Engineer.
5. The sanitary sewer system for both phases of the project shall connect to the new sanitary sewer main which will be constructed within Parker Road.
6. Water quality and detention facilities shall be constructed for Phase 1 and Phase 2 portions of the project prior to final platting of each phase. There shall be no direct discharge into Tanner Creek without first passing through a water quality treatment facility. An all-weather service drive (14 feet wide) and access easement shall be provided to allow access by City workers to the detention tanks. Facilities in the old Parker right-of-way shall be designed in swale-like configuration and planted with riparian/wetland landscaping. Vehicular access for maintenance shall be provided. This design shall meet the City Engineer's and Planning Director's approval.
7. All curbs and gutters shall be standard curb and gutter. Rollover type curb and gutter shall not be allowed.
8. The applicant shall dedicate sufficient right-of-way on its side of Salamo Road to provide a total right of way of 80 feet, and shall construct the remaining half-street improvements along the entire frontage including the 160-foot frontage of tax lot 402 on Salamo road, which is not part of this application. Half-street improvements shall include median island, 18-foot wide driving lane, 8-foot wide walkway, varying width planter strip, and street lights.
9. The applicant shall dedicate sufficient right-of-way on its side of Parker Road to provide total right-of-way of 76 feet, and shall construct the remaining half-street improvements along its frontage. Half-street improvements shall be the median island, 18-foot wide street, 6-foot wide sidewalk, 6-foot wide planter strip, and street lights.
10. Change the name of Mountainview Avenue to one that is not used, or similar to one used, in the City.
11. The applicant shall comply with the Oregon Structural Specialty Code and Fire Code especially relating to fire fighting access and sprinkling of units.
12. All private fences must be of the same material and design and approved by the Planning Director. The Covenants, Conditions, and Restrictions of this project shall include this requirement.
13. The main body paint scheme must change after every three or five attached units. For example, a 6-plex would have two base colors. This could entail one color for units 1-3, another for units 4-6. Other configurations will be considered. The Planning Director must approve the colors.
14. The applicant shall obtain a sidewalk easement from the City to accommodate the sidewalk and planter strip adjacent to the proposed reservoir site east of lot 43.
15. Erosion control measures per CDC Section 85.160(F)(2) shall be in place prior to and during all site clearing, grubbing, and development.
16. The applicant shall place \$30,000 into an escrow account for the purpose of assisting the City with the funding of a traffic signal at the intersection of Day Road and Rosemont Road. If the City does not determine to install a traffic signal by one year from the issuance of certificate of occupancy for Hood View Townhomes, then the City shall instruct the return of the \$30,000 to the applicant.



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CONDITIONS OF APPROVAL
HOODVIEW TOWNHOMES

WEST LINN, OREGON

HOODVIEW ESTATES, LLC

AS-BUILT
DRAWING

05/04/2001

THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

PROJECT NO.

JTS004

DATE | 7/28/99

DESIGNED | J SLATER

ENGINEER | R DYER

CHECKED |

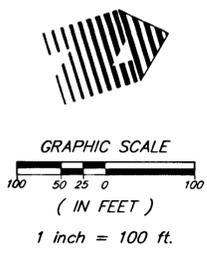
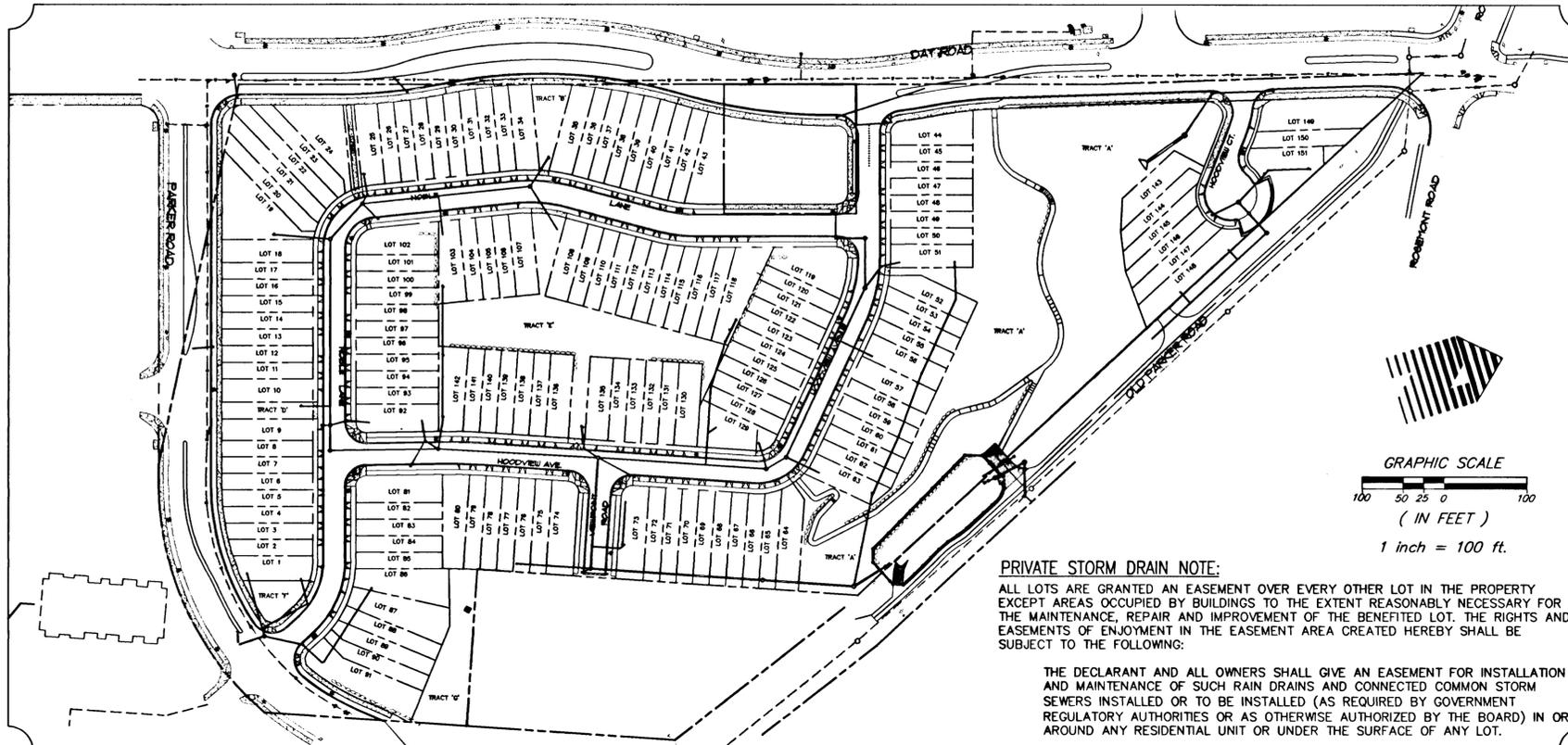
SHEET TITLE _____

NOTES

SHEET NUMBER _____

C008

Hoodview Townhomes



PRIVATE STORM DRAIN NOTE:
 ALL LOTS ARE GRANTED AN EASEMENT OVER EVERY OTHER LOT IN THE PROPERTY EXCEPT AREAS OCCUPIED BY BUILDINGS TO THE EXTENT REASONABLY NECESSARY FOR THE MAINTENANCE, REPAIR AND IMPROVEMENT OF THE BENEFITED LOT. THE RIGHTS AND EASEMENTS OF ENJOYMENT IN THE EASEMENT AREA CREATED HEREBY SHALL BE SUBJECT TO THE FOLLOWING:

THE DECLARANT AND ALL OWNERS SHALL GIVE AN EASEMENT FOR INSTALLATION AND MAINTENANCE OF SUCH RAIN DRAINS AND CONNECTED COMMON STORM SEWERS INSTALLED OR TO BE INSTALLED (AS REQUIRED BY GOVERNMENT REGULATORY AUTHORITIES OR AS OTHERWISE AUTHORIZED BY THE BOARD) IN OR AROUND ANY RESIDENTIAL UNIT OR UNDER THE SURFACE OF ANY LOT.

STREET CONSTRUCTION NOTES

- ALL DESIGN AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CURRENT EDITION OF THE CITY OF WEST LINN 'STREET/UTILITY DESIGN AND CONSTRUCTION STANDARDS' AND WITH APWA STANDARDS.
- STATIONING IS BASED UPON STREET CENTERLINE UNLESS OTHERWISE SPECIFIED.
- ADJUST ALL MANHOLES LIDS AND VALVE BOXES TO FINISHED GRADE.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
- STREET LIGHTING SHALL BE IN ACCORDANCE WITH THE APPROVED STREET LIGHT PLAN.
- UTILITY CONDUITS ARE TO BE ELECTRICAL GRADE SCHEDULE 40 PVC & EXTENDED TO 6' PAST RIGHT-OF-WAY LINES WITH 36" OF COVER.
- SAWCUT STRAIGHT MATCHLINES TO MEET EXISTING PAVEMENT WITH NEW PAVEMENT.
- USE 3,000 PSI CONCRETE FOR ALL SIDEWALKS, CURBS, AND DRIVEWAYS PER THE CITY OF WEST LINN ENGINEERING STANDARDS AND APWA STANDARDS.
- THE REQUIRED DENSITY FOR TREATED AND UNTREATED SUBGRADE MATERIALS SHALL NOT BE LESS THAN 95% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- THE CRUSHED ROCK BASE FOR PAVING SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY USING AASHTO T-99. THE DENSITY OF ASPHALT CONCRETE SHALL BE AT LEAST 92% OF THE THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ODOT TM 306.
- CONTRACTOR TO PROVIDE TRAFFIC CONTROL PER M.U.T.C.D. REQUIREMENTS.
- ACCESS TO EXISTING TRACTS OF LAND SHALL BE PROVIDED FOR AT ALL TIMES.
- EROSION CONTROL, DRAINAGE CONTROL AND DEBRIS CONTROL SHALL BE PROVIDED FOR AT ALL TIMES; AND SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION. UNSATISFACTORY PERFORMANCE IS CAUSE FOR TERMINATION OF ALL WORK AT THE SITE, UNTIL CORRECTION OCCURS SATISFACTORY TO THE CITY.
- NOTIFY CITY INSPECTOR AT LEAST TWO BUSINESS DAYS BEFORE COMMENCING WORK.
- THE AREA OF THE SITE DESIGNATED ON THE PLAN TO BE REGRADED SHALL BE STRIPPED TO REMOVE ORGANIC MATERIAL.
- ALL EMBANKMENT REQUIRED SHALL BE STRUCTURAL FILL MEETING THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF WEST LINN. THE CONTRACTOR AND/OR DEVELOPER SHALL RETAIN A CERTIFIED TESTING FIRM AND PROVIDE TESTING AS REQUIRED BY THE CITY OF WEST LINN.
- DURING CONSTRUCTION TWO PROOF-ROLLS WITH LOADED DUMP TRUCK SHALL BE REQUIRED, ONE PRIOR TO PLACEMENT OF ROCK BASE AND ONE PRIOR TO PLACEMENT OF ASPHALT CONCRETE PAVEMENT.
- THE CITY OF WEST LINN SHALL INSTALL ALL REQUIRED TRAFFIC SIGNAGE.
- DESIGN AND CONSTRUCTION REQUIREMENTS NOT ADDRESSED IN THE CITY STANDARDS SHALL BE GOVERNED BY THE APWA STANDARDS.
- ALL SPECIFIED AGGREGATE (3/4" - 0") SHALL MEET APWA STANDARDS.

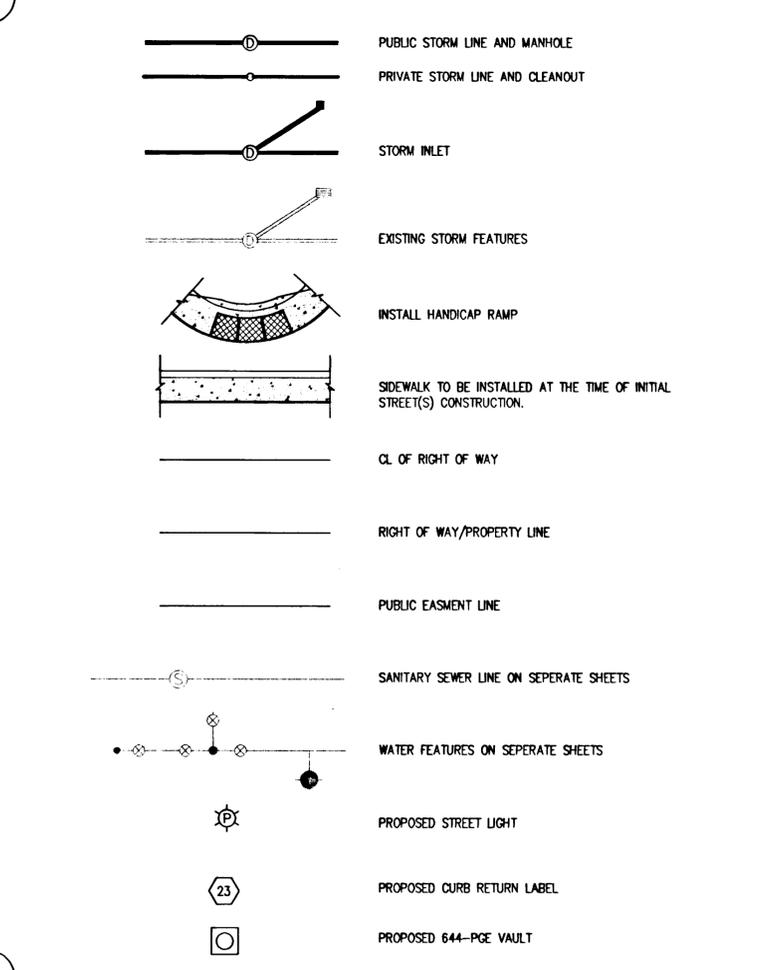
STORM CONSTRUCTION NOTES

- TESTING OF THE STORM DRAIN SYSTEM SHALL BE CONDUCTED IN ACCORDANCE WITH THE CITY OF WEST LINN STANDARDS. ALL NECESSARY TESTS SHALL BE PERFORMED BY THE CONTRACTOR AND WITNESSED BY A REPRESENTATIVE OF THE CITY AND THE ENGINEER.
- LOCATION OF EXISTING UTILITIES ARE BASED ON AVAILABLE INFORMATION. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.
- FINISHED RIM ELEVATIONS WITHIN PAVEMENT ARE APPROXIMATE. FINAL FINISHED RIM ELEVATIONS SHALL MATCH FINISHED PAVEMENT GRADES. RIMS OUTSIDE OF PAVEMENT SHALL BE SET 6"-12" ABOVE FINISH GRADE.
- PIPE BEDDING AND BACKFILL SHALL CONFORM TO THE CITY OF WEST LINN AND APWA STANDARDS.
- STORM SEWER MANHOLE CONSTRUCTION SHALL CONFORM TO THE CITY OF WEST LINN AND APWA STANDARDS.
- ALL STORM SEWER SERVICE LATERALS SHALL TERMINATE 2' BEYOND THE PUBLIC UTILITY EASEMENT UNLESS OTHERWISE NOTED, AND SHALL BE PLUGGED TO PREVENT DIRT AND DEBRIS FROM ENTERING PIPE IN ACCORDANCE WITH CITY STANDARDS. THE ENDS OF THE LATERALS SHALL BE MARKED WITH A WOOD 2"x4" SET VERTICALLY AND EXTENDING A MINIMUM OF 36" ABOVE FINISH GRADE. THE WOOD MARKER SHALL BE PAINTED AND MARKED AS DIRECTED BY A REPRESENTATIVE FROM THE CITY.
- A MINIMUM OF TWO FEET (2') HORIZONTAL SEPARATION IS REQUIRED BETWEEN WATER AND SANITARY AND STORM LINES WHEN CROSSING. ALL CONSTRUCTION SHALL MEET CITY, DEQ, AND STATE WATER RESOURCES BOARD REQUIREMENTS FOR SEPARATION.
- FOUR INCH TO 24 INCH STORM DRAIN PIPE SHALL BE CLASS 3, NON-REINFORCED, CONCRETE PIPE CONFORMING TO ASTM C14, PVC PIPE CONFORMING TO ASTM D-3034 OR SEAMLESS PVC PIPE CONFORMING TO ASTM F794 (PW RIB OR ULTRA RIB). THIRTY INCH (30") DIAMETER STORM DRAIN PIPE SHALL BE CLASS 3, NON-REINFORCED, CONCRETE PIPE CONFORMING TO ASTM C14, PVC PIPE CONFORMING TO ASTM D-3034 OR HDPE PIPE CONFORMING TO AASHTO M294S (ADS N-12 OR HANCOR HI-Q). RUBBER JOINTS ARE REQUIRED FOR ALL CONCRETE PIPE.
- ALL CONCRETE SEWER PIPE (C.S.P.) SHALL BE ASTM C-14, CLASS 3 GASKETED UNLESS OTHERWISE SPECIFIED ON PLANS.
- THE CONTRACTOR SHALL AT ALL TIMES ABIDE BY APPLICABLE SAFETY RULES OF O.S.H.A. AND IN PARTICULAR THOSE PERTAINING TO ADEQUATE SHORING AND TRENCH PROTECTION OF WORKMEN.
- ALTERNATIVE STORM DRAINAGE PIPE MATERIALS MUST HAVE APPROVAL BY THE ENGINEER & CITY PRIOR TO USE. PUBLIC STORM LINES WITH LESS THAN 3' OF COVER SHALL BE REINFORCED CONCRETE OR PVC C-900.
- ALL PVC STORM DRAINS SHALL BE THOROUGHLY CLEANED, VIDEO INSPECTED AND DEFLECTION TESTED WITH A MANDREL PRIOR TO ACCEPTANCE. ALL REQUIRED TESTING SHALL BE PERFORMED BY THE CONTRACTOR.
- ALL GRADING INCLUDING FILL SHALL BE COMPLETED PRIOR TO BEGINNING INSTALLATION OF SEWER, STORM AND WATER FACILITIES.
- NEW STORM SYSTEMS SHALL NOT BE CONNECTED TO EXISTING SYSTEMS PRIOR TO TESTING AND ACCEPTANCE BY THE CITY.
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE DONE IN THE PRESENCE OF A CITY REPRESENTATIVE.
- STORM DRAIN BACKFILL SHALL BE 95% COMPACTION OF T99.
- TWO PROOF-ROLLS WITH LOADED DUMP TRUCK SHALL BE REQUIRED DURING CONSTRUCTION, ONE PRIOR TO PLACEMENT OF ROCK BASE AND ONE PRIOR TO PLACEMENT OF ASPHALT CONCRETE PAVEMENT.
- STORM LATERALS SHALL BE CONSTRUCTED BELOW WATERLINES, UNLESS DIRECTED OTHERWISE. THE MINIMUM SEPARATION BETWEEN CROSSING PIPES SHALL BE 6 INCHES.

INDEX OF STREET/STORM SHEETS

STREET AND STORM CONSTRUCTION PLANS	
C100	Street/Storm Cover Sheet
C100A	Composite Storm Plan
C101	Hoodview Avenue Sta: 1+00 to 5+00
C102	Hoodview Avenue Sta: 5+00 to 9+00
C103	Hoodview Avenue Sta: 9+00 to 11+25
C104	Noble Lane Sta: 1+00 to 5+50
C105	Noble Lane Sta: 5+50 to 8+00
C106	Noble Lane Sta: 8+00 to 11+00
C107	Noble Lane Sta: 11+00 to 13+25
C108	Day Road Sta: 56+00 to 61+00
C109	Day Road Sta: 61+00 to 65+50
C110	Day Road Sta: 65+50 to 70+50
C111	Day Road Sta: 70+50 to 73+50
C112	Parker Road Sta: 10+00 to 15+00
C113	Parker Road Sta: 15+00 to 19+50
C114	Not Used
C115	Viewpoint Road
C116	Hoodview Court
C117	Storm Drain A Plan & Profile
C118	Storm Drain A Plan & Profile
C119	Private Storm Drain
C120	Private Storm Drain
C121	Not Used
C121A	Stormwater Detention Pond
C122	Storm Line H, W.Q. Swale
C123	Street Details
C124	Storm Details
C125	Storm Details

LEGEND



WEST LINN, OREGON
 REGISTERED PROFESSIONAL ENGINEER
 19,172
 JULY 15, 1991
 RAYMOND S. DYER
 EXPIRES: 12/31/01
 10450 SW Nimbus Ave., Portland, Oregon 97223
 503 603-9933 FAX: 503 603-9944
 PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS • SURVEYORS



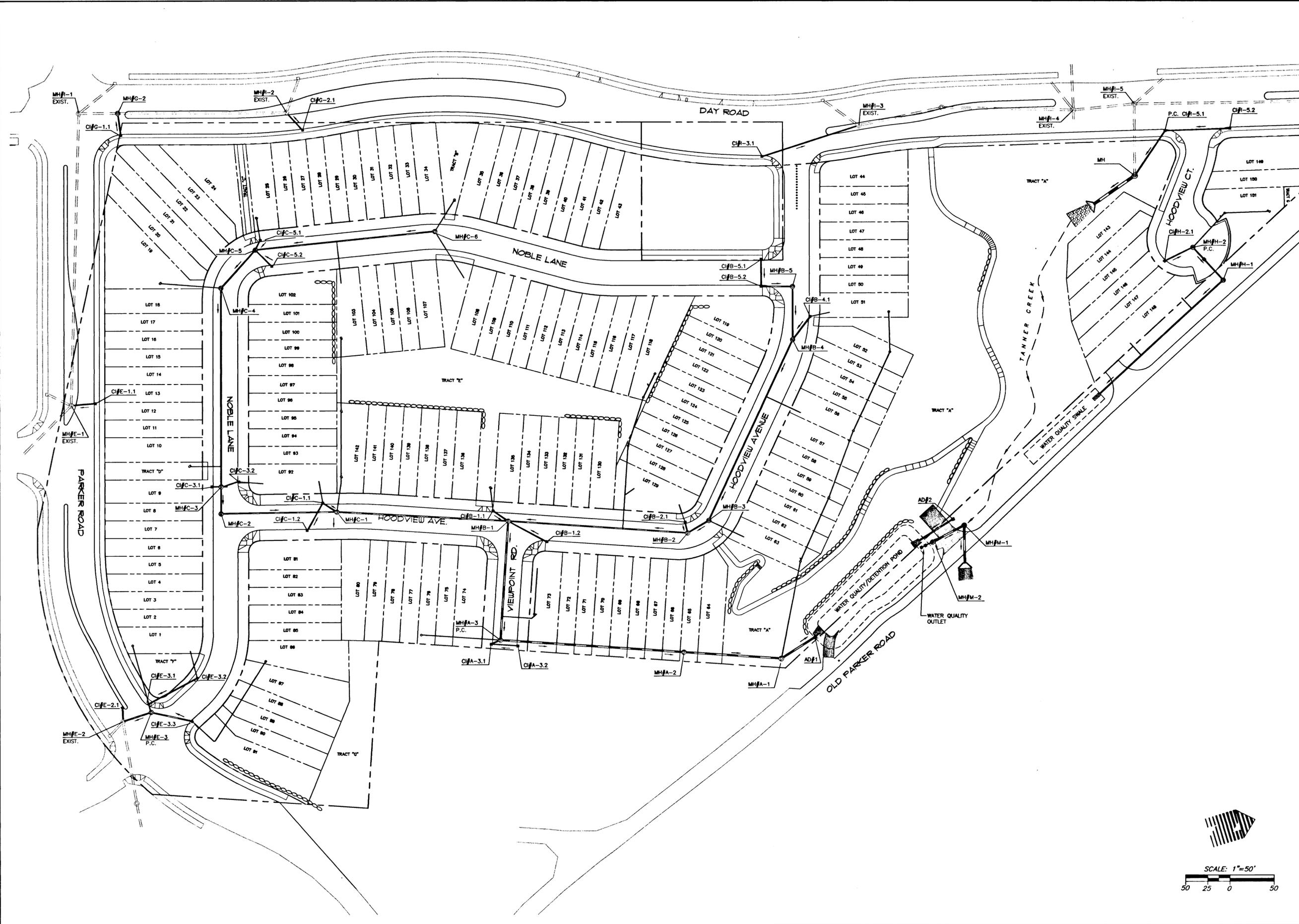
STREET/STORM COVER SHEET
HOODVIEW TOWNHOMES
 WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

AS-BUILT DRAWING

05/04/2001
 THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

PROJECT NO.
JTS004
 DATE 7/28/99
 DESIGNED | J SLATER
 ENGINEER | R DYER
 CHECKED |

SHEET TITLE
STREET/STORM
 SHEET NUMBER
C100



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10450 SW Nimbus Ave., Portland, Oregon 97223
503 | 603-9933 FAX: 503 1603-9944

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**COMPOSITE STORM PLAN
HOODVIEW TOWNHOMES**

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

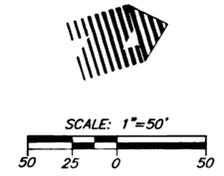
**AS-BUILT
DRAWING**

05/04/2001
THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

PROJECT NO. **JTS004**
DATE 7/28/99
DESIGNED J SLATER
ENGINEER R DYER
CHECKED

SHEET TITLE
STREET/STORM
SHEET NUMBER

C100A



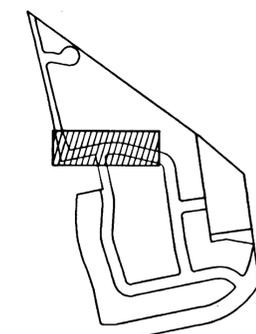
CONSTRUCT CURB DROPS FOR ALL FUTURE DRIVEWAY LOCATIONS

STA. 3+05.67 LT 36.94' HOODVIEW AVE.
 INSTALL 22 LF 8" PVC
 S=0.0909 IE:675.00
 PLUG AND MARK END OF PIPE
 (FUTURE PRIVATE STORM EXTENSION)
 SERVE ROOF & FOUNDATION DRAINS LOTS 44F-51F

STA. 2+62.18 HOODVIEW AVE. =
 STA. 1+00.00 NOBLE

C/L CURVE DATA
 R = 25'5.58"
 L = 185.00'
 L = 81.04'

STA 4+09.43 LT 37.83' HOODVIEW AVE. =
 INSTALL 42.8 LF 8" PVC
 S=0.0876 IE: 670.83
 PLUG & MARK END OF PIPE
 (FUTURE PRIVATE STORM EXTENSION)
 SERVE ROOF & FOUNDATION DRAINS LOTS 52F-56F



KEY MAP

DESIGN
 W
 R
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10450 SW Nimbus Ave., Portland, Oregon 97223
 503 603-9933 FAX: 503 603-9944
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CURB INLET DATA

CI# B-4.1 (STANDARD)
 STA 3+10.76 LT 14.0' HOODVIEW AVE.
 GUTTER: 677.27
 IE IN (8"NE):673.00
 IE OUT (10"NW):672.80
 INSTALL 32.8 LF 10" PVC • S=0.0390

CI# B-5.1 (STANDARD)
 STA 1+40.54 RT 14.0' NOBLE.
 GUTTER: 678.00
 IE IN (10"NE):672.50
 INSTALL 31 LF 10" PVC • S=0.0100

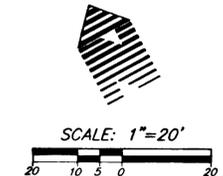
CI# B-5.2 (OVERSIZED)
 STA 1+40.54 LT 14.0' NOBLE.
 GUTTER: 678.00
 IE IN (10"NW):672.19
 IE OUT (12"NW):671.99
 INSTALL 35.6 LF 10" PVC • S=0.0100

STREET CONSTRUCTION NOTES

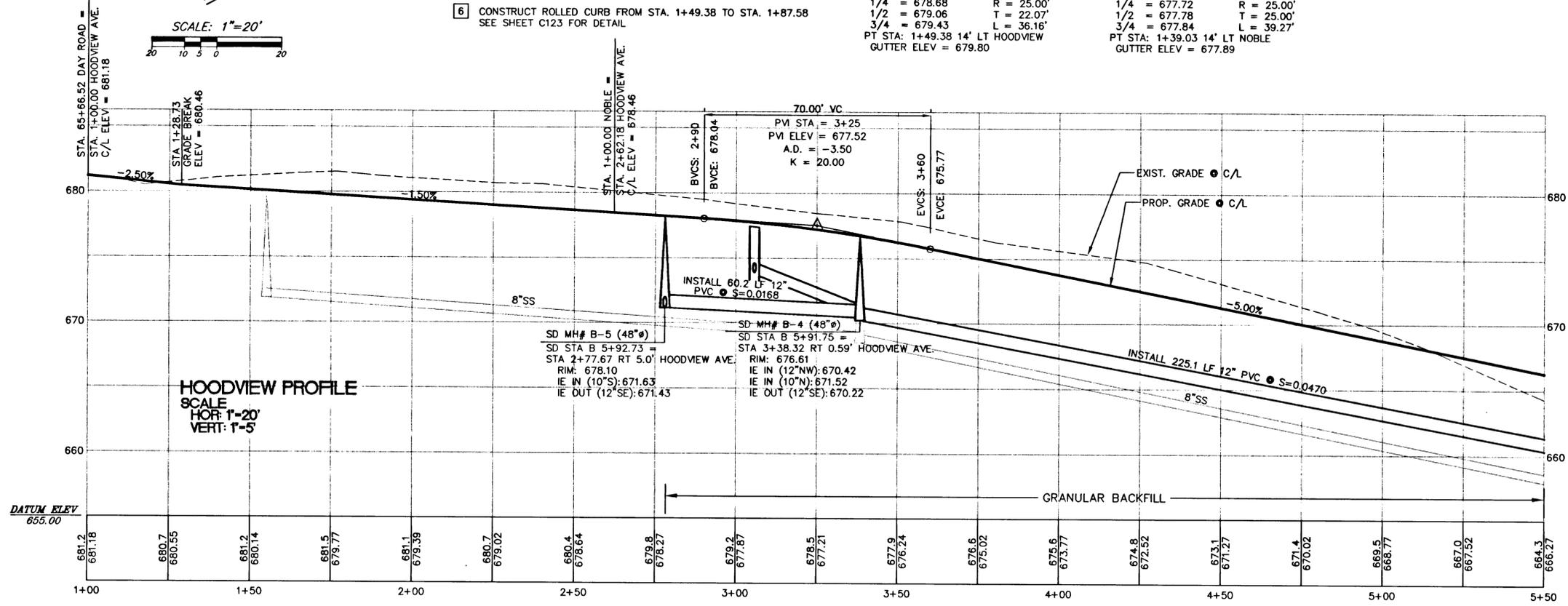
- 1 CONSTRUCT CURB & GUTTER - SEE SHEET C123 FOR DETAILS
- 2 CONSTRUCT HANDICAP RAMP PER APWA STDS. - END CONSTRUCT. @ PT OF CURB RETURN (TYP.) SEE SHEET C123 FOR DETAILS
- 3 CONSTRUCT 6' WIDE SIDEWALK - SEE SHEET C123 FOR DETAILS
- 4 CONST. 6' SIDEWALK ALONG OPEN SPACE FRONTAGE
- 5 CONSTRUCT "BOTS DOTS" PAVEMENT MARKINGS FROM STA. 1+41.83 TO STA. 1+89.83 SEE SHEET C123 FOR DETAIL
- 6 CONSTRUCT ROLLED CURB FROM STA. 1+49.38 TO STA. 1+87.58 SEE SHEET C123 FOR DETAIL

CURB RETURN DATA

- | | | | |
|--|---|--|--|
| 1 PC STA: 65+26.95 RT 28' DAY ROAD.
GUTTER ELEV = 682.86 Δ = 90°34'22"
1/4 = 682.08 R = 25.00'
1/2 = 681.29 T = 25.25'
3/4 = 680.51 L = 39.52'
PT STA: 1+54.63 14' RT HOODVIEW AVE.
GUTTER ELEV = 679.72 | 2 PC STA: 65+99.10 RT 28' DAY ROAD.
GUTTER ELEV = 678.31 Δ = 82°51'56"
1/4 = 678.68 R = 25.00'
1/2 = 679.06 T = 22.07'
3/4 = 679.43 L = 36.16'
PT STA: 1+49.38 14' LT HOODVIEW
GUTTER ELEV = 679.80 | 3 PC STA: 2+23.17 RT 14' HOODVIEW AVE.
GUTTER ELEV = 678.70 Δ = 90°0'36"
1/4 = 678.38 R = 25.00'
1/2 = 678.08 T = 25.00'
3/4 = 677.78 L = 39.27'
PT STA: 1+39.01 14' RT NOBLE
GUTTER ELEV = 677.89 | 4 PC STA: 3+02.07 RT 14' HOODVIEW AVE.
GUTTER ELEV = 677.48 Δ = 90°0'36"
1/4 = 677.72 R = 25.00'
1/2 = 677.78 T = 25.00'
3/4 = 677.84 L = 39.27'
PT STA: 1+39.03 14' LT NOBLE
GUTTER ELEV = 677.89 |
|--|---|--|--|



SCALE: 1"=20'



**HOODVIEW AVENUE STA. 1+00 TO STA. 5+00
 STREET/STORM PLAN AND PROFILE**

AS-BUILT DRAWING

05/04/2001
 THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

PROJECT NO. JTS004
 DATE 7/28/99
 DESIGNED J SLATER
 ENGINEER R DYER
 CHECKED

SHEET TITLE STREET/STORM
 SHEET NUMBER

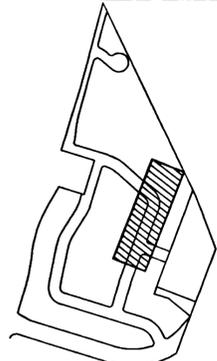
C101

WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

CONSTRUCT CURB DROPS FOR ALL FUTURE DRIVEWAY LOCATIONS

STREET CONSTRUCTION NOTES

- 1 CONST. 6' SIDEWALK ALONG OPEN SPACE FRONTAGE
CONSTRUCT HANDICAP RAMP PER A.D.A. STDS. -
AS SHOWN ON PLAN
SEE SHEET C123 FOR DETAILS
- 2 CONSTRUCT 6' SIDEWALK AROUND CURB RETURN -
CONSTRUCT HANDICAP RAMP PER APWA STDS. -
END CONSTRUCT. @ PT OF CURB RETURN (TYP.)
SEE SHEET C123 FOR DETAILS
- 3 CONSTRUCT ROLLED CURB FROM STA. 7+33.30 TO STA. 7+55.96
SEE SHEET C123 FOR DETAIL
- 4 CONSTRUCT ROLLED CURB FROM STA. 8+33.96 TO STA. 8+56.63
SEE SHEET C123 FOR DETAIL

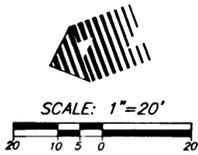


KEY MAP

CURB INLET DATA

- CI# B-1.1 (OVERSIZE)**
STA 8+17.86 RT 15.5' HOODVIEW AVE.
GUTTER: 654.04
IE IN (8"W): 649.20
IE OUT (12"N): 648.00
INSTALL 20.8 LF 12" PVC @ S=0.0100
- CI# B-1.2 (STANDARD)**
STA 7+54.46 LT 15.5' HOODVIEW AVE.
GUTTER: 656.00
IE IN (10"S): 651.50
INSTALL 49.9 LF 10" PVC @ S=0.0509
- CI# B-2.1 (STANDARD)**
STA 5+94.94 RT 15.5' HOODVIEW AVE.
GUTTER: 663.67
IE IN (8"W): 658.64
IE OUT (10"S): 658.44
INSTALL 12.6 LF 10" PVC @ S=0.0100

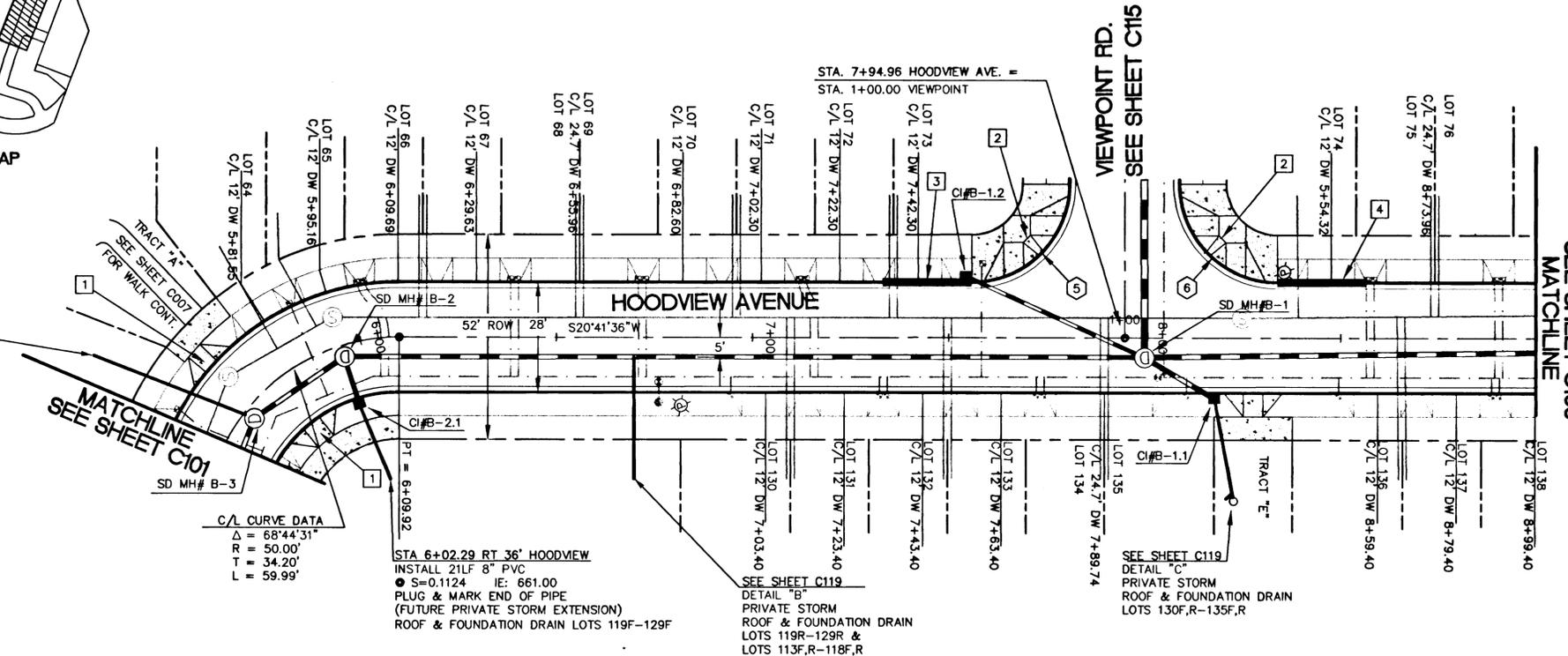
STA 5+57.68 LT 40.1' HOODVIEW
INSTALL 44 LF 8" PVC
@ S=0.0669 IE: 663.02
PLUG & MARK END OF PIPE
(FUTURE PRIVATE STORM EXTENSION)
ROOF & FOUNDATION DRAIN LOTS 57F-63F



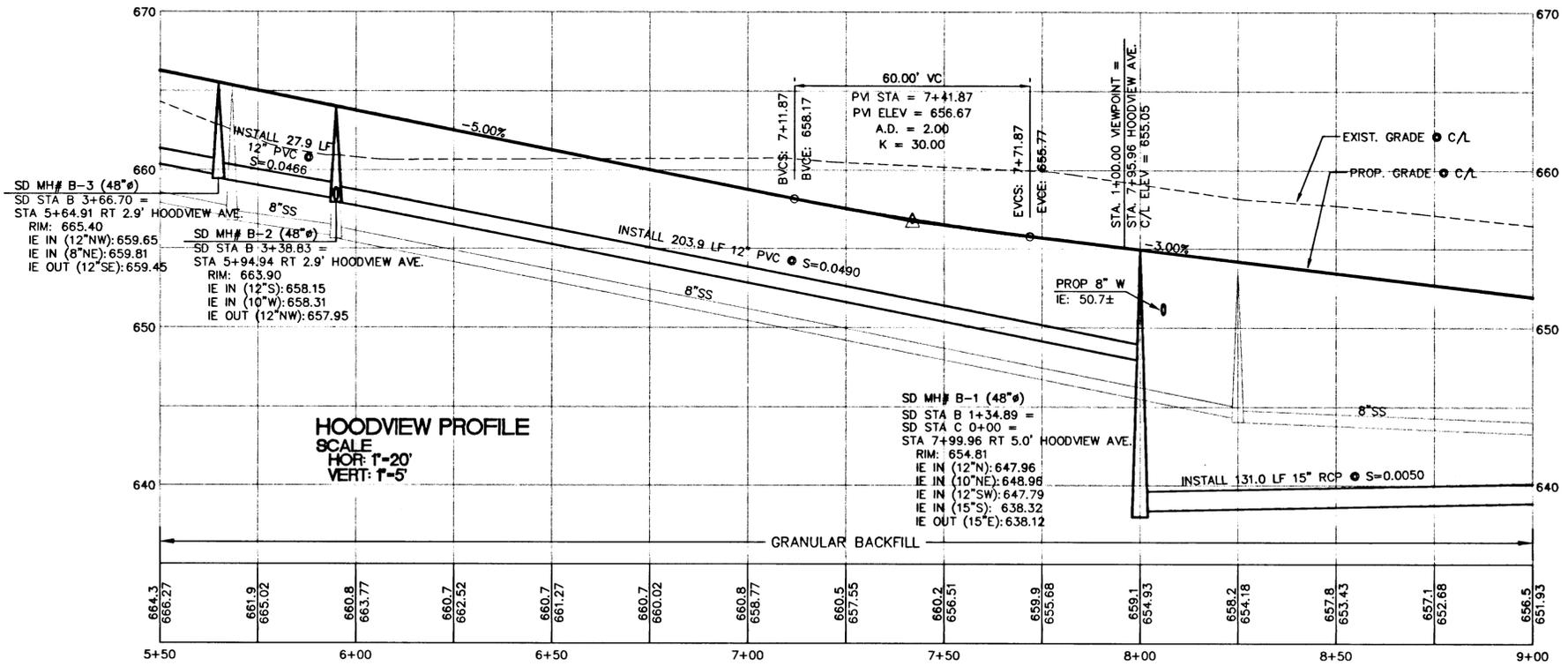
SCALE: 1"=20'

CURB RETURN DATA

- 5 PC STA: 7+55.96 LT 14' HOODVIEW
GUTTER ELEV = 655.94 Δ = 90°00'00"
1/4 = 655.25 R = 25.00'
1/2 = 654.57 T = 25.00'
3/4 = 653.88 L = 39.27'
PT STA: 1+39.00 LT 14' VIEWPOINT
GUTTER ELEV = 653.19
- 6 PC STA: 8+33.96 LT 14' HOODVIEW
GUTTER ELEV = 653.56 Δ = 90°00'00"
1/4 = 653.47 R = 25.00'
1/2 = 653.38 T = 25.00'
3/4 = 653.28 L = 39.27'
PT STA: 1+39.00 RT 14' VIEWPOINT
GUTTER ELEV = 653.19



C/L CURVE DATA
Δ = 68°44'31"
R = 50.00'
T = 34.20'
L = 59.99'



HOODVIEW PROFILE
SCALE
HOR: 1"=20'
VERT: 1"=5'

W R G
DESIGN
10450 SW Nimbus Ave., Portland, Oregon 97223
503 603-9933 FAX: 503 603-9944
PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS • SURVEYORS



**HOODVIEW AVENUE STA. 5+00 TO STA. 9+00
STREET/STORM PLAN AND PROFILE**

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

AS-BUILT DRAWING
05/04/2001

THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

PROJECT NO. **JTS004**
DATE 7/28/99
DESIGNED J SLATER
ENGINEER R DYER
CHECKED

SHEET TITLE **STREET/STORM**
SHEET NUMBER **C102**

CURB RETURN DATA

- ⑦ PC STA: 10+81.32 LT 14' HOODVIEW
GUTTER ELEV = 644.24 Δ = 89°07'40"
1/4 = 642.89 R = 25.00'
1/2 = 641.77 T = 24.62'
3/4 = 640.73 L = 38.89'
PT STA: 10+69.45 LT 14' NOBLE
GUTTER ELEV = 639.59
- ⑧ PC STA: 10+80.13 RT 14' HOODVIEW
GUTTER ELEV = 645.08 Δ = 90°52'20"
1/4 = 645.35 R = 25.00'
1/2 = 646.37 T = 25.38'
3/4 = 647.69 L = 39.65'
PT STA: 9+91.44 LT 14' NOBLE
GUTTER ELEV = 648.95
REVERSE GUTTER TO DRAIN ACROSS
STREET AT LOW POINT

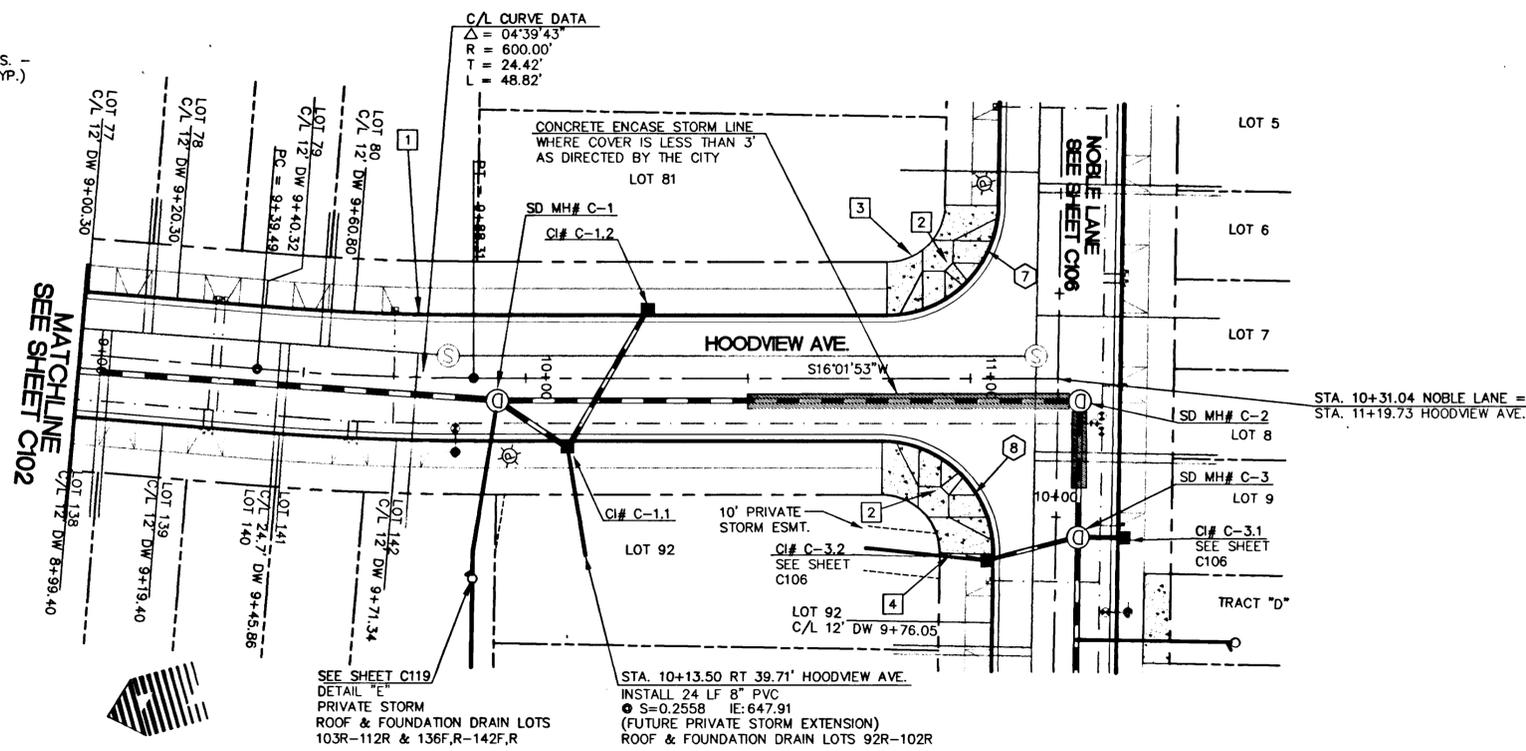
STREET CONSTRUCTION NOTES

- 1 CONSTRUCT CURB & GUTTER - SEE SHEET C123 FOR DETAILS
- 2 CONSTRUCT HANDICAP RAMP PER APWA STDS. - END CONSTRUCT. ● PT OF CURB RETURN (TYP.) SEE SHEET C123 FOR DETAILS
- 3 CONSTRUCT 6' WIDE SIDEWALK - SEE SHEET C123 FOR DETAILS STA. 10+81.13 LT 20' HOODVIEW TO STA. 10+69.45 LT 20' NOBLE LN
- 4 CONSTRUCT 6' WIDE SIDEWALK - SEE SHEET C123 FOR DETAILS STA. 10+8.13 RT 20' HOODVIEW TO STA. 9+91.44 LT 20' NOBLE LN

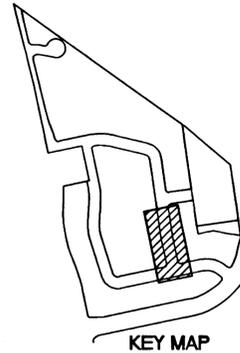
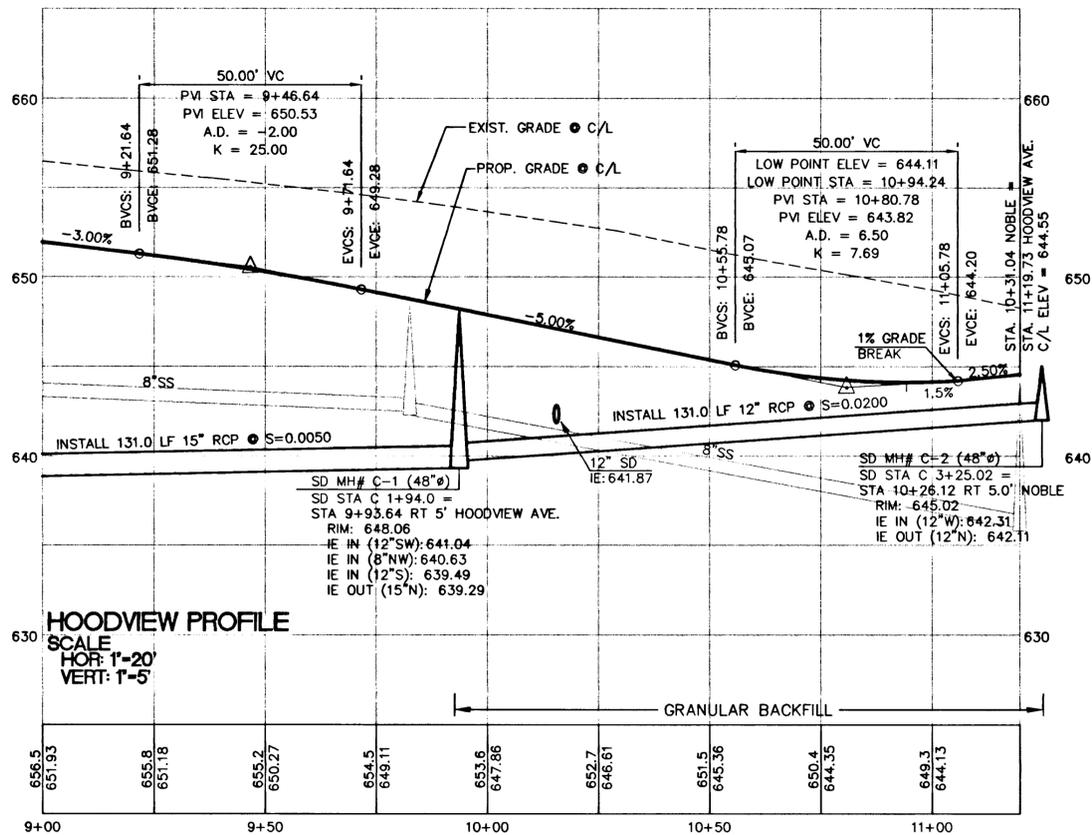
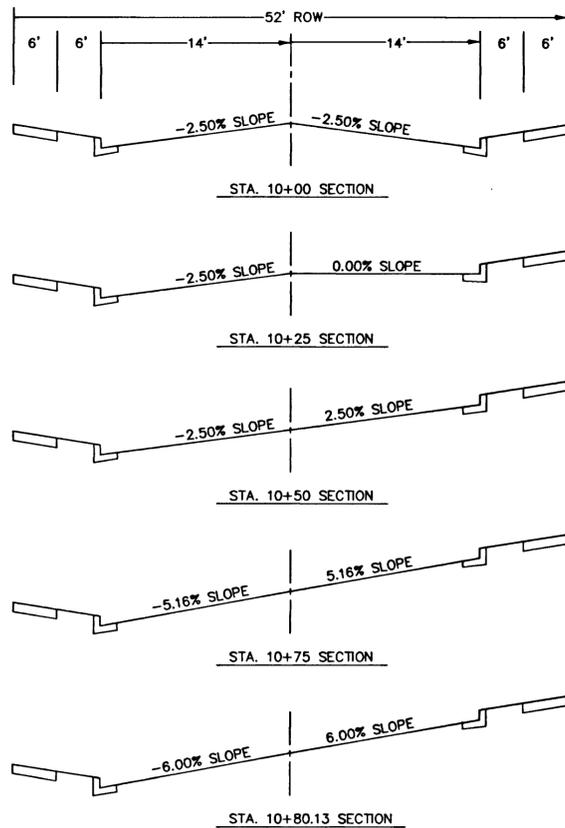
CURB INLET DATA

- CI# C-1.1 (OVERSIZE)
STA 10+09.46 RT 15.5' HOODVIEW AVE.
GUTTER: 647.18
IE IN (8°NW): 641.77
IE IN (10°SE): 641.43
IE OUT (12°N): 641.23
INSTALL 19.0 LF 10" PVC ● S=0.0100
- CI# C-1.2 (STANDARD)
STA 10+27.50 RT 15.5' HOODVIEW
GUTTER: 646.14
IE OUT (10°NW): 642.15
INSTALL 35.9 LF 10" PVC ● S=0.0200

CONSTRUCT CURB DROPS FOR ALL FUTURE DRIVEWAY LOCATIONS



HOODVIEW AVENUE SUPERELEVATION DATA



WEST LINN, OREGON
10450 SW Nimbus Ave., Portland, Oregon 97223
503 | 603-9933 FAX: 503 1603-9944
PLANNERS & ENGINEERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS



HOODVIEW AVENUE STA. 9+00 TO STA. 11+25 STREET/STORM PLAN AND PROFILE

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

AS-BUILT DRAWING
05/04/2001

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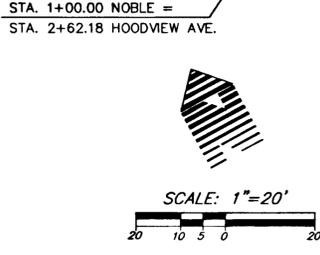
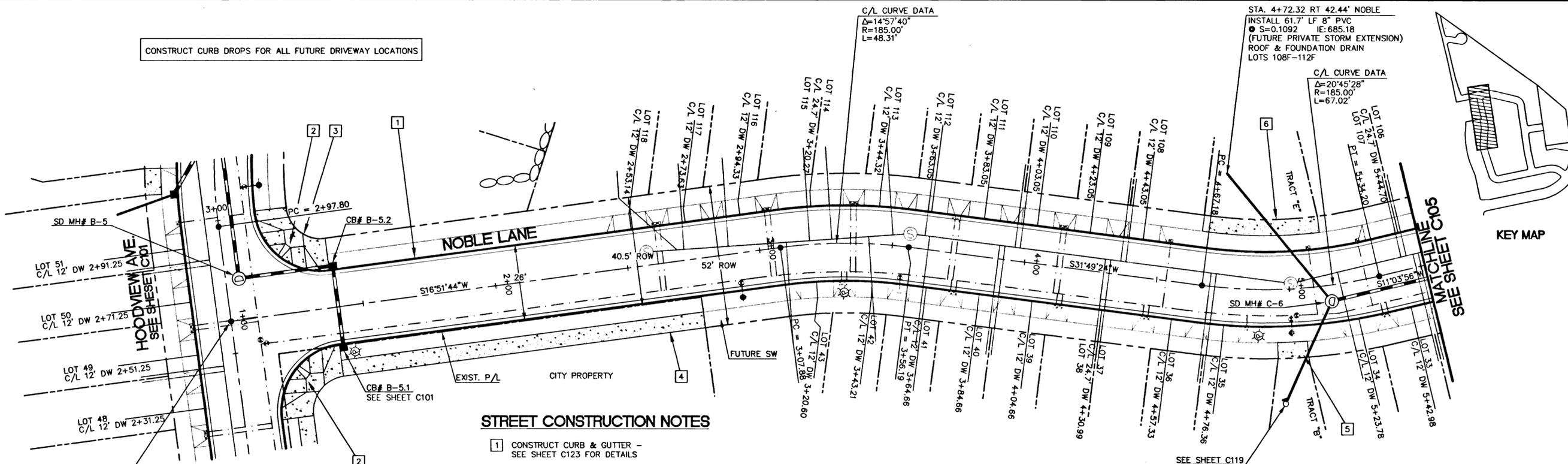
PROJECT NO. JTS004

DATE	7/28/99
DESIGNED	J SLATER
ENGINEER	R DYER
CHECKED	

SHEET TITLE: STREET/STORM
SHEET NUMBER:

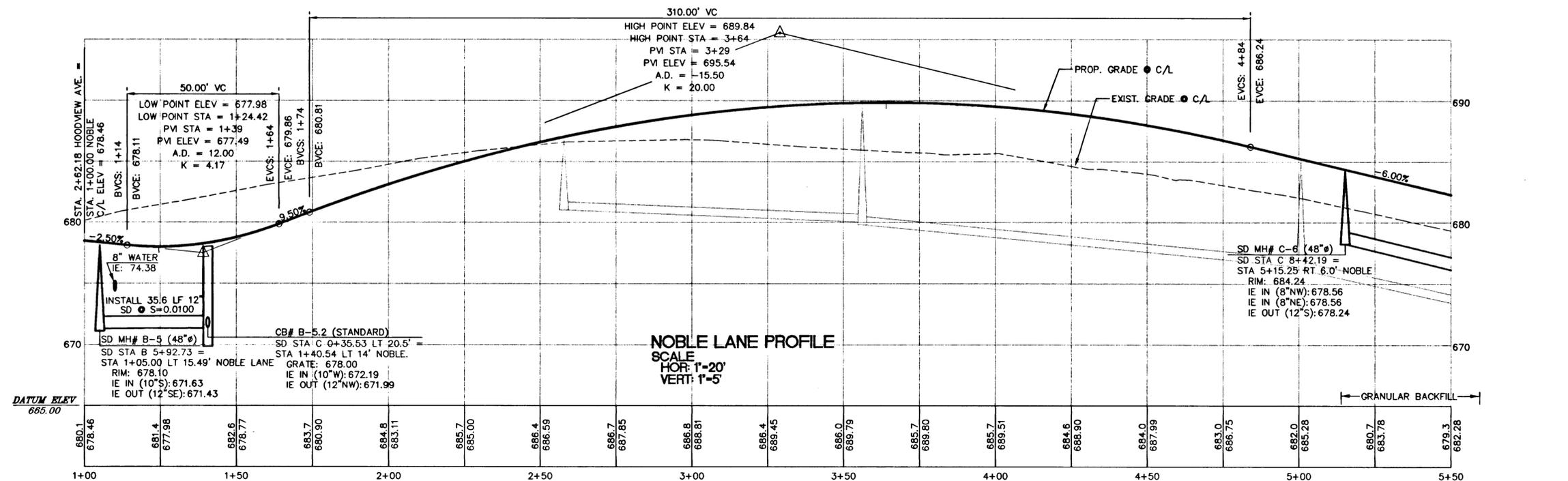
C103

CONSTRUCT CURB DROPS FOR ALL FUTURE DRIVEWAY LOCATIONS



STREET CONSTRUCTION NOTES

- 1 CONSTRUCT CURB & GUTTER - SEE SHEET C123 FOR DETAILS
- 2 CONSTRUCT HANDICAP RAMP PER APWA STDS. - END CONSTRUCT. @ PT OF CURB RETURN (TYP.) SEE SHEET C123 FOR DETAILS
- 3 CONSTRUCT 6' WIDE SIDEWALK - SEE SHEET C123 FOR DETAILS STA. 3+02.07 RT 20' HOODVIEW AVE. TO STA. 1+39.00 RT 20' NOBLE LANE
- 4 CONST. 6' SIDEWALK ALONG OPEN SPACE FRONTAGE END SIDEWALK AT STA. 2+76.00 RT 20' NOBLE LANE
- 5 CONSTRUCT 6' WIDE SIDEWALK - SEE SHEET C123 FOR DETAILS STA. 4+95.18 RT 20' NOBLE LANE TO STA. 5+05.25 RT 20' NOBLE LANE
- 6 CONSTRUCT 6' WIDE SIDEWALK - SEE SHEET C123 FOR DETAILS STA. 4+64.71 LT 20' NOBLE LANE TO STA. 5+13.80 RT 20' NOBLE LANE



DESIGN INFORMATION

REGISTERED PROFESSIONAL ENGINEER
 JULY 15, 1987
 RANDALL S. DYER
 EXPIRES: 12/31/01

10450 SW Nimbus Ave., Portland, Oregon 97223
 503 (603)-9933 FAX: 503 (603)-9944
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**NOBLE LN STA. 1+00 TO STA. 5+50
 STREET/STORM PLAN AND PROFILE**

WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

AS-BUILT DRAWING
 05/04/2001

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PROJECT NO.
JTS004

DATE | 7/28/99
 DESIGNED | J SLATER
 ENGINEER | R DYER
 CHECKED |

SHEET TITLE
STREET/STORM

SHEET NUMBER
C104

STREET CONSTRUCTION NOTES

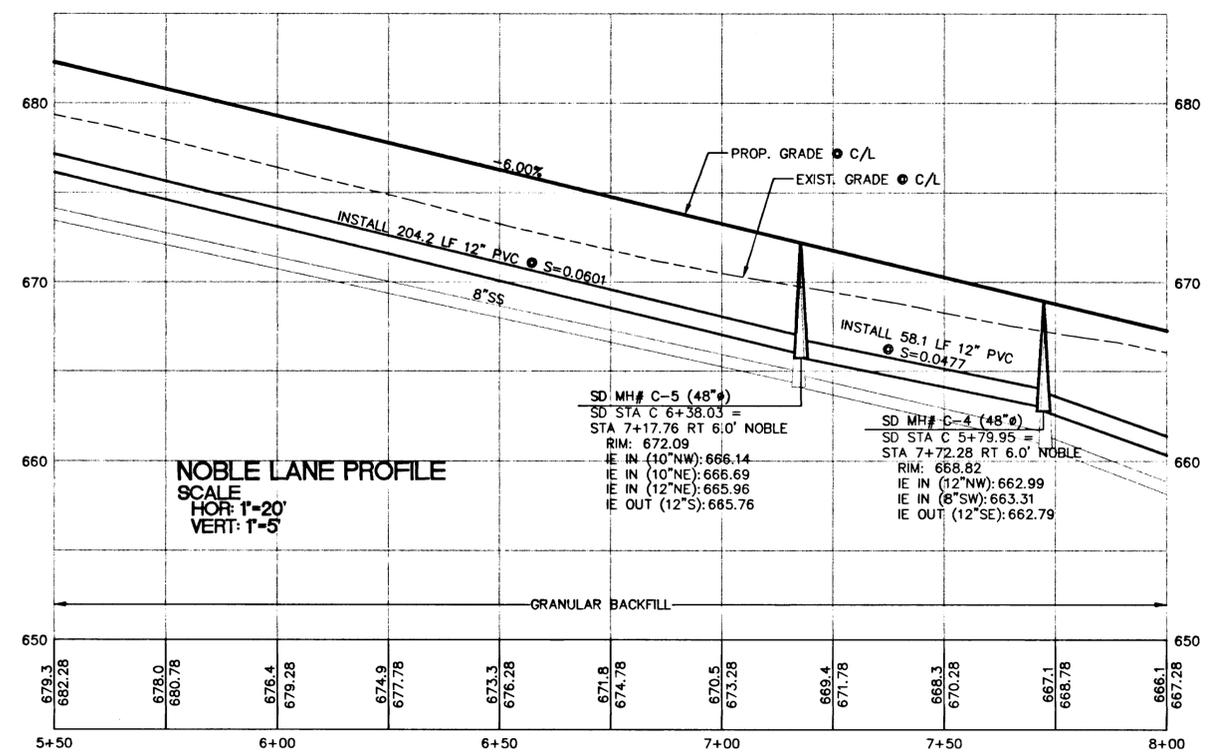
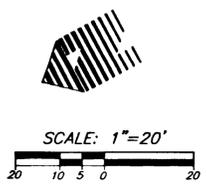
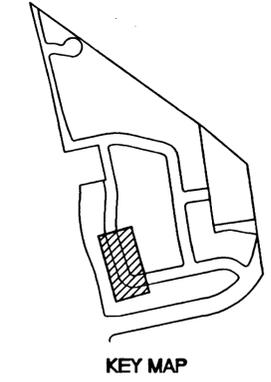
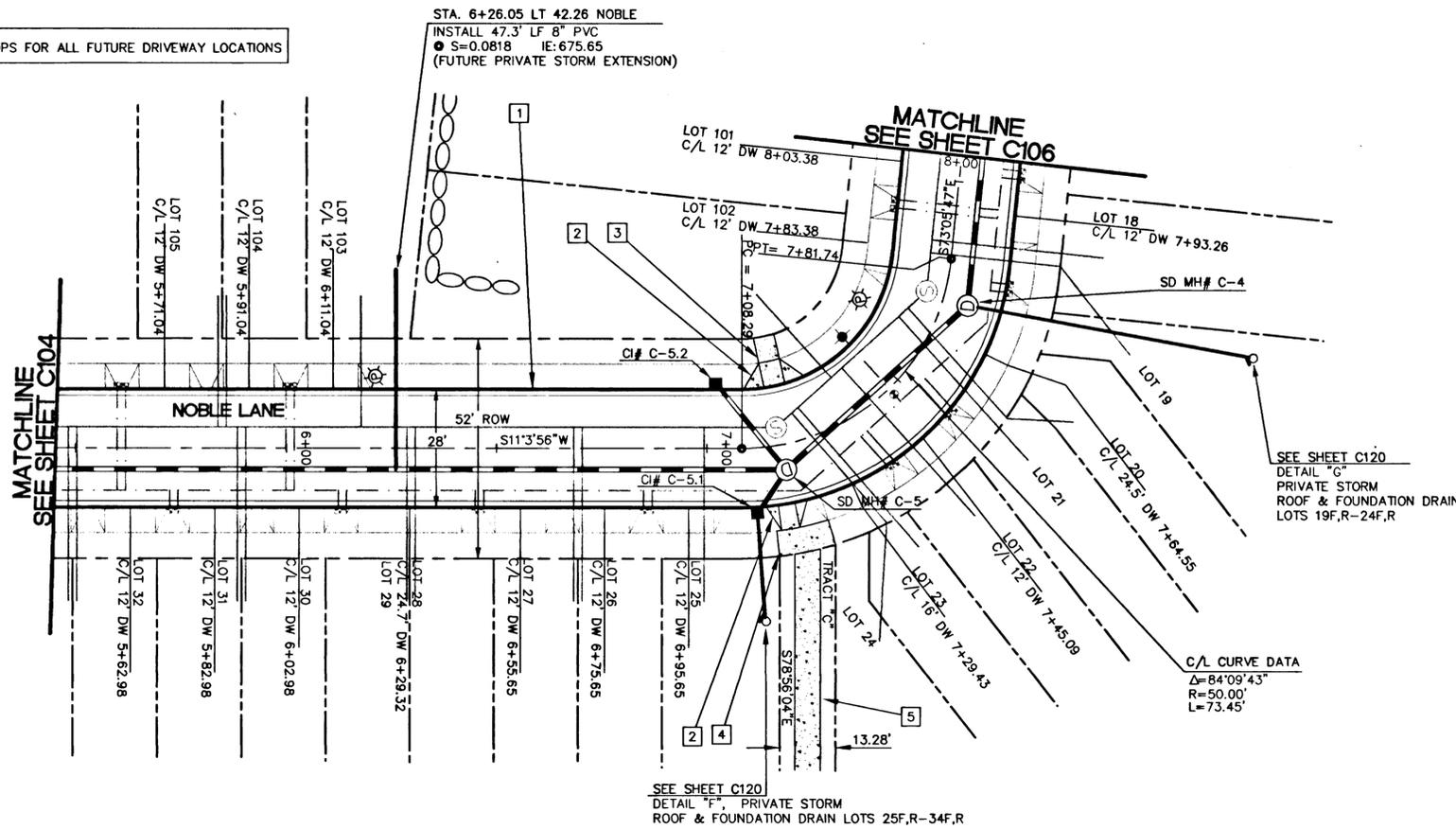
- 1 CONSTRUCT CURB & GUTTER - SEE SHEET C123 FOR DETAILS
- 2 CONSTRUCT HANDICAP RAMP PER APWA STDS. - END CONSTRUCT. @ PT. OF CURB RETURN (TYP.) SEE SHEET C123 FOR DETAILS
- 3 CONSTRUCT 6' WIDE SIDEWALK - SEE SHEET C123 FOR DETAILS STA. 7+15.01 NOBLE LANE TO STA. 7+23.35 NOBLE LANE
- 4 CONSTRUCT 6' WIDE SIDEWALK - SEE SHEET C123 FOR DETAILS STA. 7+14.24 NOBLE LANE TO STA. 7+23.19 NOBLE LANE
- 5 CONST. 6' SIDEWALK TO DAY ROAD CENTERED IN THE 13.28' WIDE OPEN SPACE TRACT "C" SEE SHEET C120 FOR LOCATION

CURB INLET DATA

CI# C-5.1 (OVERSIZED)
 STA 7+11.16 RT 15.52' NOBLE
 GUTTER: 672.26
 IE IN (8"W): 666.42
 IE OUT (10"SE): 666.26
 INSTALL 12.4 LF 10" PVC @ S=0.0100

CI# C-5.2 (STANDARD)
 STA 7+02.08 LT 15.50' NOBLE
 GUTTER: 672.80
 IE OUT (10"NW): 668.80
 INSTALL 23.3 LF 10" PVC @ S=0.0800

CONSTRUCT CURB DROPS FOR ALL FUTURE DRIVEWAY LOCATIONS



W R G I N G
 D E S I G N I N G
 10450 SW Nimbus Ave., Portland, Oregon 97223
 503 | 603-9933 FAX: 503 | 603-9944
 PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS • SURVEYORS



**NOBLE LN STA. 5+50 TO STA. 8+00
 STREET/STORM PLAN AND PROFILE**

WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

**AS-BUILT
 DRAWING**
 05/04/2001

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PROJECT NO. **JTS004**
 DATE **7/28/99**
 DESIGNED **J SLATER**
 ENGINEER **R DYER**
 CHECKED

SHEET TITLE **STREET/STORM**
 SHEET NUMBER **C105**

STREET CONSTRUCTION NOTES

- 1 CONSTRUCT CURB & GUTTER - SEE SHEET C123 FOR DETAILS
- 2 CONSTRUCT HANDICAP RAMP PER APWA STDS. - END CONSTRUCT. ● PT OF CURB RETURN (TYP.) SEE SHEET C123 FOR DETAILS
- 3 CONSTRUCT 6" WIDE SIDEWALK - SEE SHEET C123 FOR DETAILS STA. 9+91.44 NOBLE LANE TO STA. 10+80.13 HOODVIEW AVE.
- 4 CONSTRUCT 6" WIDE SIDEWALK - SEE SHEET C123 FOR DETAILS STA. 10+69.45 NOBLE LANE TO STA. 10+81.32 HOODVIEW AVE.
- 5 CONST. 6" SIDEWALK ALONG OPEN SPACE FRONTAGE STA. 9+67.60 NOBLE LANE TO STA. 9+87.60 NOBLE LANE
- 6 CONSTRUCT ROLLED CURB FROM STA. 9+67.05 TO STA. 9+91.44 SEE SHEET C123 FOR DETAIL
- 7 CONSTRUCT ROLLED CURB FROM STA. 10+69.45 TO STA. 10+91.84 SEE SHEET C123 FOR DETAIL

CONSTRUCT CURB DROPS FOR ALL FUTURE DRIVEWAY LOCATIONS

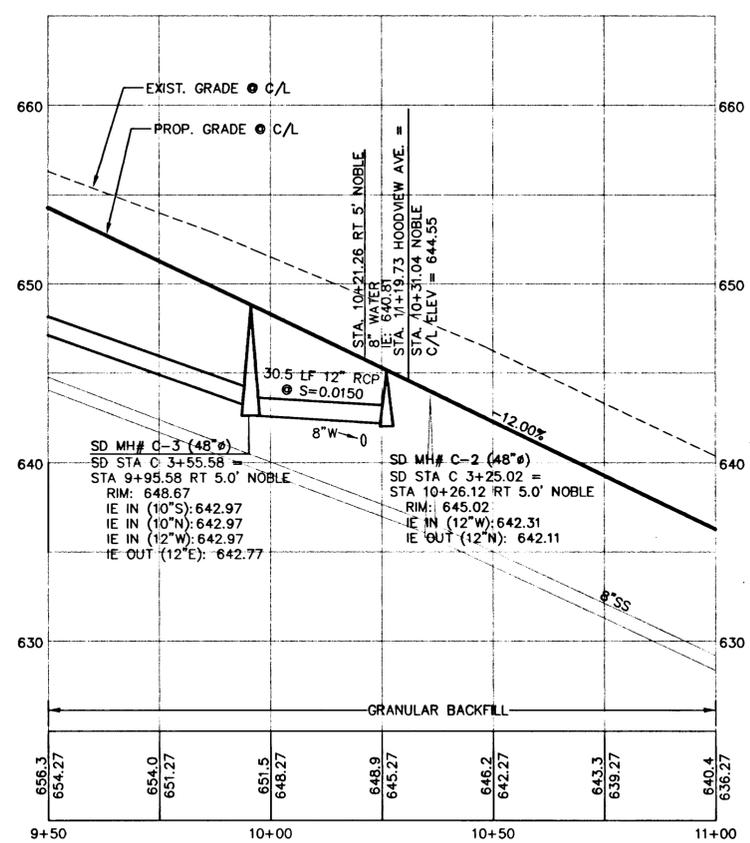
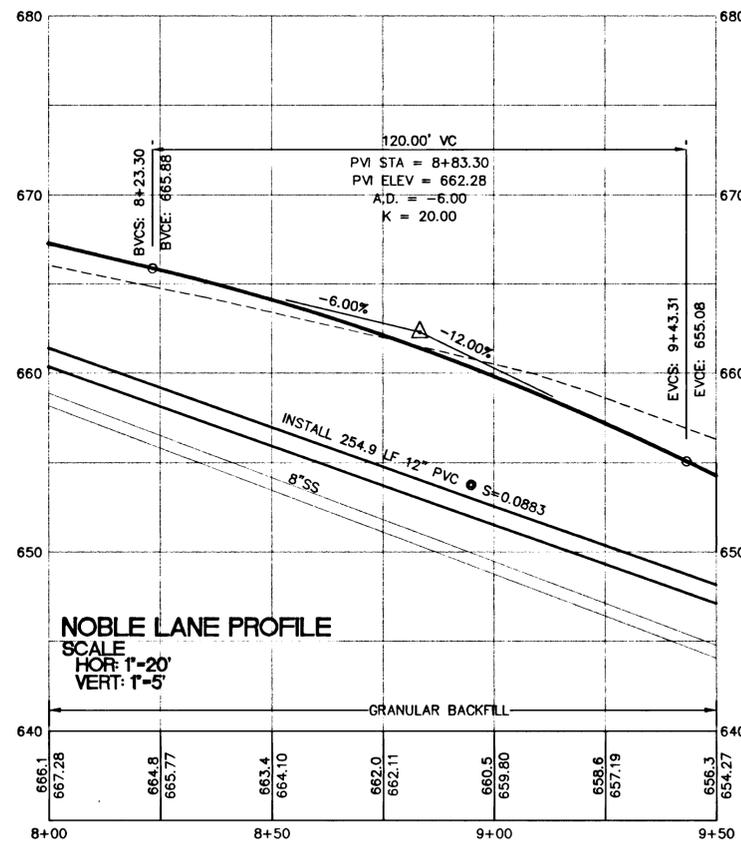
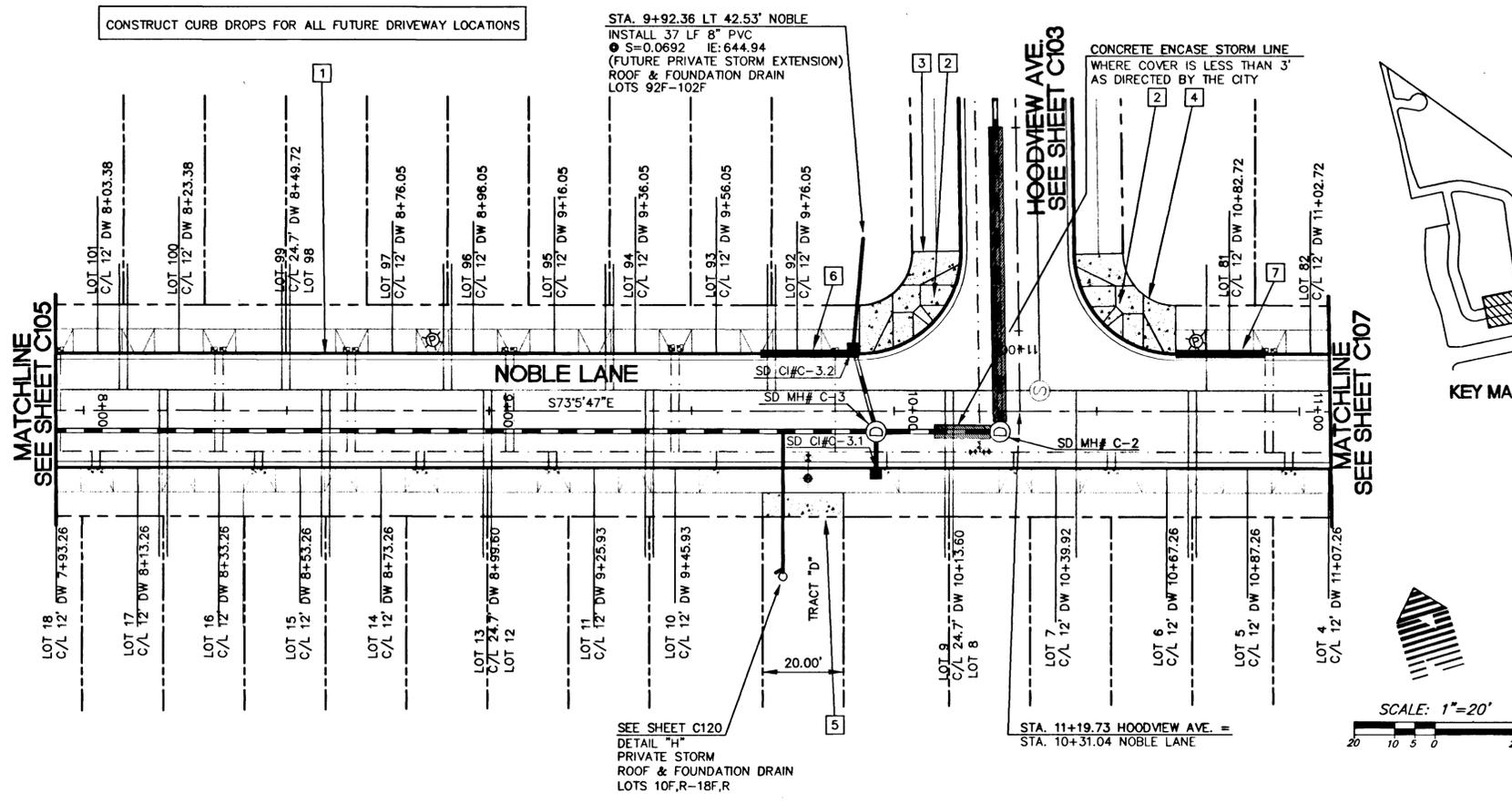
STA. 9+92.36 LT 42.53' NOBLE
 INSTALL 37 LF 8" PVC
 ● S=0.0692 IE: 644.94
 (FUTURE PRIVATE STORM EXTENSION)
 ROOF & FOUNDATION DRAIN
 LOTS 92F-102F

CONCRETE ENCASE STORM LINE
 WHERE COVER IS LESS THAN 3'
 AS DIRECTED BY THE CITY

CURB INLET DATA

Ci# C-3.1 (STANDARD)
 STA 9+95.58 RT 15.50' NOBLE
 GRATE: 648.45
 IE OUT (10"NW): 643.08
 INSTALL 10.5 LF 10" PVC ● S=0.0100

Ci# C-3.2 (OVERSIZED)
 STA 9+89.93 LT 15.50' NOBLE
 GRATE: 649.13
 IE IN (8"NW): 645.00
 IE OUT (10"NW): 643.39
 INSTALL 21.2 LF 10" PVC ● S=0.0198



**NOBLE LN STA. 8+00 TO STA. 11+00
 STREET/STORM PLAN AND PROFILE**

WEST LINN, OREGON
 JT SMITH COMPANY

AS-BUILT DRAWING

05/04/2001
 THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

PROJECT NO.
JTS004
 DATE | 7/28/99
 DESIGNED | J SLATER
 ENGINEER | R DYER
 CHECKED |

SHEET TITLE
STREET/STORM
 SHEET NUMBER
C106



W R G
DESIGN
 10450 SW Nimbus Ave., Portland, Oregon 97223
 503 603-9933 FAX: 503 603-9944
 PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS • SURVEYORS

CURB INLET DATA

CI# E-3.1 (OVERSIZED)
 STA. 17+02.59 LT 29.46' PARKER
 GUTTER: 619.15
 IE IN (10°N): 614.20
 IE IN (8°NW): 614.16
 IE OUT (10°E): 614.00
 INSTALL 9.8 LF 10" PVC @ S=0.0200

CI# E-3.2 (STANDARD)
 STA 12+25.00 RT 15.5' NOBLE
 GUTTER: 621.27
 IE IN (8°E): 616.93
 IE OUT (10°S): 616.73
 INSTALL 61.9 LF 10" PVC @ S=0.0409

CI# E-3.3 (OVERSIZED)
 STA 12+65.41 LT 15.50' NOBLE
 GUTTER: 616.78
 IE IN (8°NE): 613.75
 IE OUT (10°SE): 613.67
 INSTALL 47.5 LF 10" RCP @ S=0.0050

CURB RETURN DATA

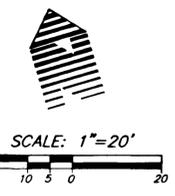
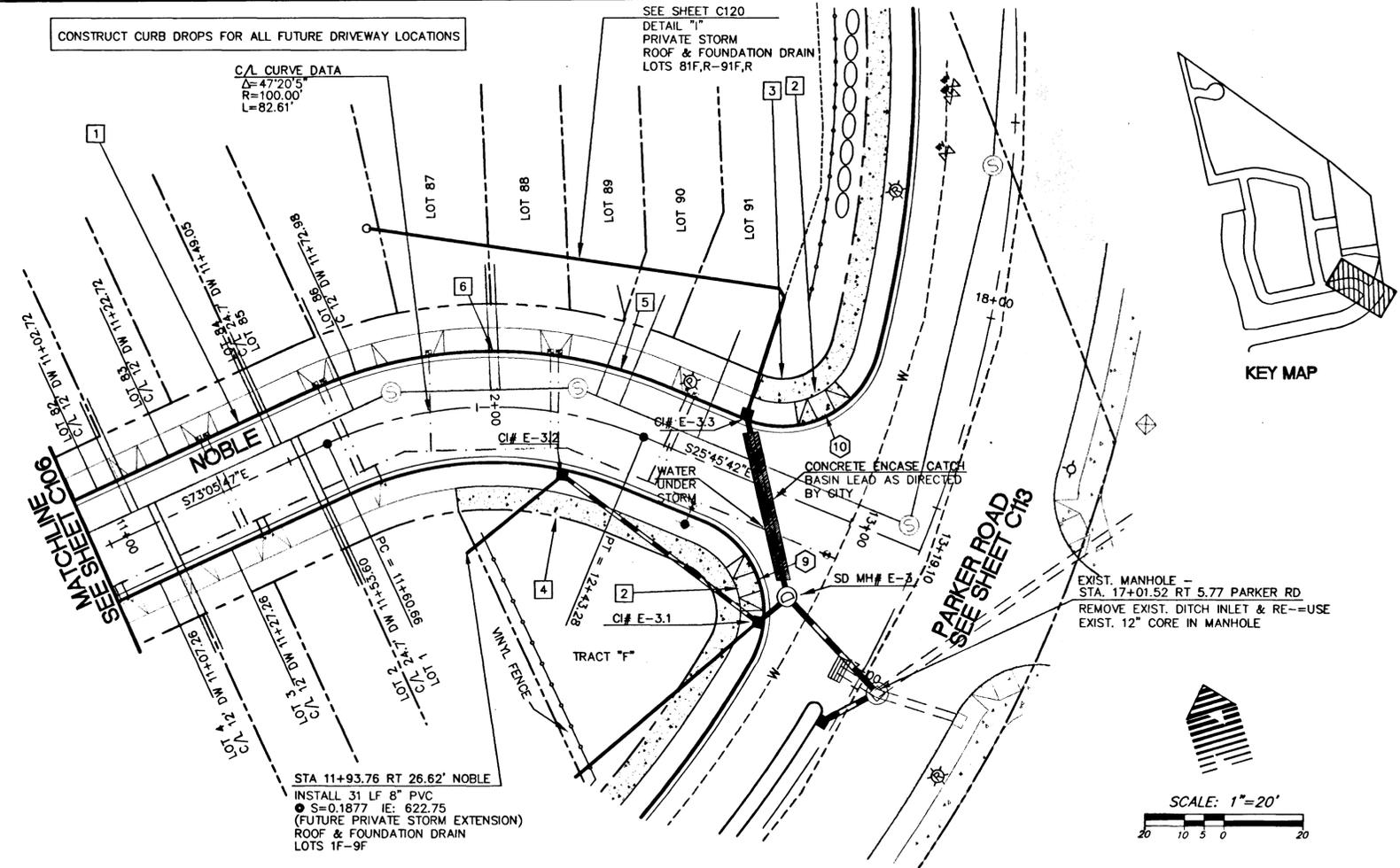
9 PC STA: 12+65.31 RT 14' NOBLE
 GUTTER ELEV = 617.76 Δ=98°10'59"
 1/4 = 618.00 R=25.00'
 1/2 = 618.28 L=42.84'
 3/4 = 618.78 T=28.852'
 PT STA: 16+91.85 LT 26' PARKER RD
 GUTTER ELEV = 619.64

10 PC STA: 12+65.41 LT 14' NOBLE
 GUTTER ELEV = 616.78 Δ=98°10'59"
 1/4 = 616.20 R=25.00'
 1/2 = 615.76 L=42.84'
 3/4 = 615.26 T=28.852'
 PT STA: 17+84.69 LT 26' PARKER RD.
 GUTTER ELEV = 614.38

STREET CONSTRUCTION NOTES

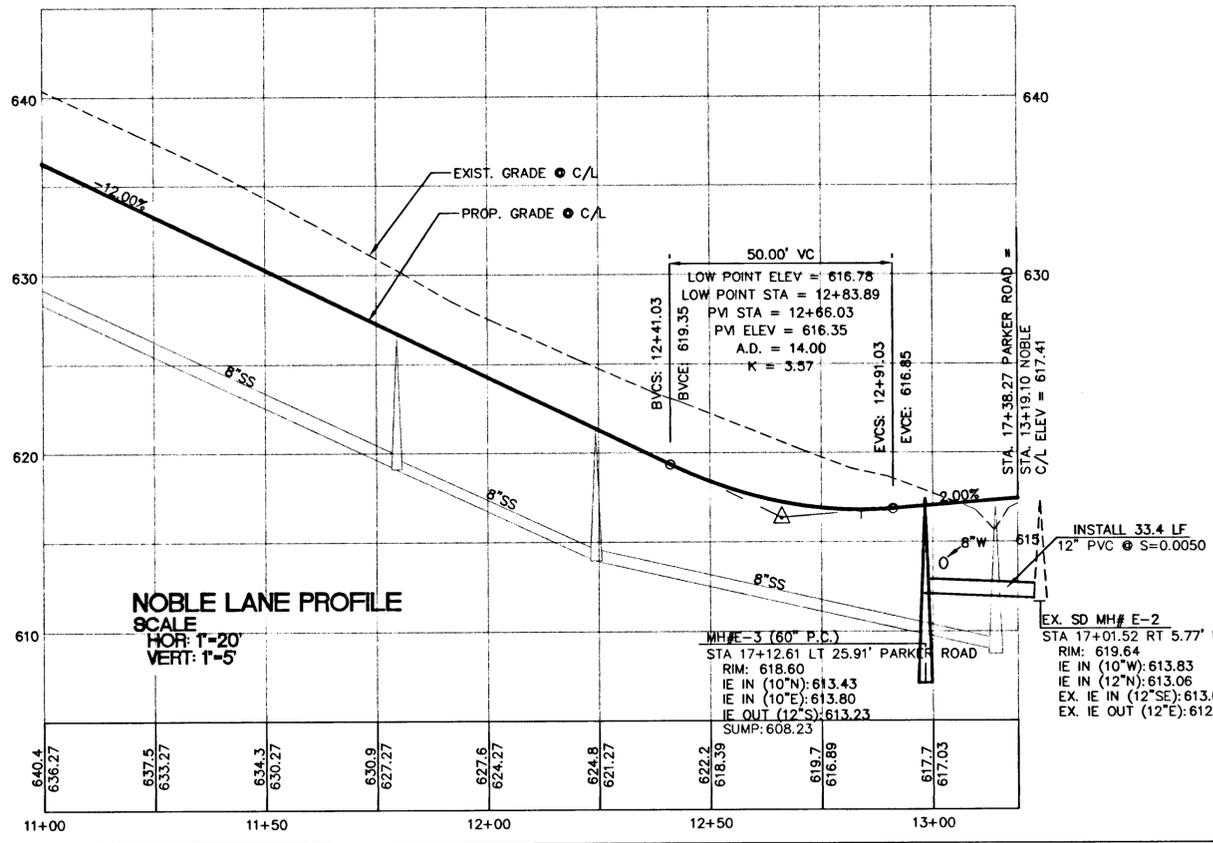
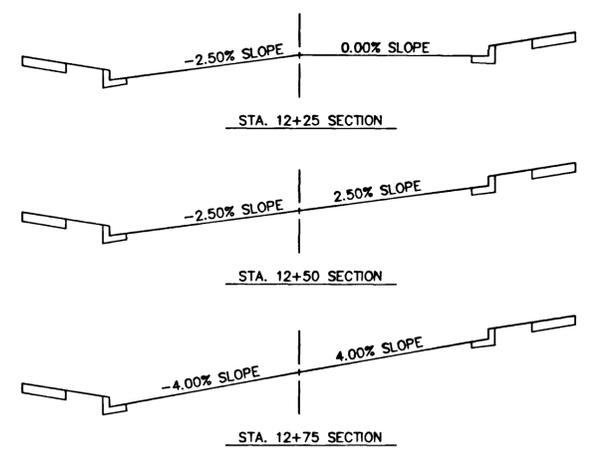
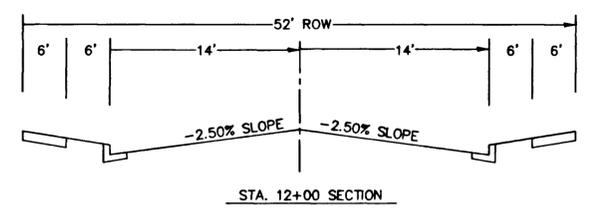
- 1 CONSTRUCT CURB & GUTTER - SEE SHEET C123 FOR DETAILS
- 2 CONSTRUCT HANDICAP RAMP PER APWA STDS. - END CONSTRUCT. @ PT OF CURB RETURN (TYP.) SEE SHEET C123 FOR DETAILS
- 3 CONST. 6' SIDEWALK ALONG OPEN SPACE FRONTAGE SEE SHEET C123 FOR DETAILS
 STA. 12+65.31 NOBLE LANE TO STA. 19+08.95 PARKER RD
- 4 CONST. 6' SIDEWALK ALONG OPEN SPACE FRONTAGE SEE SHEET C123 FOR DETAILS
 STA. 11+92.17 NOBLE LANE TO PARKER ROAD
- 5 LOT 89, LOT 90 & LOT 91
 CENTERLINE OF 17' DRIVEWAY AT STA. 12+32.91
- 6 LOT 87 & LOT 88
 CENTERLINE OF 24' DRIVEWAY AT STA. 12+03.64

CONSTRUCT CURB DROPS FOR ALL FUTURE DRIVEWAY LOCATIONS



KEY MAP

NOBLE LANE SUPERELEVATION DATA



NOBLE LANE PROFILE
 SCALE
 HOR: 1"=20'
 VERT: 1"=5'

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NOBLE LN STA. 11+00 TO STA. 13+25
STREET/STORM PLAN AND PROFILE

WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

AS-BUILT DRAWING

05/04/2001
 THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

PROJECT NO.
JTS004
 DATE 7/28/99
 DESIGNED J SLATER
 ENGINEER R DYER
 CHECKED

SHEET TITLE
STREET/STORM
 SHEET NUMBER

C107

STREET CONSTRUCTION NOTES

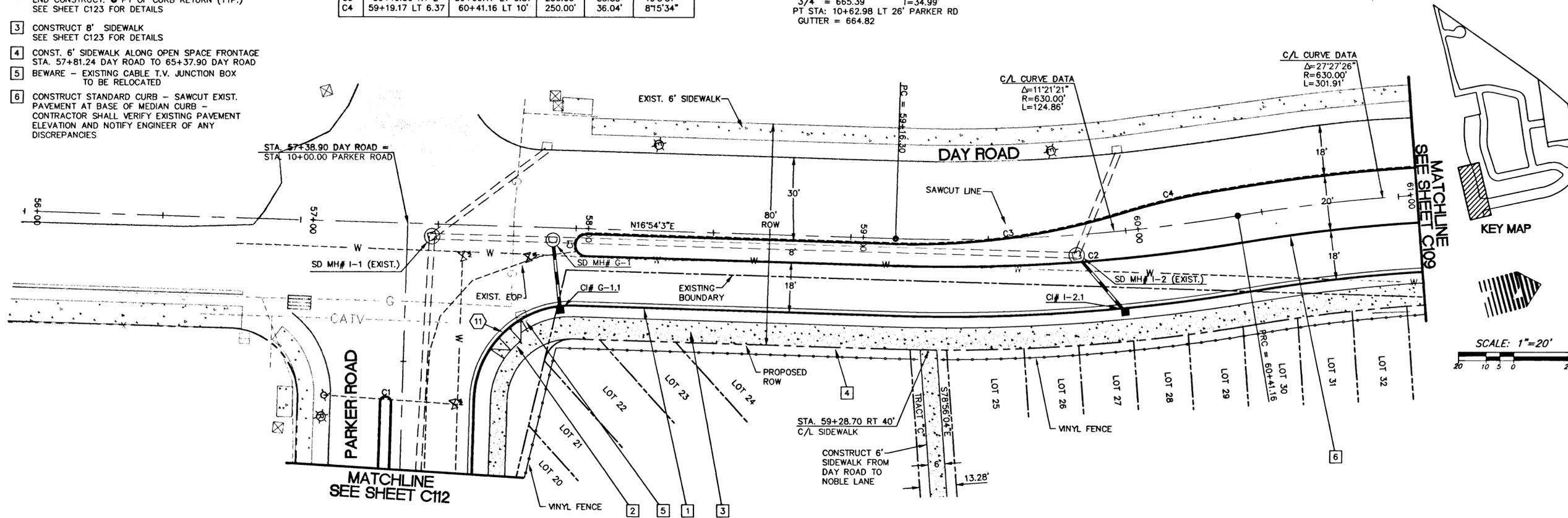
- 1 CONSTRUCT CURB & GUTTER - SEE SHEET C123 FOR DETAILS
- 2 CONSTRUCT HANDICAP RAMP PER APWA STDS. - END CONSTRUCT. ● PT OF CURB RETURN (TYP.) SEE SHEET C123 FOR DETAILS
- 3 CONSTRUCT 8' SIDEWALK SEE SHEET C123 FOR DETAILS
- 4 CONST. 6' SIDEWALK ALONG OPEN SPACE FRONTAGE STA. 57+81.24 DAY ROAD TO 65+37.90 DAY ROAD
- 5 BEWARE - EXISTING CABLE T.V. JUNCTION BOX TO BE RELOCATED
- 6 CONSTRUCT STANDARD CURB - SAWCUT EXIST. PAVEMENT AT BASE OF MEDIAN CURB - CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATION AND NOTIFY ENGINEER OF ANY DISCREPANCIES

DAY ROAD MEDIAN CURB CURVE DATA

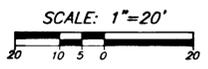
TAG	BEG. STATION	END STATION	RADIUS	LENGTH	DELTA
C1	58+03.90 RT 2'	58+03.90 RT 10'	4.00'	12.57'	180°0'0"
C2	59+16.30 RT 10'	60+41.16 RT 10'	640.00'	126.85'	11°21'21"
C3	59+16.30 RT 2'	59+99.17 LT 6.37'	250.00'	83.33'	19°5'51"
C4	59+19.17 LT 6.37'	60+41.16 LT 10'	250.00'	36.04'	87°5'34"

CURB RETURN DATA

⑪ PC STA: 57+99.90 RT 28' DAY ROAD
 GUTTER = 667.83 $\Delta = 89°59'50"$
 1/4 = 667.26 R=35.00'
 1/2 = 666.33 L=54.98'
 3/4 = 665.39 T=34.99'
 PT STA: 10+62.98 LT 26' PARKER RD
 GUTTER = 664.82



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KEY MAP

DAY ROAD STA. 56+00 TO STA. 61+00
STREET/STORM PLAN AND PROFILE

WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

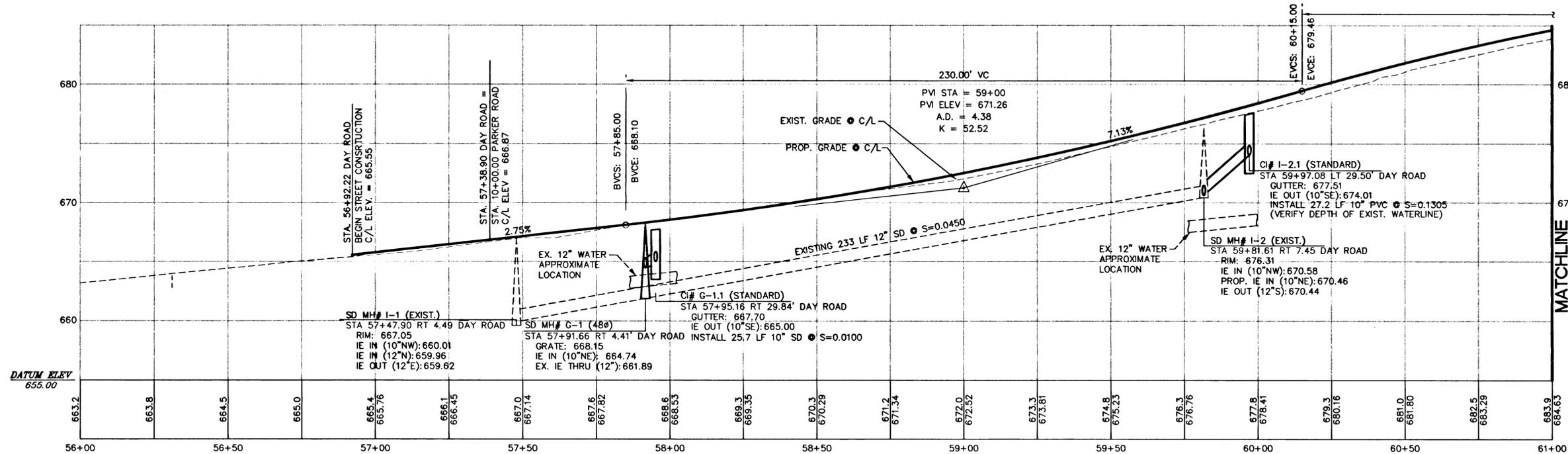
AS-BUILT DRAWING

05/04/2001
 THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

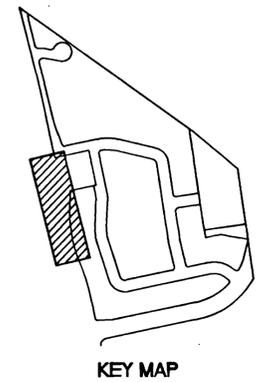
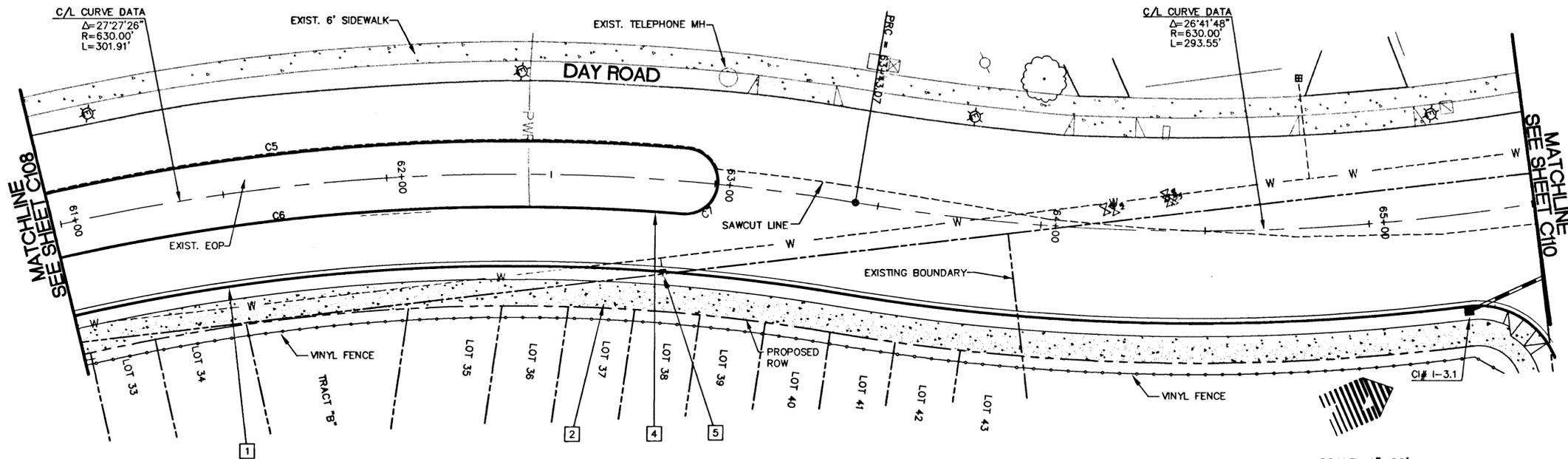
PROJECT NO. **JTS004**
 DATE **7/28/99**
 DESIGNED **J SLATER**
 ENGINEER **R DYER**
 CHECKED

SHEET TITLE **STREET/STORM**
 SHEET NUMBER

C108



DAY ROAD PROFILE
 SCALE
 HOR: 1"=20'
 VERT: 1"=5'

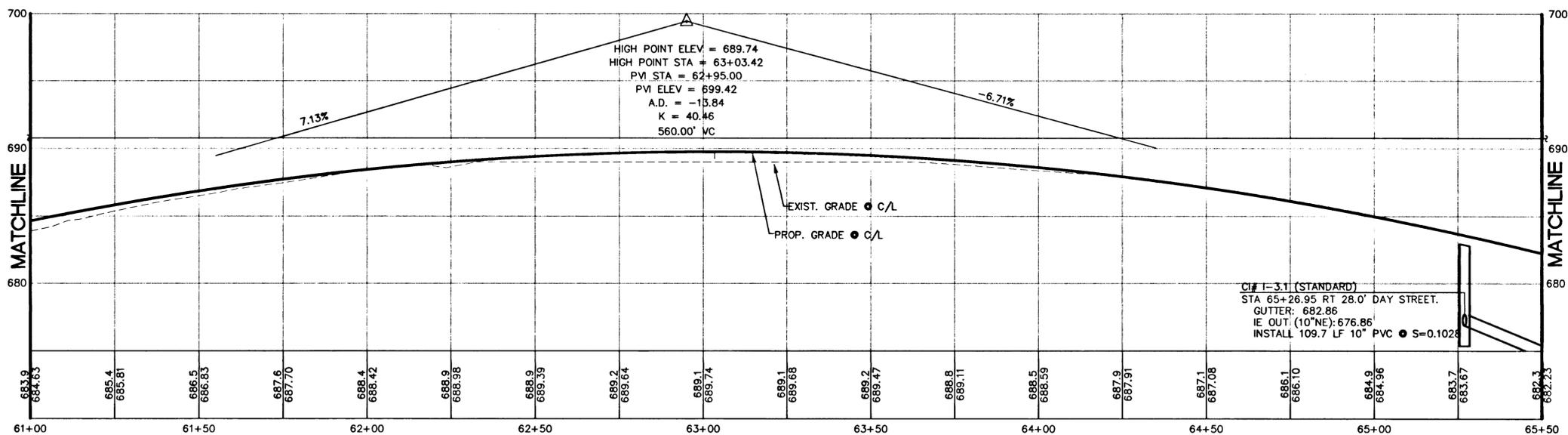


DAY ROAD MEDIAN CURB CURVE DATA

TAG	BEG. STATION	END STATION	RADIUS	LENGTH	DELTA
C5	60+41.16 LT 10'	62+90.82 LT 10'	640.00'	253.63'	22°42'21"
C6	60+41.16 RT 10'	62+90.82 RT 10'	620.00'	245.70'	22°42'21"
C7	62+90.82 RT 10'	62+90.82 LT 10'	10.00'	31.42'	180°0'0"
C8	63+51.11 RT 10'	63+51.11 LT 10'	10.00'	31.42'	180°0'0"
C9	63+51.11 LT 10'	63+92.25 LT 10'	620.00'	40.49'	3°44'31"
C10	63+51.11 RT 10'	63+92.25 RT 10'	640.00'	41.80'	3°44'31"
C11	63+92.25 RT 10'	63+92.25 RT 10'	10.00'	31.42'	180°0'0"

STREET CONSTRUCTION NOTES

- 1 CONSTRUCT CURB & GUTTER - SEE SHEET C123 FOR DETAILS
- 2 CONSTRUCT 8' MEANDERING SIDEWALK SEE SHEET C123 FOR DETAILS
- 4 CONSTRUCT STANDARD CURB - SAWCUT EXIST. PAVEMENT AT BASE OF MEDIAN CURB - CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATION AND NOTIFY ENGINEER OF ANY DISCREPANCIES
- 5 RELOCATE EXISTING AIR-VAC VALVE TO ADJACENT PLANTER STRIP



DAY ROAD PROFILE
 SCALE
 HOR: 1"=20'
 VERT: 1"=5'

**DAY ROAD STA. 61+00 TO STA. 65+50
 STREET/STORM PLAN AND PROFILE**

**AS-BUILT
 DRAWING**

05/04/2001
 THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

PROJECT NO.

JTS004

DATE | 7/28/99

DESIGNED | J SLATER

ENGINEER | R DYER

CHECKED |

SHEET TITLE

STREET/STORM

SHEET NUMBER

C109

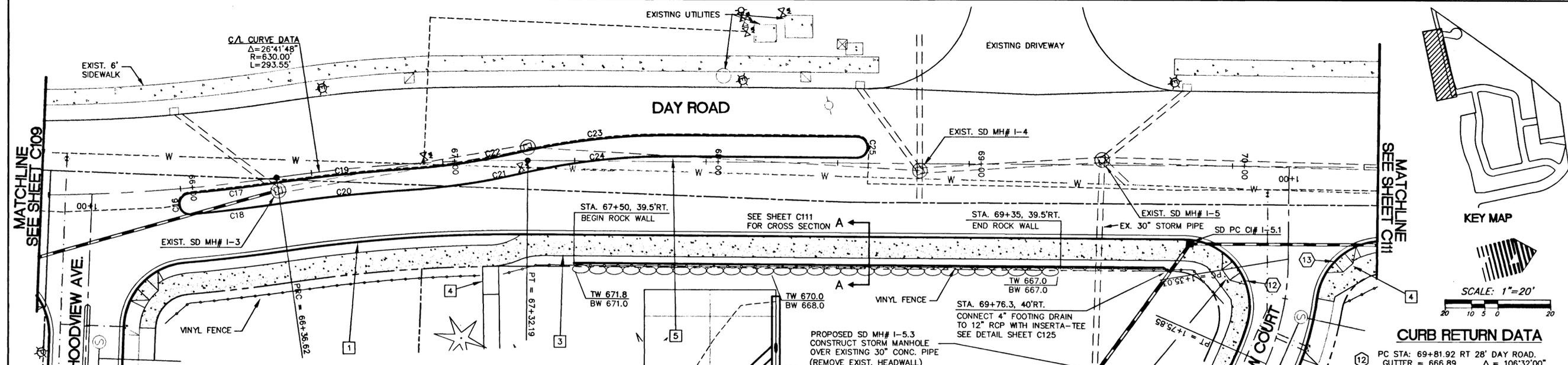


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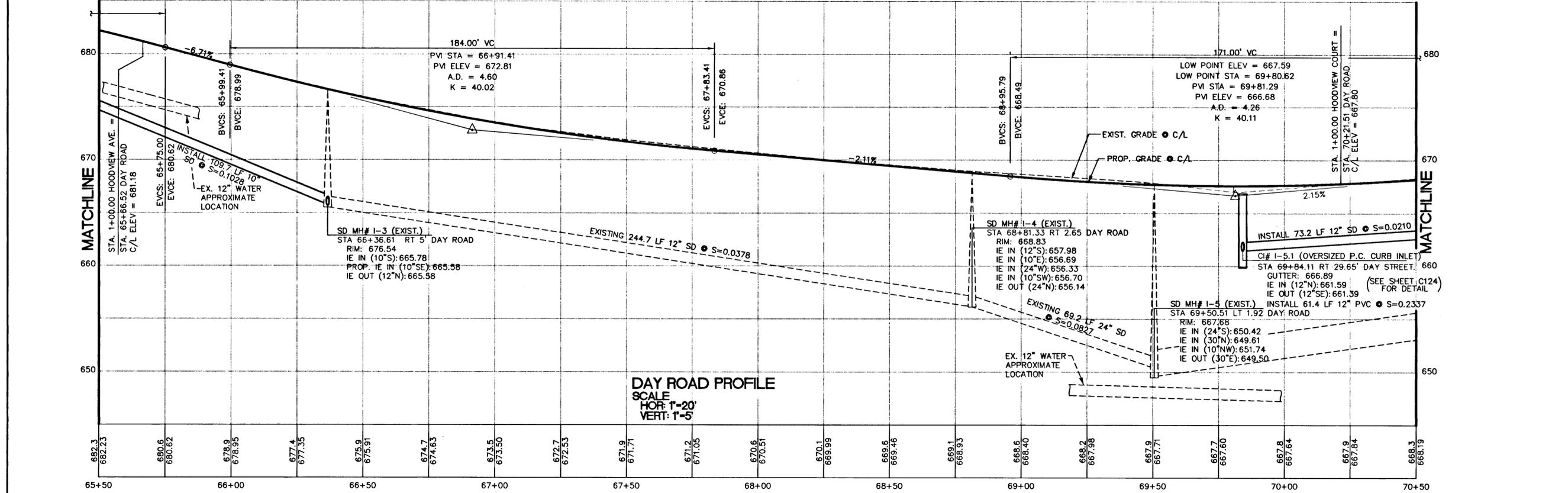
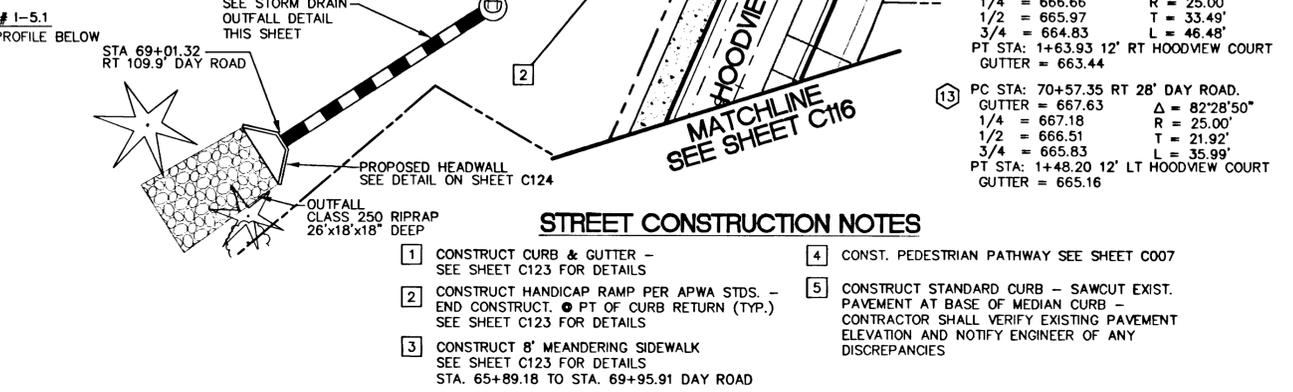
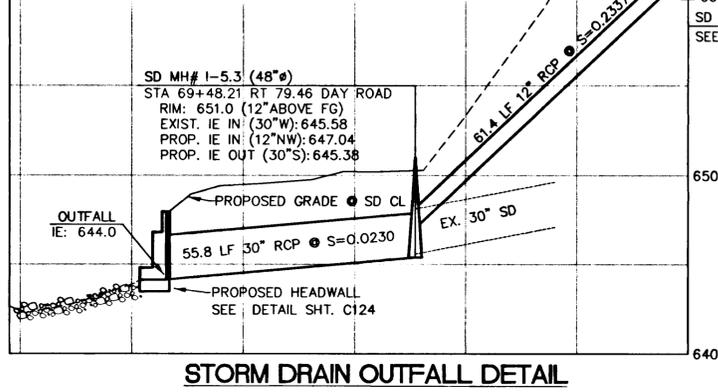
PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS • SURVEYORS

HOODVIEW ESTATES, LLC
 WEST LINN, OREGON



DAY ROAD MEDIAN CURB CURVE DATA

TAG	BEG. STATION	END STATION	RADIUS	LENGTH	DELTA
C16	66+03.06 RT 2'	66+03.06 RT 10'	4.00'	12.57'	180°0'0"
C17	66+03.06 RT 2'	66+36.62 RT 2'	632.00'	33.66'	3°3'6"
C18	66+03.06 RT 10'	66+36.62 RT 10'	640.00'	34.09'	3°3'6"
C19	66+36.62 RT 2'	66+86.60 RT 2'	628.00'	49.82'	4°32'44"
C20	66+36.62 RT 10'	66+86.60 RT 10'	620.00'	49.19'	4°32'44"
C21	66+86.60 RT 10'	67+29.46 RT 5.03'	258.00'	42.69'	9°28'46"
C22	66+86.60 RT 2'	67+27.62 LT 2.75'	250.00'	41.36'	9°28'46"
C23	67+27.62 LT 2.75'	67+88.38 LT 10'	258.00'	61.36'	13°37'34"
C24	67+29.46 RT 5.03'	67+88.38 LT 2'	250.00'	59.46'	13°37'34"
C25	68+57.34 LT 2'	68+57.34 LT 10'	4.00'	12.57'	180°0'0"



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**DAY ROAD STA. 65+50 TO STA. 70+50
STREET/STORM PLAN AND PROFILE**

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

**AS-BUILT
DRAWING**
05/04/2001

THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

PROJECT NO.
JTS004

DATE | 7/28/99
DESIGNED | J SLATER
ENGINEER | R DYER
CHECKED |

SHEET TITLE
STREET/STORM

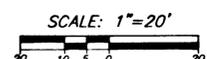
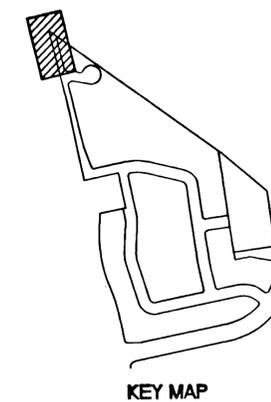
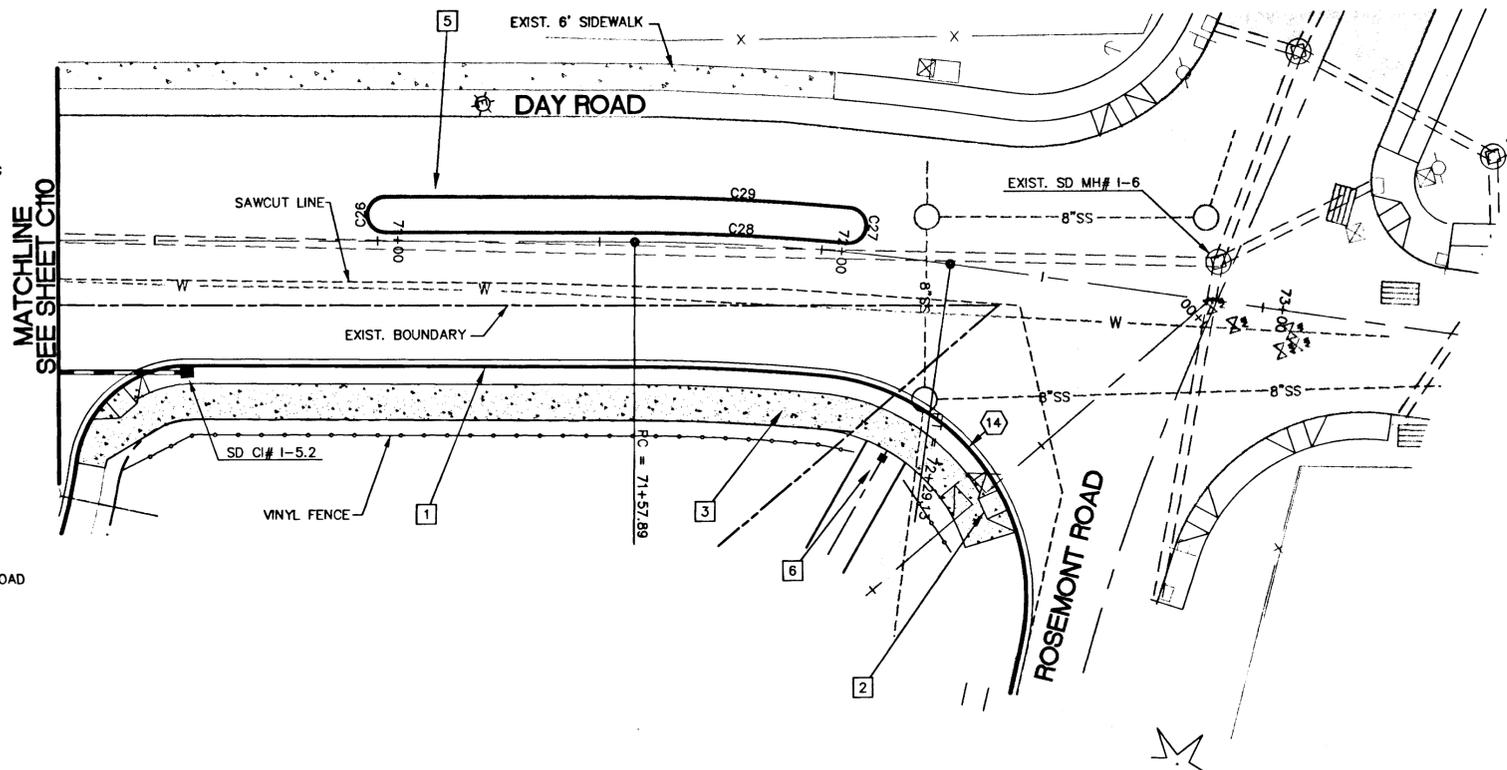
SHEET NUMBER
C110

DAY ROAD MEDIAN CURB CURVE DATA

TAG	BEG. STATION	END STATION	RADIUS	LENGTH	DELTA
C26	70+01.68 LT 2'	71+01.68 LT 10'	4.00'	12.57'	180°0'0"
C27	72+05.49 LT 2'	72+05.49 LT 10'	4.00'	12.57'	180°0'0"
C28	71+01.68 LT 2'	72+05.49 LT 2'	529.00'	47.78'	51°0'31"
C29	71+01.68 LT 10'	72+05.49 LT 10'	537.00'	48.50'	51°0'31"

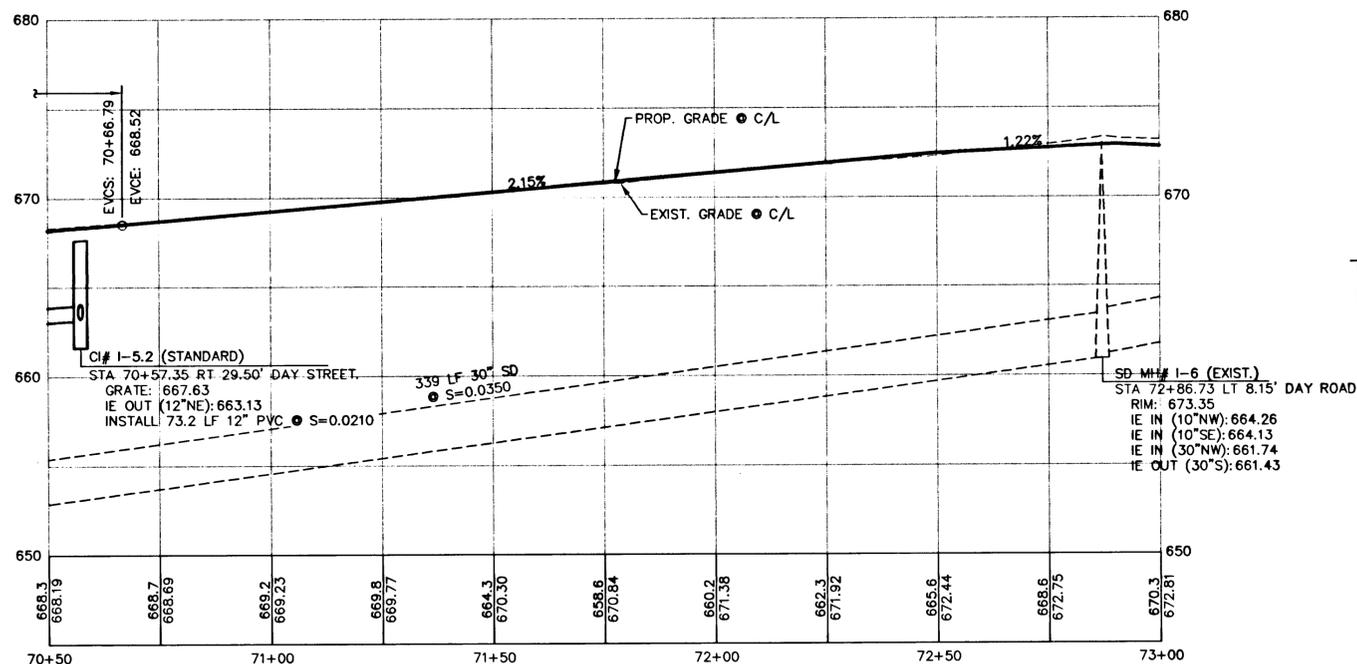
STREET CONSTRUCTION NOTES

- 1 CONSTRUCT CURB & GUTTER - SEE SHEET C123 FOR DETAILS
- 2 CONSTRUCT HANDICAP RAMP PER APWA STDS. - END CONSTRUCT. @ PT OF CURB RETURN (TYP.) SEE SHEET C123 FOR DETAILS
- 3 CONSTRUCT 8' MEANDERING SIDEWALK SEE SHEET C123 FOR DETAILS
- 5 CONSTRUCT STANDARD CURB - SAWCUT EXIST. PAVEMENT AT BASE OF MEDIAN CURB - CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATION AND NOTIFY ENGINEER OF ANY DISCREPANCIES
- 6 INSTALL REMOVABLE BOLLARD. BOLLARD TO MATCH EXISTING VINYL FENCE POST. FILL WITH CONCRETE & CAP. 2'-6" EXPOSURE, 1' MIN. BURY WITHIN SLEEVE.

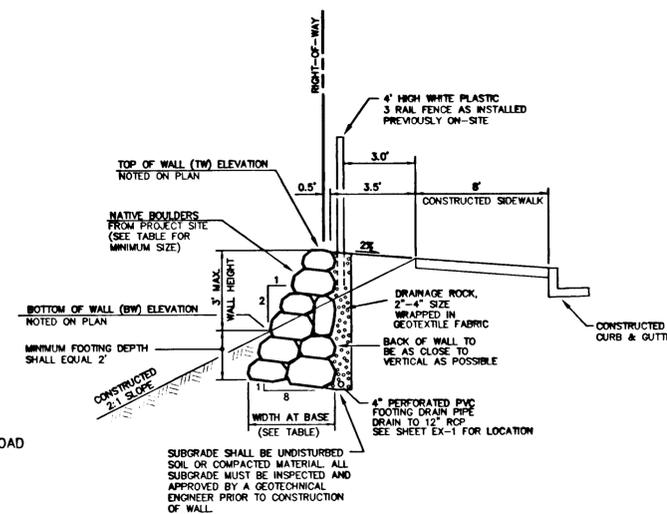


CURB RETURN DATA

PC STA: 72+09.45 RT 28' DAY ROAD.
 GUTTER = 671.34 Δ = 97°41'54"
 1/4 = 671.74 R = 50.00'
 1/2 = 672.16 T = 57.21'
 3/4 = 672.57 L = 85.26'
 PT STA: 72+51.02 77.11' RT ROSEMONT ROAD
 GUTTER = 672.85



DAY ROAD PROFILE
 SCALE
 HOR: 1"=20'
 VERT: 1"=5'



WALL HEIGHT (FT)	MINIMUM WIDTH AT BASE (FT)	MINIMUM ROCK SIZE	
		DIAMETER	APPROXIMATE WEIGHT (LBS)
2	3.25	15"	120 - 250
3	3.75	15"	120 - 250

**DAY ROAD STA. 70+50 TO STA. 73+50
 STREET/STORM PLAN AND PROFILE**

WEST LINN, OREGON

HOODVIEW ESTATES, LLC

AS-BUILT DRAWING

05/04/2001
 THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

PROJECT NO. **JTS004**
 DATE **7/28/99**
 DESIGNED **J SLATER**
 ENGINEER **R DYER**
 CHECKED _____

SHEET TITLE _____
STREET/STORM
 SHEET NUMBER _____

C111



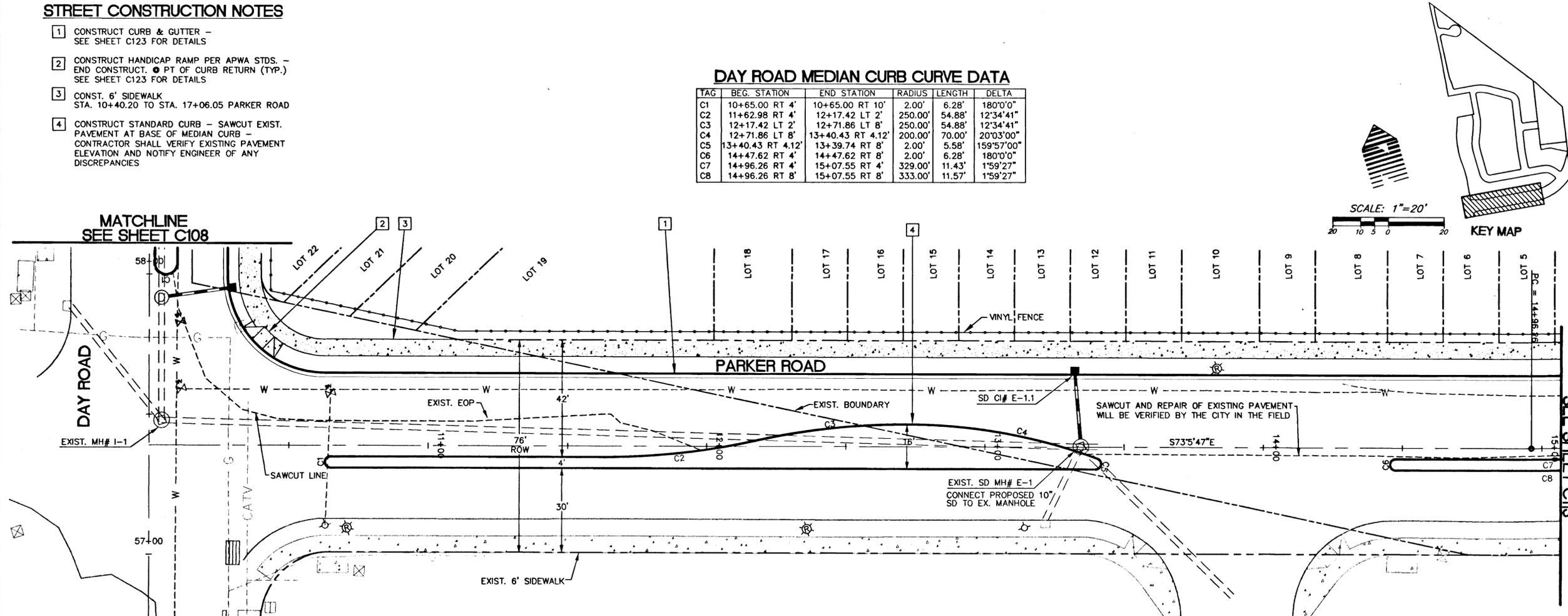
W E S T L I N N
D E S I G N
A R C H I T E C T S
 10450 SW Nimbus Ave., Portland, Oregon 97223
 503 603-9933 FAX: 503 603-9944
 PLANNERS & ENGINEERS & LANDSCAPE ARCHITECTS & SURVEYORS

STREET CONSTRUCTION NOTES

- 1 CONSTRUCT CURB & GUTTER - SEE SHEET C123 FOR DETAILS
- 2 CONSTRUCT HANDICAP RAMP PER APWA STDS. - END CONSTRUCT. ● PT OF CURB RETURN (TYP.) SEE SHEET C123 FOR DETAILS
- 3 CONST. 6' SIDEWALK STA. 10+40.20 TO STA. 17+06.05 PARKER ROAD
- 4 CONSTRUCT STANDARD CURB - SAWCUT EXIST. PAVEMENT AT BASE OF MEDIAN CURB - CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATION AND NOTIFY ENGINEER OF ANY DISCREPANCIES

DAY ROAD MEDIAN CURB CURVE DATA

TAG	BEG. STATION	END STATION	RADIUS	LENGTH	DELTA
C1	10+65.00 RT 4'	10+65.00 RT 10'	2.00'	6.28'	180°0'0"
C2	11+62.98 RT 4'	12+17.42 LT 2'	250.00'	54.88'	12°34'41"
C3	12+17.42 LT 2'	12+71.86 LT 8'	250.00'	54.88'	12°34'41"
C4	12+71.86 LT 8'	13+40.43 RT 4.12'	200.00'	70.00'	20°03'00"
C5	13+40.43 RT 4.12'	13+39.74 RT 8'	2.00'	5.58'	159°57'00"
C6	14+47.62 RT 4'	14+47.62 RT 8'	2.00'	6.28'	180°0'0"
C7	14+96.26 RT 4'	15+07.55 RT 4'	329.00'	11.43'	1°59'27"
C8	14+96.26 RT 8'	15+07.55 RT 8'	333.00'	11.57'	1°59'27"



SCALE: 1"=20'

KEY MAP



PARKER ROAD STA. 10+00 TO STA. 15+00
STREET/STORM PLAN AND PROFILE

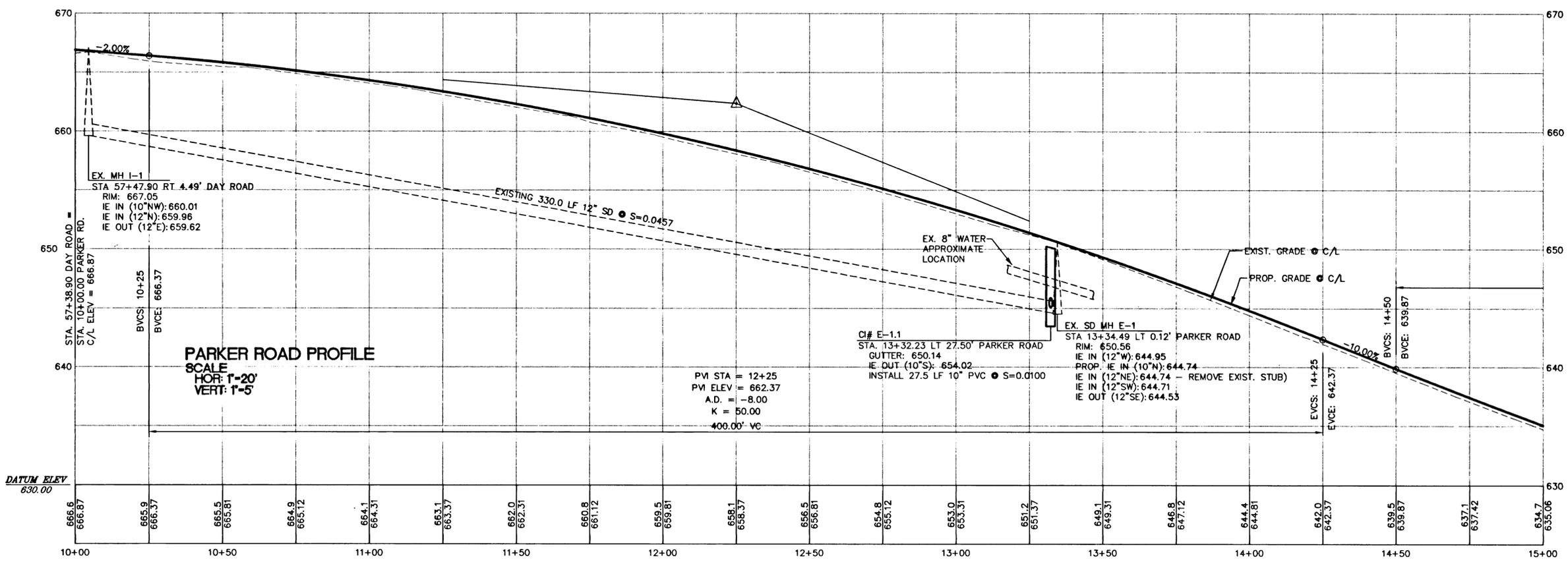
WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

AS-BUILT DRAWING
05/04/2001

THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

PROJECT NO. **JTS004**
 DATE **7/28/99**
 DESIGNED **J SLATER**
 ENGINEER **R DYER**
 CHECKED _____

SHEET TITLE **STREET/STORM**
 SHEET NUMBER **C112**

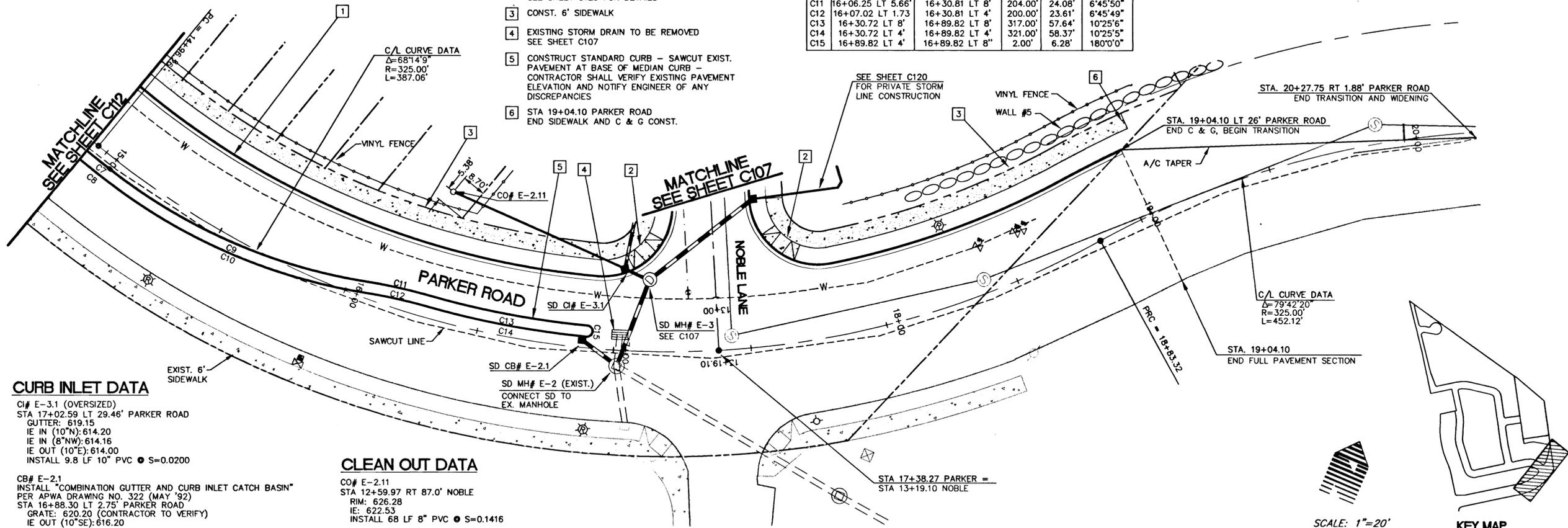


STREET CONSTRUCTION NOTES

- 1 CONSTRUCT CURB & GUTTER - SEE SHEET C123 FOR DETAILS
- 2 CONSTRUCT HANDICAP RAMP PER A.D.A. STDS. - END CONSTRUCT. ● PT OF CURB RETURN (TYP.) SEE SHEET C123 FOR DETAILS
- 3 CONST. 6' SIDEWALK
- 4 EXISTING STORM DRAIN TO BE REMOVED SEE SHEET C107
- 5 CONSTRUCT STANDARD CURB - SAWCUT EXIST. PAVEMENT AT BASE OF MEDIAN CURB - CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATION AND NOTIFY ENGINEER OF ANY DISCREPANCIES
- 6 STA 19+04.10 PARKER ROAD END SIDEWALK AND C & G CONST.

PARKER ROAD MEDIAN CURB CURVE DATA

TAG	BEG. STATION	END STATION	RADIUS	LENGTH	DELTA
C7	14+96.26 RT 4'	15+07.55 RT 4'	329.00'	11.43'	1°59'27"
C8	14+96.26 RT 8'	15+07.55 RT 8'	333.00'	11.57'	1°59'27"
C9	15+07.55 RT 4'	16+06.25 LT 5.66'	200.00'	99.55'	28°31'10"
C10	15+07.55 RT 8'	16+07.02 LT 1.73'	204.00'	101.54'	28°31'10"
C11	16+06.25 LT 5.66'	16+30.81 LT 8'	204.00'	24.08'	6°45'50"
C12	16+07.02 LT 1.73'	16+30.81 LT 4'	200.00'	23.61'	6°45'49"
C13	16+30.72 LT 8'	16+89.82 LT 8'	317.00'	57.64'	10°25'6"
C14	16+30.72 LT 4'	16+89.82 LT 4'	321.00'	58.37'	10°25'5"
C15	16+89.82 LT 4'	16+89.82 LT 8"	2.00'	6.28'	180°0'0"



CURB INLET DATA

CI# E-3.1 (OVERSIZED)
 STA 17+02.59 LT 29.46' PARKER ROAD
 CUTTER: 619.15
 IE IN (10°N): 614.20
 IE IN (8°NW): 614.16
 IE OUT (10°E): 614.00
 INSTALL 9.8 LF 10" PVC ● S=0.0200

CB# E-2.1
 INSTALL "COMBINATION GUTTER AND CURB INLET CATCH BASIN"
 PER APWA DRAWING NO. 322 (MAY '92)
 STA 16+88.30 LT 2.75' PARKER ROAD
 GRATE: 620.20 (CONTRACTOR TO VERIFY)
 IE OUT (10°SE): 616.20
 SUMP ELEV: 614.70
 INSTALL 15.8 LF 10" PVC ● S=0.1502

CLEAN OUT DATA

CO# E-2.11
 STA 12+59.97 RT 87.0' NOBLE
 RIM: 626.28
 IE: 622.53
 INSTALL 68 LF 8" PVC ● S=0.1416

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**PARKER ROAD STA. 15+00 TO STA. 20+26.50
 STREET/STORM PLAN AND PROFILE**

WEST LINN, OREGON
 HOODMEW ESTATES, LLC

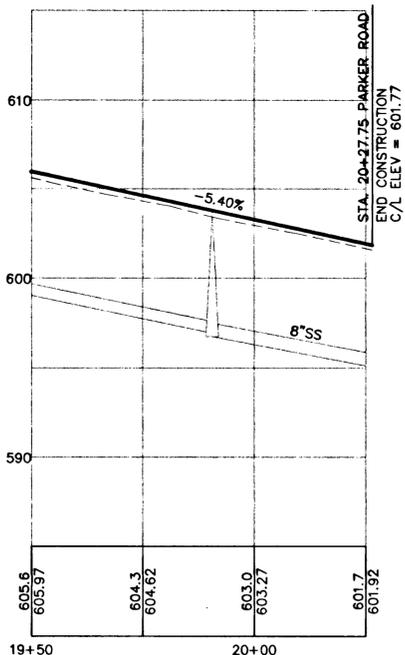
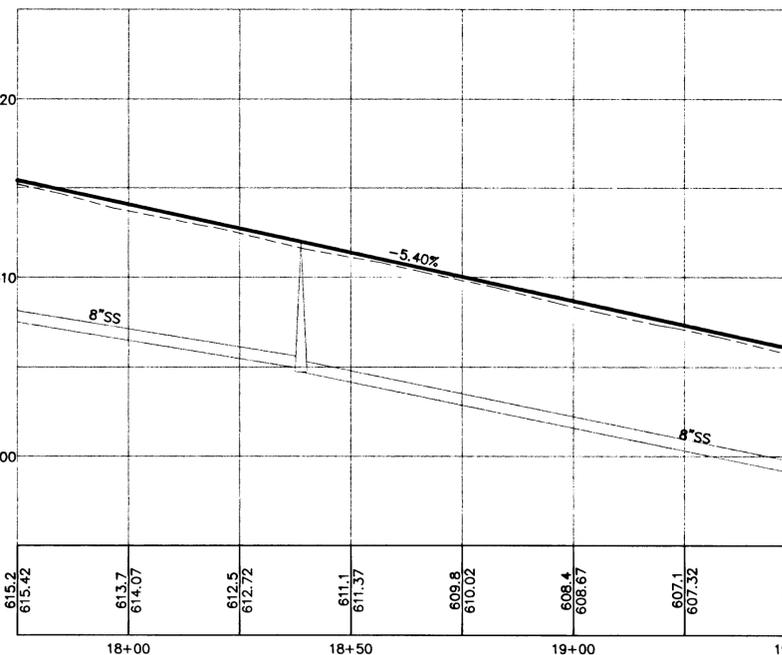
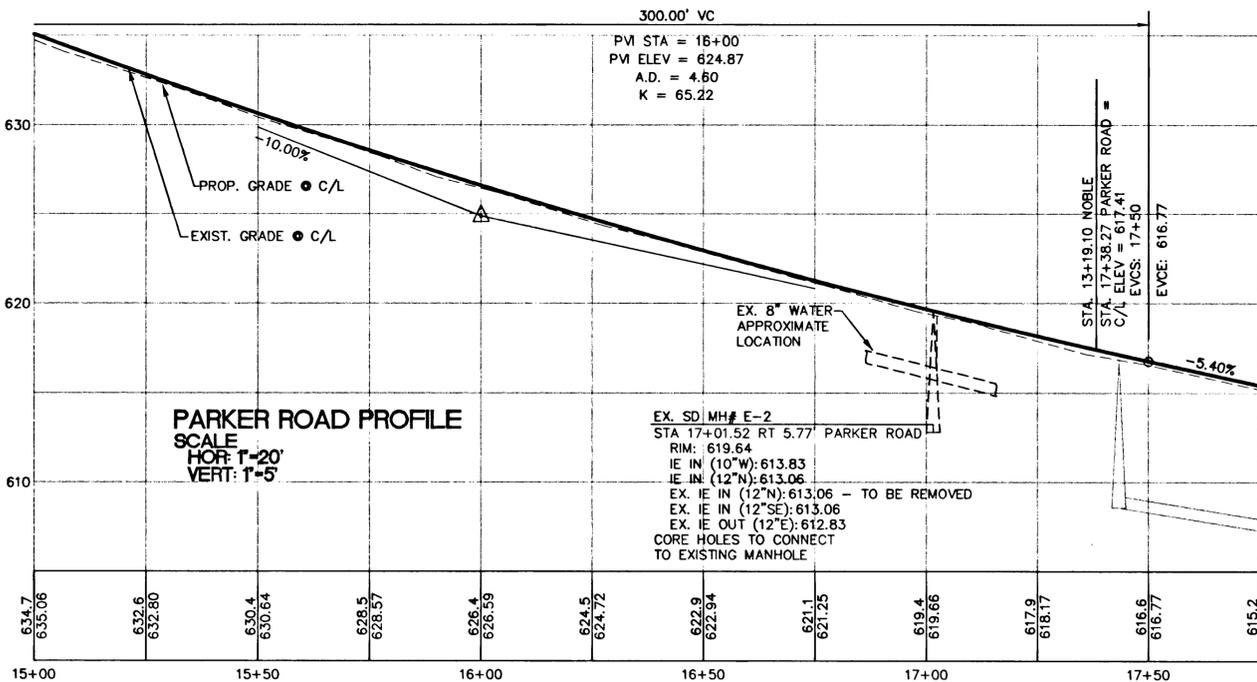
AS-BUILT DRAWING

05/04/2001
 THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

PROJECT NO. **JTS004**
 DATE 7/16/99
 DESIGNED J SLATER
 ENGINEER R DYER
 CHECKED

SHEET TITLE **STREET/STORM**
 SHEET NUMBER

C113



STREET CONSTRUCTION NOTES

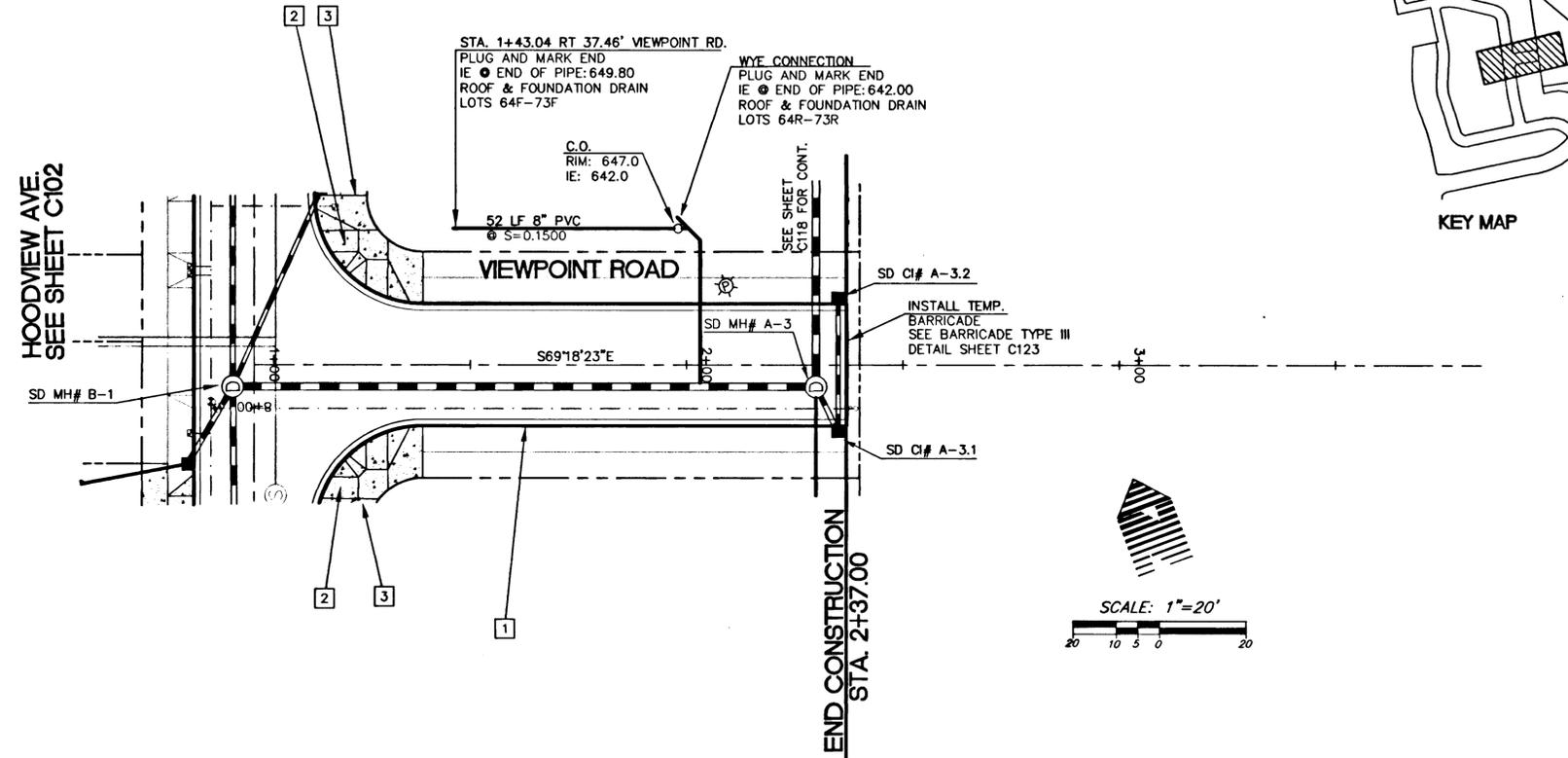
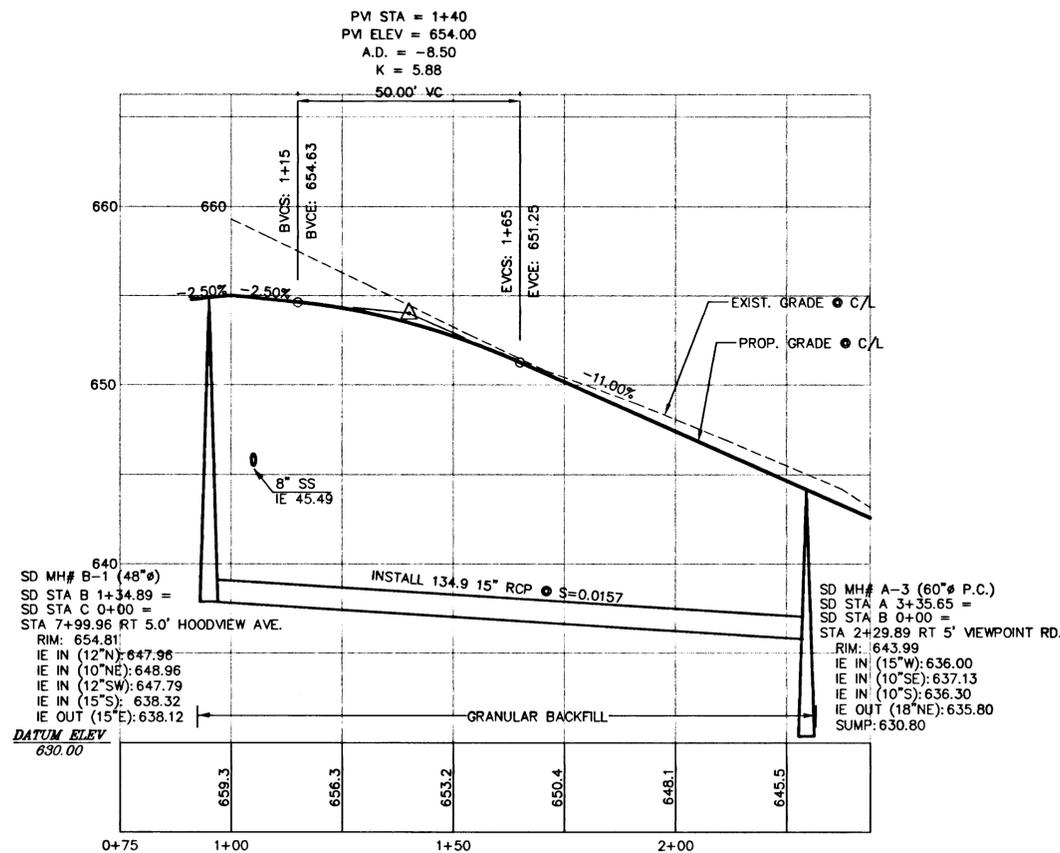
- 1 CONSTRUCT CURB & GUTTER - SEE SHEET C123 FOR DETAILS
- 2 CONSTRUCT HANDICAP RAMP PER APWA STDS. - END CONSTRUCT. ● PT OF CURB RETURN (TYP.) SEE SHEET C123 FOR DETAILS
- 3 CONSTRUCT 6' WIDE SIDEWALK - SEE SHEET C123 FOR DETAILS CONST. TO LENGTH OF CURB RETURN

CURB INLET DATA

SD CI# A-3.1 (OVERSIZED)
 SD STA A 3+46.15 LT 5.1 =
 STA 2+35.00 RT 15.5' VIEWPOINT RD.
 GUTTER: 643.21
 IE IN (10°NE): 637.71
 IE OUT (10°NW): 637.51
 INSTALL 11.7 LF 10" PVC ● S=0.0500

SD CI# A-3.2 (STANDARD)
 SD STA A 3+15.15 LT 5.12 =
 STA 2+35.00 RT 15.5' VIEWPOINT RD.
 GUTTER: 643.21
 IE OUT (10°SW): 639.21
 INSTALL 31.0 LF 10" PVC ● S=0.0484

VIEWPOINT ROAD PROFILE
 SCALE
 HOR: 1"=20'
 VERT: 1"=5'



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**VIEWPOINT ROAD STA. 1+00 TO STA. 2+40
 STREET/STORM PLAN AND PROFILE**

WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

AS-BUILT DRAWING
 05/04/2001

THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

PROJECT NO.
JTS004
 DATE | 7/28/99
 DESIGNED | J SLATER
 ENGINEER | R DYER
 CHECKED |

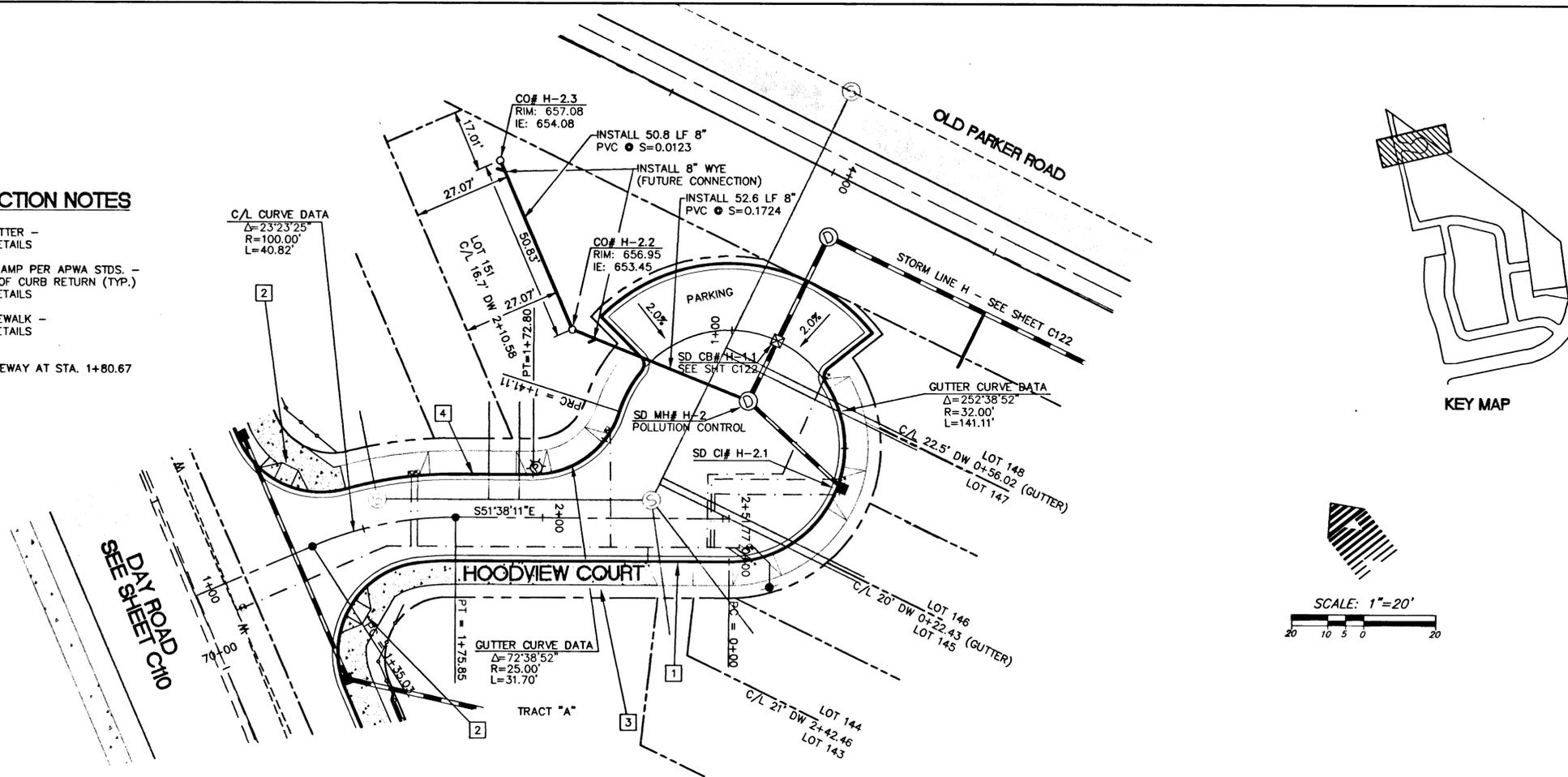
SHEET TITLE
STREET/STORM
 SHEET NUMBER
C115

STREET CONSTRUCTION NOTES

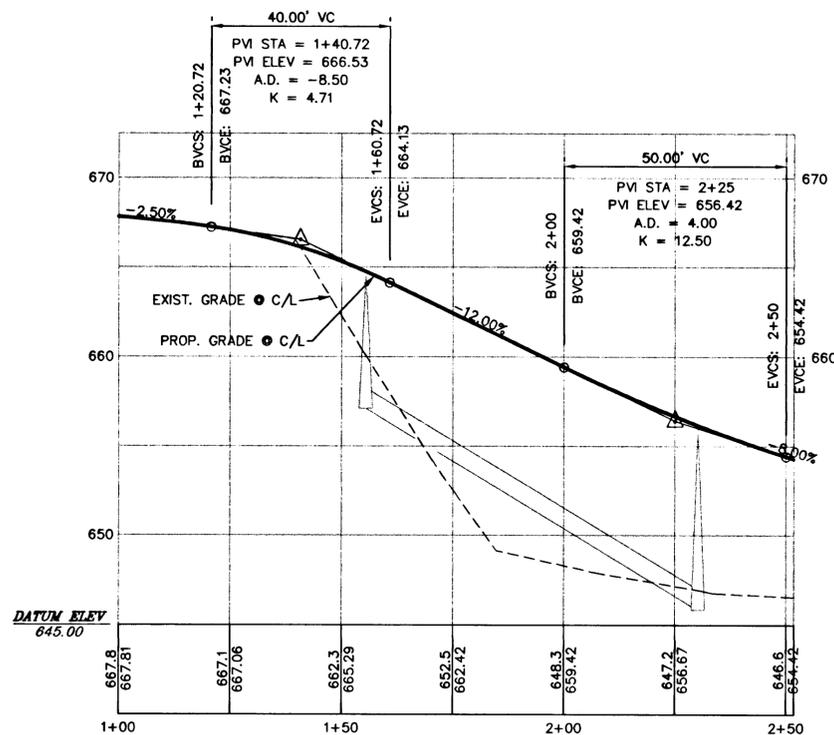
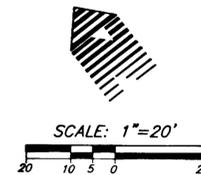
- 1 CONSTRUCT CURB & GUTTER - SEE SHEET C123 FOR DETAILS
- 2 CONSTRUCT HANDICAP RAMP PER APWA STDS. - END CONSTRUCT. ● PT OF CURB RETURN (TYP.) SEE SHEET C123 FOR DETAILS
- 3 CONSTRUCT 6' WIDE SIDEWALK - SEE SHEET C123 FOR DETAILS
- 4 LOT 149 & LOT 150 CENTERLINE OF 24' DRIVEWAY AT STA. 1+80.67

CURB INLET DATA

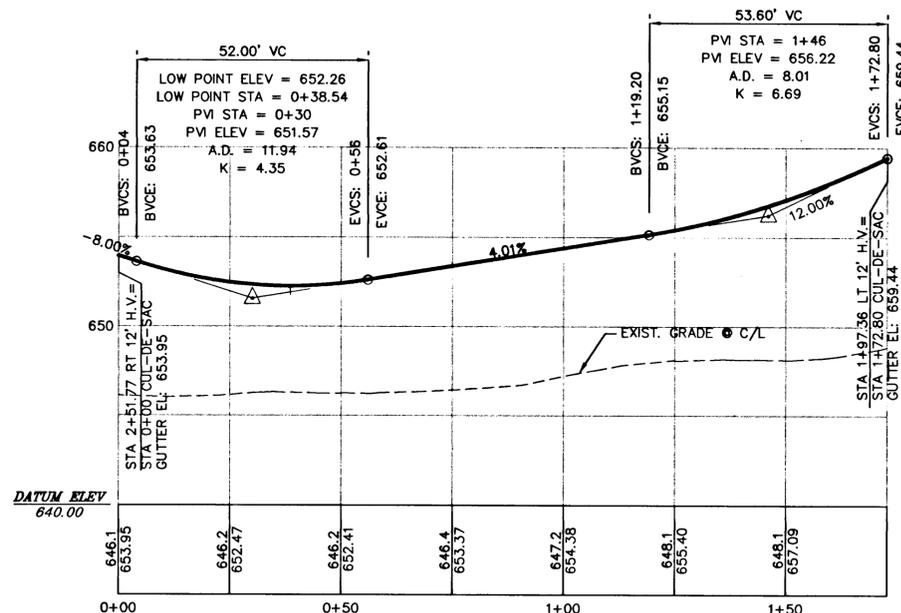
SD Cl# H-2.1 (OVERSIZED)
 STA 0+39.02 RT 1.5' HOODVIEW CT GUTTER
 GUTTER: 652.26
 IE OUT (10'S): 648.26
 INSTALL 35.7 LF 10" PVC ● S=0.0100



KEY MAP



HOODVIEW COURT PROFILE • CENTERLINE
 SCALE
 HOR: 1"=20'
 VERT: 1"=5'



HOODVIEW COURT PROFILE • GUTTER LINE
 SCALE
 HOR: 1"=20'
 VERT: 1"=5'

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**HOODVIEW COURT STA. 1+00 TO STA 2+51.77
 STREET/STORM PLAN AND PROFILE**

WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

AS-BUILT DRAWING

05/04/2001
 THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

PROJECT NO.

JTS004

DATE 7/28/99

DESIGNED J SLATER

ENGINEER R DYER

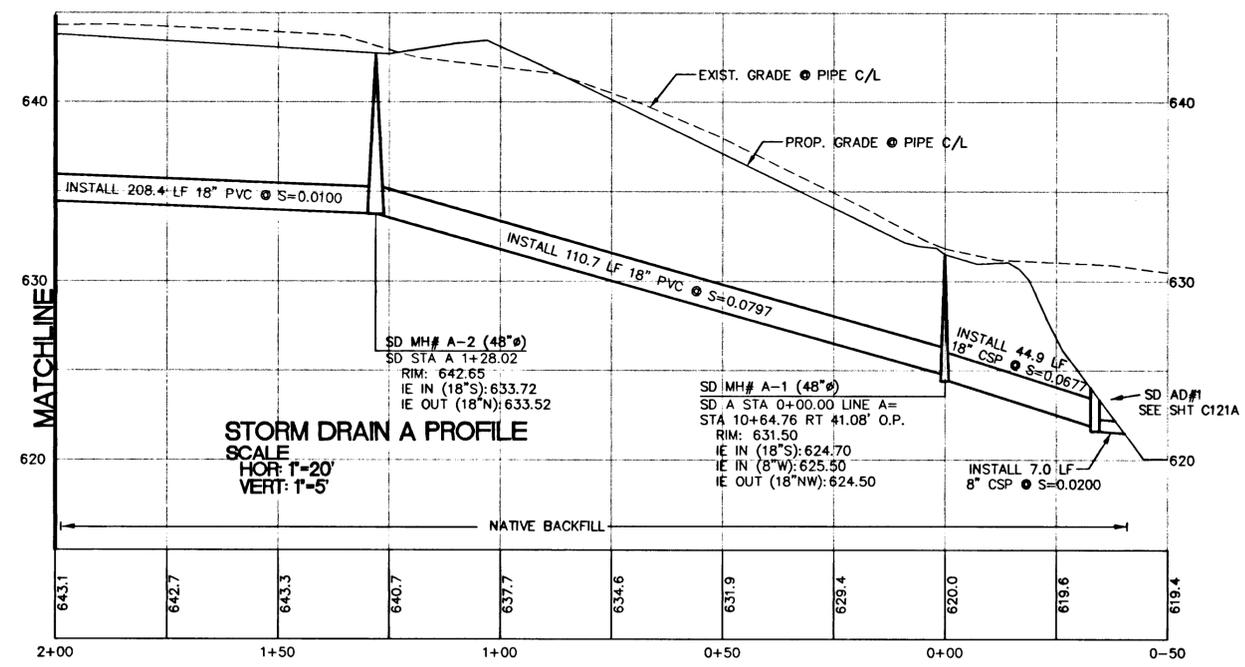
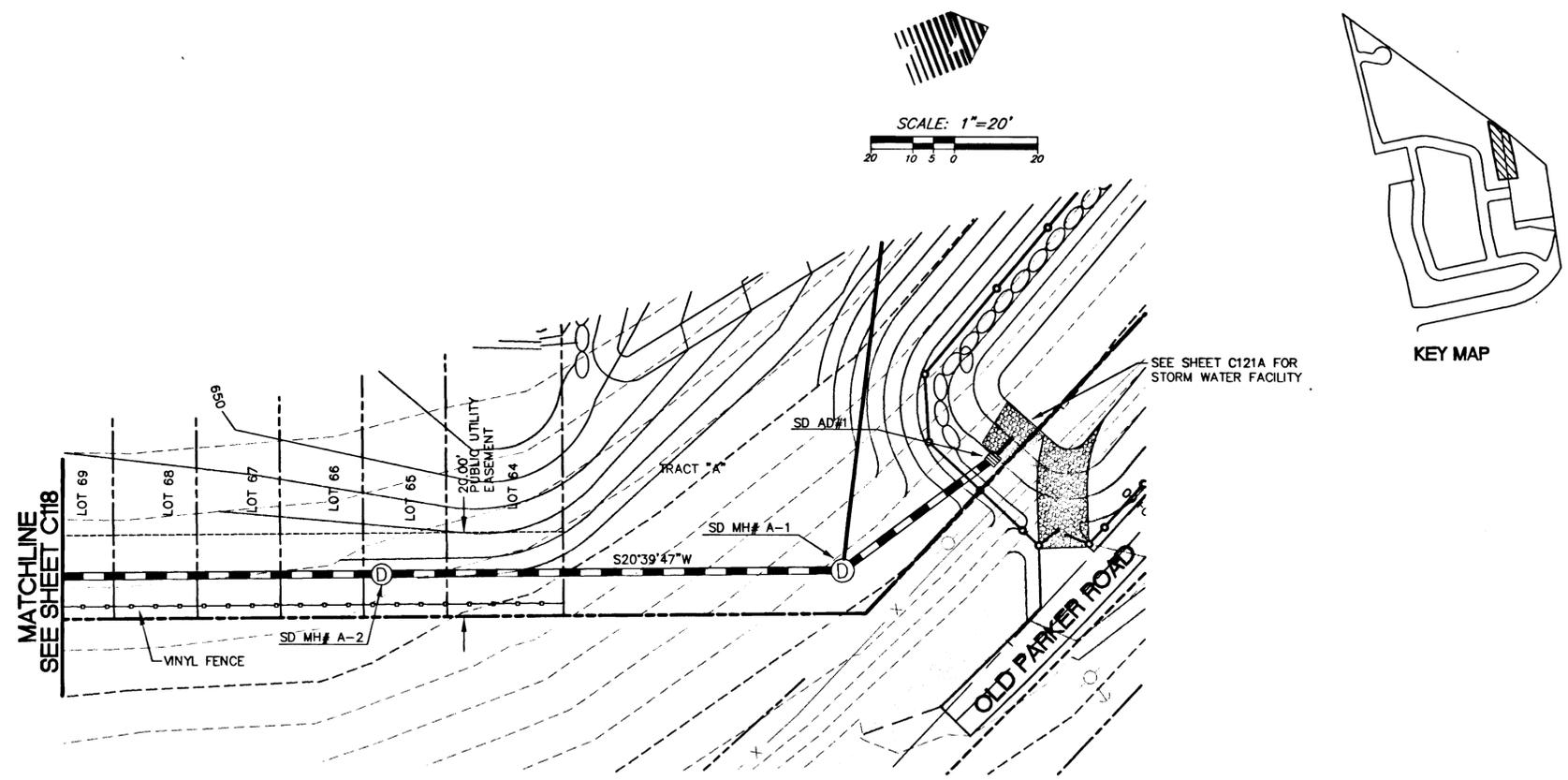
CHECKED

SHEET TITLE

STREET/STORM

SHEET NUMBER

C116



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**STORM DRAIN A STA. 0+00 TO 2+00
STREET/STORM PLAN AND PROFILE**

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

AS-BUILT DRAWING
05/04/2001

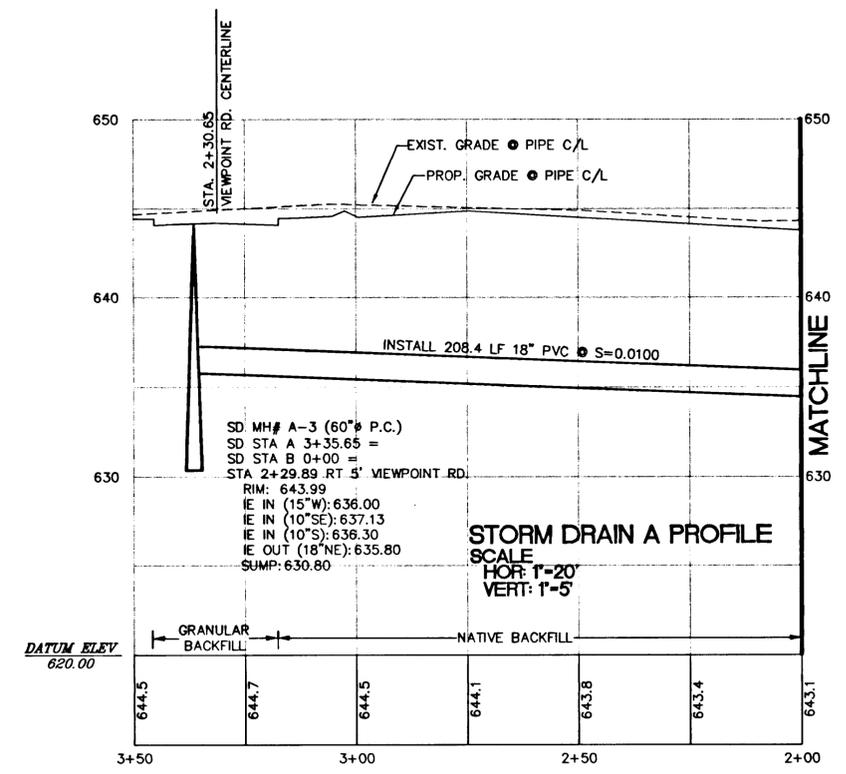
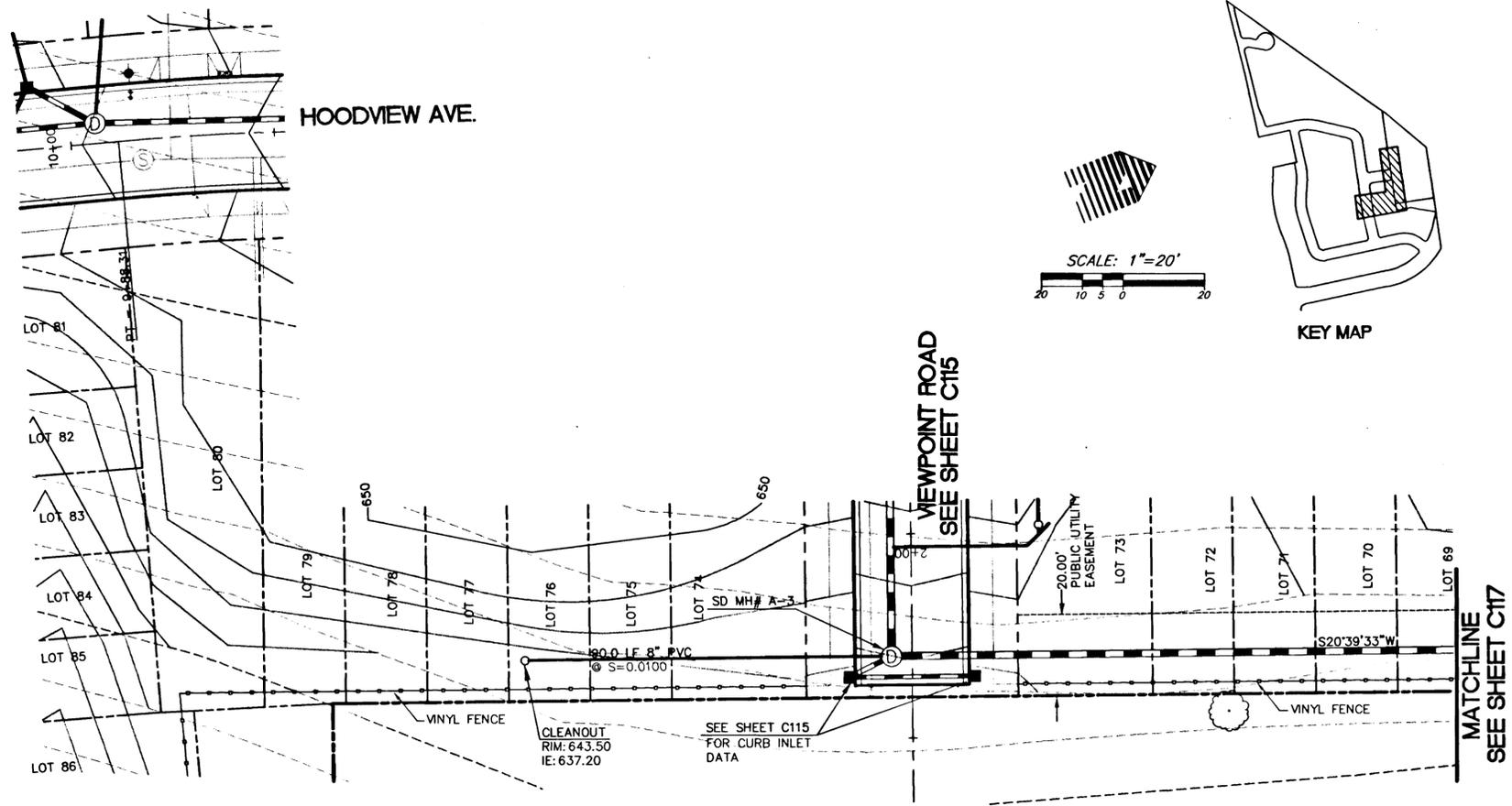
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PROJECT NO.
JTS004

DATE | 7/28/99
DESIGNED | J SLATER
ENGINEER | R DYER
CHECKED |

SHEET TITLE
STREET/STORM

SHEET NUMBER
C117

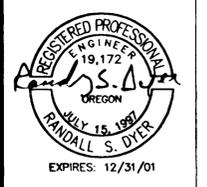


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**STORM DRAIN A STA. 2+00 TO 6+50
STREET/STORM PLAN AND PROFILE**

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

AS-BUILT DRAWING
05/04/2001

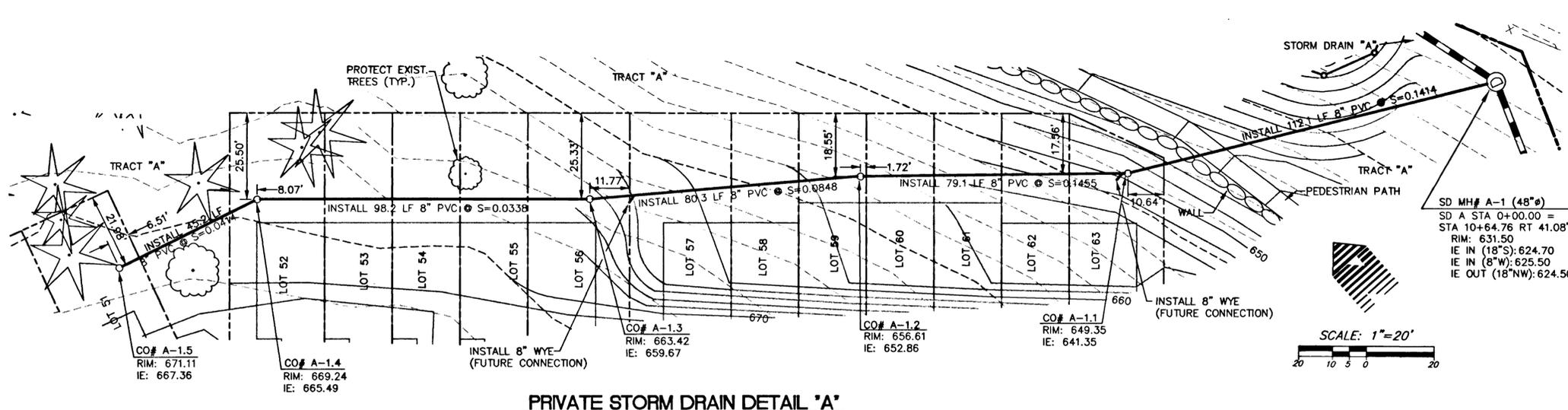
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PROJECT NO.
JTS004

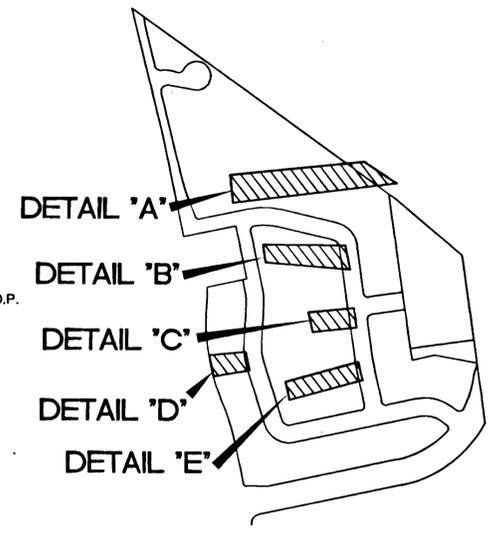
DATE 7/28/99
DESIGNED J SLATER
ENGINEER R DYER
CHECKED

SHEET TITLE
STREET/STORM

SHEET NUMBER
C118



PRIVATE STORM DRAIN DETAIL "A"

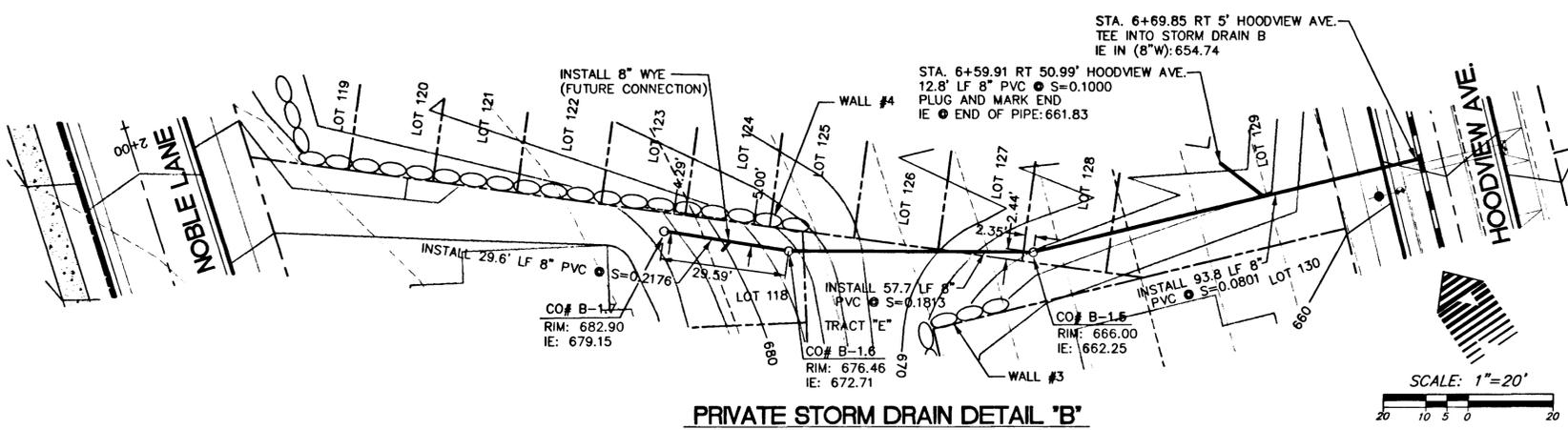


WEST LINN, OREGON

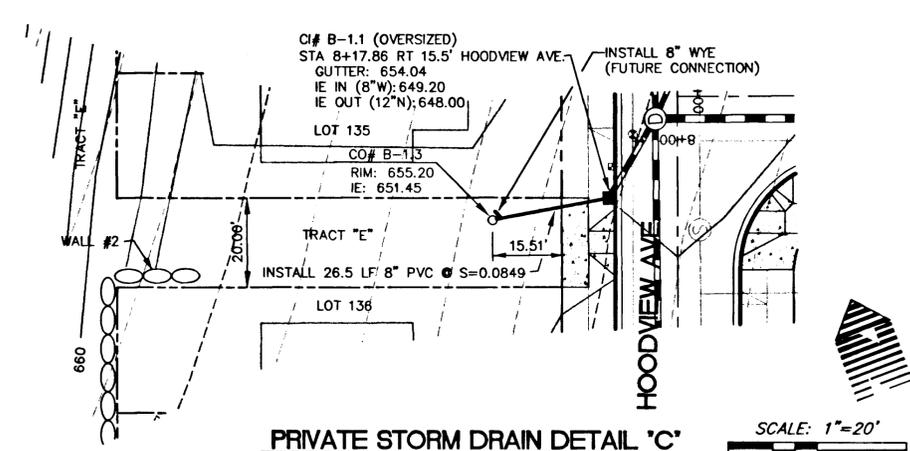
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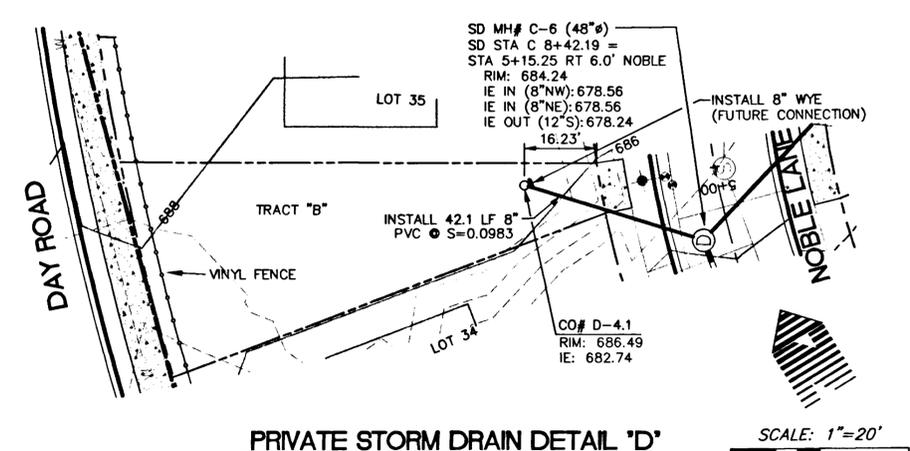
REGISTERED PROFESSIONAL ENGINEER
19,172
OREGON
JULY 15, 1993
RANDALL S. DYER
EXPIRES: 12/31/01



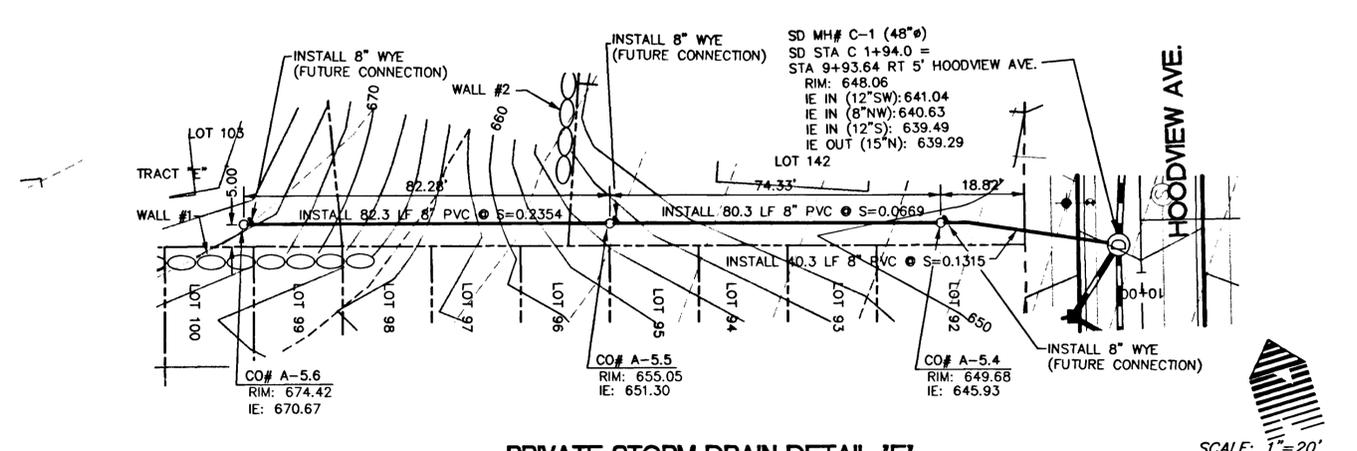
PRIVATE STORM DRAIN DETAIL "B"



PRIVATE STORM DRAIN DETAIL "C"



PRIVATE STORM DRAIN DETAIL "D"



PRIVATE STORM DRAIN DETAIL "E"

PRIVATE STORM DRAIN
STORM DRAIN DETAILS "A" - "E"

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

AS-BUILT DRAWING
05/04/2001

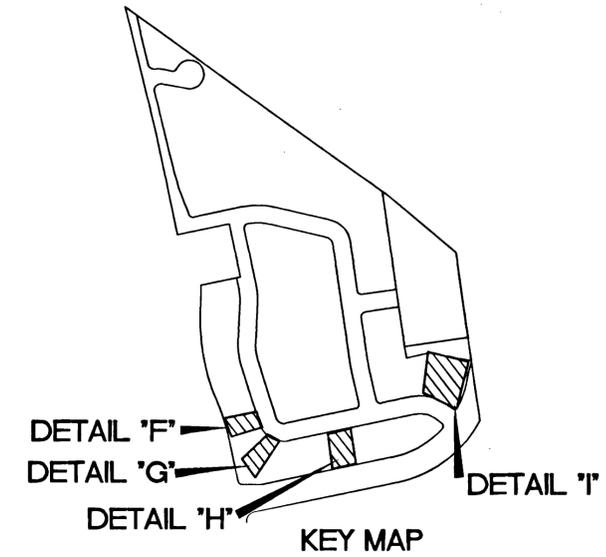
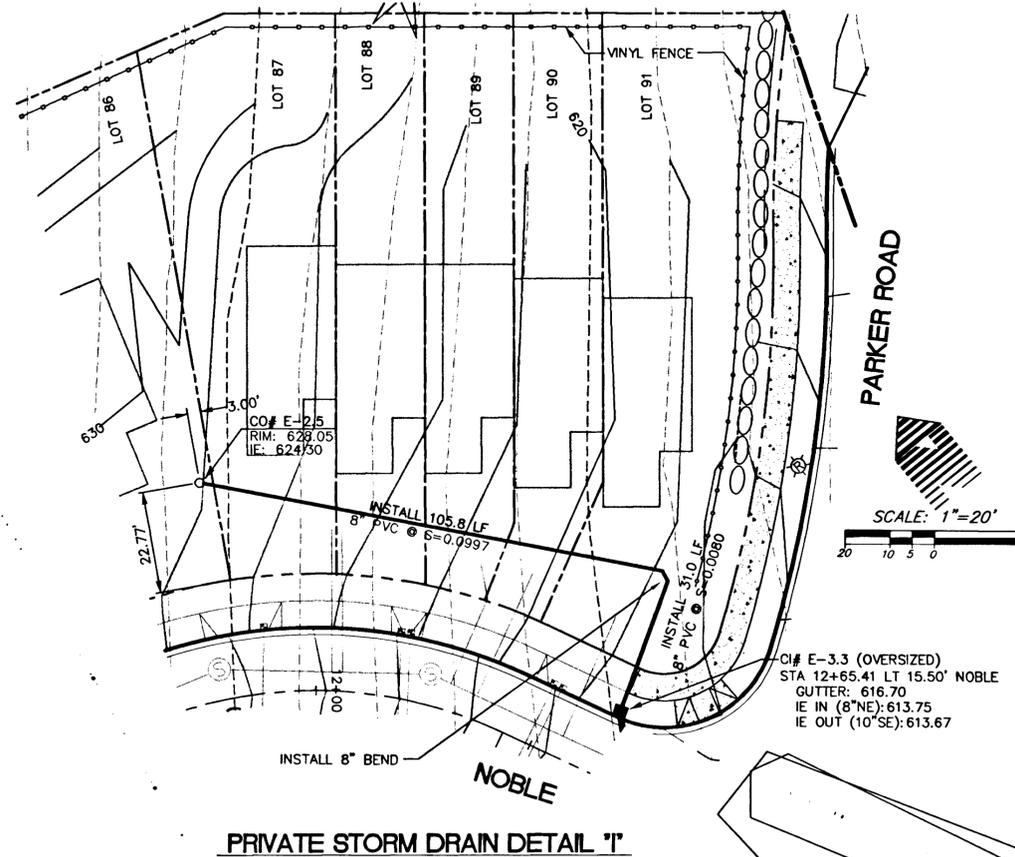
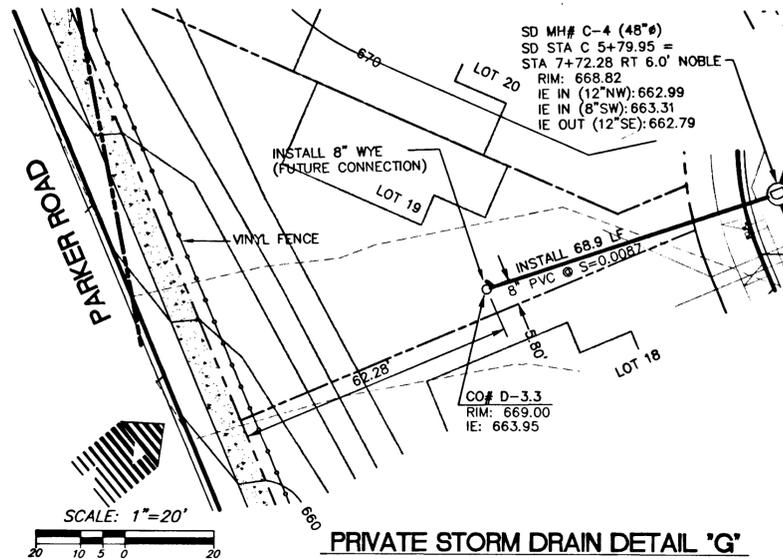
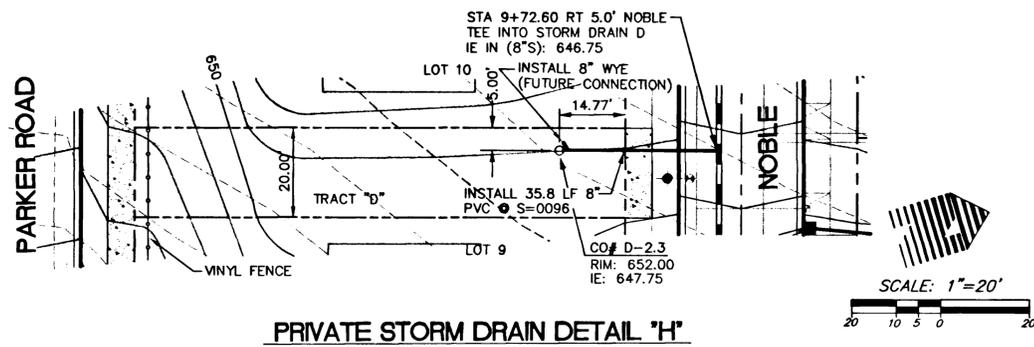
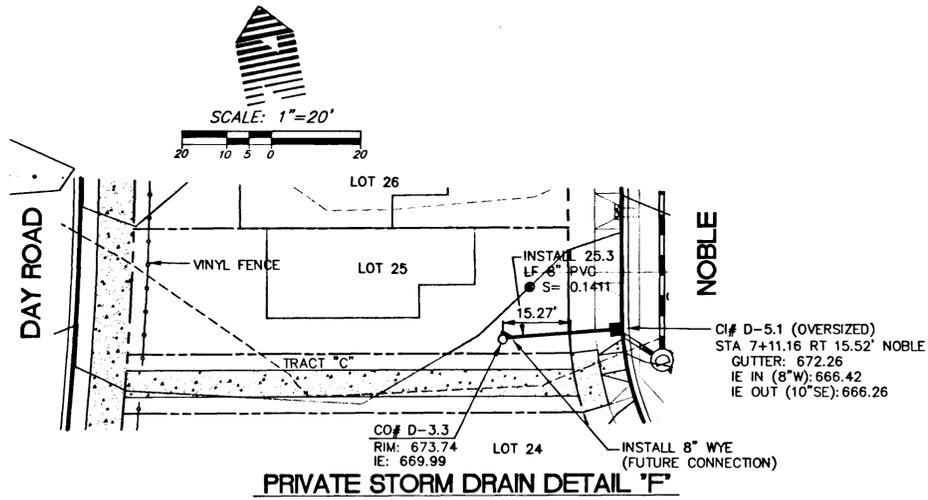
THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

PROJECT NO.
JTS004

DATE 7/28/99
DESIGNED J SLATER
ENGINEER R DYER
CHECKED

SHEET TITLE
STORM DETAILS

SHEET NUMBER
C119



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**PRIVATE STORM DRAIN
 STORM DRAIN DETAILS 'F' - 'I'**

WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

**AS-BUILT
 DRAWING**

05/04/2001
 THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

PROJECT NO. **JTS004**

DATE **7/28/99**

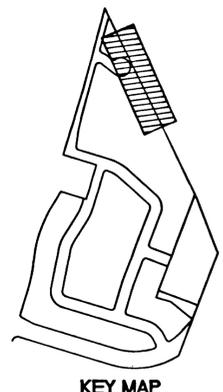
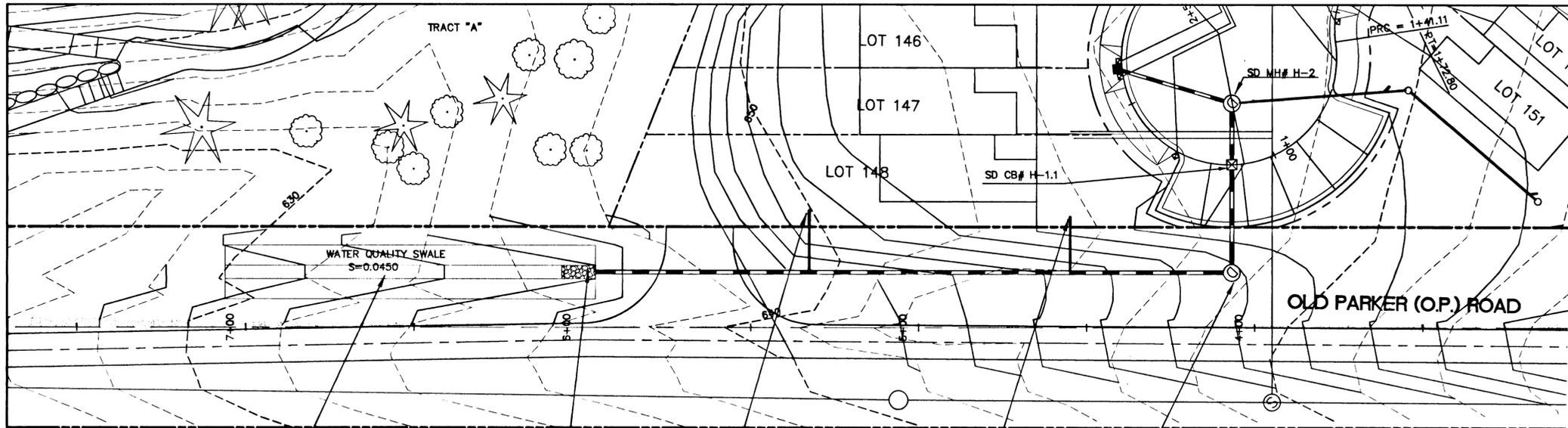
DESIGNED **J SLATER**

ENGINEER **R DYER**

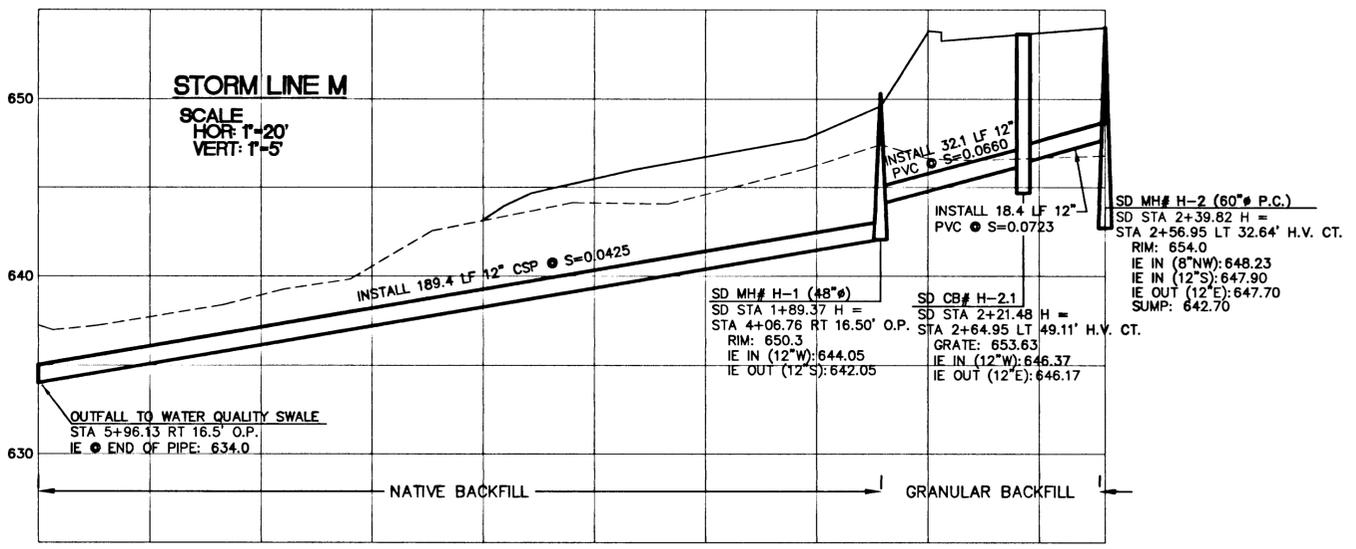
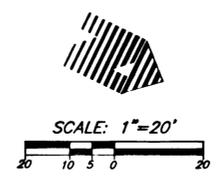
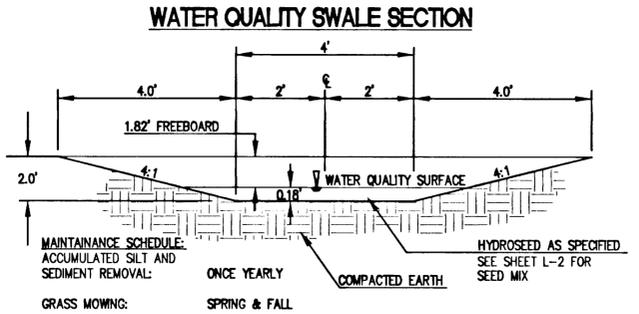
CHECKED _____

SHEET TITLE _____
STORM DETAILS
 SHEET NUMBER _____

C120



- CONST. WATER QUALITY SWALE PER SECTION THIS SHEET
- INSTALL CL. 100 RIP-RAP OUTFALL (4' WIDE, 10' LONG, 1' DEEP)
- SD 0+63.6 LINE H (TEF)
INSTALL 18 LF 8" PVC @ S=0.0100
PLUG & MARK END OF PIPE
IE @ END: 637.20
ROOF & FOUNDATION DRAIN
LOTS 143F-148F
- SD 1+41.7 LINE H (TEF)
INSTALL 18 LF 8" PVC @ S=0.0500
PLUG & MARK END OF PIPE
IE @ END: 641.11
ROOF & FOUNDATION DRAIN
LOTS 145R-148R



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**STORM LINE H/WATER QUALITY SWALE
STREET/STORM PLAN AND PROFILE**

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

AS-BUILT DRAWING

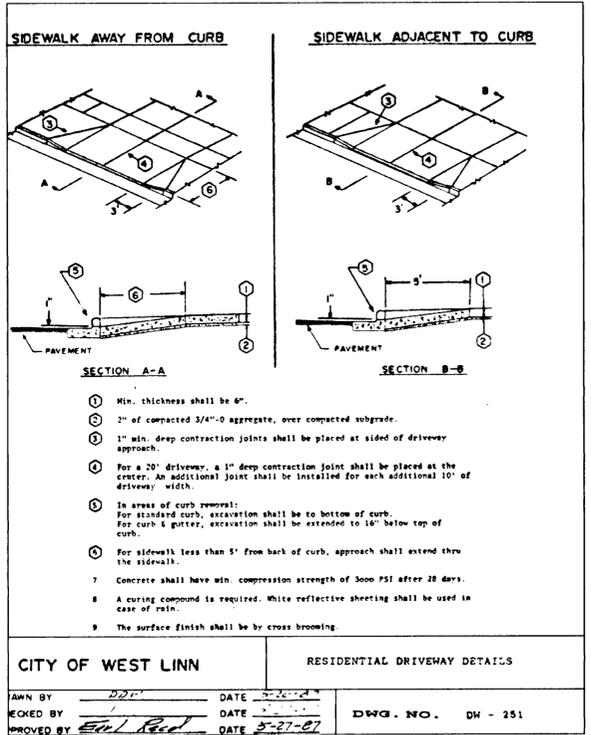
05/04/2001
THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

PROJECT NO.
JTS004

DATE 7/28/99
DESIGNED J SLATER
ENGINEER R DYER
CHECKED

SHEET TITLE
STREET/STORM

SHEET NUMBER
C122



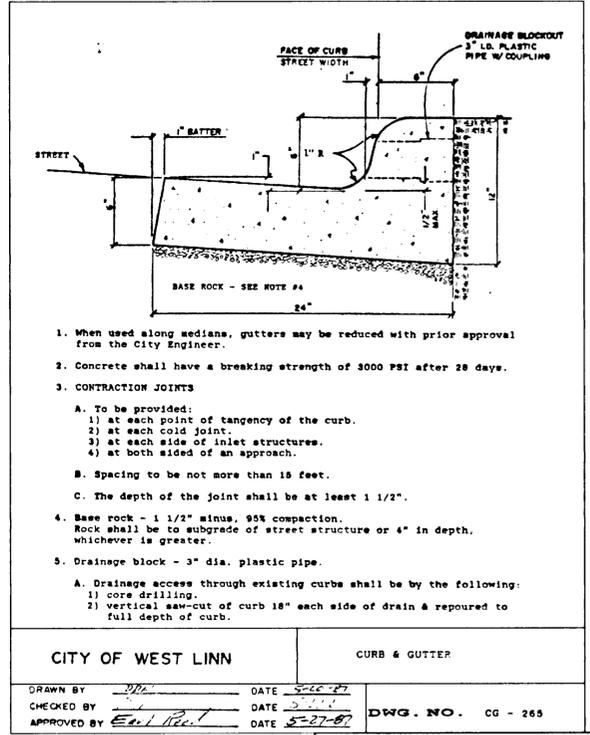
CITY OF WEST LINN RESIDENTIAL DRIVEWAY DETAILS

DRAWN BY DDP DATE 5-20-07

CHECKED BY Eul Red DATE 5-27-07

APPROVED BY Eul Red DATE 5-27-07

DWG. NO. DW - 251



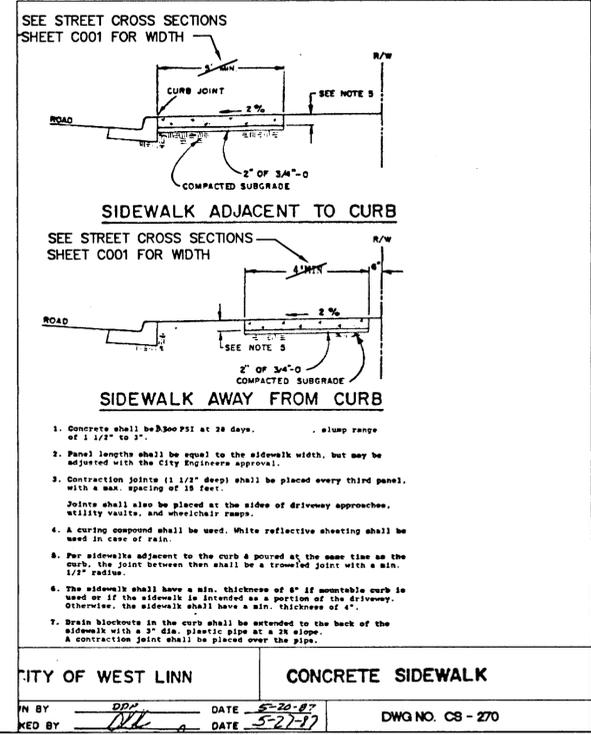
CITY OF WEST LINN CURB & GUTTER

DRAWN BY DDP DATE 5-20-07

CHECKED BY Eul Red DATE 5-27-07

APPROVED BY Eul Red DATE 5-27-07

DWG. NO. CG - 265



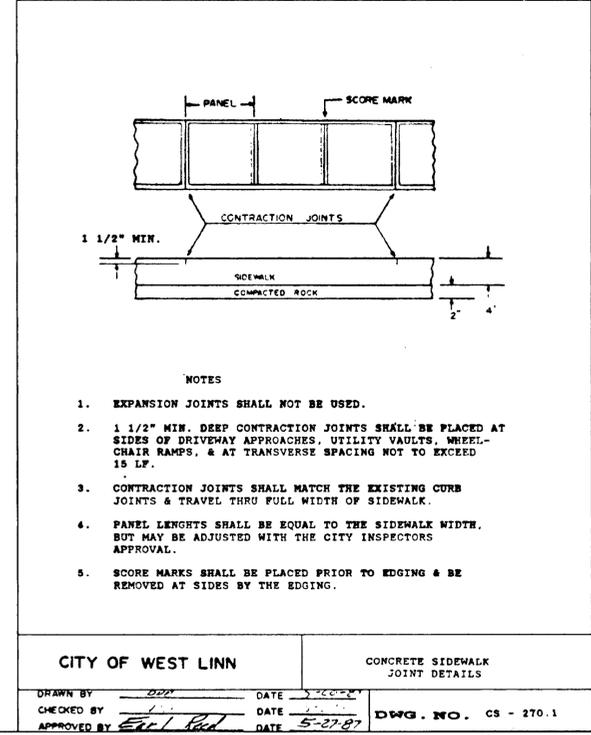
CITY OF WEST LINN CONCRETE SIDEWALK

DRAWN BY DDP DATE 5-20-07

CHECKED BY Eul Red DATE 5-27-07

APPROVED BY Eul Red DATE 5-27-07

DWG. NO. CS - 270



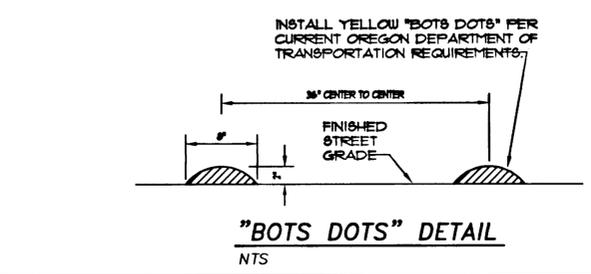
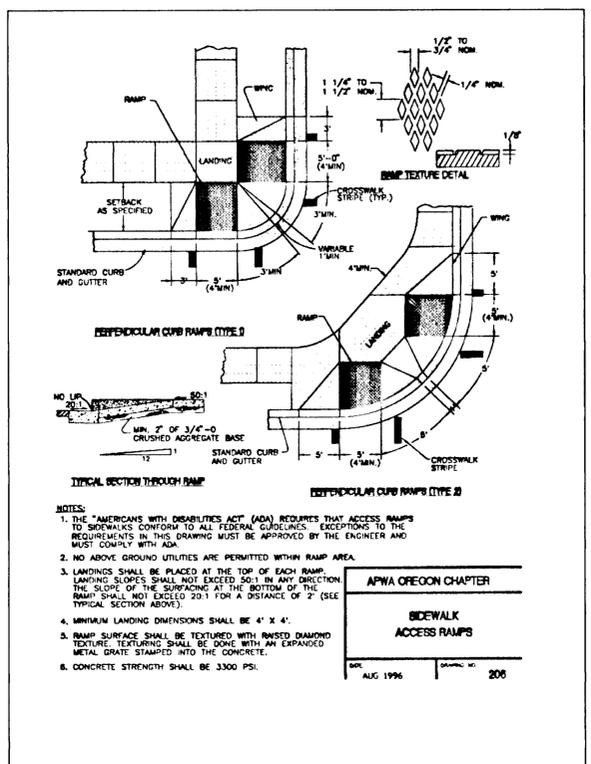
CITY OF WEST LINN CONCRETE SIDEWALK JOINT DETAILS

DRAWN BY DDP DATE 5-20-07

CHECKED BY Eul Red DATE 5-27-07

APPROVED BY Eul Red DATE 5-27-07

DWG. NO. CS - 270.1

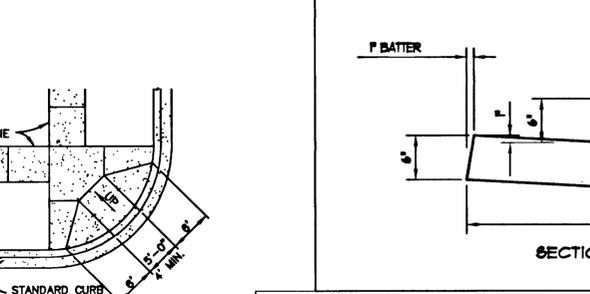


CITY OF WEST LINN SIDEWALK RAMP

APWA OREGON CHAPTER

NOV. 1996

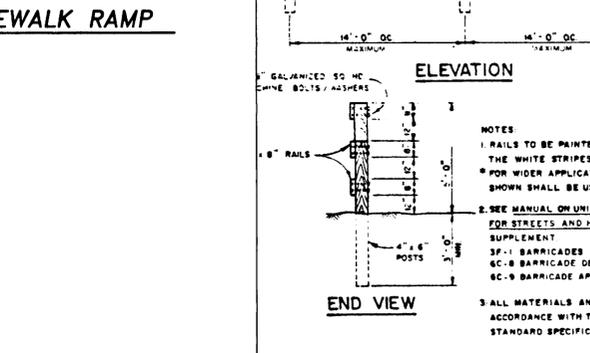
DWG. NO. 206



USE THIS RAMP FOR ALL RAMPS ON DAY ROAD AND PARKER ROAD, UNLESS DIRECTED OTHERWISE BY THE CITY

NOTES:

- FOR SIDEWALK DETAILS, SEE DWG. NO.'S CS-270 & CS-270.1
- SEE DWG. NO. CG-265 FOR CURB & GUTTER DETAIL



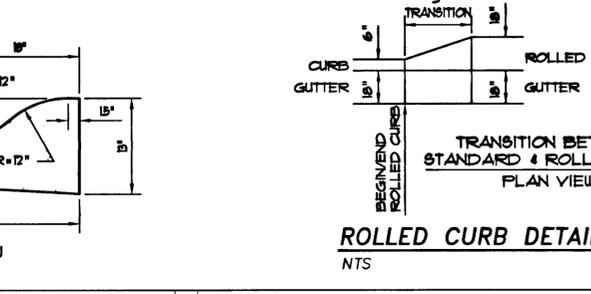
CITY OF WEST LINN STREET BARRICADE - TYPE III

DRAWN BY DDP DATE 5-20-07

CHECKED BY Eul Red DATE 5-27-07

APPROVED BY Eul Red DATE 5-27-07

DWG. NO. SB - 276



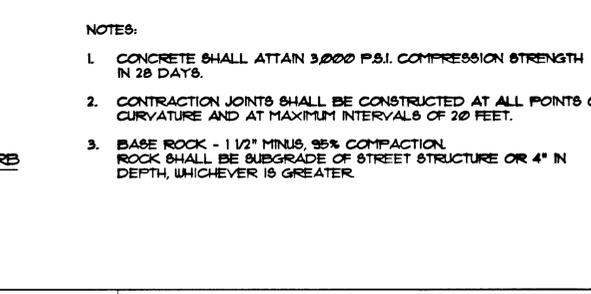
CITY OF WEST LINN CENTERLINE SURVEY MONUMENTS

DRAWN BY DDP DATE 5-20-07

CHECKED BY Eul Red DATE 5-27-07

APPROVED BY Eul Red DATE 5-27-07

DWG. NO. SH - 278



CITY OF WEST LINN CURB NON-MOUNTABLE FOR USE ON MEDIANS

CONCRETE TO HAVE A BREAKING STRENGTH OF 3000 PSI AFTER 28 DAYS.

EXPANSION JOINTS

A. TO BE PROVIDED:

- AT EACH POINT OF TANGENCY OF THE CURB.
- AT EACH COLD JOINT.
- AT EACH SIDE OF INLET STRUCTURES.
- AT EACH END OF DRIVEWAYS.
- AT LOCATIONS NECESSARY TO LIMIT SPACING TO 45 FEET.

B. MATERIAL TO BE PRE-MIXED, ASPHALT IMPREGNATED, NON EXTRUDING, WITH A THICKNESS OF 1/2 INCH.

CONTRACTION JOINTS

A. SPACING TO BE NOT MORE THAN 15 FEET.

B. THE DEPTH OF THE JOINT SHALL BE AT LEAST 1-1/2 INCHES.

BASE ROCK TO BE 2"-0" OR 3/4"-0", 95% COMPACTION. BASE ROCK SHALL BE TO SUBGRADE OF STREET STRUCTURE, OR 4" IN DEPTH, WHICHEVER IS GREATER.

DRAINAGE BLOCKOUT - 3" DIAMETER PLASTIC PIPE

A. I.D. PLASTIC PIPE WITH COUPLING

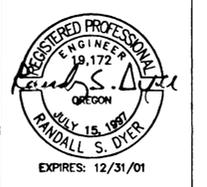
B. DRAINAGE ACCESS THROUGH EXISTING CURBS SHALL BE CORE DRILLED OR CURB SAW CUT VERTICALLY 18" EACH SIDE OF DRAIN AND REPOURED TO FULL DEPTH OF CURB.

WEST LINN, OREGON

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STREET CONSTRUCTION DETAILS

HOODVIEW TOWNHOMES

WEST LINN, OREGON

HOODVIEW ESTATES, LLC

AS-BUILT DRAWING

05/04/2001

THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

PROJECT NO. JTS004

DATE 7/28/99

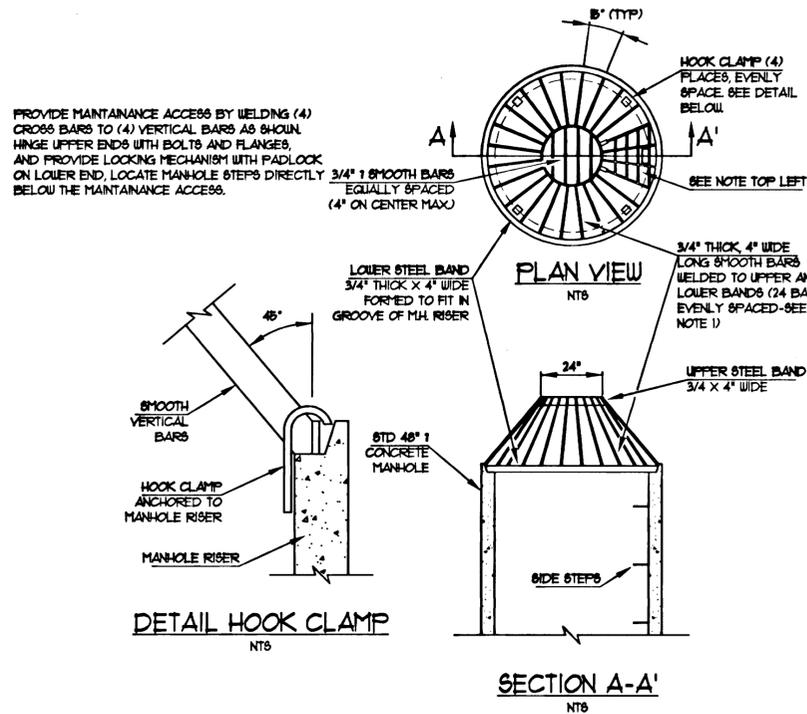
DESIGNED J SLATER

ENGINEER R DYER

CHECKED

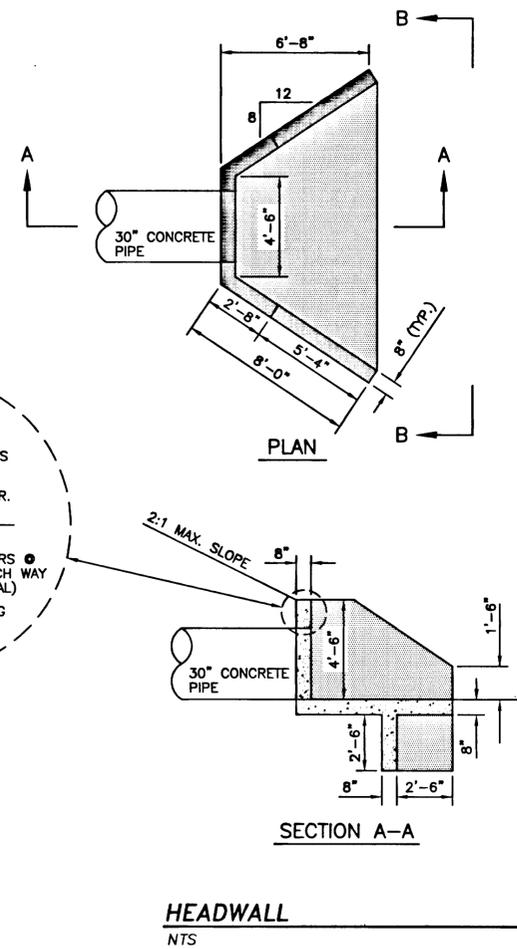
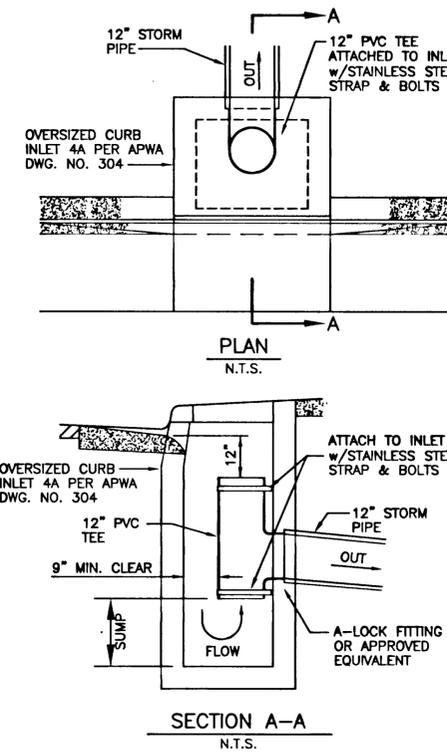
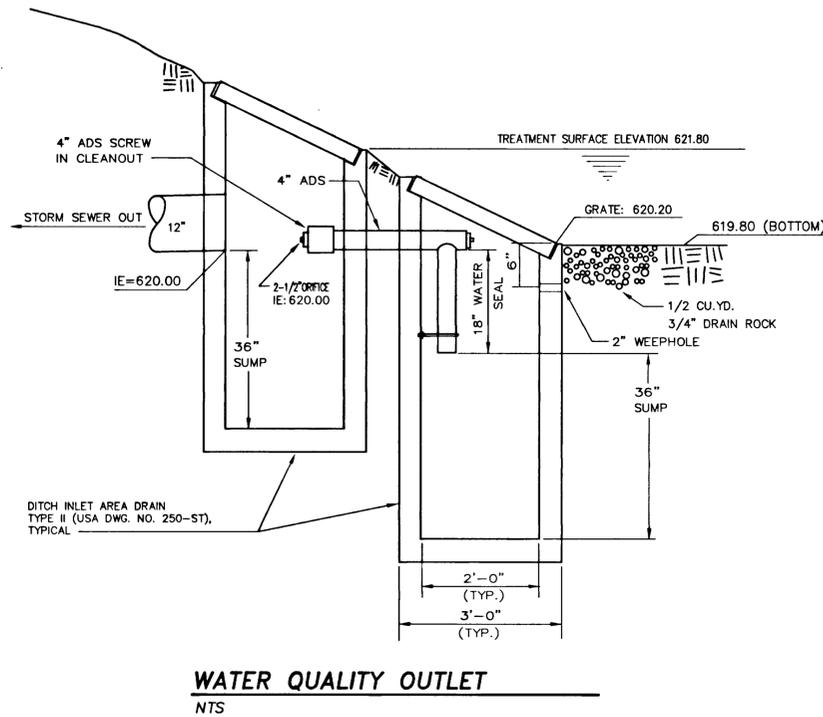
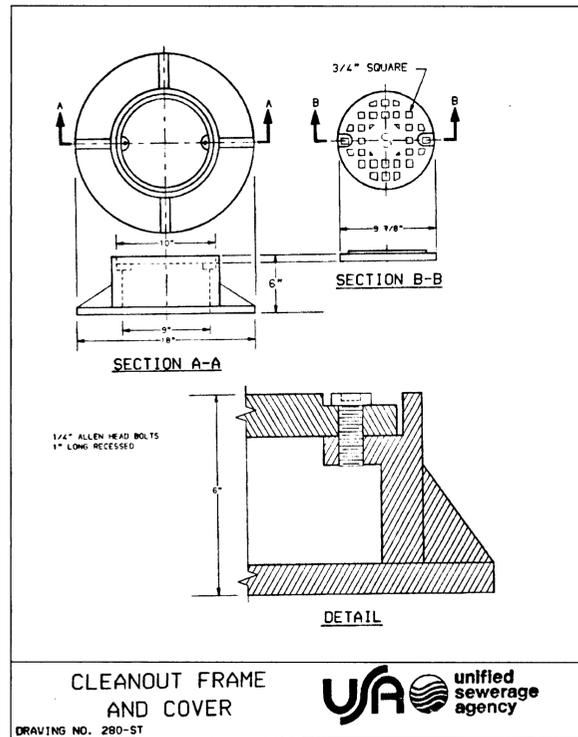
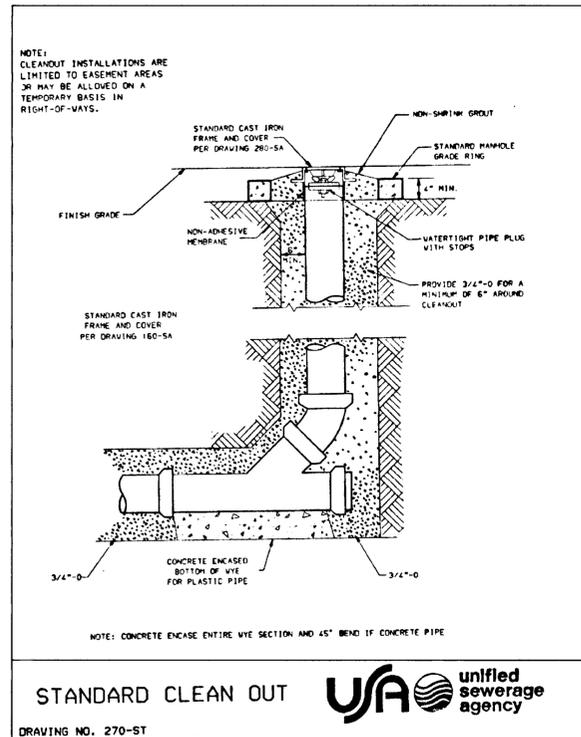
SHEET TITLE STREET DETAILS

SHEET NUMBER C123



- NOTES:**
- DIMENSIONS ARE FOR INSTALLATION ON A 48" 1 CONCRETE MANHOLE. FOR DIFFERENT DIAMETERS, ADJUST DIMENSIONS TO MAINTAIN 48° ANGLE ON VERTICAL BARS AND 1" O.C. MAXIMUM SPACING OF BARS AROUND LOWER STEEL BAND.
 - ALL METAL PARTS SHALL BE CORROSION RESISTANT.
 - THIS DETAIL WAS MODIFIED FROM THE UNIFIED SEWERAGE AGENCY DETAIL # 110-CH3.

DETENTION OVERFLOW STRUCTURE
NTS



- NOTES:**
- ALL WALL THICKNESSES ARE 8".
 - STEEL BARS SHALL MEET ASTM A36 SPECIFICATIONS.

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STORM DRAIN DETAILS
HOODVIEW TOWNHOMES

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

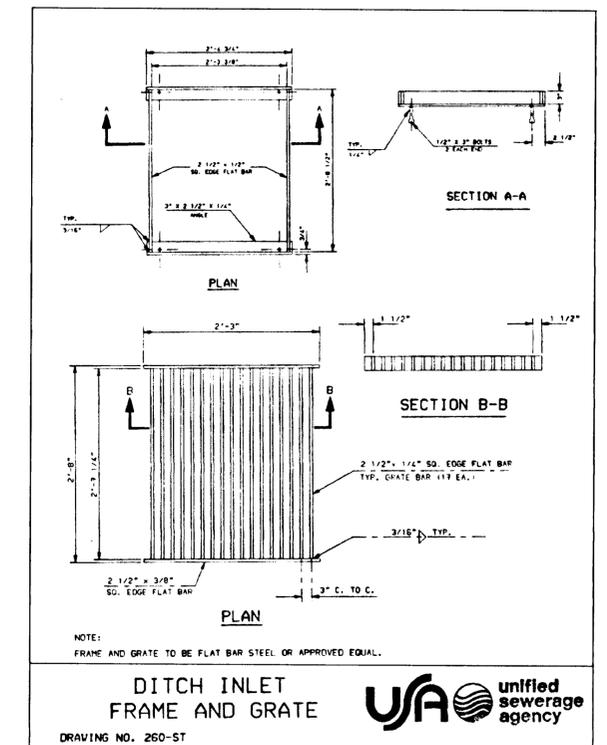
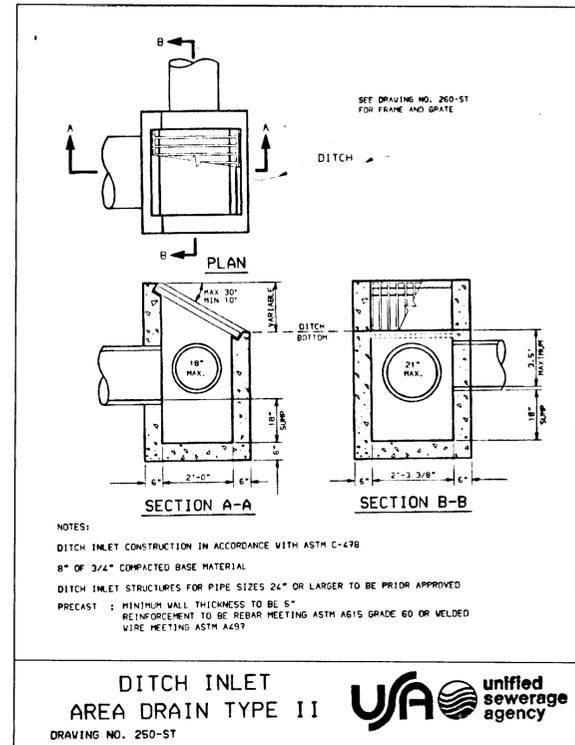
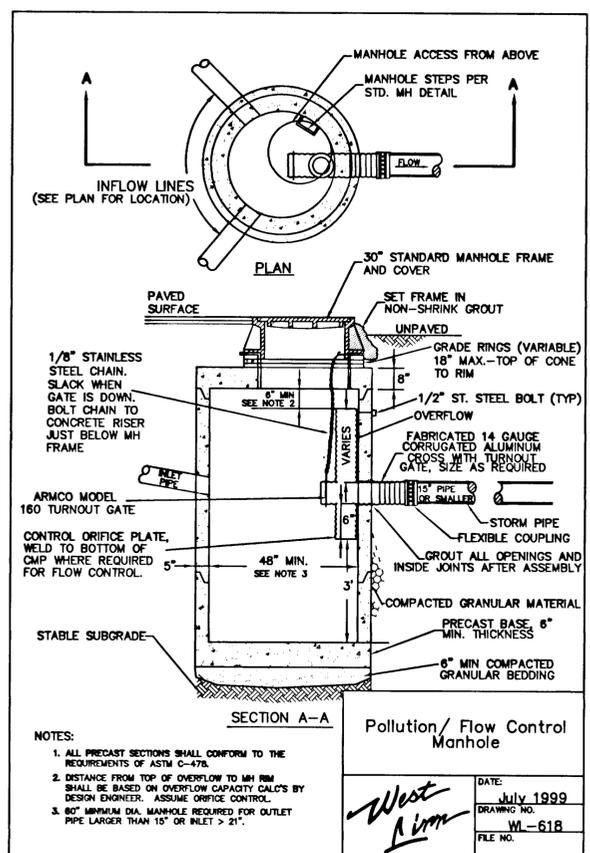
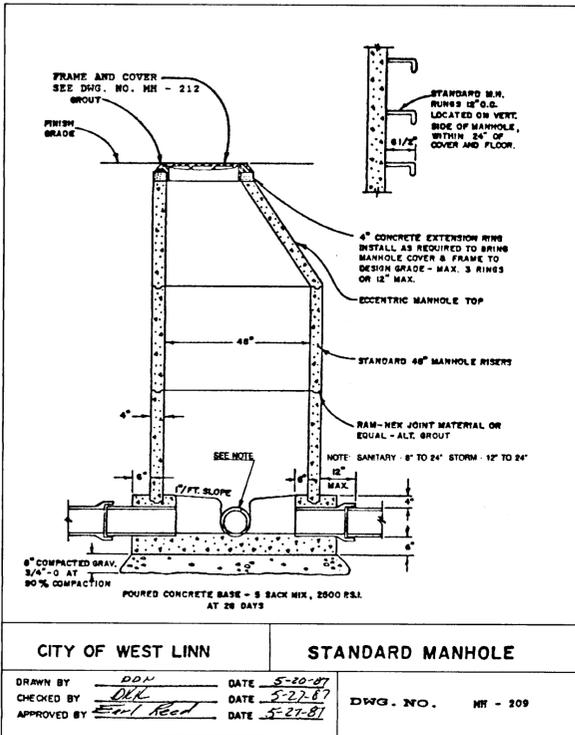
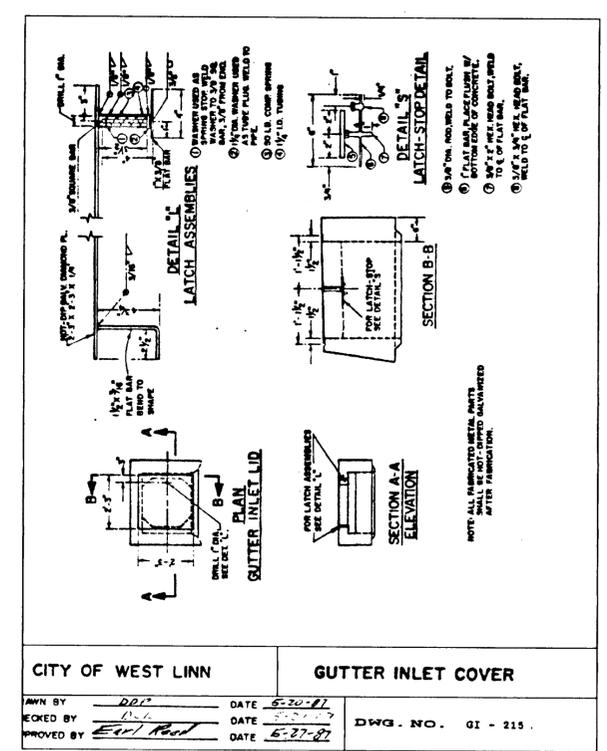
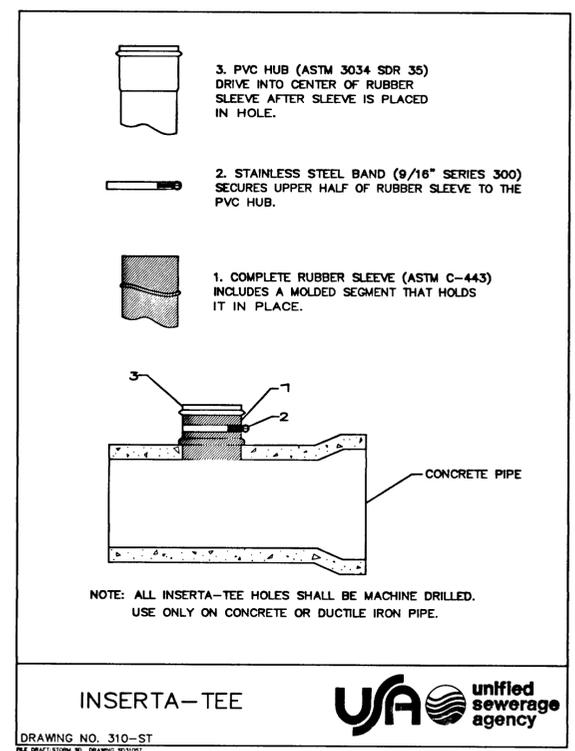
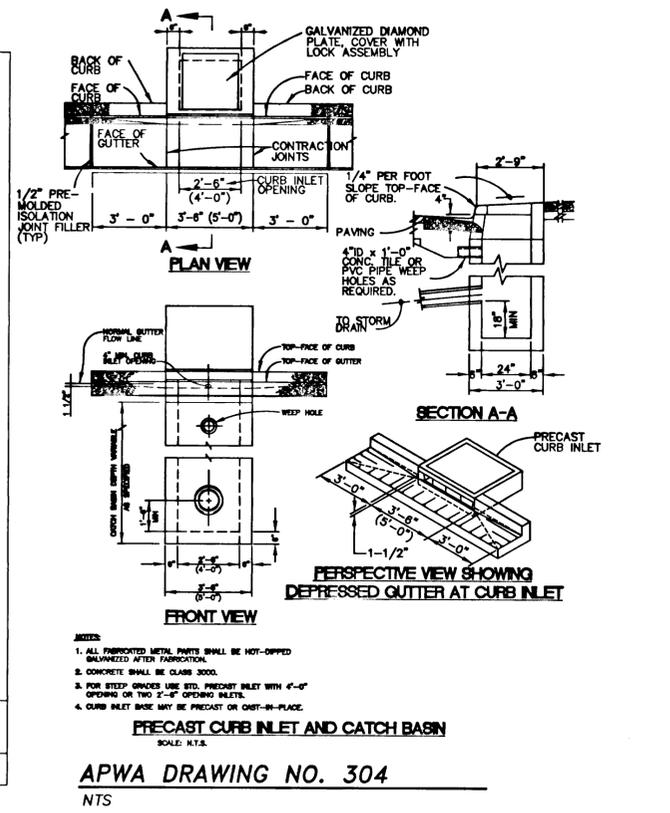
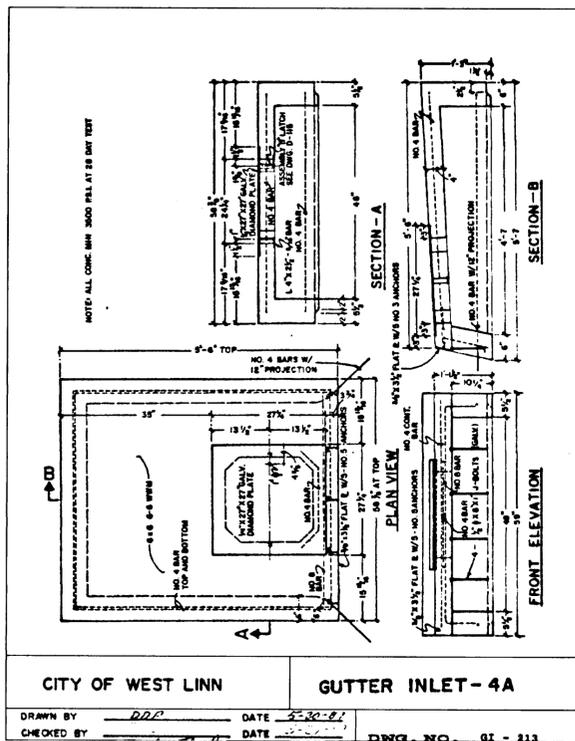
AS-BUILT DRAWING
05/04/2001

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PROJECT NO. JTS004

DATE 7/28/99
DESIGNED J SLATER
ENGINEER R DYER
CHECKED

SHEET TITLE STORM DETAILS
SHEET NUMBER C124



WEST LINN, OREGON

STORM DRAIN DETAILS
HOODVIEW TOWNHOMES

WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

AS-BUILT DRAWING
 05/04/2001

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PROJECT NO. **JTS004**

DATE 7/28/99
 DESIGNED J SLATER
 ENGINEER R DYER
 CHECKED _____

SHEET TITLE _____
STORM DETAILS
 SHEET NUMBER _____
C125

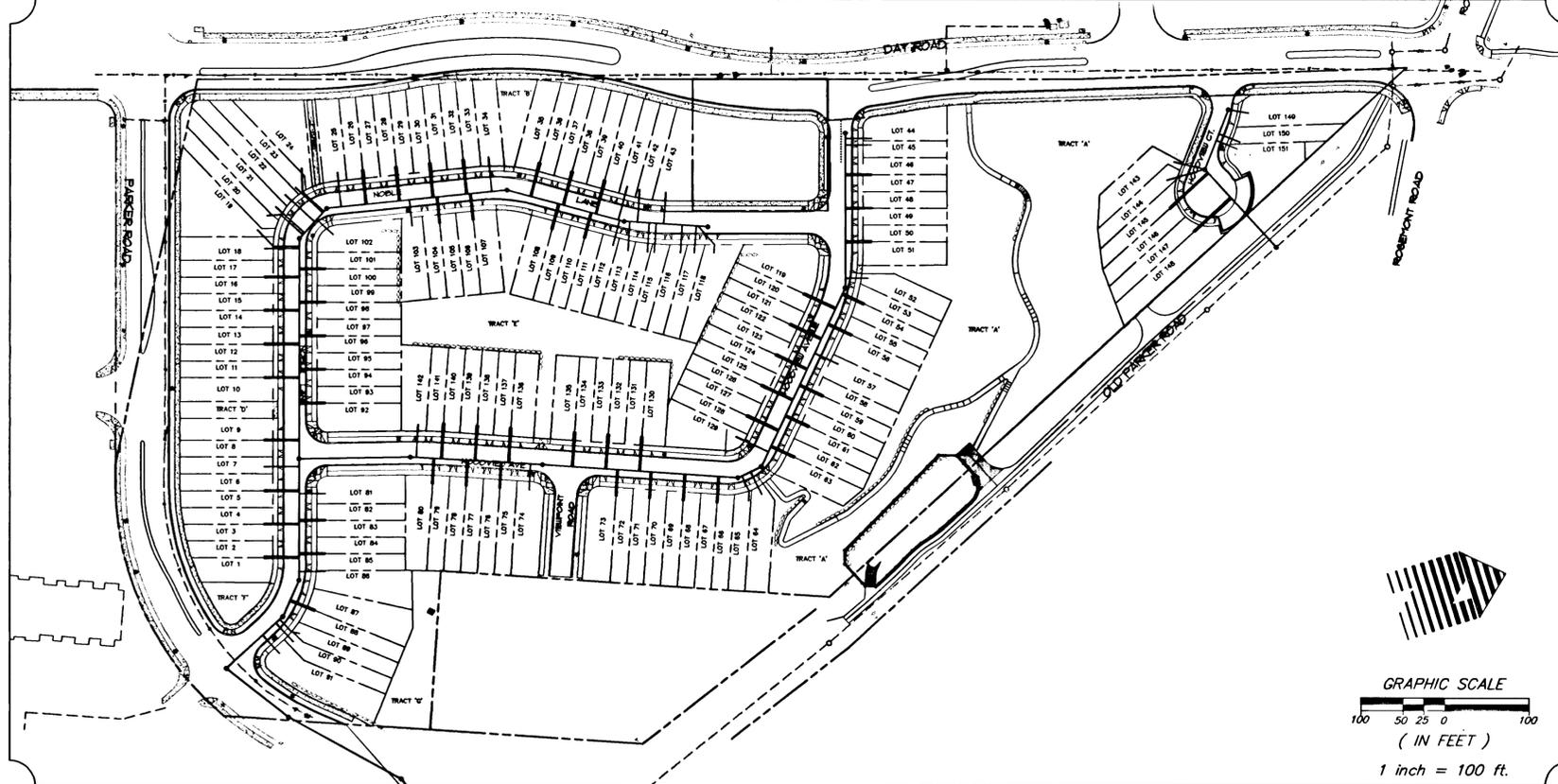
WEST LINN, OREGON

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Hoodview Townhomes



INDEX OF SANITARY/WATER SHEETS

SANITARY/WATER CONSTRUCTION PLANS

- C200 Sanitary/Water Cover Sheet
- C200A Composite Sanitary Plan
- C200B Composite Water Plan
- C201 Hoodview Avenue Sta: 1+00 to 5+00
- C202 Hoodview Avenue Sta: 5+00 to 9+00
- C203 Hoodview Avenue Sta: 9+00 to 11+25
- C204 Noble Lane Sta: 1+00 to 5+50
- C205 Noble Lane Sta: 5+50 to 8+00
- C206 Noble Lane Sta: 8+00 to 11+00
- C207 Noble Lane Sta: 11+00 to 13+25
- C208 Parker Road Sta: 15+00 to 19+50
- C209 Parker Road Sta: 19+50 to 23+50
- C210 Viewpoint Drive
- C211 Hoodview Court
- C212 Day Road Waterline Details
- C213 Sanitary Details
- C214 Water Details

LEGEND

	SS LINE A	PROPOSED SANITARY SEWER LINE AND MANHOLE
	EX 8" SS	EXISTING SANITARY SEWER FEATURES
	SS LINE C	SANITARY SEWER LINE
		STORM FEATURES
		CL OF RIGHT OF WAY
		RIGHT OF WAY/PROPERTY LINE
	EXISTING WATER VALVE	PROPOSED WATER VALVE
	EXISTING WATER LINE	PROPOSED WATER LINE
	EXISTING WATER TEE	PROPOSED BLOW OFF VALVE
	EXISTING FIRE HYDRANT	PROPOSED AIR RELIEF VALVE
	EXISTING WATER METER	PROPOSED FIRE HYDRANT
		PROPOSED WATER METER

WATER CONSTRUCTION NOTES

- ALL DESIGN AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CURRENT EDITION OF THE CITY OF WEST LINN 'STREET/UTILITY DESIGN AND CONSTRUCTION STANDARDS' AND WITH APWA STANDARDS.
- NOTIFY CITY OF WEST LINN 48 HOURS PRIOR TO COMMENCING CONSTRUCTION TO SET UP A PRE-CONSTRUCTION MEETING.
- ALL PIPE AND FITTINGS SHALL BE DUCTILE IRON, CEMENT-LINED, OF NEW MANUFACTURE AND MADE IN THE USA. PIPE WILL BE TYTON JOINT DUCTILE IRON, CLASS 52. ALL FITTINGS SHALL BE MECHANICAL JOINT (MJ) UNLESS OTHERWISE SPECIFIED.
- 36" OF 3/4" MINUS GRAVEL COVER FOR ALL WATER MAINS IN STREET AND RIGHTS-OF-WAY.
- ALL VALVE OPERATING NUTS SHALL BE WITHIN 36" OF FINISHED GRADE, OTHERWISE VALVE OPERATING NUT EXTENSIONS WILL BE REQUIRED.
- ALL WATERLINES SHALL BE DISINFECTED AND TESTED PER O.A.R. STANDARDS
- NEW WATERLINES SHALL NOT BE CONNECTED TO EXISTING SYSTEMS PRIOR TO TESTING AND ACCEPTANCE BY THE CITY
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE DONE IN THE PRESENCE OF A CITY REPRESENTATIVE.
- WATERLINE TRENCH BACKFILL SHALL BE 95% COMPACTIONS OF T-99
- WATERLINES SHALL BE CONSTRUCTED ABOVE STORM LATERALS, UNLESS DIRECTED OTHERWISE. THE MINIMUM SEPARATION BETWEEN CROSSING PIPES SHALL BE 6 INCHES.

SANITARY CONSTRUCTION NOTES

- ALL DESIGN AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CURRENT EDITION OF THE CITY OF WEST LINN 'STREET/UTILITY DESIGN AND CONSTRUCTION STANDARDS' AND WITH APWA STANDARDS.
- ALL SANITARY SEWER PIPE (EXCEPT SEWER SERVICE LATERALS) SHALL BE PVC PIPE CONFORMING TO ASTM SPECIFICATION D3034 (SDR 35). GASKETS SHALL BE RUBBER RING TYPE CONFORMING TO THE REQUIREMENTS OF ASTM 477 AND ASTM 3213. PIPES IN AREAS WITH LESS THAN 3' OF COVER SHALL BE PVC C-900.
- ALL SANITARY SEWER SERVICE LATERALS SHALL BE 4" PVC PIPE CONFORMING TO ASTM SPECIFICATION D3034 (SDR-35), UNLESS NOTED OTHERWISE. SANITARY SEWER SERVICE LATERALS SHALL CONNECT TO THE MAIN LINE BY MEANS OF A PRECAST TEE.
- HYDROSTATIC AND AIR TESTING OF THE SANITARY SEWER SYSTEM SHALL BE CONDUCTED IN ACCORDANCE WITH UNIFIED SEWERAGE AGENCY STANDARDS. ALL NECESSARY TESTS SHALL BE PERFORMED BY THE CONTRACTOR AND WITNESSED BY A REPRESENTATIVE OF THE CITY OF WEST LINN AND THE ENGINEER.
- LOCATION OF EXISTING UTILITIES ARE BASED ON AVAILABLE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. U.S.A. LINE LOCATE 681-7044.
- FINISHED RIM ELEVATIONS OF MANHOLES WITHIN PAVEMENT ARE APPROXIMATE. FINAL FINISHED RIM ELEVATIONS SHALL MATCH FINISHED PAVEMENT GRADES. RIMS OUTSIDE OF PAVEMENT SHALL BE SET 6"-12" ABOVE FINISH GRADE.
- PIPE BEDDING AND BACKFILL SHALL CONFORM TO CITY OF WEST LINN AND APWA STANDARDS.
- SANITARY SEWER MANHOLE CONSTRUCTION SHALL CONFORM TO CITY OF WEST LINN AND APWA STANDARDS.
- ALL SANITARY SEWER SERVICE LATERALS SHALL TERMINATE 2' BEYOND THE PUBLIC UTILITY EASEMENT UNLESS OTHERWISE NOTED, AND SHALL BE PLUGGED TO PREVENT DIRT AND DEBRIS FROM ENTERING PIPE IN ACCORDANCE WITH UNIFIED SEWERAGE AGENCY STANDARDS. THE ENDS OF THE LATERALS SHALL BE MARKED WITH A WOOD 2"x4" SET VERTICALLY AND EXTENDING A MINIMUM OF 36" ABOVE FINISH GRADE. THE WOOD MARKER SHALL BE PAINTED AND MARKED AS DIRECTED BY A REPRESENTATIVE FROM CITY OF WEST LINN. SEE STANDARD DRAWING 170-SA.
- A MINIMUM OF TWO FEET (2') HORIZONTAL SEPARATION IS REQUIRED BETWEEN WATER AND SANITARY AND STORM LINES WHEN CROSSING. ALL CONSTRUCTION SHALL MEET CITY, DEQ, AND STATE WATER RESOURCES BOARD REQUIREMENTS FOR SEPARATION.
- ALL SANITARY SYSTEMS SHALL BE THOROUGHLY CLEANED, AIR TESTED, VIDEO INSPECTED, PASS THE REQUIRED COMPACTION TEST (ASHTO T-99), AND A DEFLECTION TEST, PER CITY OF WEST LINN STANDARD SPECIFICATIONS. ALL REQUIRED TESTING SHALL BE PERFORMED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL AT ALL TIMES ABIDE BY APPLICABLE SAFETY RULES OF O.S.H.A. AND IN PARTICULAR THOSE PERTAINING TO ADEQUATE SHORING AND TRENCH PROTECTION OF WORKMEN.
- NEW SANITARY SYSTEMS SHALL NOT BE CONNECTED TO EXISTING SYSTEMS PRIOR TO TESTING AND ACCEPTANCE BY THE CITY.
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE DONE IN THE PRESENCE OF A CITY REPRESENTATIVE.
- SANITARY SEWER TRENCH BACKFILL SHALL BE 95% COMPACTIONS OF T-99

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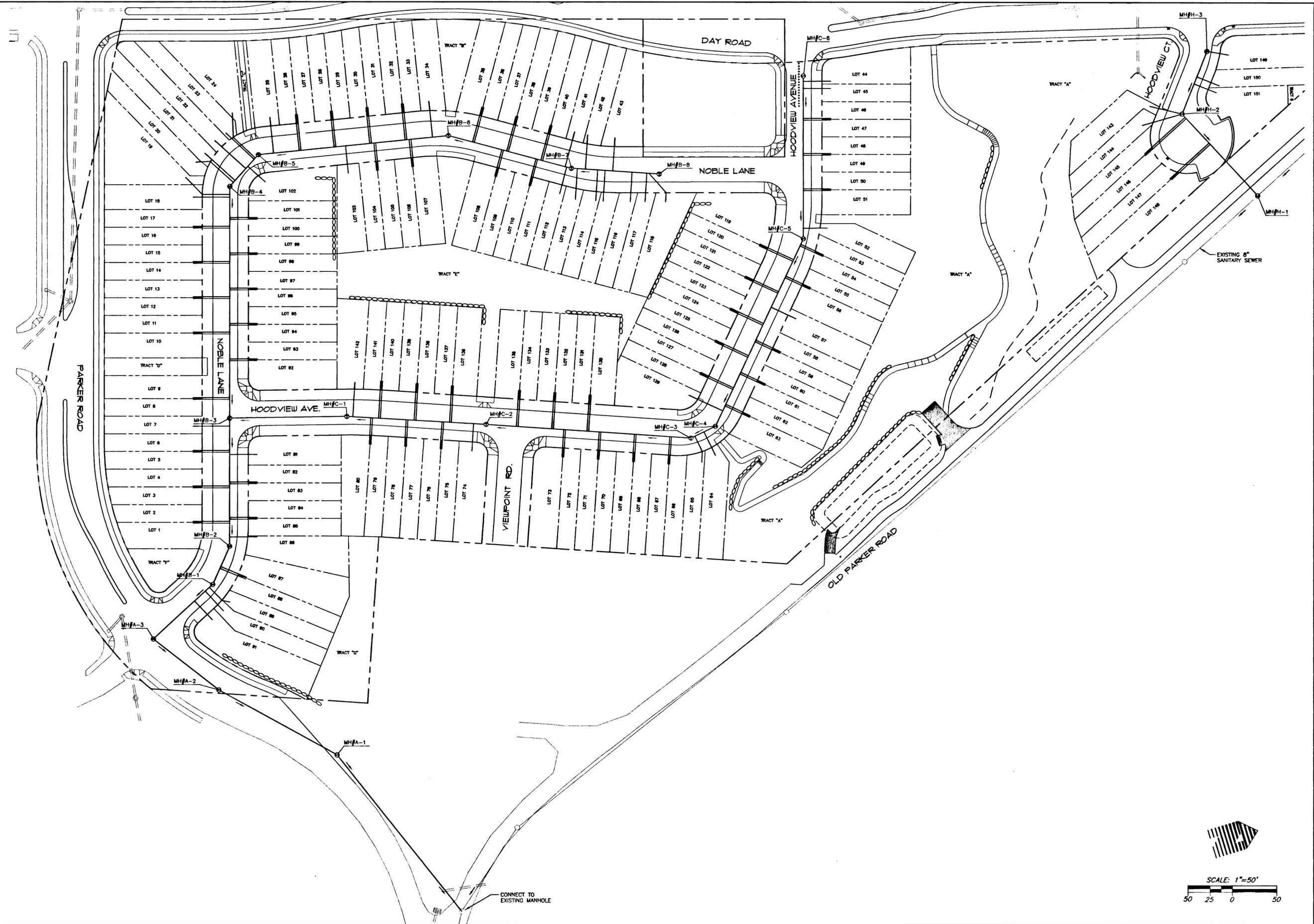
SANITARY/WATER COVER SHEET
HOODVIEW TOWNHOMES

WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

AS-BUILT DRAWING
 05/04/2001
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PROJECT NO.
JTS004
 DATE | 7/28/99
 DESIGNED | J SLATER
 ENGINEER | R DYER
 CHECKED |

SHEET TITLE
SANITARY/WATER
 SHEET NUMBER
C200



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**COMPOSITE SANITARY PLAN
HOODVIEW TOWNHOMES**

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

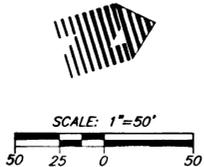
**AS-BUILT
DRAWING**
05/04/2001

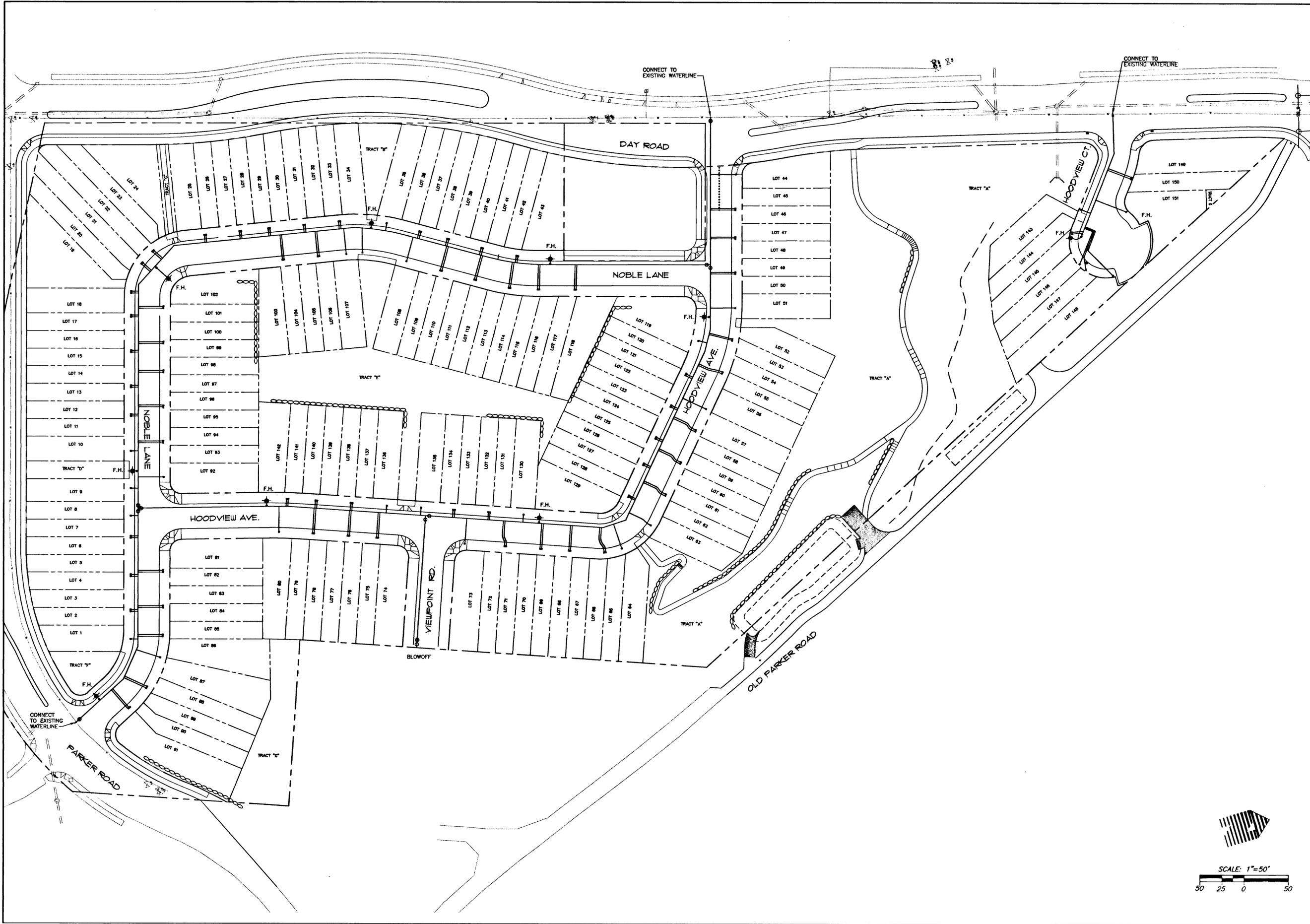
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PROJECT NO. **JTS004**
DATE 7/28/99
DESIGNED J SLATER
ENGINEER R DYER
CHECKED

SHEET TITLE _____
SANITARY
SHEET NUMBER _____

C200A





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**COMPOSITE WATER PLAN
HOODVIEW TOWNHOMES**

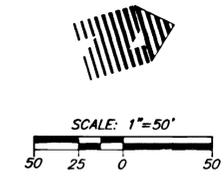
WEST LINN, OREGON
HOODVIEW ESTATES, LLC

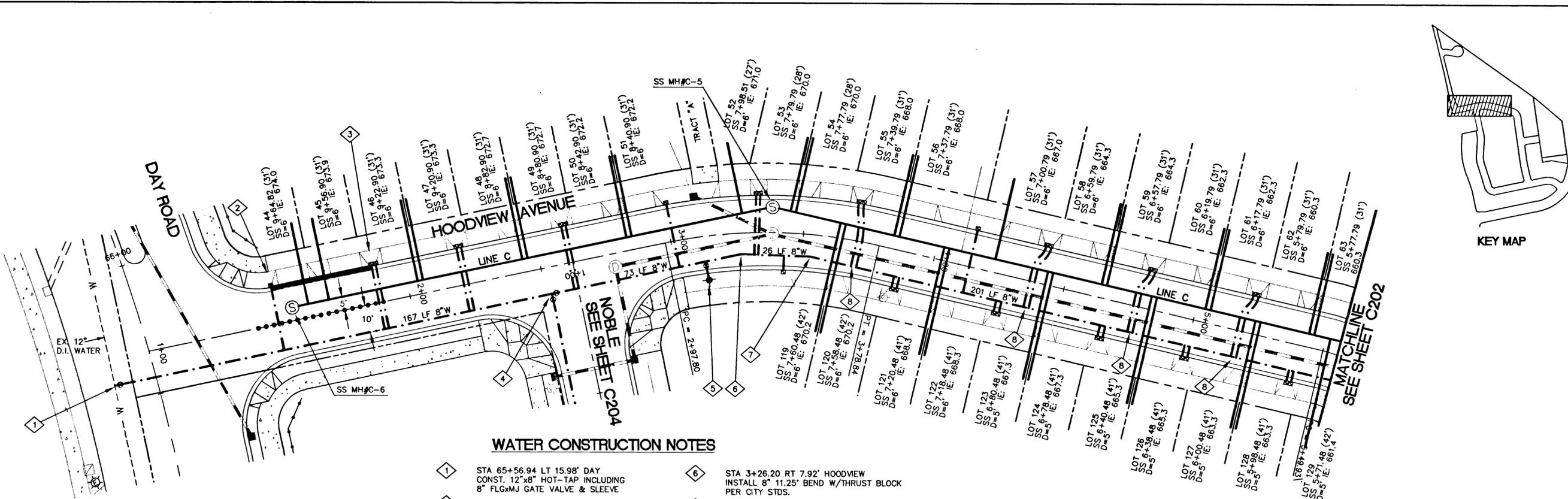
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DRAWING**

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PROJECT NO.	JTS004
DATE	7/28/99
DESIGNED	J SLATER
ENGINEER	R DYER
CHECKED	

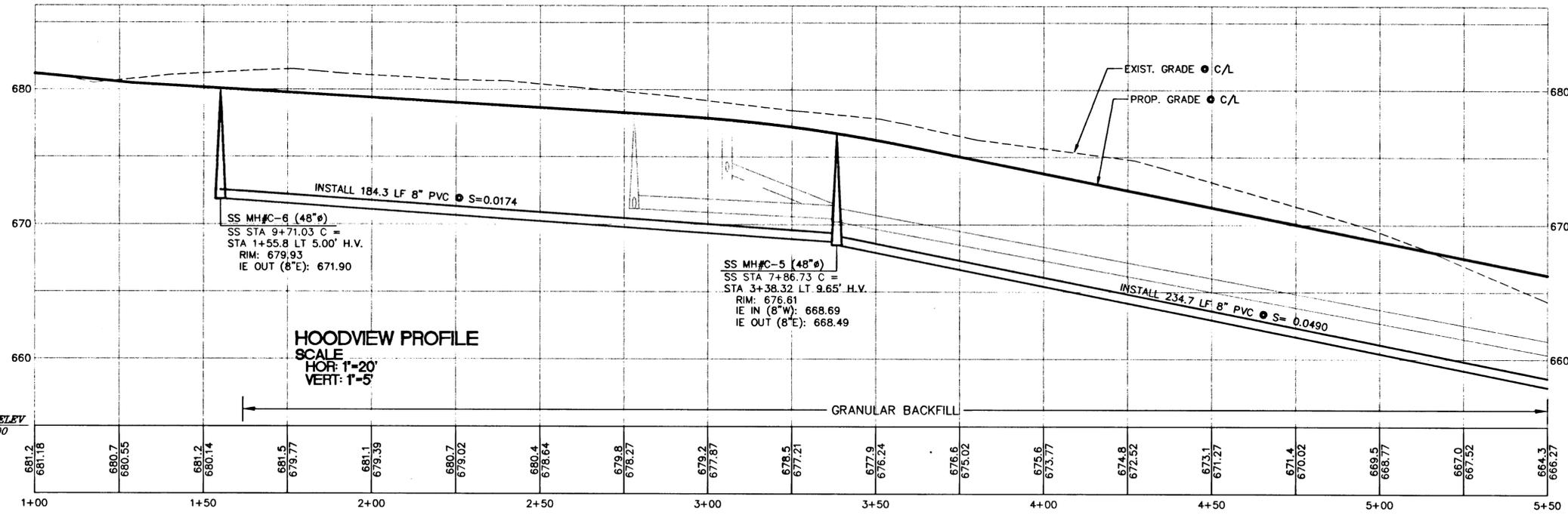
SHEET TITLE
WATER
SHEET NUMBER
C200B





WATER CONSTRUCTION NOTES

- 1 STA 65+56.94 LT 15.98' DAY CONST. 12"x8" HOT-TAP INCLUDING 8" FLGxMJ GATE VALVE & SLEEVE
- 2 INSTALL 1" WATER SERVICE (1) PER CITY STDS. (TYP.)
- 3 INSTALL 1" WATER SERVICE (2) PER CITY STDS. (TYP.)
- 4 STA 2+52.18 RT 10' HOODVIEW INSTALL 8"x8" FLG TEE, 2-8" FLGxMJ GATE VALVES & THRUST BLOCK PER CITY STDS.
- 5 STA 3+12.41 RT 16.5' HOODVIEW INSTALL FIRE HYDRANT ASSY. INCLUDING 8"x8" TEE, 6" GATE VALVE, 6" D.I. LINE, & THRUST BLOCK PER CITY STDS.
- 6 STA 3+26.20 RT 7.92' HOODVIEW INSTALL 8" 11.25' BEND W/THRUST BLOCK PER CITY STDS.
- 7 STA 3+53.23 RT 8.31' HOODVIEW INSTALL 8" 11.25' BEND W/THRUST BLOCK PER CITY STDS.
- 8 LOCATE WATER TAP TO MAINTAIN MIN. 5' SEPERATION BETWEEN SANITARY SEWER LATERAL & WATER SERVICE



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**HOODVIEW AVENUE STA. 1+00 TO STA. 5+00
SANITARY/WATER PLAN AND PROFILE**

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

AS-BUILT DRAWING
05/04/2001

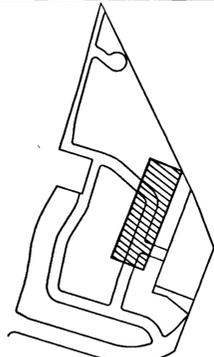
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ENGINEER R DYER
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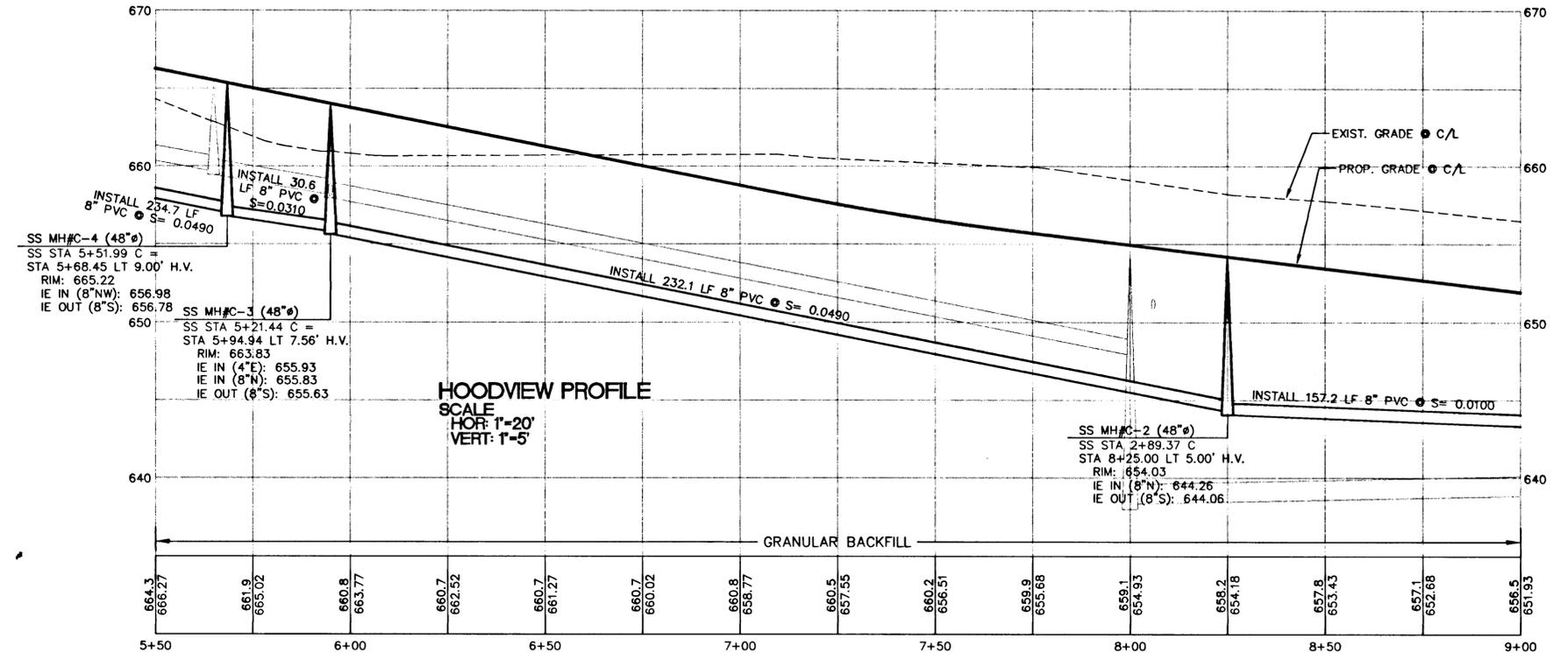
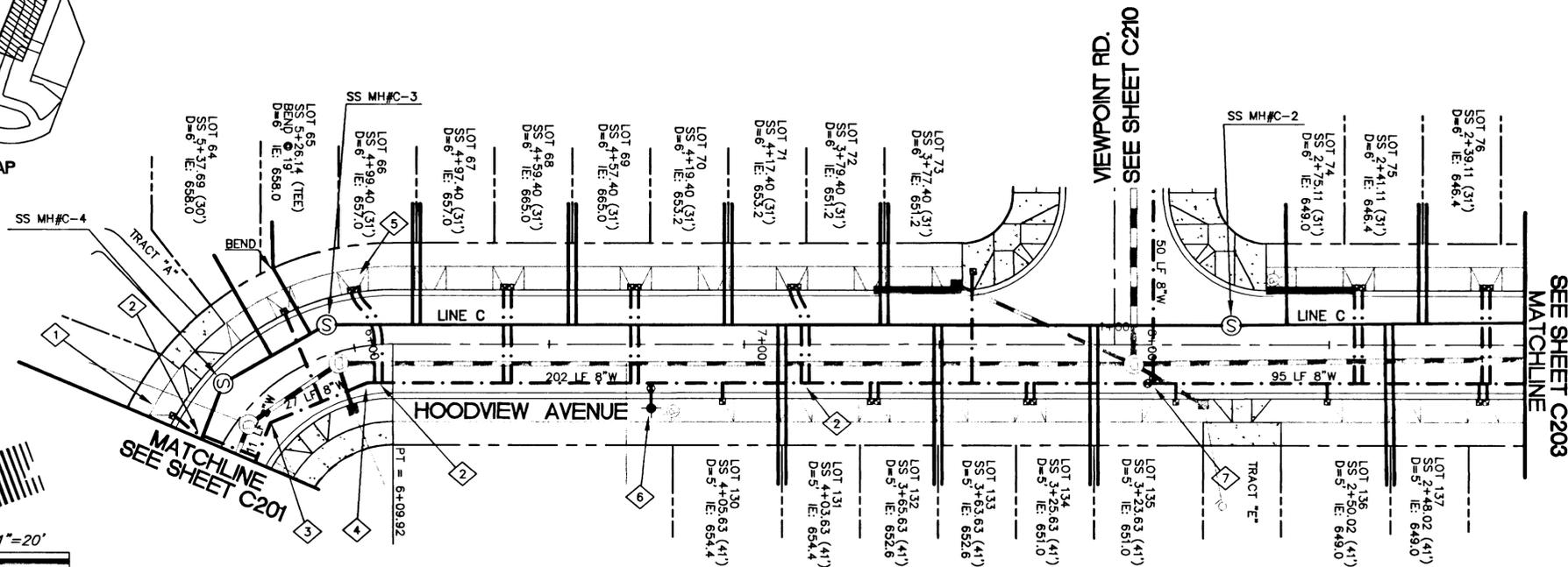
SHEET TITLE
SANITARY/WATER
SHEET NUMBER
C201

WATER CONSTRUCTION NOTES

- 1 INSTALL 1" SINGLE WATER SERVICE (1) PER CITY STDS. (TYP.)
- 2 LOCATE WATER TAP TO MAINTAIN MIN. 5' SEPERATION BETWEEN SANITARY SEWER LATERAL & WATER SERVICE
- 3 STA 5+69.29 RT 6.80' HOODVIEW INSTALL 8" 45° BEND W/THRUST BLOCK PER CITY STDS.
- 4 STA 6+01.87 RT 9.48' HOODVIEW INSTALL 8" 22.5° BEND W/THRUST BLOCK PER CITY STDS.
- 5 INSTALL 1" WATER SERVICE (2) PER CITY STDS. (TYP.)
- 6 STA 6+76.22 RT 16.5' HOODVIEW INSTALL FIRE HYDRANT ASSY. INCLUDING 8"x6" TEE, 6" GATE VALVE, 6" D.I. LINE, & THRUST BLOCK PER CITY STDS.
- 7 STA 8+04.96 RT 10' HOODVIEW INSTALL 8"x8" FLG TEE, 2-8" FLG&MJ GATE VALVES & THRUST BLOCK PER CITY STDS.



KEY MAP



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**HOODVIEW AVENUE STA. 5+00 TO STA. 9+00
SANITARY/WATER PLAN AND PROFILE**

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

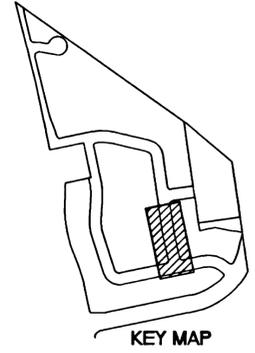
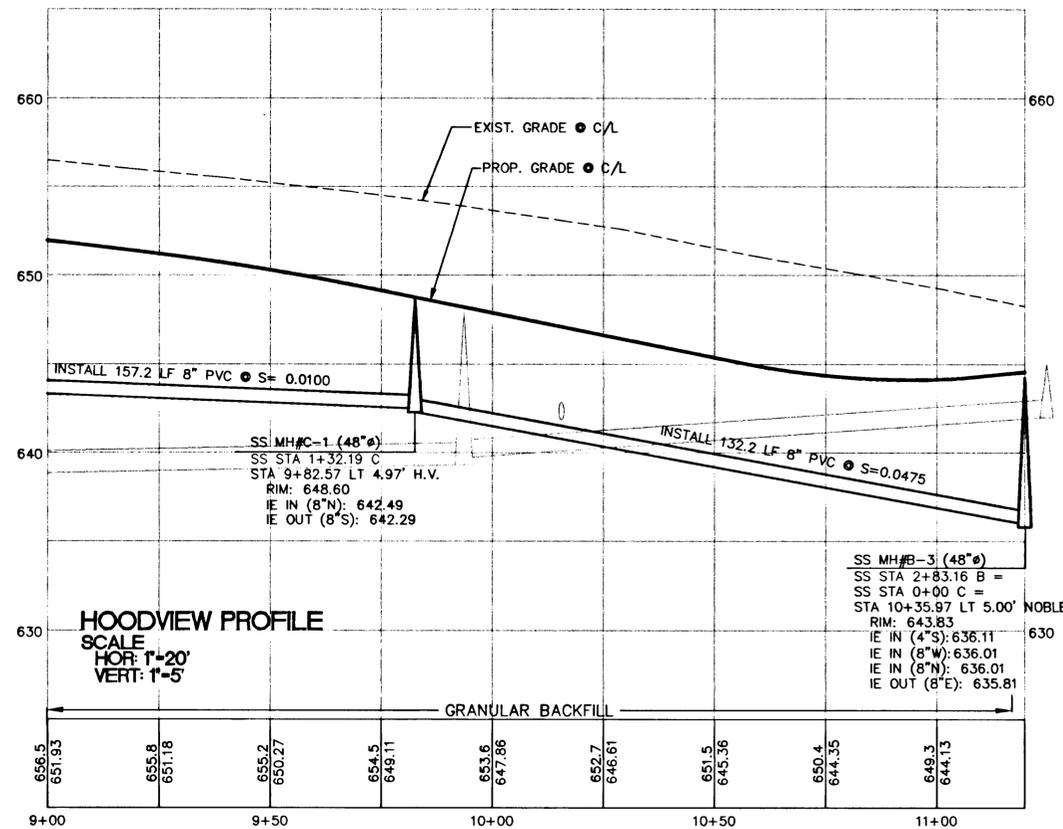
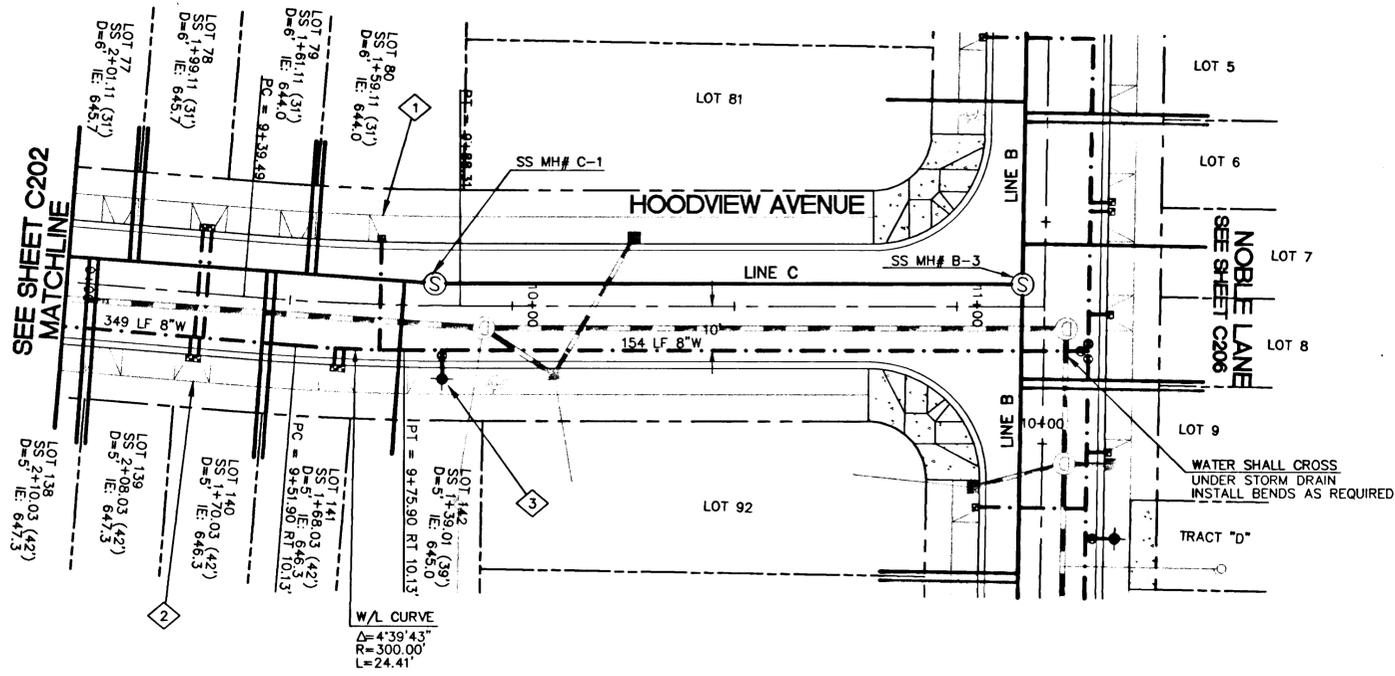
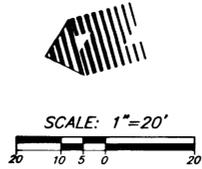
AS-BUILT DRAWING
05/04/2001
THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

PROJECT NO. **JTS004**
DATE **7/28/99**
DESIGNED **J SLATER**
ENGINEER **R DYER**
CHECKED

SHEET TITLE
SANITARY/WATER
SHEET NUMBER
C202

WATER CONSTRUCTION NOTES

- 1 INSTALL 1" SINGLE SERVICE (1) PER CITY STDS. (TYP.)
- 2 INSTALL 1" WATER SERVICE (2) PER CITY STDS. (TYP.)
- 3 STA 9+84.35 RT 16.5' HOODVIEW INSTALL FIRE HYDRANT ASSY. INCLUDING 8"x6" TEE, 6" GATE VALVE, 6" D.I. LINE, & THRUST BLOCK PER CITY STDS.



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**HOODVIEW AVENUE STA. 9+00 TO STA. 11+25
 SANITARY/WATER PLAN AND PROFILE**

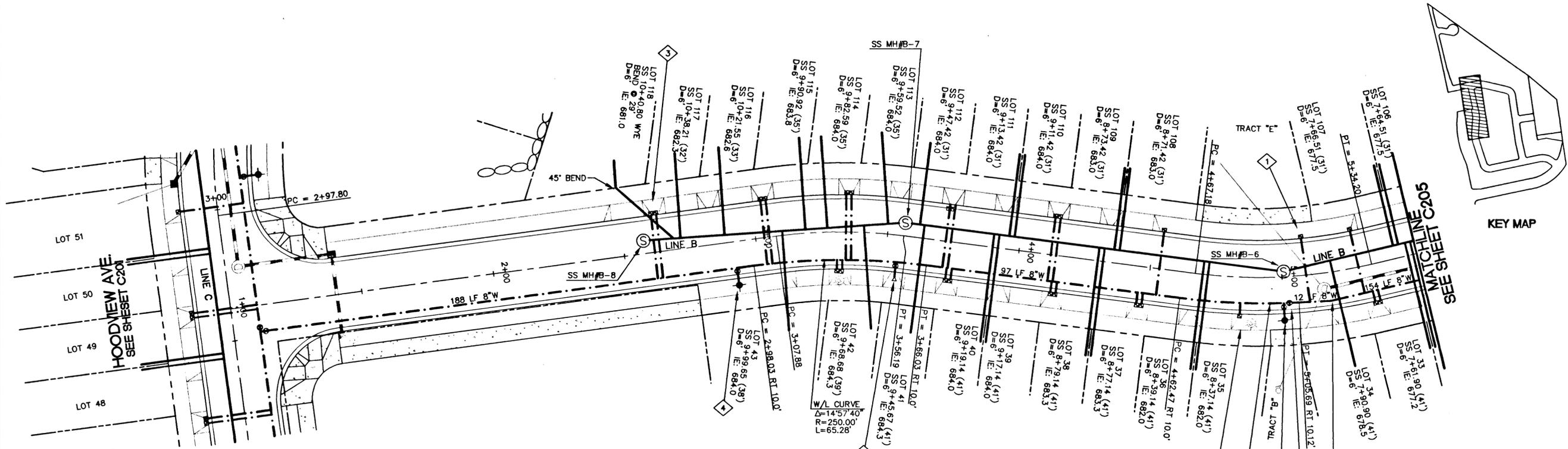
WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

AS-BUILT DRAWING

05/04/2001
 THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

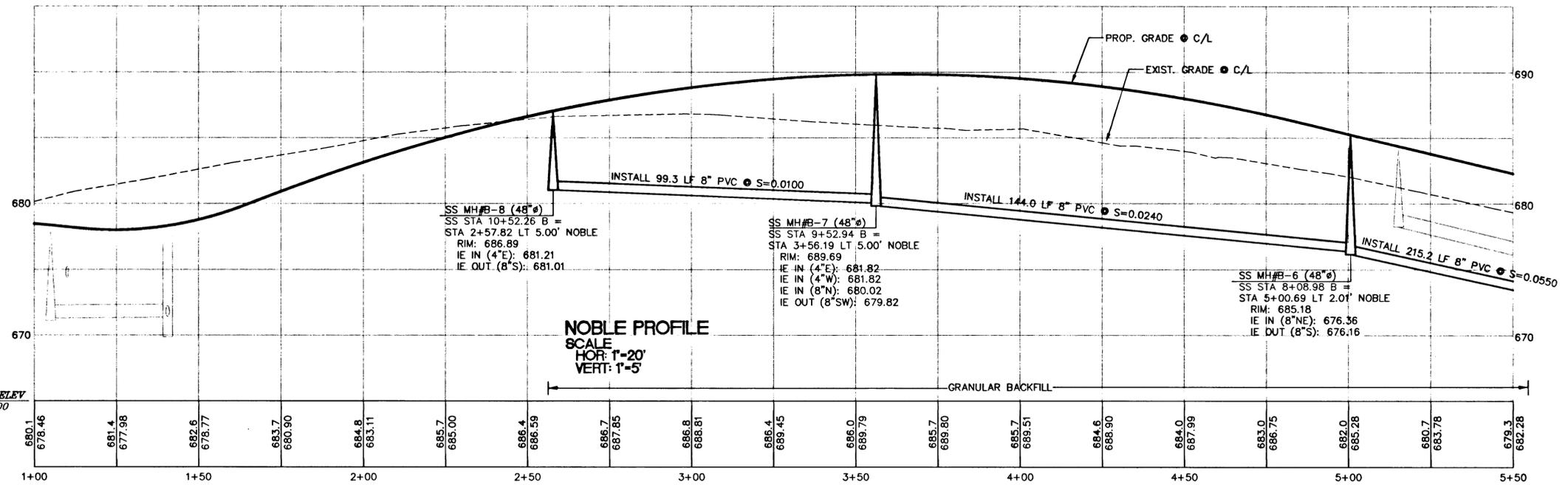
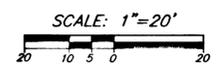
PROJECT NO.
JTS004
 DATE 7/28/99
 DESIGNED J SLATER
 ENGINEER R DYER
 CHECKED

SHEET TITLE
SANITARY/WATER
 SHEET NUMBER
C203



WATER CONSTRUCTION NOTES

- 1 STA 4+90± (LEFT)
INSTALL 1-1/2" IRRIGATION STUB & METER -
SEE LANDSCAPE PLANS SHEET L-8 DETAL 6
- 2 INSTALL 1" WATER SERVICE (1)
PER CITY STDS. (TYP.)
- 3 INSTALL 1" WATER SERVICE (2)
PER CITY STDS. (TYP.)
- 4 STA 2+91.55 RT 16.5' NOBLE
INSTALL FIRE HYDRANT ASSY. INCLUDING
8"x6" TEE, 6" GATE VALVE, 6" D.I. LINE,
& THRUST BLOCK PER CITY STDS.
- 5 STA 5+00.22 RT 16.5' NOBLE
INSTALL FIRE HYDRANT ASSY. INCLUDING
8"x6" TEE, 6" GATE VALVE, 6" D.I. LINE,
& THRUST BLOCK PER CITY STDS.
- 6 STA 5+17.18 RT 10.83' NOBLE
INSTALL 8" 11.25" BEND W/ THRUST BLOCK
PER CITY STDS.
- 7 STA 3+54.55 17' RT NOBLE
INSTALL AIR RELIEF VALVE
PER CITY STDS.
- 8 STA 5+02.20 10' RT NOBLE
INSTALL 8" FLGXMJ GATE VALVE



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**NOBLE LN STA. 1+00 TO STA. 5+50
SANITARY/WATER PLAN AND PROFILE**

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

AS-BUILT DRAWING

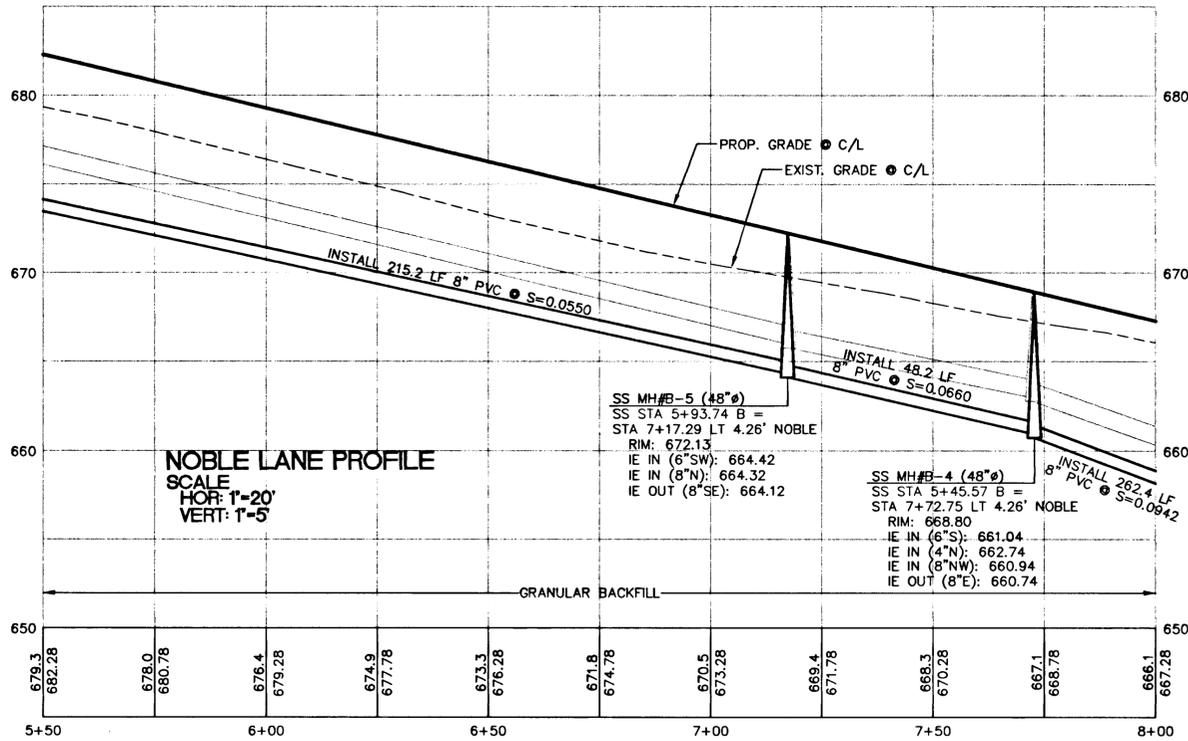
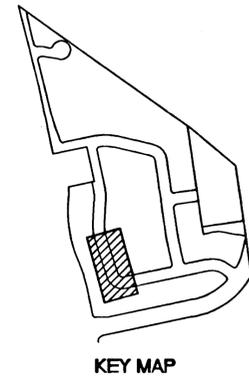
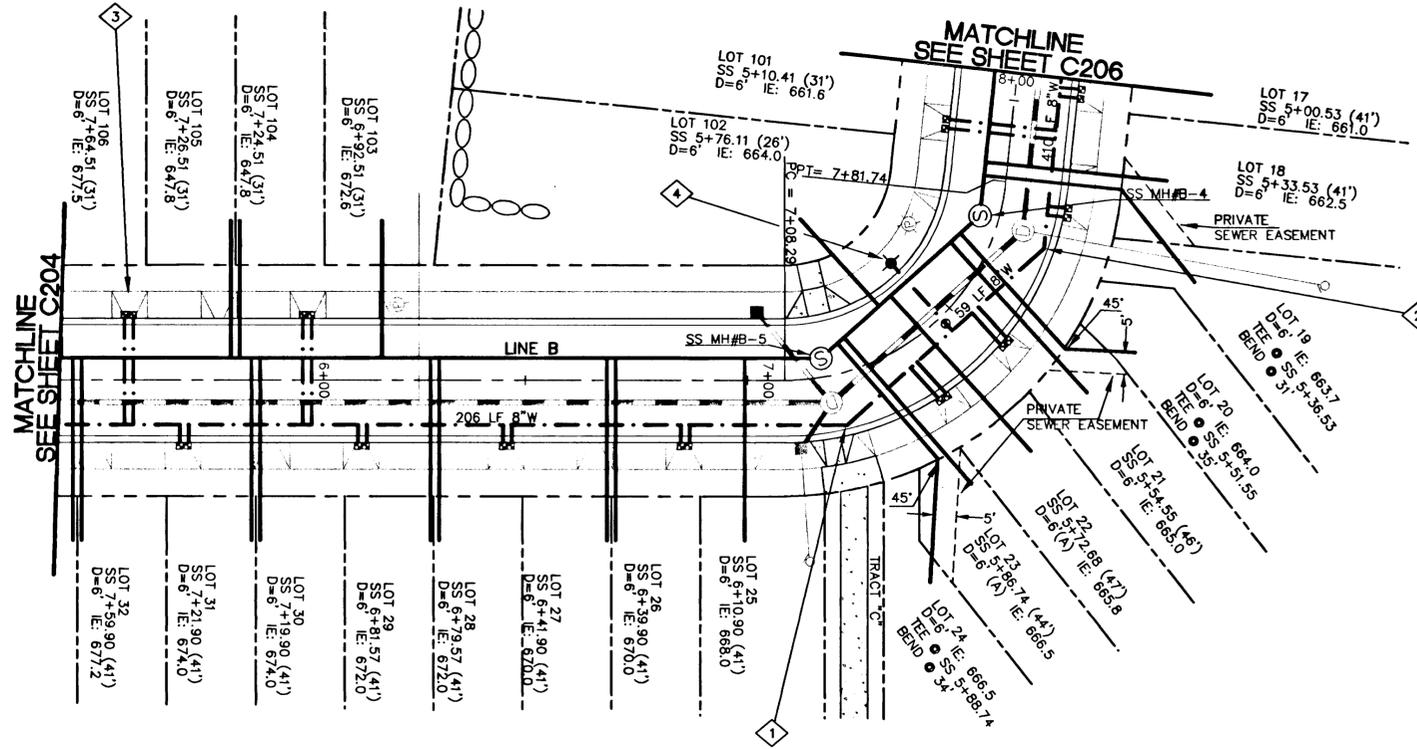
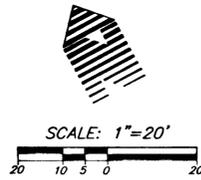
05/04/2001
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PROJECT NO.
JTS004
DATE 7/28/99
DESIGNED J SLATER
ENGINEER R DYER
CHECKED

SHEET TITLE
SANITARY/WATER
SHEET NUMBER
C204

WATER CONSTRUCTION NOTES

- 1 STA 7+19.86 RT 11.64' NOBLE
INSTALL 8" 45° BEND W/ THRUST BLOCK
PER CITY STDS.
- 2 STA 7+70.18 RT 11.64' NOBLE
INSTALL 8" 45° BEND W/ THRUST BLOCK
PER CITY STDS.
- 3 INSTALL 1" WATER SERVICE (2)
PER CITY STDS. (TYP.)
- 4 STA 7+48.00 LT 16.5' NOBLE
INSTALL FIRE HYDRANT ASSY. INCLUDING
8"x6" TEE, 6" GATE VALVE, 6" D.I. LINE,
& THRUST BLOCK PER CITY STDS.



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**NOBLE LN STA. 5+50 TO STA. 8+00
SANITARY/WATER PLAN AND PROFILE**

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

**AS-BUILT
DRAWING**

05/04/2001
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PROJECT NO.
JTS004

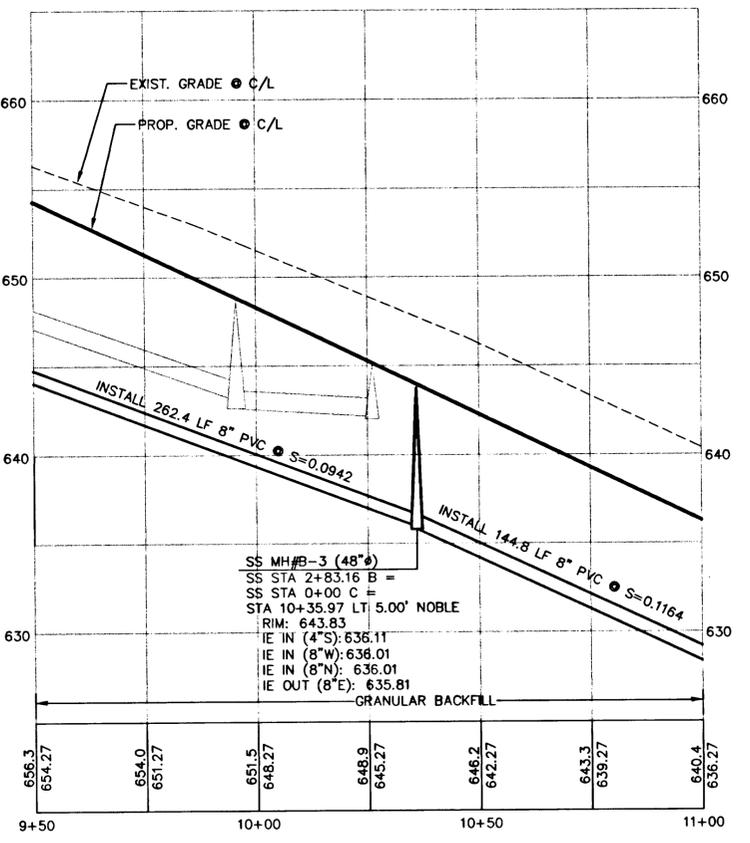
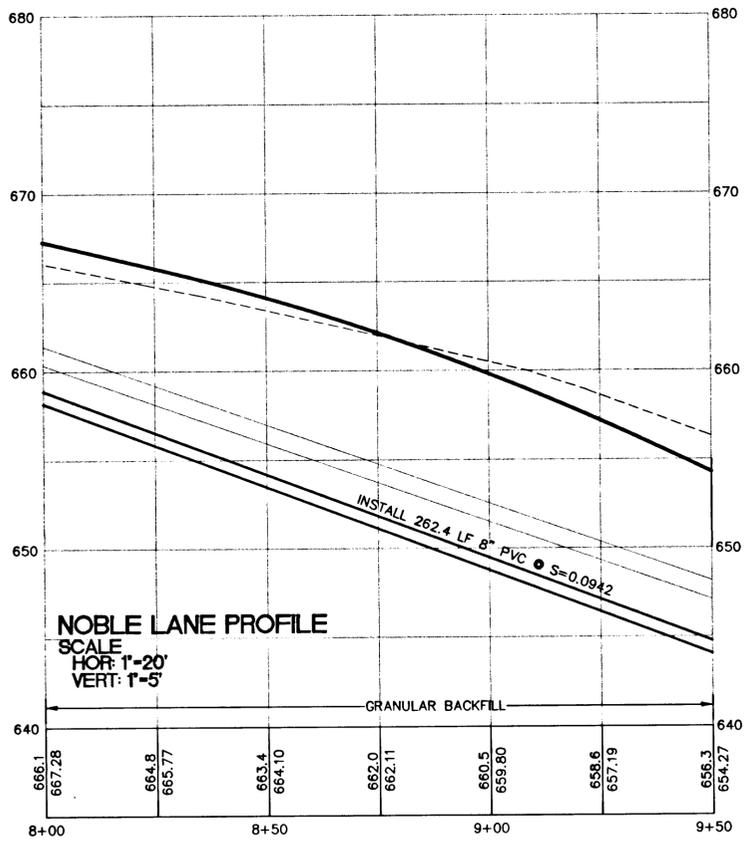
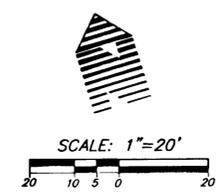
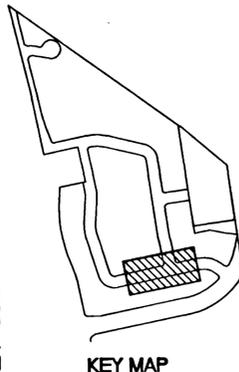
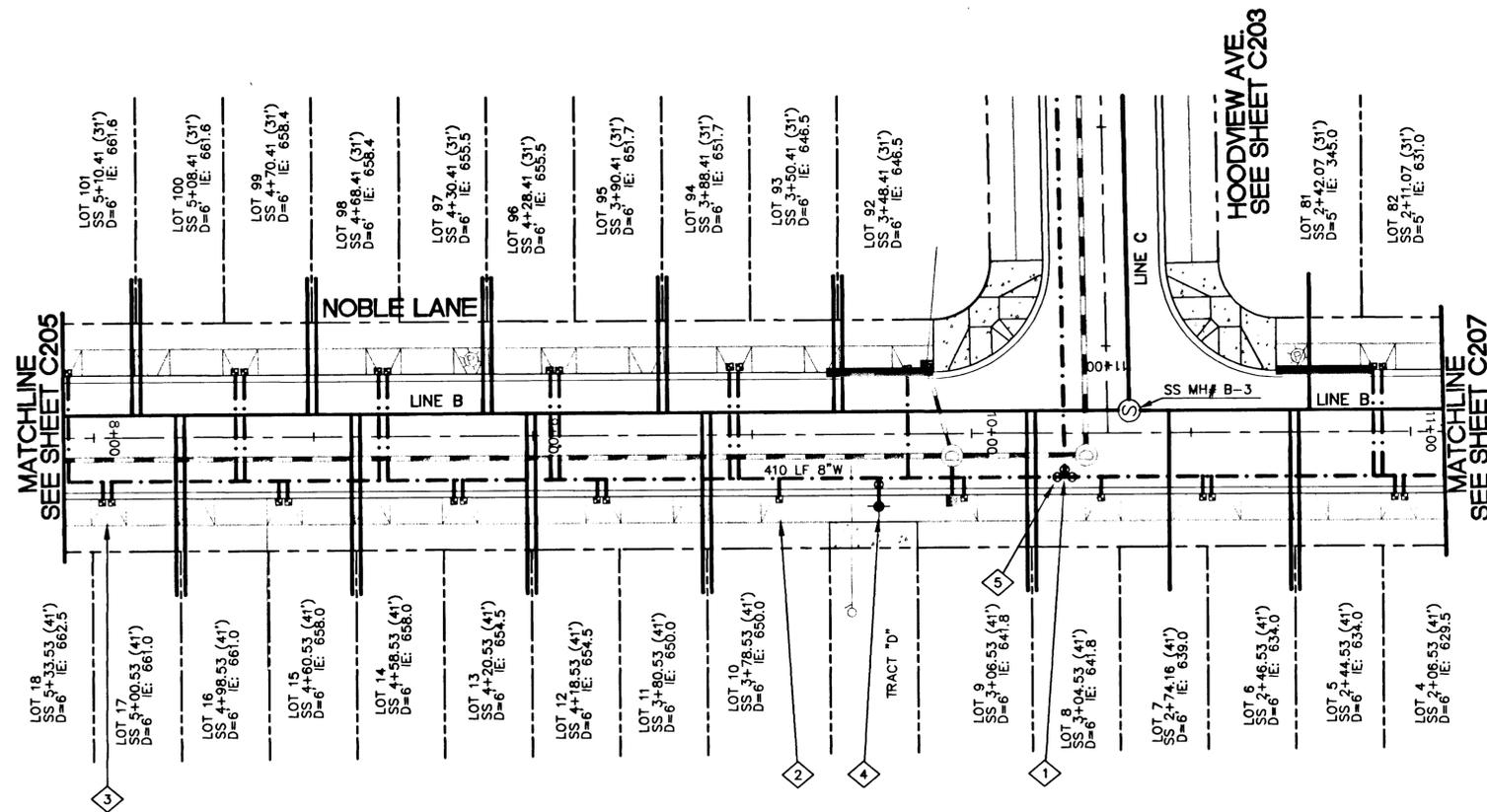
DATE: 7/28/99
DESIGNED: J SLATER
ENGINEER: R DYER
CHECKED:

SHEET TITLE
SANITARY/WATER

SHEET NUMBER
C205

WATER CONSTRUCTION NOTES

- 1 STA 10+21.19 RT 10' NOBLE
INSTALL 8"x8" TEE, 3-8" GATE VALVES,
& THRUST BLOCK PER CITY STDS.
- 2 INSTALL 1" WATER SERVICE (1)
PER CITY STDS. (TYP.)
- 3 INSTALL 1" WATER SERVICE (2)
PER CITY STDS. (TYP.)
- 4 STA 9+78.85 RT 16.5' NOBLE
INSTALL FIRE HYDRANT ASSY. INCLUDING
8"x6" TEE, 6" GATE VALVE, 6" D.I. LINE,
& THRUST BLOCK PER CITY STDS.
- 5 WATER SHALL CROSS UNDER STORM LINES
(4' COVER, USE VALVE EXTENSIONS)



**NOBLE LN STA. 8+00 TO STA. 11+00
SANITARY/WATER PLAN AND PROFILE**

WEST LINN, OREGON
JT SMITH COMPANY

**AS-BUILT
DRAWING**

05/04/2001
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PROJECT NO.
JTS004
DATE 7/28/99
DESIGNED BY J SLATER
ENGINEER R DYER
CHECKED

SHEET TITLE
SANITARY/WATER
SHEET NUMBER

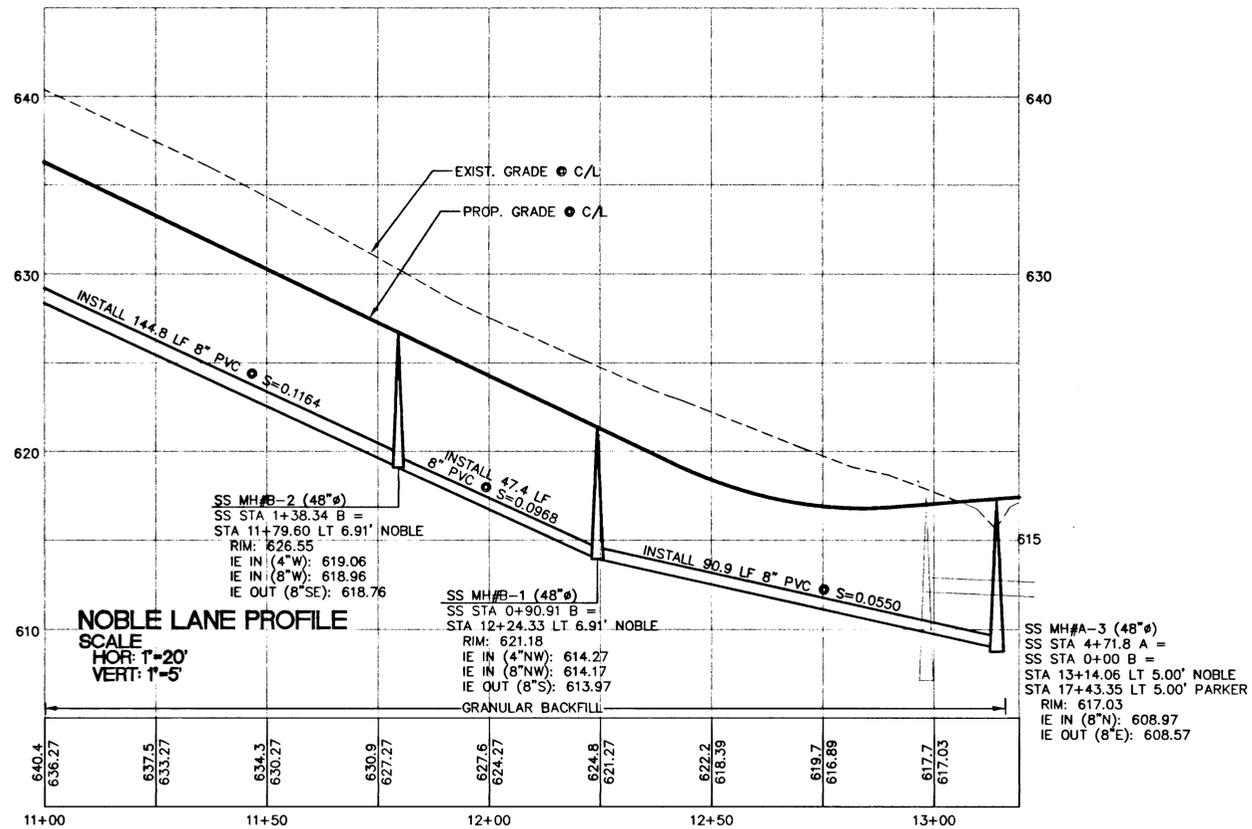
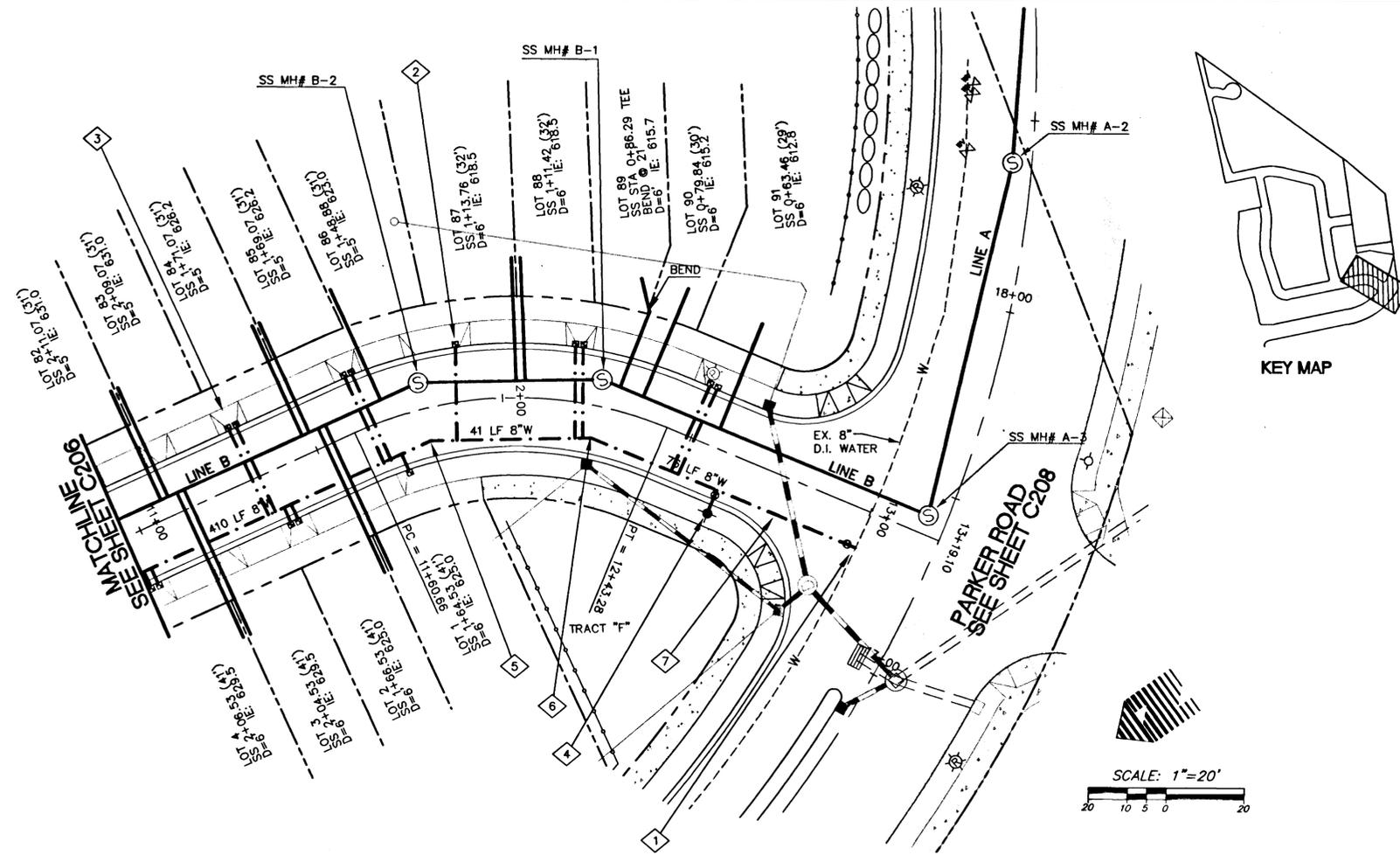
C206



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WATER CONSTRUCTION NOTES

- 1 STA 13+01.93 RT 10' NOBLE
INSTALL 8"x8" HOT TAP, 1-8" FLG MJ GATE VALVE,
& THRUST BLOCK PER CITY STDS.
- 2 INSTALL 1" WATER SERVICE (1)
PER CITY STDS. (TYP.)
- 3 INSTALL 1" WATER SERVICE (2)
PER CITY STDS. (TYP.)
- 4 STA 12+61.39 RT 16.5' NOBLE
INSTALL FIRE HYDRANT ASSY. INCLUDING
8"x6" TEE, 6" GATE VALVE, 6" D.I. LINE,
& THRUST BLOCK PER CITY STDS.
- 5 STA 11+79.32 RT 8.41' NOBLE
INSTALL 8" 22.5' BEND W/ THRUST BLOCK
PER CITY STDS.
- 6 STA 12+24.62 RT 8.81' NOBLE
INSTALL 8" 22.5' BEND W/ THRUST BLOCK
PER CITY STDS.
- 7 WATER SHALL CROSS UNDER STORM DRAIN
LINE. CENTER LENGTH OF PIPE UNDER STORM CROSSING.
INSTALL BENDS AS NEEDED.



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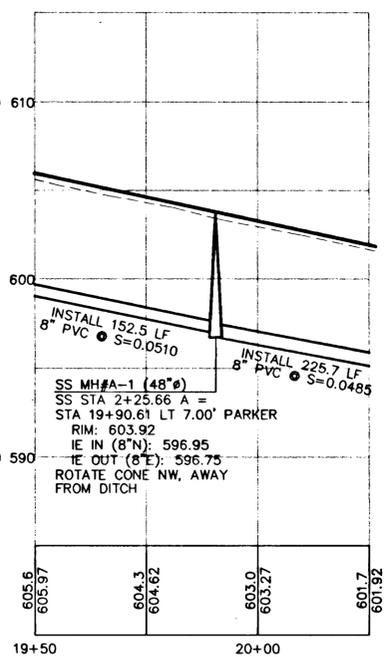
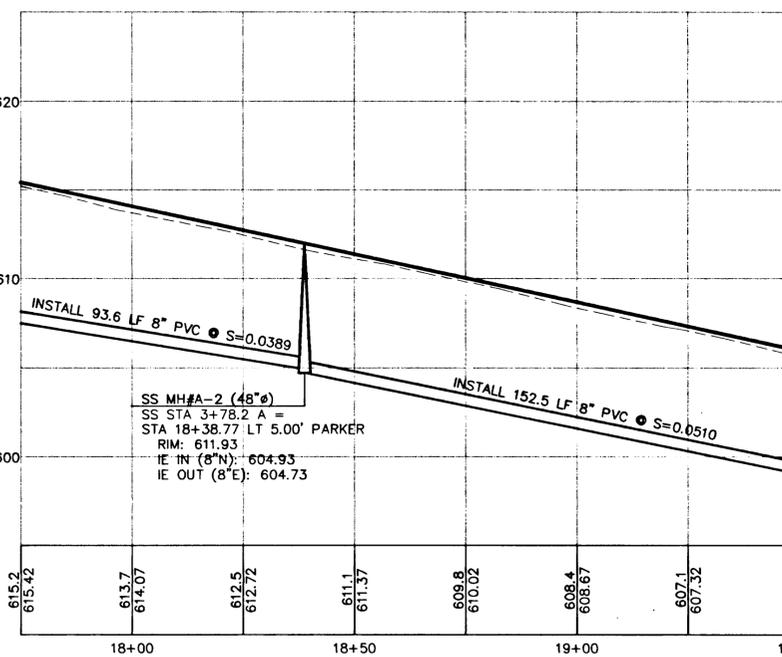
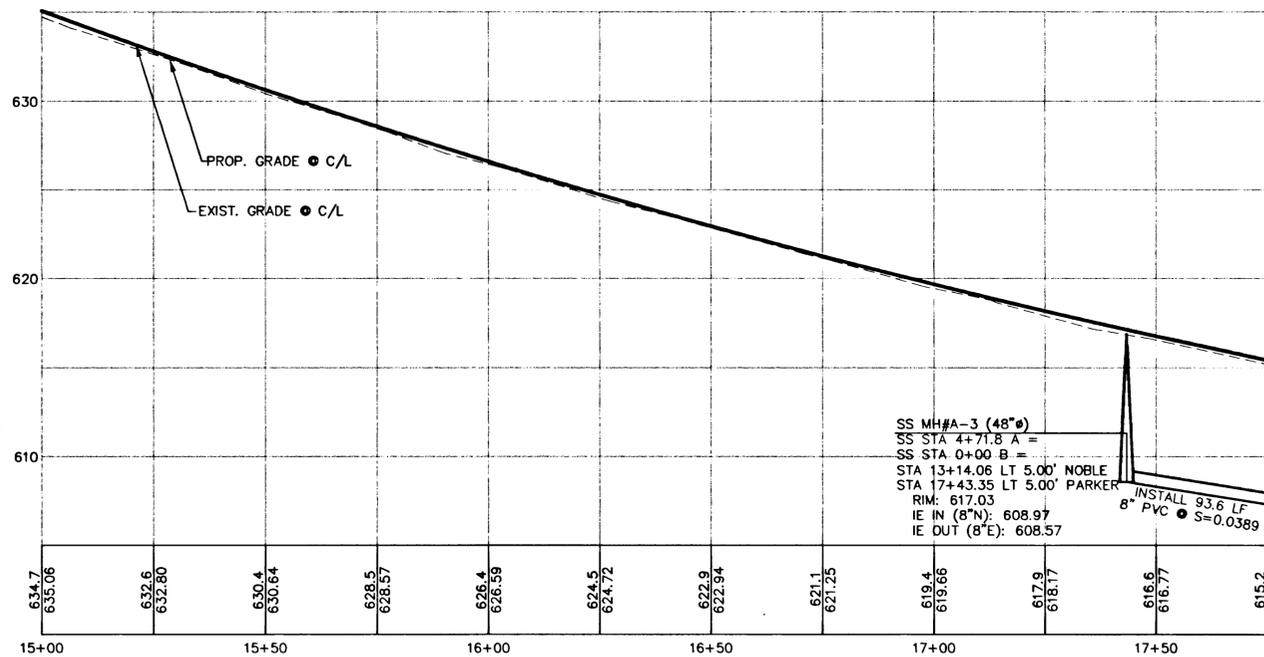
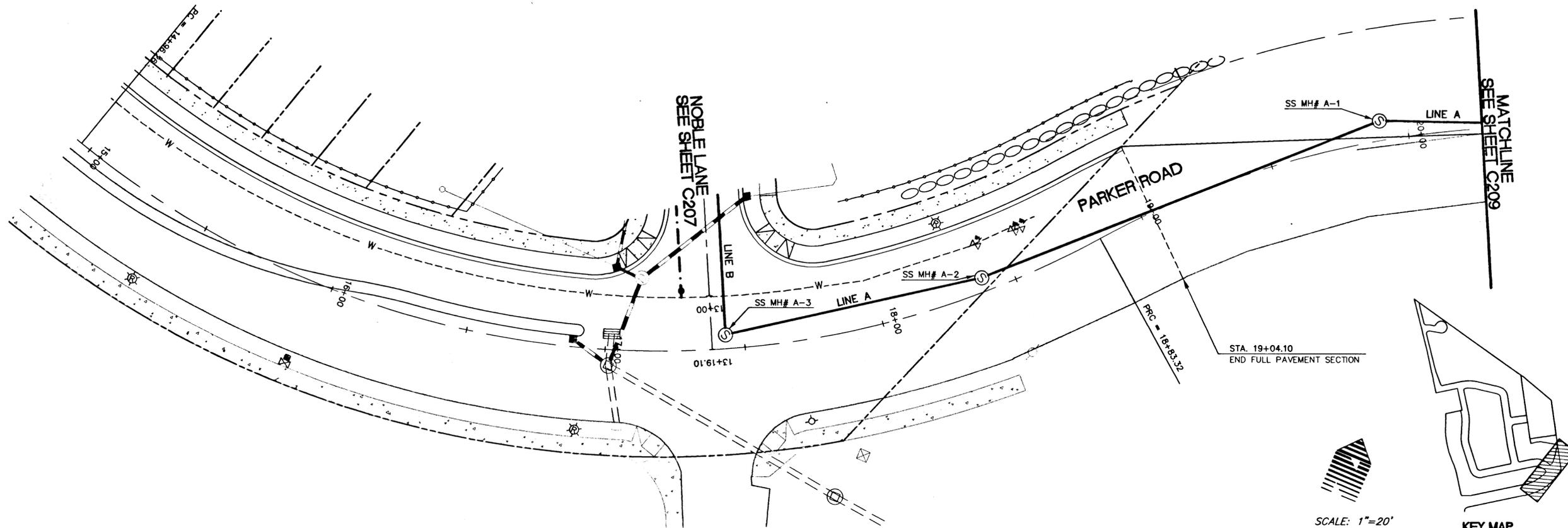
NOBLE LN STA. 11+00 TO STA. 13+25
SANITARY/WATER PLAN AND PROFILE
WEST LINN, OREGON
HOODVIEW ESTATES, LLC

AS-BUILT DRAWING
05/04/2001

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PROJECT NO. **JTS004**
DATE **7/28/99**
DESIGNED **J SLATER**
ENGINEER **R DYER**
CHECKED

SHEET TITLE
SANITARY/WATER
SHEET NUMBER
C207



PARKER ROAD STA. 15+00 TO STA. 19+50
SANITARY PLAN AND PROFILE

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

AS-BUILT DRAWING

05/04/2001
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PROJECT NO.
JTS004

DATE | 7/16/99
 DESIGNED | J SLATER
 ENGINEER | R DYER
 CHECKED |

SHEET TITLE
SANITARY PLAN

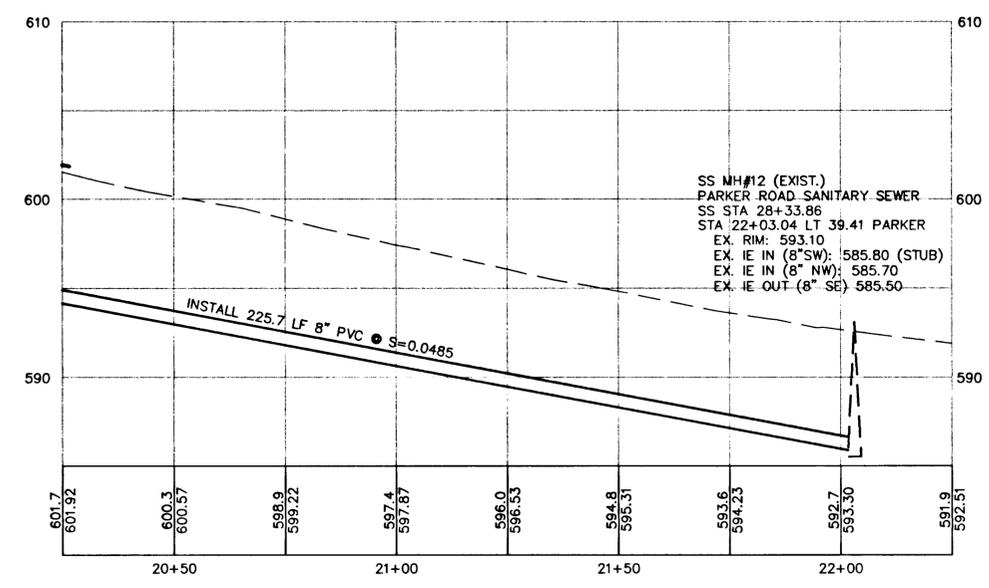
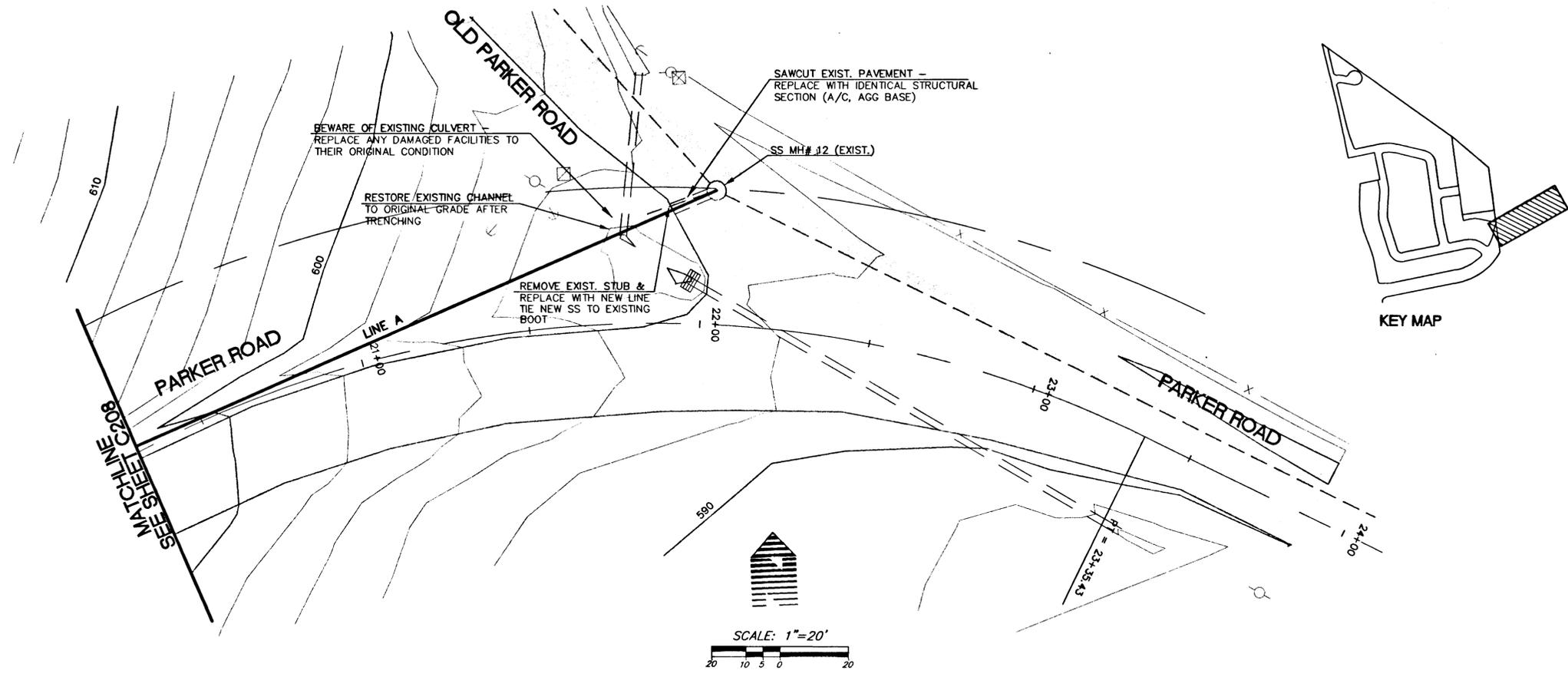
SHEET NUMBER

C208



W R G I N C

DEBIGNO
 2260 Corporate Circle Henderson, Nevada 89014
 702 990-9300 FAX: 702 990-9305
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PARKER ROAD PROFILE
SCALE
HOR: 1"=20'
VERT: 1"=5'

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**PARKER ROAD STA. 19+50 TO STA. 23+50
SANITARY PLAN AND PROFILE**

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

AS-BUILT DRAWING
05/04/2001

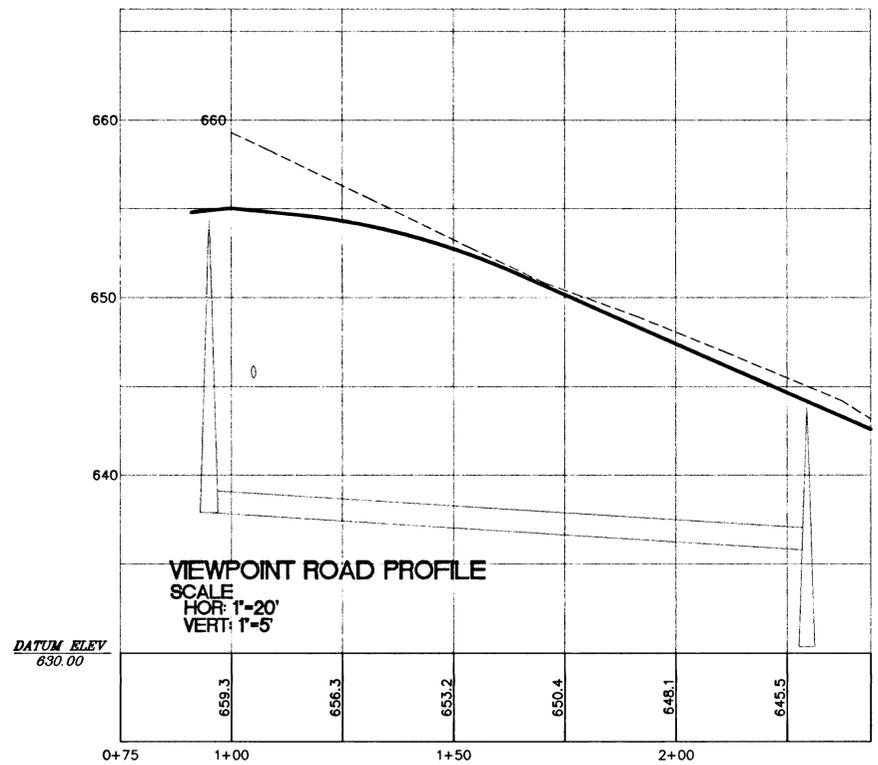
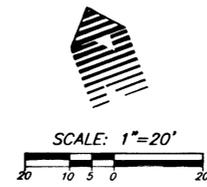
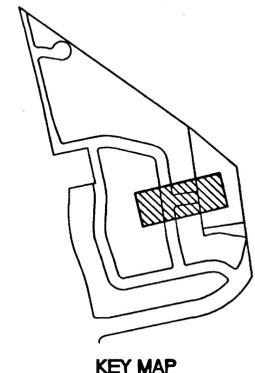
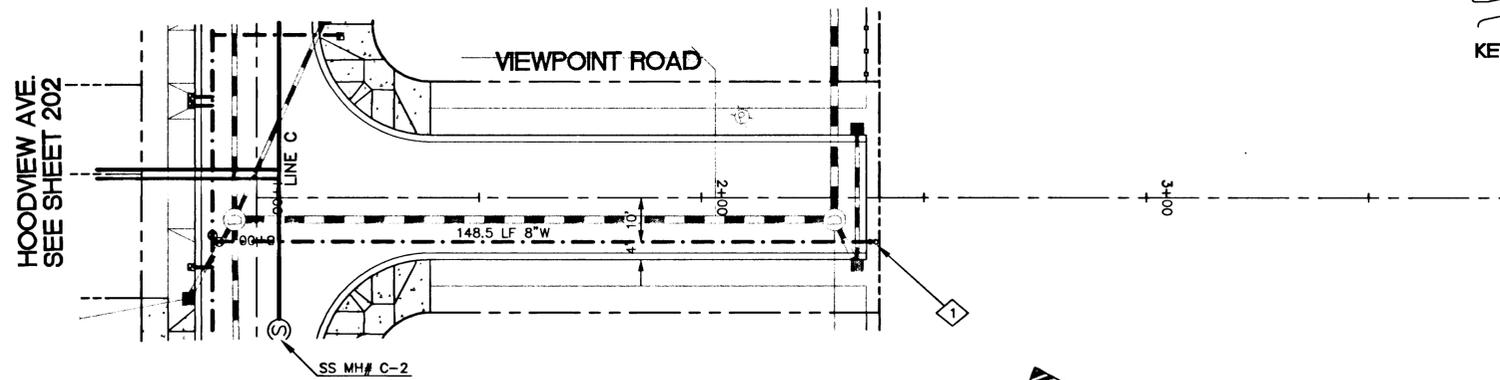
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PROJECT NO.
JTS004
DATE | 7/28/99
DESIGNED | J SLATER
ENGINEER | R DYER
CHECKED |

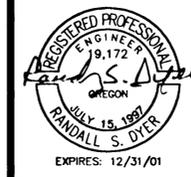
SHEET TITLE
SANITARY PLAN
SHEET NUMBER
C209

WATER CONSTRUCTION NOTES

1 STA 2+39.12 RT 10' VIEWPOINT RD.
INSTALL BLOWOFF ASSY.
& THRUST BLOCK PER CITY STDS.



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**VIEWPOINT ROAD STA. 1+00 TO STA. 2+40
SANITARY/WATER PLAN AND PROFILE**

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

**AS-BUILT
DRAWING**

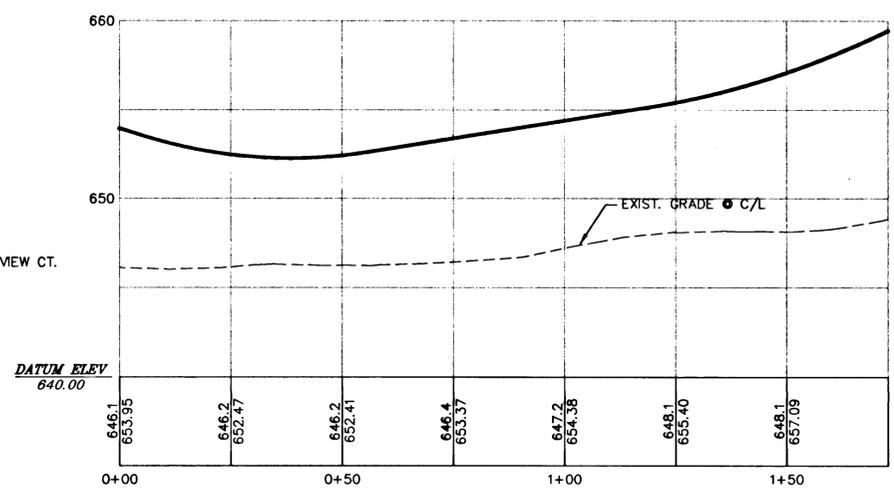
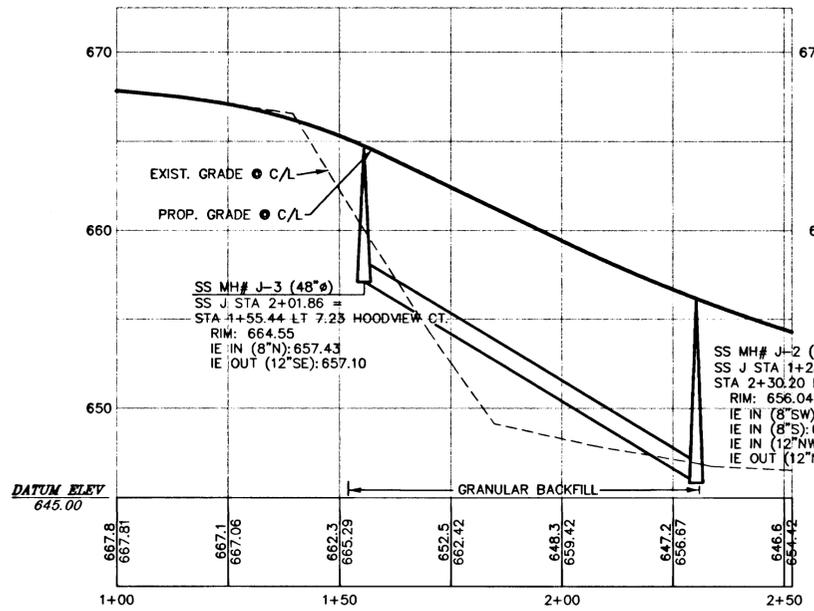
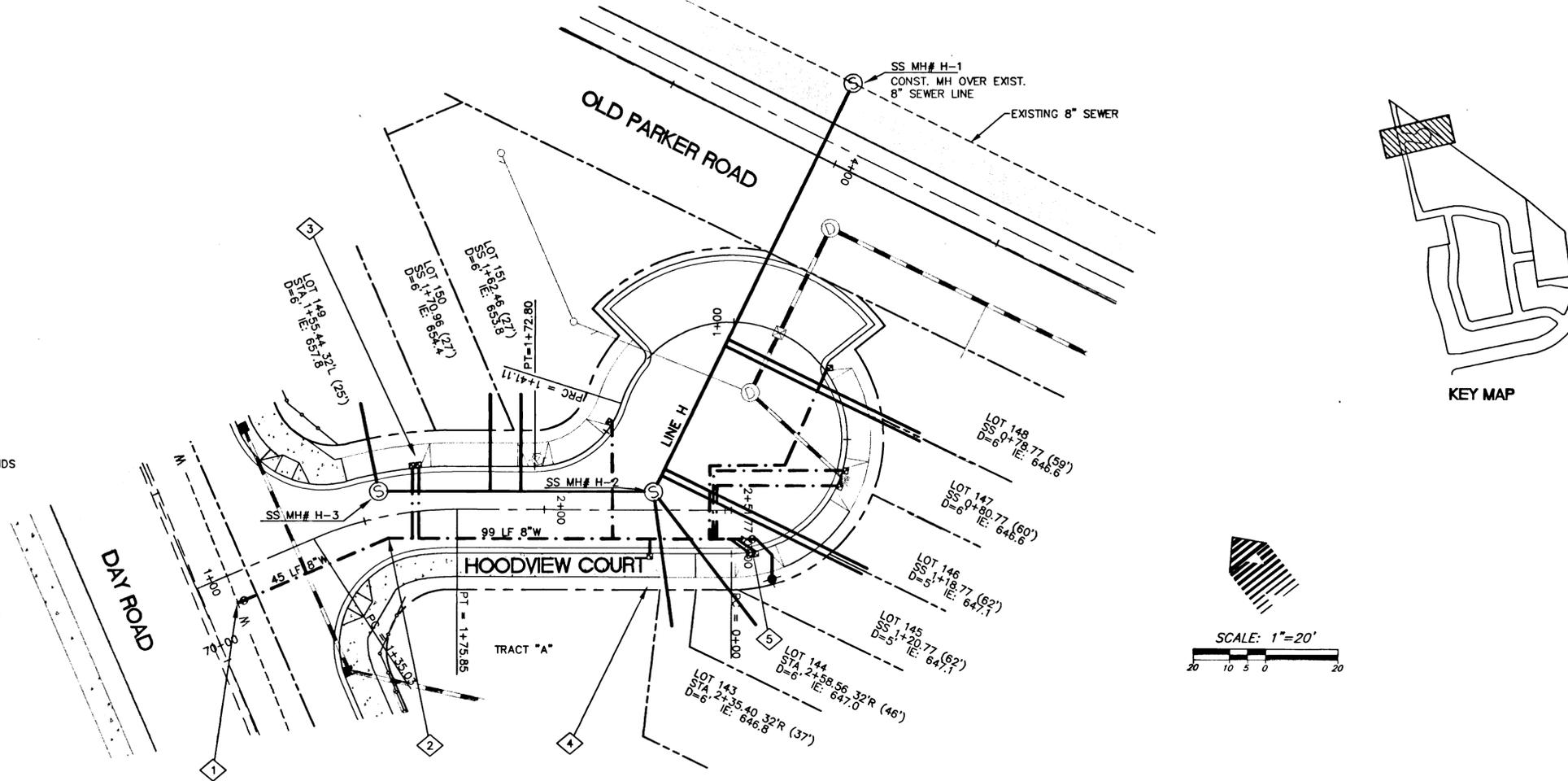
05/04/2001
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PROJECT NO.
JTS004
DATE | 7/28/99
DESIGNED | J SLATER
ENGINEER | R DYER
CHECKED |

SHEET TITLE
SANITARY/WATER
SHEET NUMBER
C210

WATER CONSTRUCTION NOTES

- 1 STA 1+08.89 RT 8.00' HOODVIEW COURT
INSTALL 8"x12" HOT-TAP WITH VALVE EXTENSION
PER CITY STDS. - VERIFY WATERLINE DEPTH
& NOTIFY ENGINEER & CITY. INSTALL VERTICAL BENDS
AS NEEDED TO DECREASE DEPTH OF 8" LINE.
- 2 STA. 1+55.44 RT 6.05 HOODVIEW COURT
INSTALL 8" 22.5' BEND W/ THRUST
BLOCK PER CITY STDS.
- 3 INSTALL 1" WATER SERVICE (2)
PER CITY STDS. (TYP.)
- 4 INSTALL 1" WATER SERVICE (1)
PER CITY STDS. (TYP.)
- 5 INSTALL FIRE HYDRANT ASSY. INCLUDING
8"x6" REDUCER, 6" 45° BENDS, 6" GATE VALVE AND
6" D.I. LINE, & THRUST BLOCK PER CITY
STDS.



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**HOODVIEW COURT STA. 1+00 TO STA. 2+51.77
SANITARY/WATER PLAN AND PROFILE**

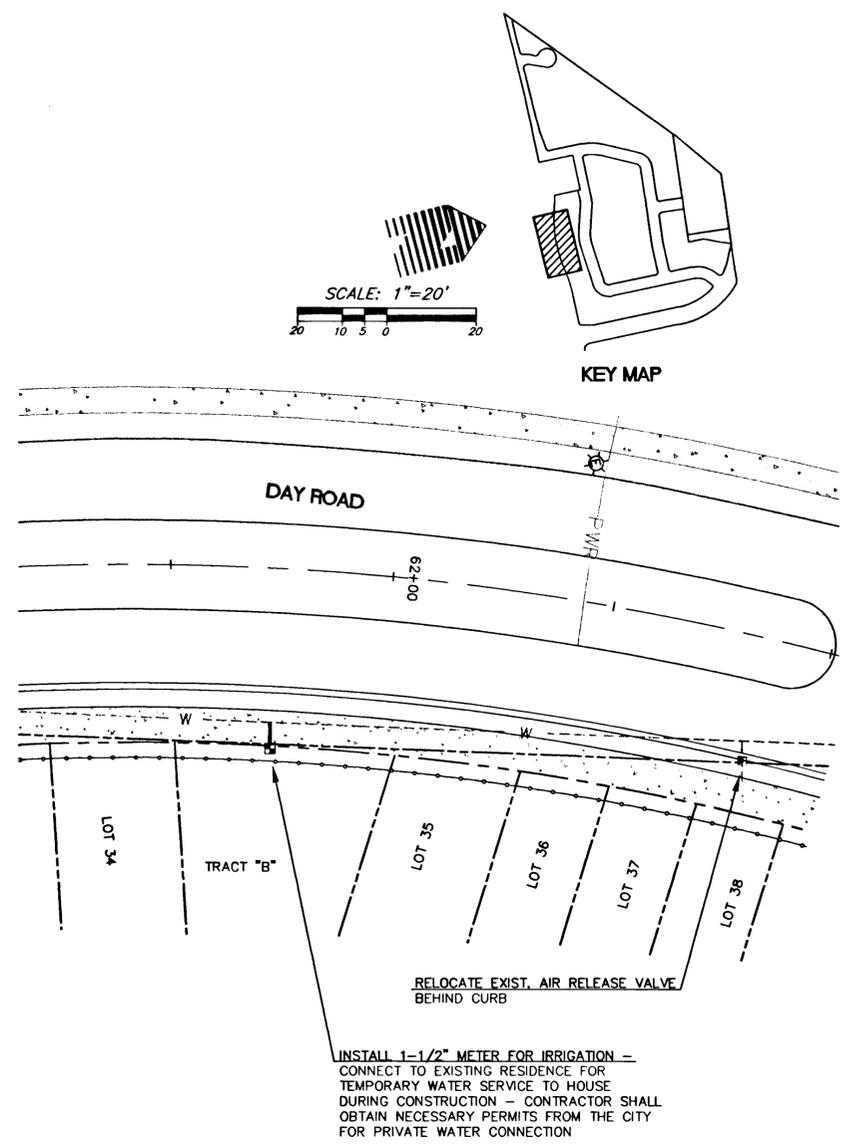
WEST LINN, OREGON
HOODVIEW ESTATES, LLC

AS-BUILT DRAWING

05/04/2001
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PROJECT NO. **JTS004**
DATE 7/28/99
DESIGNED J SLATER
ENGINEER R DYER
CHECKED

SHEET TITLE
SANITARY/WATER
SHEET NUMBER
C211



DAY ROAD WATER DETAIL 'A'

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**DAY ROAD WATERLINE DETAILS
 HOODVIEW TOWNHOMES**

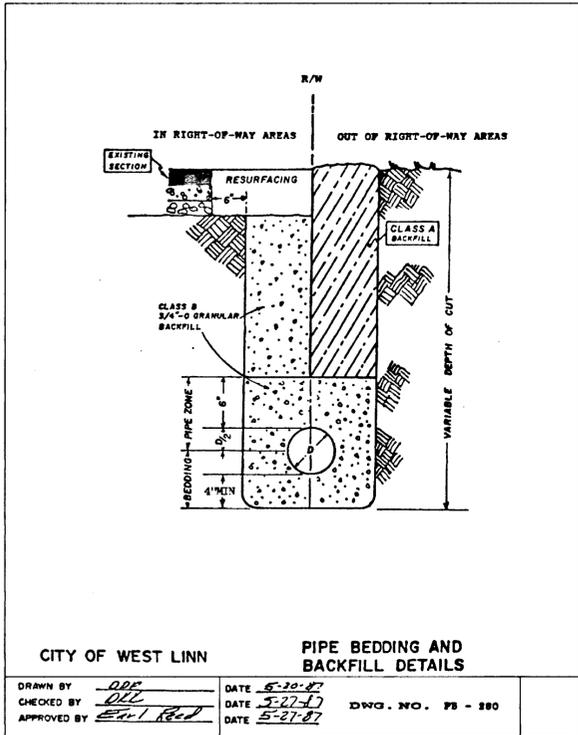
WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

**AS-BUILT
 DRAWING**

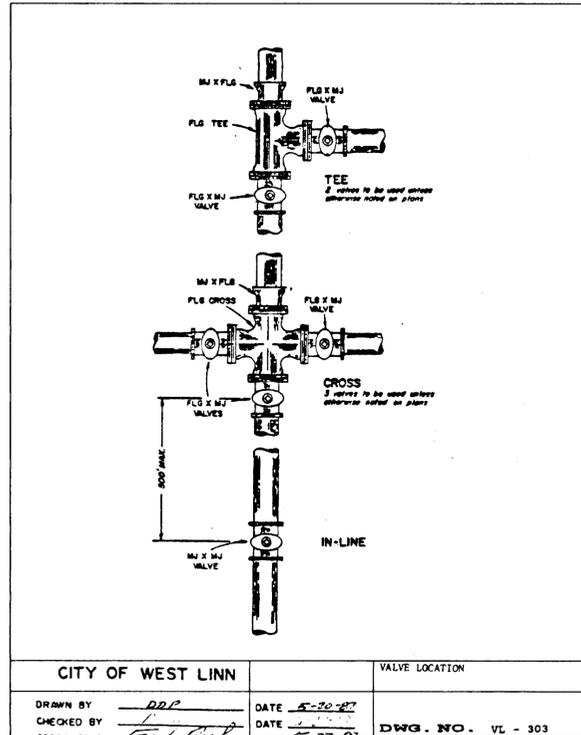
05/04/2001
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PROJECT NO.
JTS004
 DATE | 7/28/99
 DESIGNED | J SLATER
 ENGINEER | R DYER
 CHECKED |

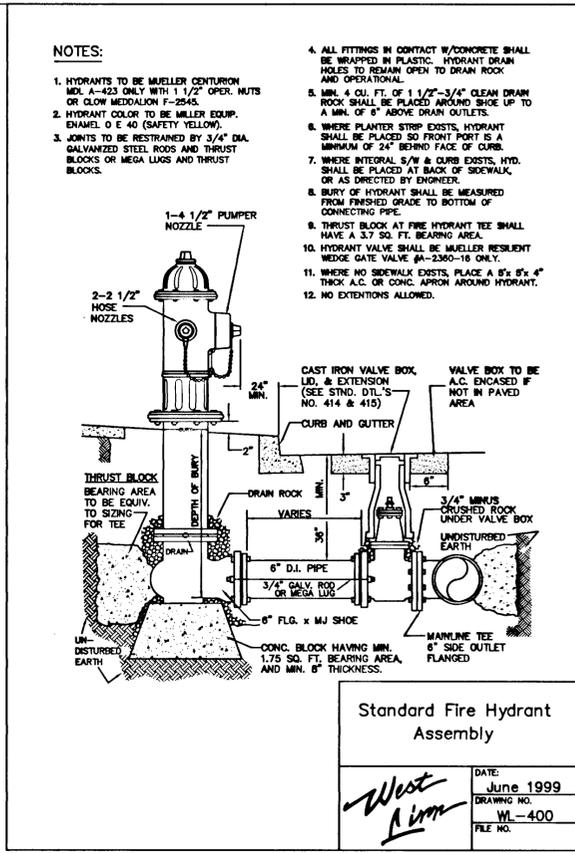
SHEET TITLE
WATER DETAILS
 SHEET NUMBER
C212



CITY OF WEST LINN
 DRAWN BY DDC DATE 5-20-97
 CHECKED BY DLG DATE 5-22-97 DWG. NO. PS - 280
 APPROVED BY Edw. Red DATE 5-27-97

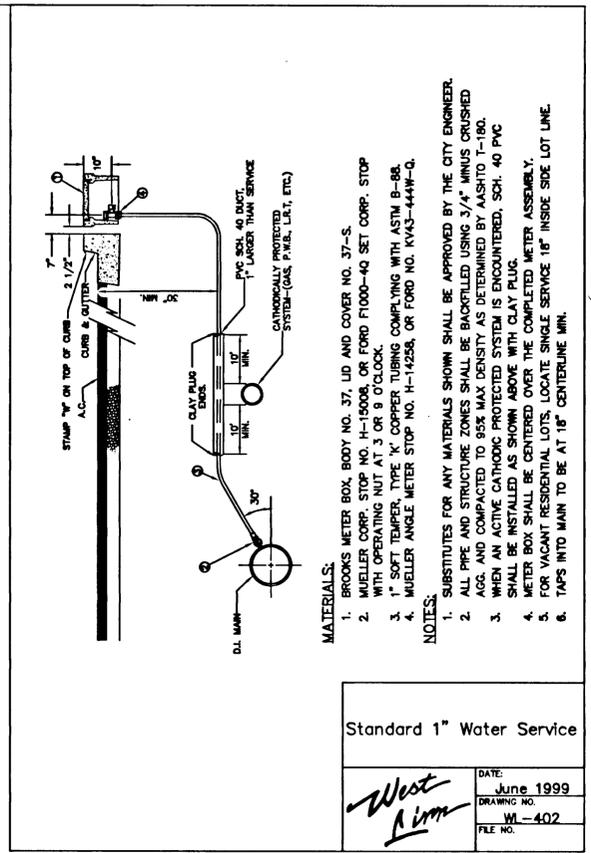


CITY OF WEST LINN
 DRAWN BY DDC DATE 5-20-97
 CHECKED BY DLG DATE 5-22-97 DWG. NO. VL - 303

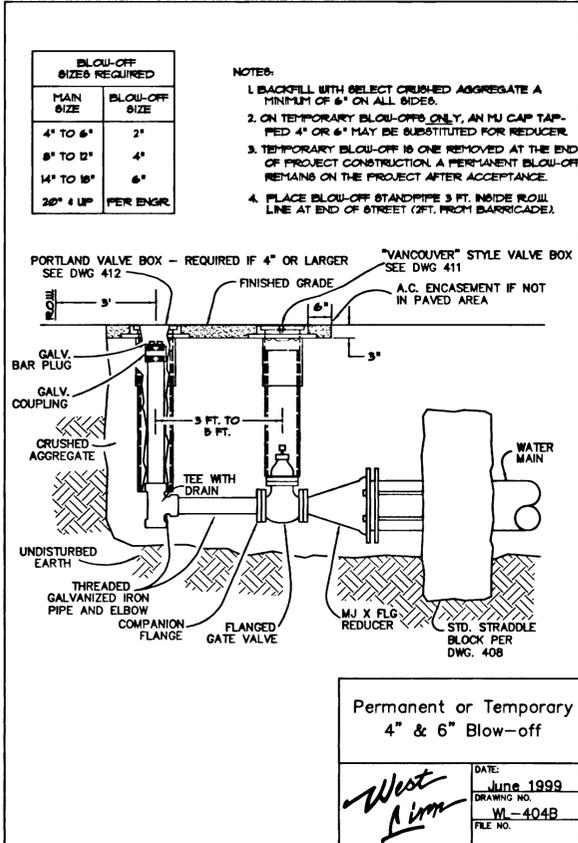


NOTES:
 1. HYDRANTS TO BE MUELLER CENTURION MOD. A-423 ONLY WITH 1 1/2\"/>
 4. ALL FITTINGS IN CONTACT W/CONCRETE SHALL BE WRAPPED IN PLASTIC. HYDRANT DRAIN HOLES TO REMAIN OPEN TO DRAIN ROCK AND OPERATIONAL.
 5. MIN. 4 O.U. FT. OF 1 1/2\"/>
 6. WHERE PLANTER STRIP EXISTS, HYDRANT SHALL BE PLACED SO FRONT PORT IS A MINIMUM OF 24\"/>
 7. WHERE INTEGRAL S/W & CURB EXISTS, HYD. SHALL BE PLACED AT BACK OF SEWALK OR AS DIRECTED BY ENGINEER.
 8. BURY OF HYDRANT SHALL BE MEASURED FROM FINISHED GRADE TO BOTTOM OF CONNECTING PIPE.
 9. THRUST BLOCK AT FIRE HYDRANT TEE SHALL HAVE A 3.7 SQ. FT. BEARING AREA.
 10. HYDRANT VALVE SHALL BE MUELLER RESILIENT WEDGE GATE VALVE (#A-2360-16 ONLY).
 11. WHERE NO SIDEWALK EXISTS, PLACE A 6\"/>
 12. NO EXTENSIONS ALLOWED.

Standard Fire Hydrant Assembly
 DATE: June 1999
 DRAWING NO. WL-400
 FILE NO.



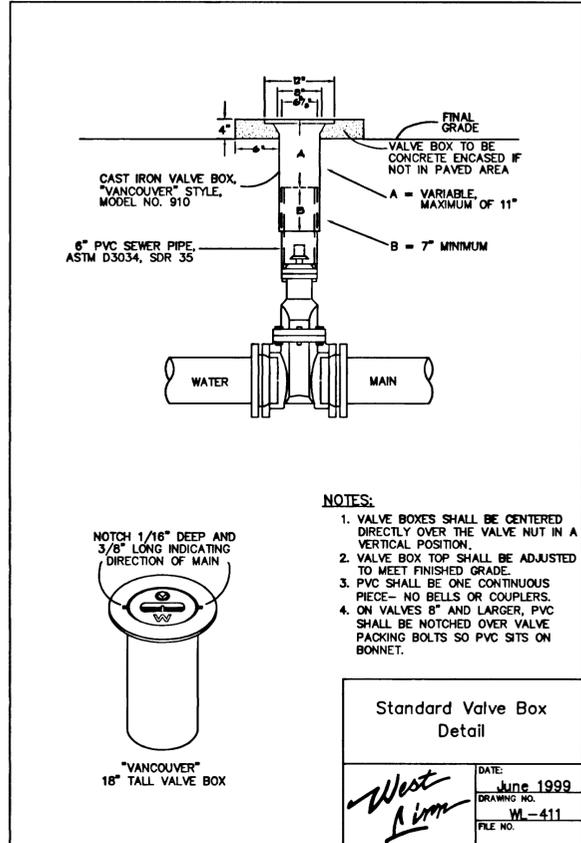
Standard 1" Water Service
 DATE: June 1999
 DRAWING NO. WL-402
 FILE NO.



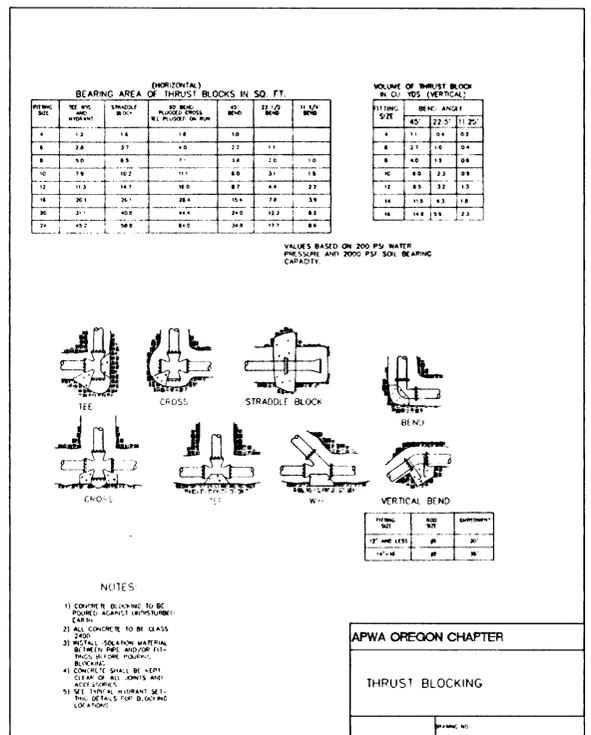
BLow-OFF SIZE REQUIRED
 MAIN SIZE BLOW-OFF SIZE
 4" TO 6" 2"
 8" TO 12" 4"
 14" TO 18" 6"
 20" 4 UP PER ENGR.

NOTES:
 1. BACKFILL WITH SELECT CRUSHED AGGREGATE A MINIMUM OF 6" ON ALL SIDES.
 2. ON TEMPORARY BLOW-OFFS ONLY, AN M/J CAP TAPPED 4" OR 6" MAY BE SUBSTITUTED FOR REDUCER.
 3. TEMPORARY BLOW-OFF IS ONE REMOVED AT THE END OF PROJECT CONSTRUCTION, A PERMANENT BLOW-OFF REMAINS ON THE PROJECT AFTER ACCEPTANCE.
 4. PLACE BLOW-OFF STANDPIPE 3 FT. INSIDE ROLL LINE AT END OF STREET (2 FT. FROM BARRICADE).

Permanent or Temporary 4" & 6" Blow-off
 DATE: June 1999
 DRAWING NO. WL-404B
 FILE NO.



Standard Valve Box Detail
 DATE: June 1999
 DRAWING NO. WL-411
 FILE NO.



BEARING AREA OF THRUST BLOCKS IN SQ. FT.
 VOLUME OF THRUST BLOCK
 DATE: June 1999
 DRAWING NO. WL-401
 FILE NO.

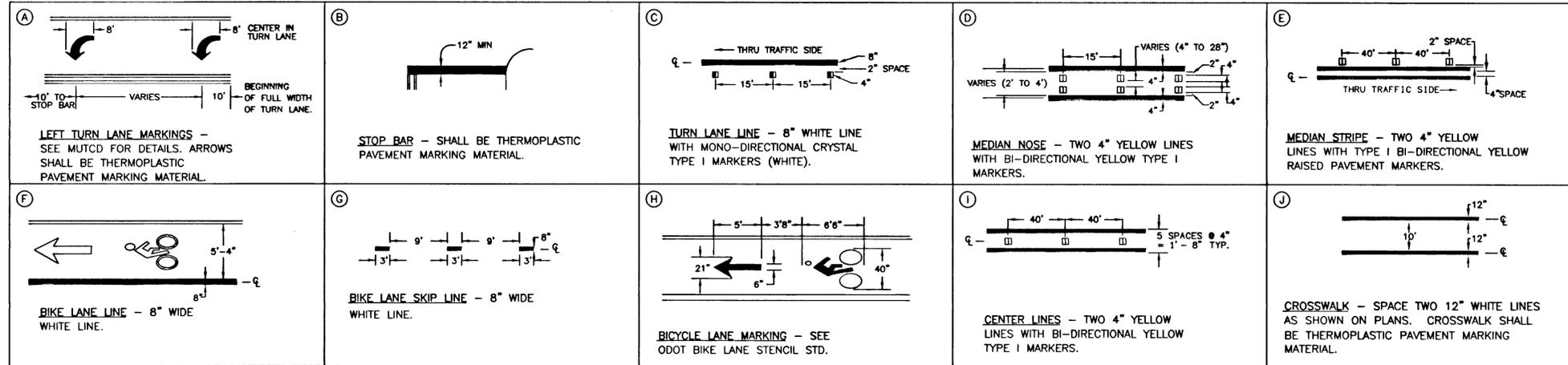
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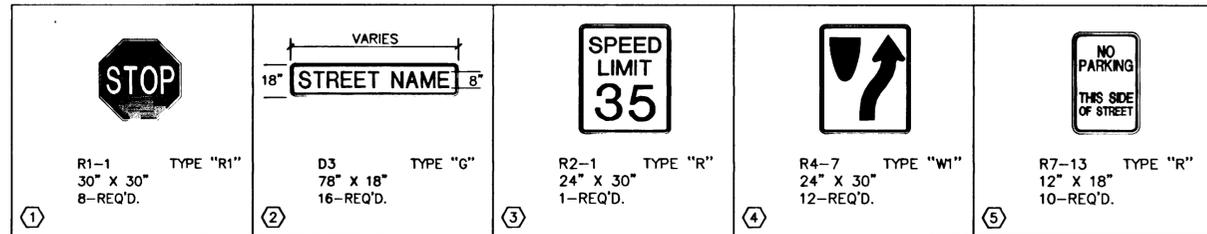
WATER SYSTEM DETAILS
 HOODVIEW TOWNHOMES
 WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

AS-BUILT DRAWING
 05/04/2001
 THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.
 PROJECT NO. JTS004
 DATE 7/28/99
 DESIGNED J SLATER
 ENGINEER R DYER
 CHECKED
 SHEET TITLE WATER DETAILS
 SHEET NUMBER C214

STRIPING LEGEND

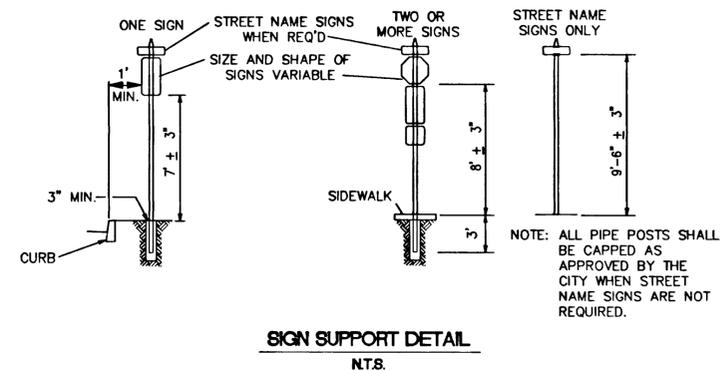


SIGN LEGEND



SIGN LEGEND

1. ALL SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), THE LATEST EDITION OF THE OREGON SUPPLEMENT TO THE MUTCD, ODOT SPECIFICATIONS AND THE REQUIREMENTS OF THE CITY OF WEST LINN.
2. DIMENSIONS SHOWN ARE TO BE MEASURED AS DETAILED.
3. REMOVE EXISTING STRIPING AND MARKERS AS NECESSARY TO CONFORM TO NEW CHANNELIZATION.
4. ALL PRE-MARKERS FOR PAVEMENT MARKINGS SHALL BE APPROVED BY THE CITY OF WEST LINN PRIOR TO FINAL PLACEMENT OF STRIPING AND SYMBOLS.
5. STOP BARS AND DIRECTION ARROWS SHALL BE THERMOPLASTIC.
6. ALL THERMOPLASTIC PAVEMENT MARKING MATERIALS SHALL BE INSTALLED PER SECTION 850 OF THE ODOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
7. ALL SIGN SHALL BE MOUNTED ON SIGN POSTS THAT MEET THE SPECIFICATIONS OF THE CITY OF WEST LINN.



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SIGNING AND STRIPING PLAN
HOODVIEW TOWNHOMES

WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

AS-BUILT DRAWING

05/04/2001
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PROJECT NO.
JTS004
 DATE | 7/28/99
 DESIGNED | R DYER
 ENGINEER | R DYER
 CHECKED |

SHEET TITLE
SIGN/STRIPE
 SHEET NUMBER
SS-1

MATCHLINE - SEE SHEET SS-3

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**SIGNING AND STRIPING PLAN
 HOODVIEW TOWNHOMES**

WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

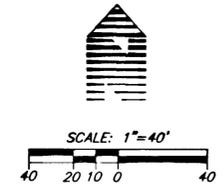
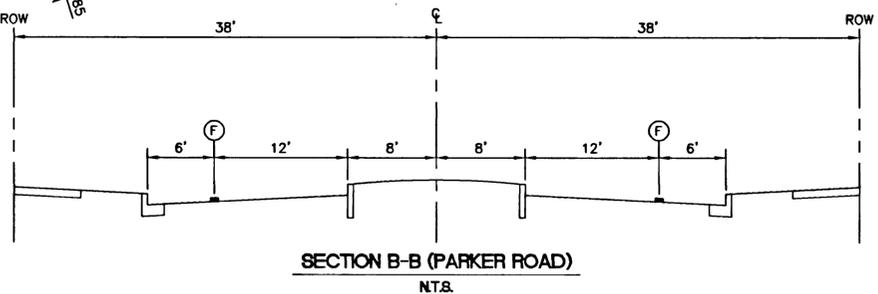
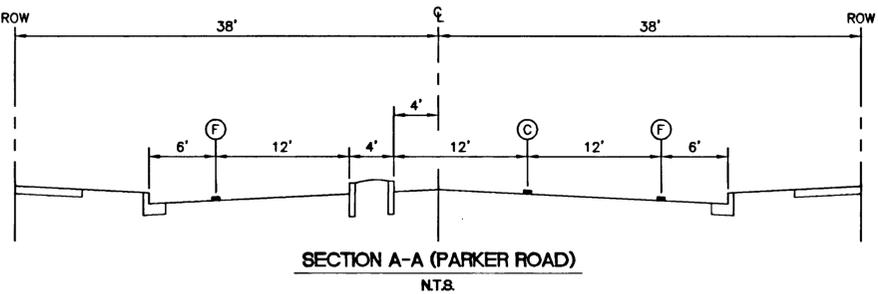
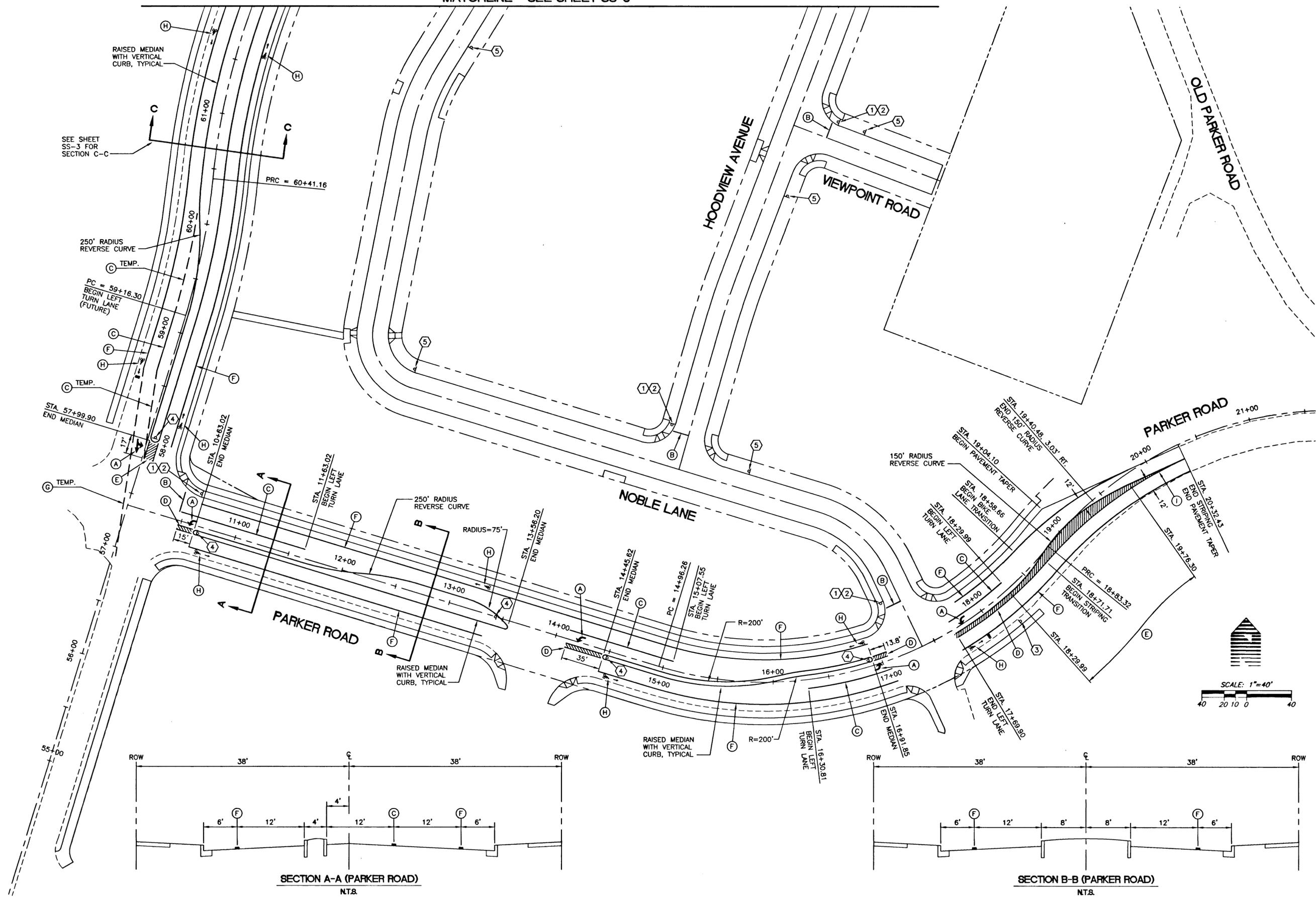
**AS-BUILT
 DRAWING**

05/04/2001
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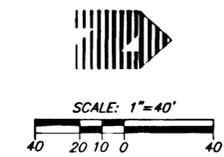
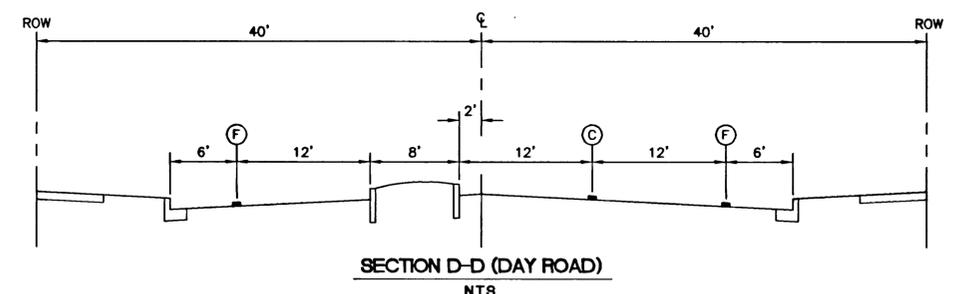
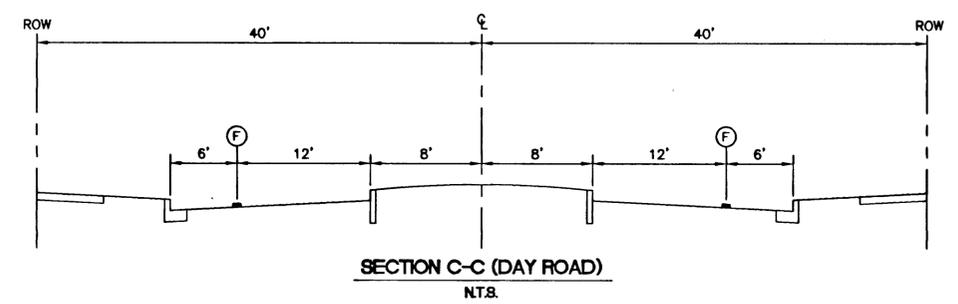
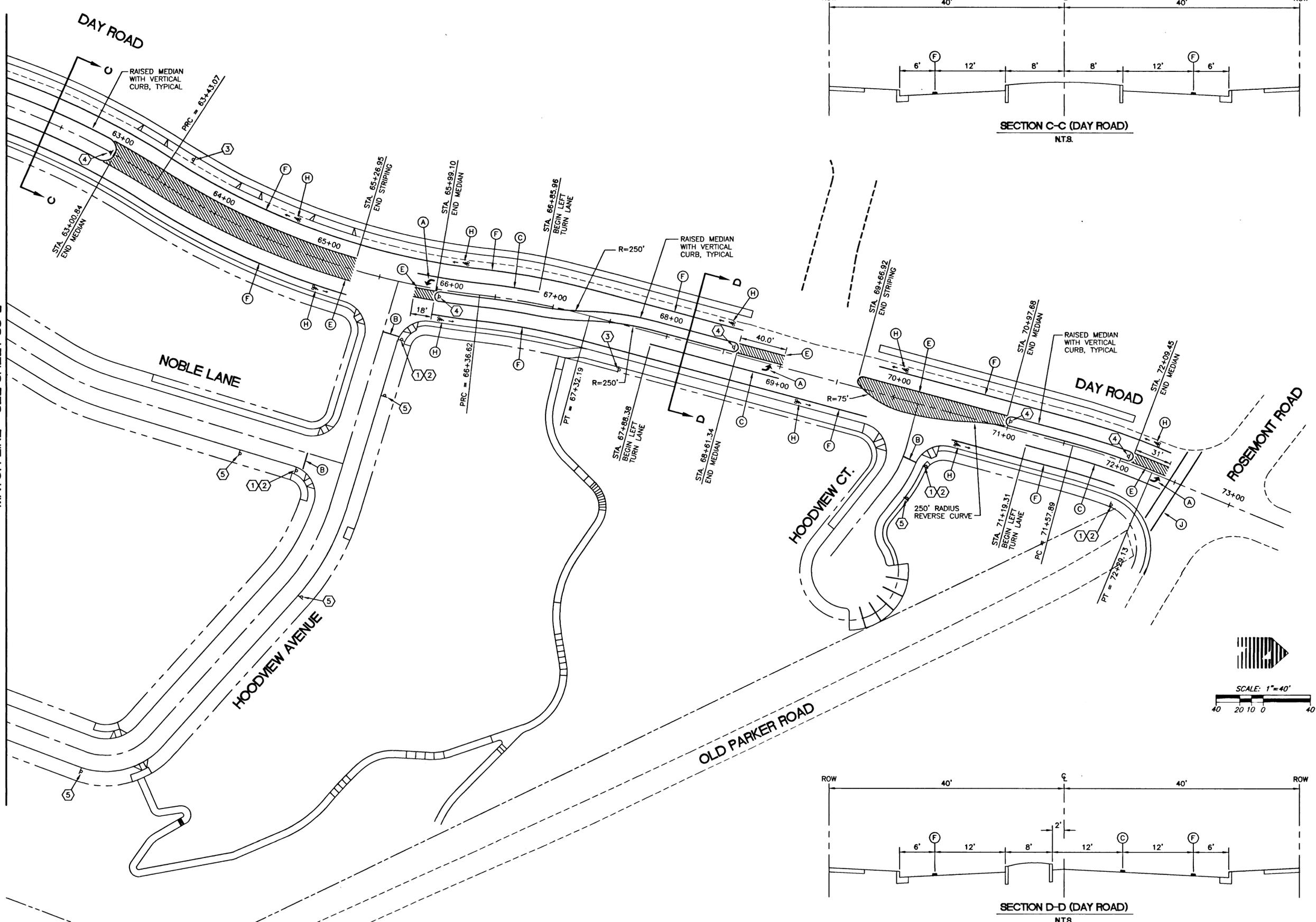
PROJECT NO.
JTS004
 DATE 7/28/99
 DESIGNED R DYER
 ENGINEER R DYER
 CHECKED

SHEET TITLE
SIGN/STRIPES
 SHEET NUMBER

SS-2



MATCH LINE - SEE SHEET SS-2



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SIGNING AND STRIPING PLAN
HOODVIEW TOWNHOMES

WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

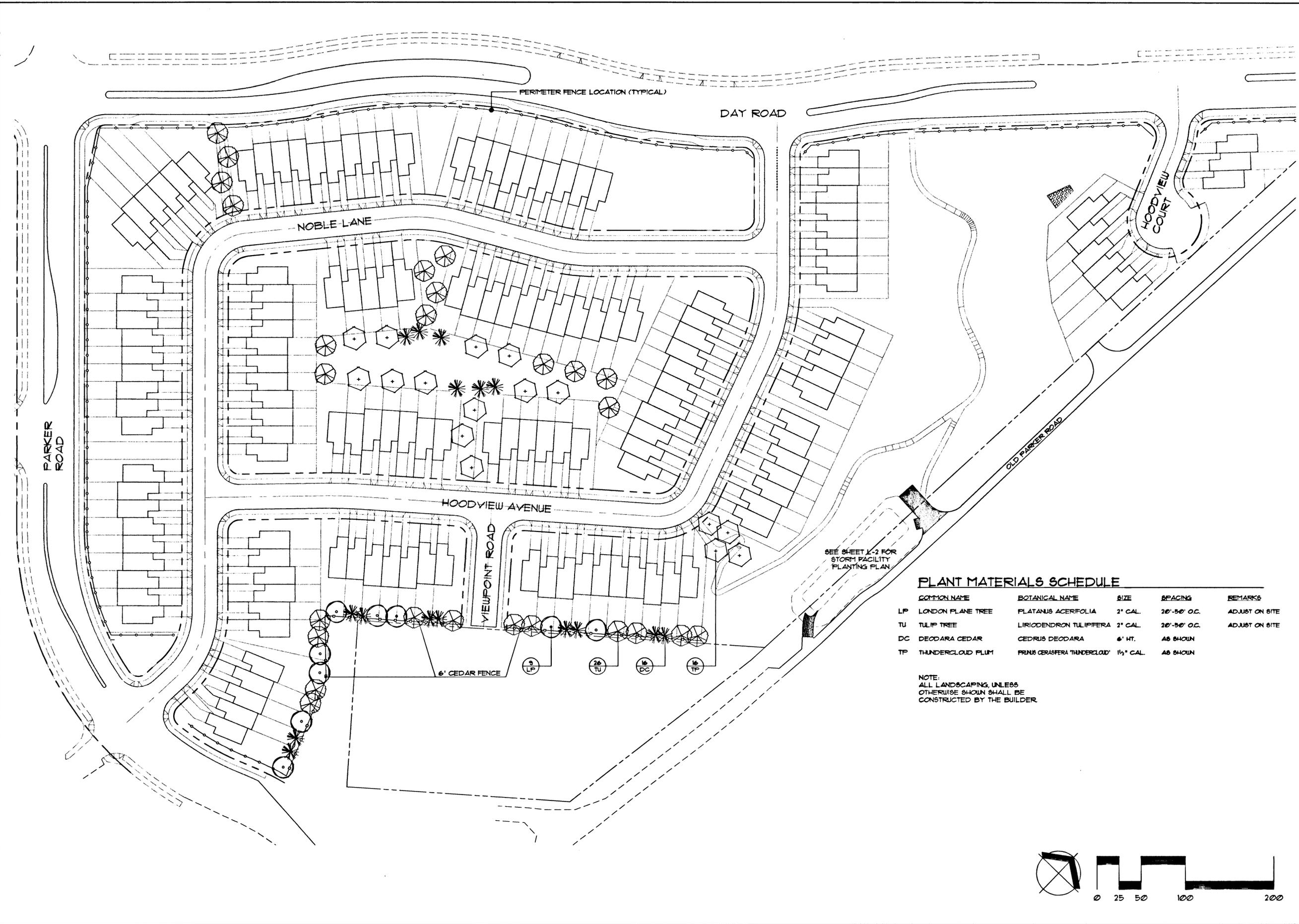
AS-BUILT DRAWING
 05/04/2001

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PROJECT NO. **JTS004**
 DATE **7/28/99**
 DESIGNED **R DYER**
 ENGINEER **R DYER**
 CHECKED

SHEET TITLE
SIGN/STRIPE
 SHEET NUMBER

SS-3



SEE SHEET K-2 FOR
STORM FACILITY
PLANTING PLAN

PLANT MATERIALS SCHEDULE

COMMON NAME	BOTANICAL NAME	SIZE	SPACING	REMARKS
LP LONDON PLANE TREE	PLATANUS ACERIFOLIA	2" CAL.	20'-50' O.C.	ADJUST ON SITE
TU TULIP TREE	LIRIODENDRON TULIPIFERA	2" CAL.	20'-50' O.C.	ADJUST ON SITE
DC DEODARA CEDAR	CEDRUS DEODARA	6' HT.	AS SHOWN	
TP THUNDERCLOUD FLUM	PRUNUS CERASIFERA 'THUNDERCLOUD'	1 1/2" CAL.	AS SHOWN	

NOTE:
ALL LANDSCAPING, UNLESS
OTHERWISE SHOWN SHALL BE
CONSTRUCTED BY THE BUILDER.

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**ON-SITE PLANTING PLAN
HOODVIEW TOWNHOMES**

WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

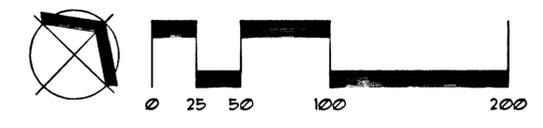
**AS-BUILT
DRAWING**

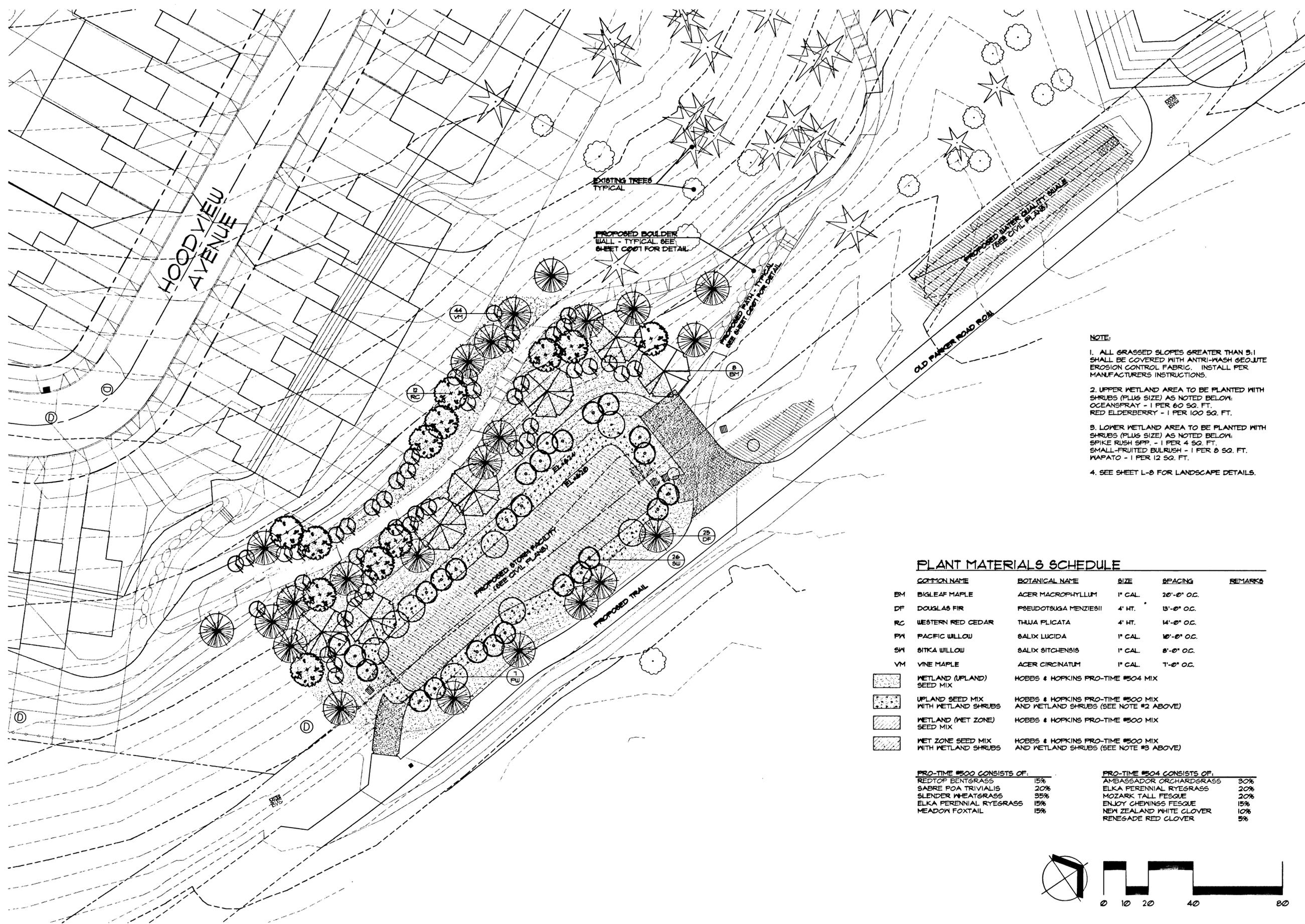
05/04/2001
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PROJECT NO.
JTS004
 DATE | 8/18/99
 DESIGNED | C. FLACK
 ENGINEER | R. DYER
 CHECKED | J. SIMPSON

SHEET TITLE
**ON-SITE
PLANTING PLAN**
 SHEET NUMBER

L-1





NOTE:

1. ALL GRASSED SLOPES GREATER THAN 5:1 SHALL BE COVERED WITH ANTRI-WASH GEOLITE EROSION CONTROL FABRIC. INSTALL PER MANUFACTURERS INSTRUCTIONS.
2. UPPER WETLAND AREA TO BE PLANTED WITH SHRUBS (PLUS SIZE) AS NOTED BELOW:
OCEANSPRAY - 1 PER 60 SQ. FT.
RED ELDERBERRY - 1 PER 100 SQ. FT.
3. LOWER WETLAND AREA TO BE PLANTED WITH SHRUBS (PLUS SIZE) AS NOTED BELOW:
SPIKE RUSH SPP. - 1 PER 4 SQ. FT.
SMALL-FRUITED BULRUSH - 1 PER 8 SQ. FT.
MAPATO - 1 PER 12 SQ. FT.
4. SEE SHEET L-8 FOR LANDSCAPE DETAILS.

PLANT MATERIALS SCHEDULE

COMMON NAME	BOTANICAL NAME	SIZE	SPACING	REMARKS
BM BIGLEAF MAPLE	ACER MACROPHYLLUM	1" CAL.	20'-0" O.C.	
DF DOUGLAS FIR	PSEUDOTSUGA MENZIESII	4' HT.	15'-0" O.C.	
RC WESTERN RED CEDAR	THUJA PLICATA	4' HT.	14'-0" O.C.	
PM PACIFIC WILLOW	SALIX LUCIDA	1" CAL.	10'-0" O.C.	
SM SITKA WILLOW	SALIX SITCHENSIS	1" CAL.	8'-0" O.C.	
VM VINE MAPLE	ACER CIRCINATUM	1" CAL.	1'-0" O.C.	

- WETLAND (UPLAND) SEED MIX HOBBS & HOPKINS PRO-TIME #504 MIX
- UPLAND SEED MIX WITH WETLAND SHRUBS HOBBS & HOPKINS PRO-TIME #500 MIX AND WETLAND SHRUBS (SEE NOTE #2 ABOVE)
- WETLAND (WET ZONE) SEED MIX HOBBS & HOPKINS PRO-TIME #500 MIX
- WET ZONE SEED MIX WITH WETLAND SHRUBS HOBBS & HOPKINS PRO-TIME #500 MIX AND WETLAND SHRUBS (SEE NOTE #3 ABOVE)

PRO-TIME #500 CONSISTS OF:		PRO-TIME #504 CONSISTS OF:	
REDFOP BENTGRASS	15%	AMBASSADOR ORCHARDGRASS	30%
SABRE POA TRIVIALIS	20%	ELKA PERENNIAL RYEGRASS	20%
SLENDER WHEATGRASS	35%	MOZARK TALL FESQUE	20%
ELKA PERENNIAL RYEGRASS	15%	ENJOY CHEMINGS FESQUE	15%
MEADOW FOXTAIL	15%	NEW ZEALAND WHITE CLOVER	10%
		RENEGADE RED CLOVER	5%



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JEFFREY E. SIMPSON
OREGON
10/31/99
LANDSCAPE ARCHITECT

**STORM FACILITY PLANTING PLAN
HOODVIEW TOWNHOMES**

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

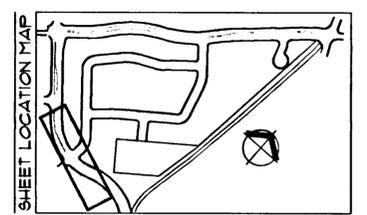
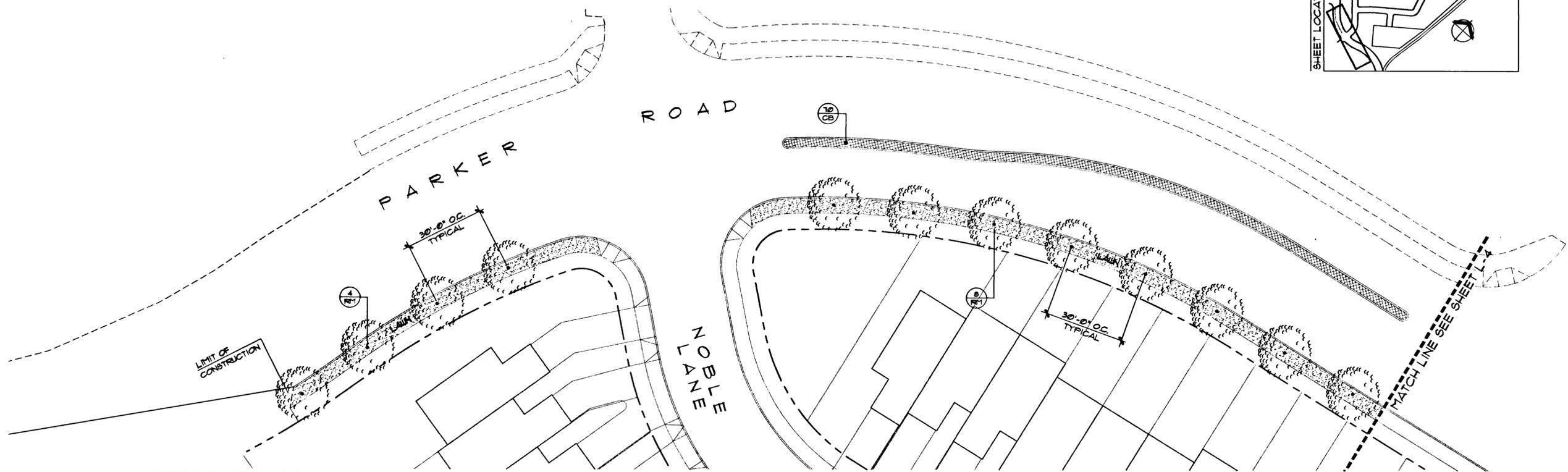
**AS-BUILT
DRAWING**

05/04/2001
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PROJECT NO.
JTS004

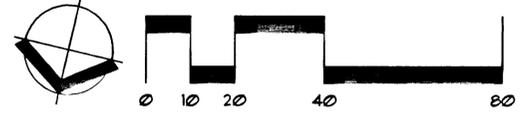
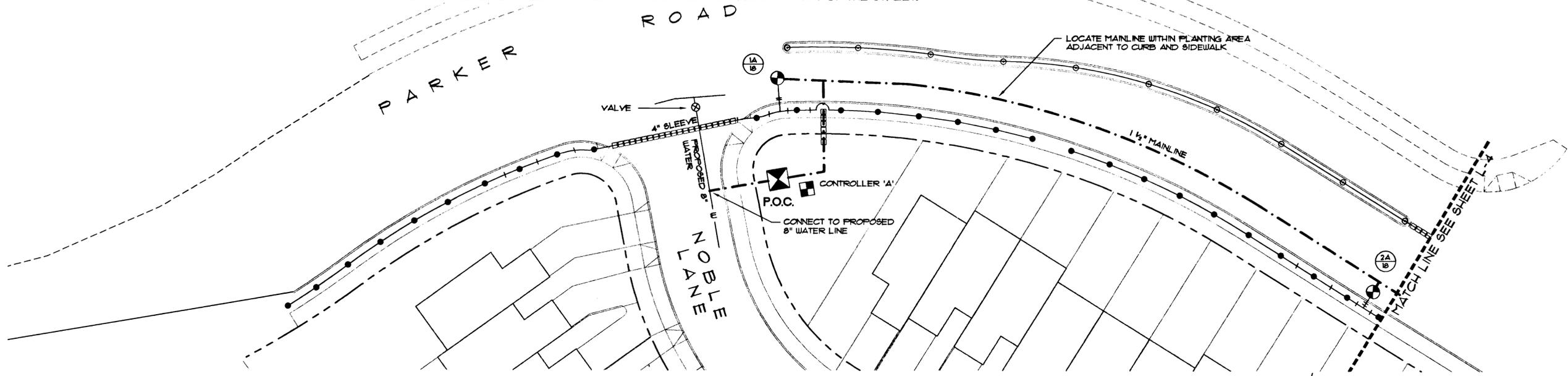
DATE 8/18/99
DESIGNED C. FLACK
ENGINEER R. DYER
CHECKED J. SIMPSON

SHEET TITLE
STORM FACILITY PLANTING PLAN
SHEET NUMBER



PLANTING PLAN
IRRIGATION PLAN

- NOTES:**
- 1 - VALVE AND MAINLINE LAYOUT IS DIAGRAMMATIC. VALVES AND MAINLINE SHOWN IN BUILDING OR PAVED AREAS ARE FOR GRAPHIC CLARITY ONLY. ALL VALVES AND MAINLINE SHALL BE INSTALLED WITHIN LANDSCAPE AREAS.
 - 2 - SEE SHEET L-8 FOR NOTES, DETAILS, LEGENDS AND PLANT SCHEDULE.
 - 3 - MAINLINE FOR MEDIAN IRRIGATION SHALL BE INSTALLED IN THE C OF THE STREET.



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Jeffrey L. Simpson
JEFFREY L. SIMPSON
OREGON
10/31/99
LANDSCAPE ARCHITECT

PARKER ROAD PLANTING AND IRRIGATION PLAN
HOODVIEW TOWNHOMES

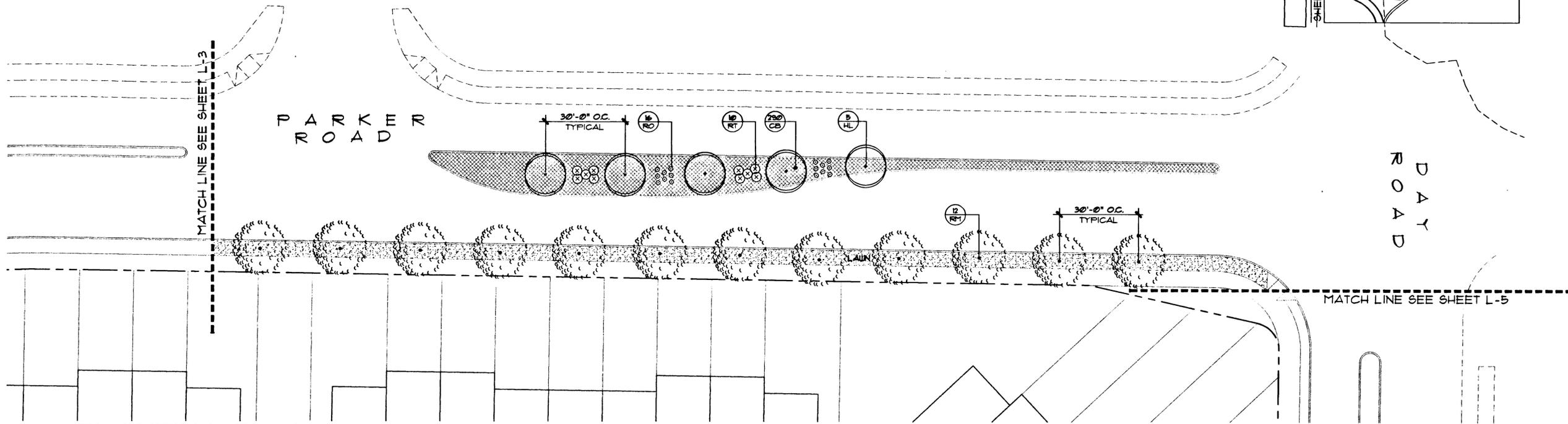
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AS-BUILT DRAWING
05/04/2001
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PROJECT NO.
JTS004
DATE 8/18/99
DESIGNED C. FLACK
ENGINEER R. DYER
CHECKED J. SIMPSON

SHEET TITLE
PLANTING AND IRRIGATION
SHEET NUMBER

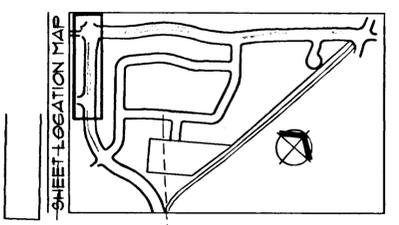
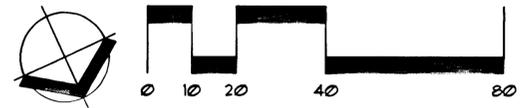
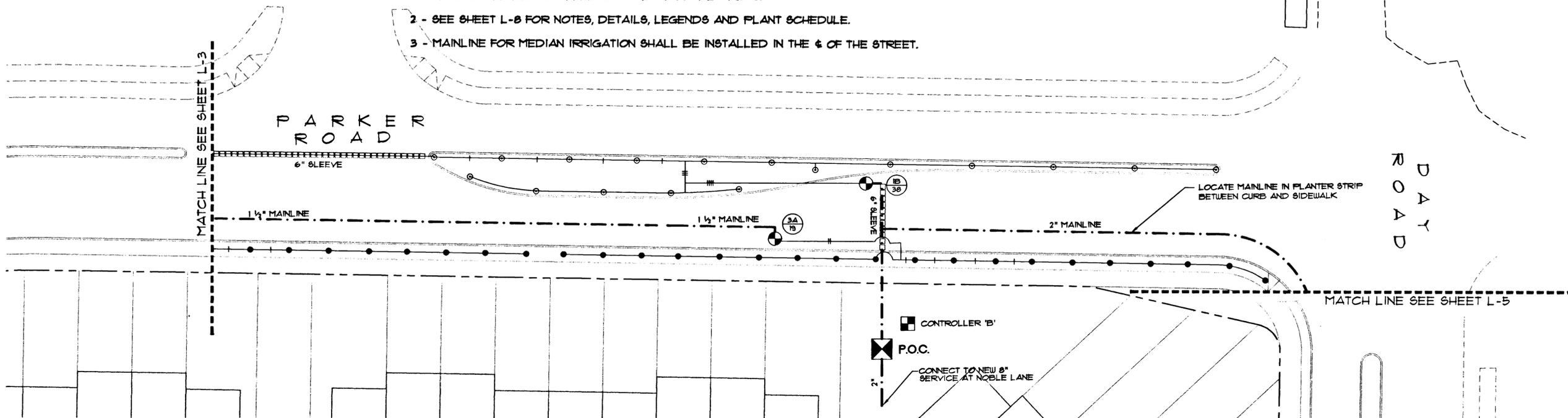
L-3



PLANTING PLAN

IRRIGATION PLAN

- NOTES:**
- 1 - VALVE AND MAINLINE LAYOUT IS DIAGRAMMATIC. VALVES AND MAINLINE SHOWN IN BUILDING OR PAVED AREAS ARE FOR GRAPHIC CLARITY ONLY. ALL VALVES AND MAINLINE SHALL BE INSTALLED WITHIN LANDSCAPE AREAS.
 - 2 - SEE SHEET L-3 FOR NOTES, DETAILS, LEGENDS AND PLANT SCHEDULE.
 - 3 - MAINLINE FOR MEDIAN IRRIGATION SHALL BE INSTALLED IN THE $\frac{1}{2}$ OF THE STREET.



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PARKER ROAD PLANTING AND IRRIGATION PLAN
HOODVIEW TOWNHOMES

WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

AS-BUILT DRAWING
 05/04/2001

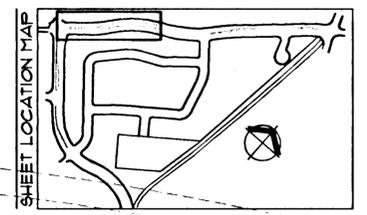
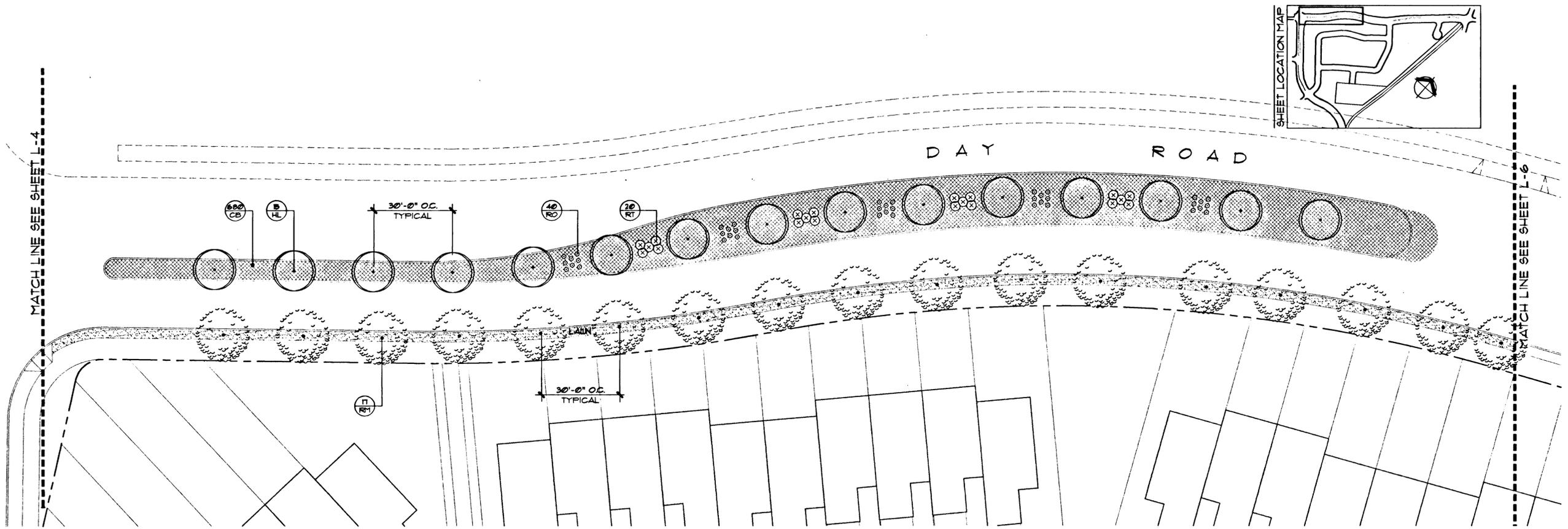
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PROJECT NO. **JTS004**

DATE	8/18/99
DESIGNED	C. FLACK
ENGINEER	R. DYER
CHECKED	J. SIMPSON

SHEET TITLE
PLANTING AND IRRIGATION
 SHEET NUMBER

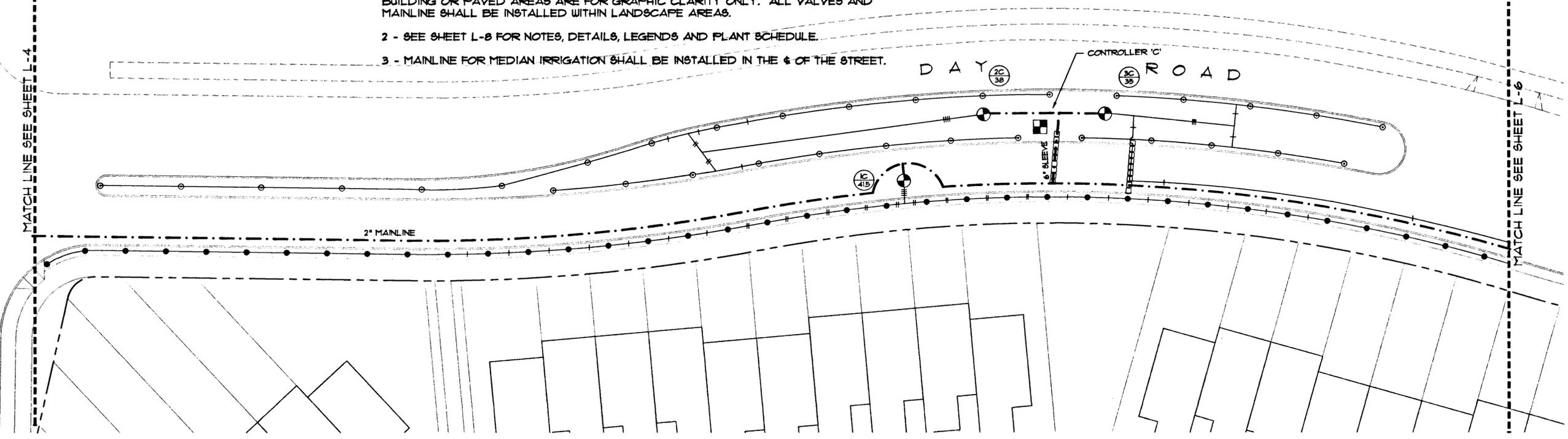
L-4



PLANTING PLAN

IRRIGATION PLAN

- NOTES:**
- 1 - VALVE AND MAINLINE LAYOUT IS DIAGRAMMATIC. VALVES AND MAINLINE SHOWN IN BUILDING OR PAVED AREAS ARE FOR GRAPHIC CLARITY ONLY. ALL VALVES AND MAINLINE SHALL BE INSTALLED WITHIN LANDSCAPE AREAS.
 - 2 - SEE SHEET L-8 FOR NOTES, DETAILS, LEGENDS AND PLANT SCHEDULE.
 - 3 - MAINLINE FOR MEDIAN IRRIGATION SHALL BE INSTALLED IN THE $\frac{1}{2}$ OF THE STREET.



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**DAY ROAD PLANTING AND IRRIGATION PLAN
HOODVIEW TOWNHOMES**

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

AS-BUILT DRAWING
05/04/2001

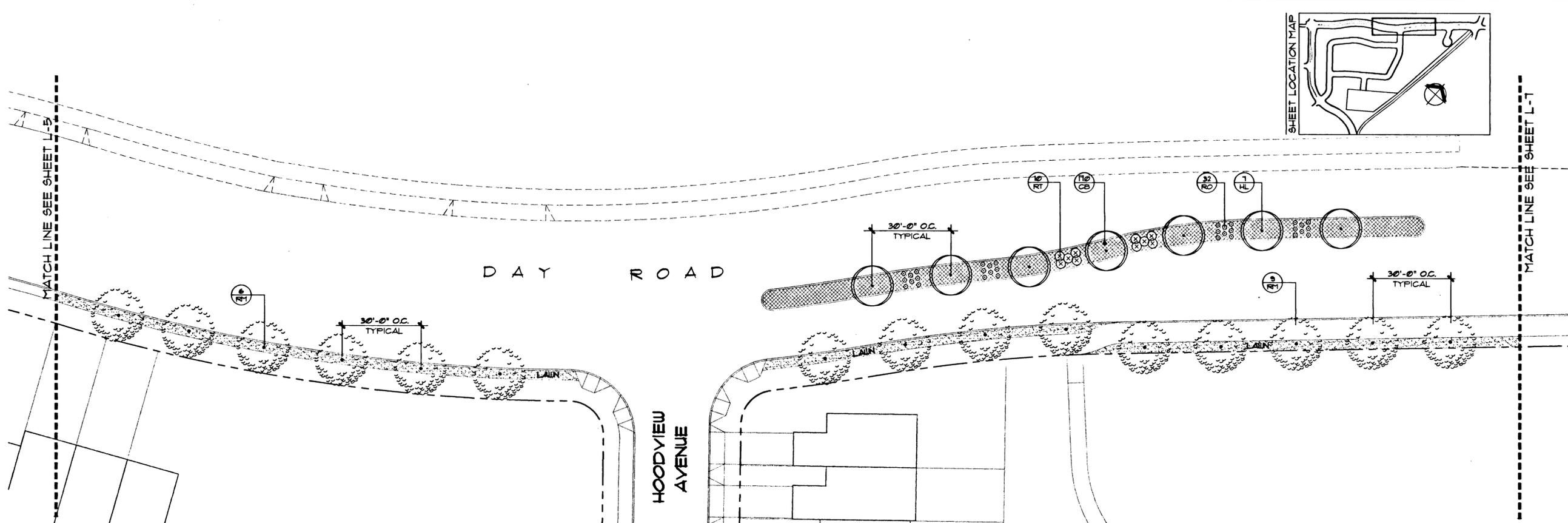
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PROJECT NO.
JTS004

DATE | 8/18/99
DESIGNED | C. FLACK
ENGINEER | R. DYER
CHECKED | J. SIMPSON

SHEET TITLE
PLANTING AND IRRIGATION

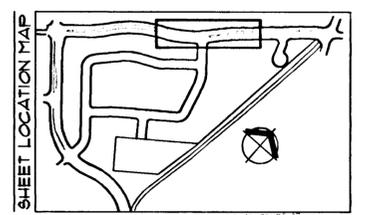
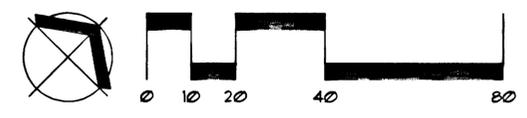
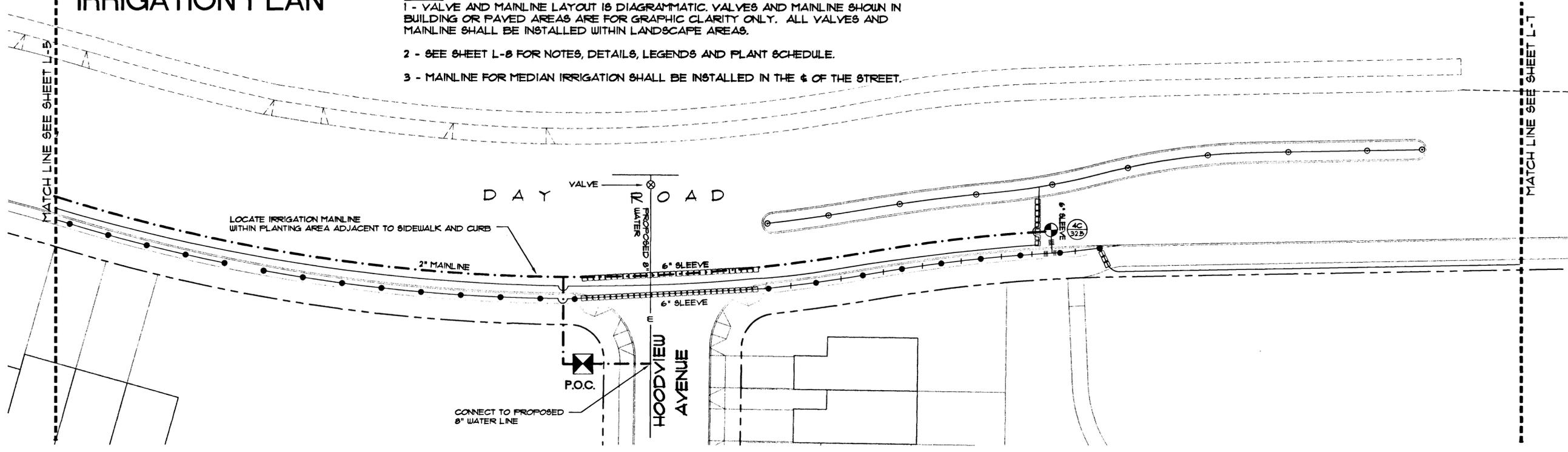
SHEET NUMBER
L-5



PLANTING PLAN

IRRIGATION PLAN

- NOTES:**
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 - 2 - SEE SHEET L-5 FOR NOTES, DETAILS, LEGENDS AND PLANT SCHEDULE.
 - 3 - MAINLINE FOR MEDIAN IRRIGATION SHALL BE INSTALLED IN THE $\frac{1}{2}$ OF THE STREET.



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D E S I G N I N G

REGISTERED
LANDSCAPE ARCHITECT
JEFFREY K. SIMPSON
10/31/99

10450 SW Nimbus Ave., Portland, Oregon 97223
503 603-9933 FAX: 503 603-9944
PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS • SURVEYORS

**DAY ROAD PLANTING AND IRRIGATION PLAN
HOODVIEW TOWNHOMES**

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

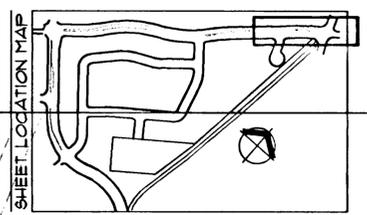
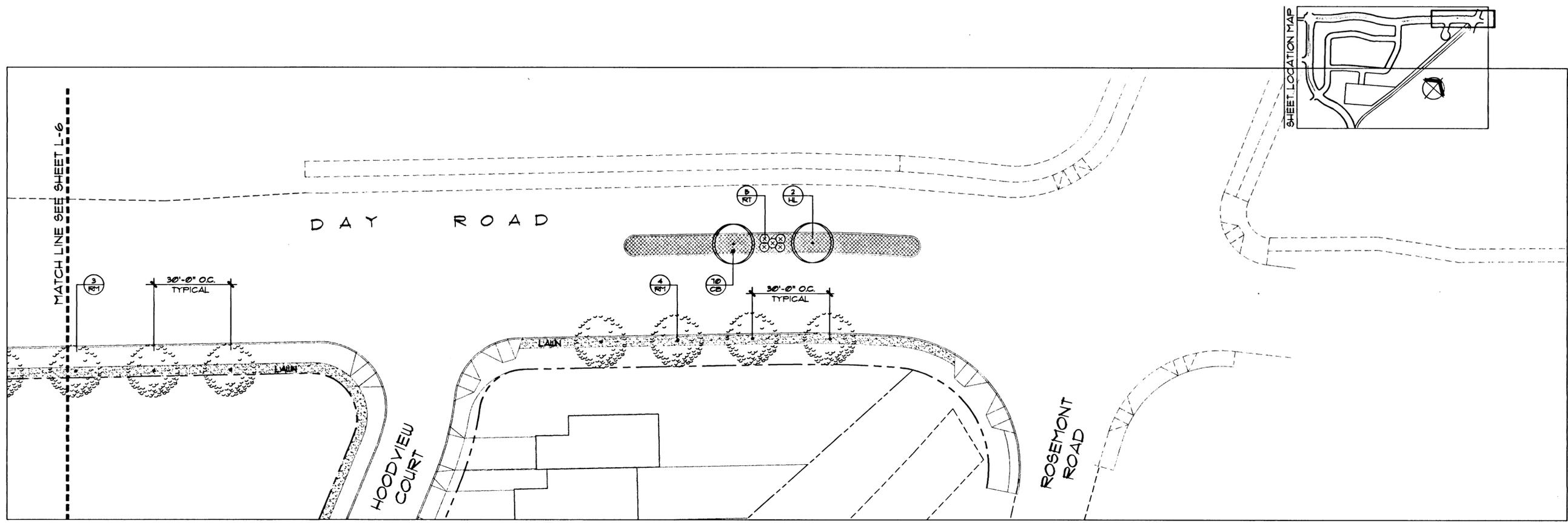
AS-BUILT DRAWING
05/04/2001

THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

PROJECT NO.
JTS004

DATE | 8/18/99
DESIGNED | C. FLACK
ENGINEER | R. DYER
CHECKED | J. SIMPSON

SHEET TITLE
PLANTING AND IRRIGATION
SHEET NUMBER
L-6

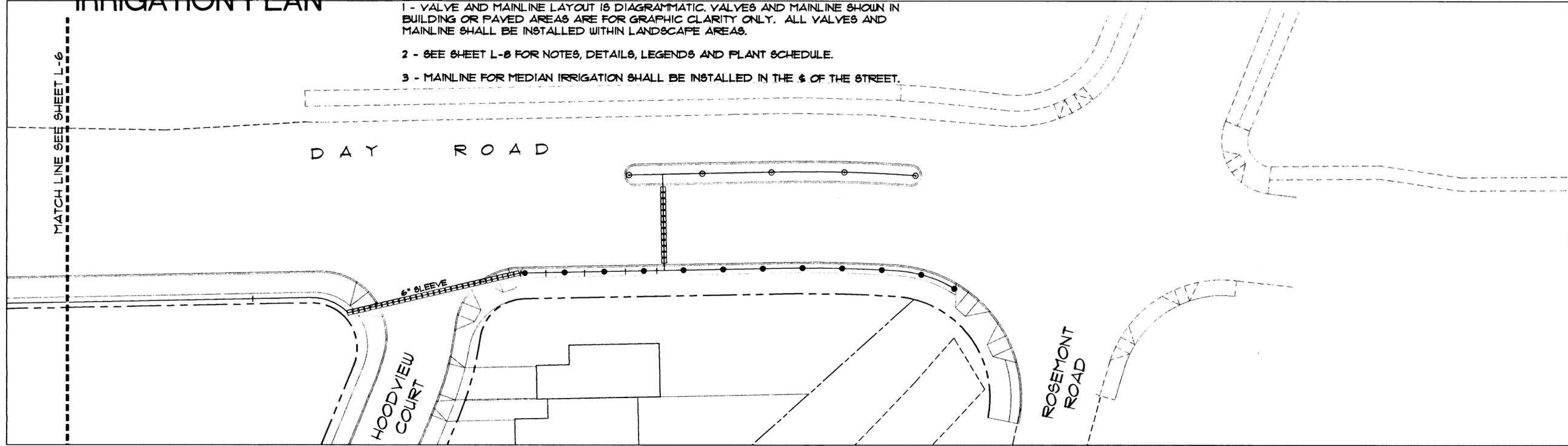


W R G
D E S I G N I N G
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REGISTERED
 349
JEFFREY K. SIMPSON
 OREGON
 10/31/99
 LANDSCAPE ARCHITECT

PLANTING PLAN
IRRIGATION PLAN

- NOTES:
- 1 - VALVE AND MAINLINE LAYOUT IS DIAGRAMMATIC. VALVES AND MAINLINE SHOWN IN BUILDING OR PAVED AREAS ARE FOR GRAPHIC CLARITY ONLY. ALL VALVES AND MAINLINE SHALL BE INSTALLED WITHIN LANDSCAPE AREAS.
 - 2 - SEE SHEET L-8 FOR NOTES, DETAILS, LEGENDS AND PLANT SCHEDULE.
 - 3 - MAINLINE FOR MEDIAN IRRIGATION SHALL BE INSTALLED IN THE 4' OF THE STREET.



DAY ROAD PLANTING AND IRRIGATION PLAN
HOODVIEW TOWNHOMES

WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

AS-BUILT DRAWING
 05/04/2001

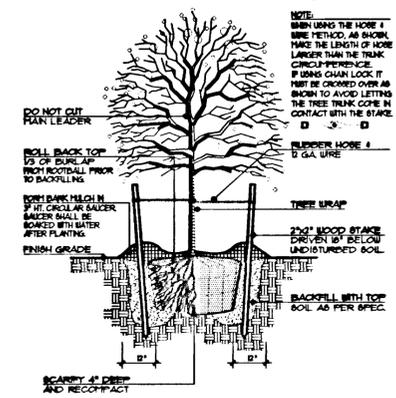
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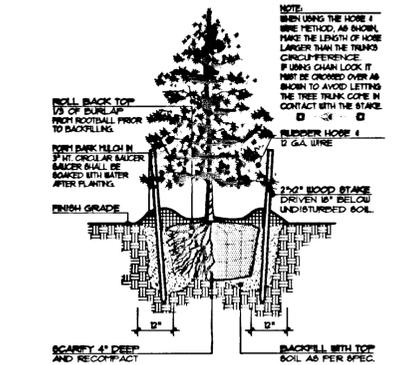
SHEET TITLE
PLANTING AND IRRIGATION
 SHEET NUMBER

L-7

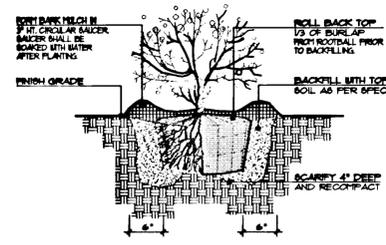




1 DETAIL: DECIDUOUS TREE STAKING
NOT TO SCALE



2 DETAIL: EVERGREEN TREE STAKING
NOT TO SCALE



3 DETAIL: EVERGREEN / DECIDUOUS SHRUB
NOT TO SCALE

PLANT MATERIALS SCHEDULE

COMMON NAME	BOTANICAL NAME	SIZE	SPACING	REMARKS
HL HONEYLOCUST	GLEDTISIA TRIACANTHOS	2" CAL.	30'-0" O.C.	
RT RED TUIG DOGWOOD	CORNUS STOLONIFERA	3 GAL.	3'-6" O.C.	
RO CLUSTERED ROSE	ROSA PISOCARPFA	3 GAL.	3'-0" O.C.	
CB CORAL BEAUTY COTONEASTER	COTONEASTER DAMERI 'CORAL BEAUTY'	1 GAL.	3'-0" O.C.	
RM1 RED SUNSET MAPLE	ACER RUBRUM 'RED SUNSET'	2" CAL.	30'-0" O.C.	
LAUN	PROTIME 303 SUN MIX AVAILABLE AT HOBBS AND HOPKINS (800) 345-3295			

GENERAL NOTES: LANDSCAPE PLAN

- CONTRACTOR TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 12 HOURS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO LANDSCAPE ARCHITECT.
- ALL PLANT MASSSES TO BE CONTAINED WITHIN A BARK MULCH BED, UNLESS NOTED OTHERWISE.
- BED EDGE TO BE NO LESS THAN 12" AND NO MORE THAN 18" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING WHERE GROUND-COVER OCCURS, PLANT TO LIMITS OF AREA AS SHOWN.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
- CONTRACTOR TO FINE GRADE AND ROCK-HOUND ALL TURF AREAS PRIOR TO SEEDING, TO PROVIDE A SMOOTH AND CONTINUAL SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEIOUS MATERIAL OR DEBRIS.
- QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLANS AND SPECIFICATIONS.
- CO-ORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
- CONTRACTOR SHALL NOT REMOVE ANY TREES DURING CONSTRUCTION WITHOUT THE EXPRESS WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT. EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY LANDSCAPE ARCHITECT TO ADJUST TREE LOCATIONS.

W R G
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 REGISTERED
 345
 JEFFREY E. SIMPSON
 OREGON
 10/31/99
 LANDSCAPE ARCHITECT
 10450 SW Nimbus Ave., Portland, Oregon 97223
 503 | 603-9933
 503 | 603-9944
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LANDSCAPE DETAILS
 HOODVIEW TOWNHOMES
 WEST LINN, OREGON
 HOODVIEW ESTATES, LLC

AS-BUILT DRAWING

05/04/2001
 THESE AS-BUILT DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY THE CONTRACTOR AND OTHERS. THE ENGINEER CERTIFIES THAT THESE PLANS REPRESENT ACTUAL IMPROVEMENTS CONSTRUCTED AND THAT THESE IMPROVEMENTS ARE IN CONFORMANCE WITH GOVERNING JURISDICTIONAL STANDARDS.

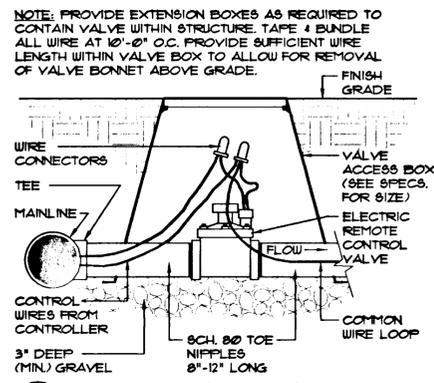
PROJECT NO.
JTS004
 DATE | 8/18/99
 DESIGNED | C FLACK
 ENGINEER | R DYER
 CHECKED | J SIMPSON

SHEET TITLE
LANDSCAPE DETAILS
 SHEET NUMBER

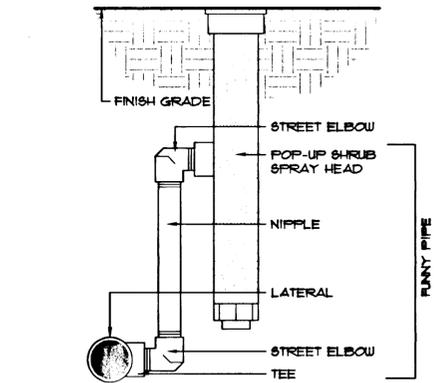
L-8

IRRIGATION MATERIALS LEGEND

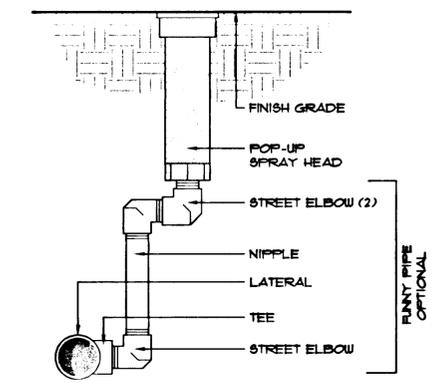
- IRRIGATION MAINLINE SIZE AS NOTED
- 1/4" LATERAL PIPE
- 1" LATERAL PIPE
- 1 1/4" LATERAL PIPE
- 1 1/2" LATERAL PIPE
- 2" LATERAL PIPE
- ⊠ POINT OF CONNECTION SEE DIAGRAM
- ⊠ UNIK BATTERY OPERATED CONTROLLER MFG.: RAINBIRD (MODEL: UNIK45TMOD) PLACE CONTROLLER IN VALVE BOX GRAVEL BOTTOM
- UNDERPAVEMENT SLEEVING: SIZE AS INDICATED TO BE INSTALLED BY LANDSCAPE CONTRACTOR DEPTH AS REQUIRED BY LOCAL CODE.
- Ⓜ STATION NUMBER GALLONS PER MINUTE
- ⊕ PRESSURE REGULATING ELECTRIC REMOTE CONTROL VALVE MFG.: TORO 252 SERIES (MODEL: 252-26-6)
- ⊕ QUICK COUPLING VALVE MFG.: TORO (MODEL: 414-24)
- ⊕ BACKFLOW PREVENTER MFG.: FEBCO (MODEL: 808Y)
- ⊕ ISOLATION VALVE MFG.: CONBRACO (MODEL: 10-100-01)
- SHORT RANGE POP-UP SPRINKLER - TORO 510-4P MFR PLUS NOZZLE TYPE: AS REQUIRED
- ⊙ SHORT RANGE SHRUB POP-UP SPRINKLER - TORO 510-12P MFR PLUS NOZZLE TYPE: AS REQUIRED



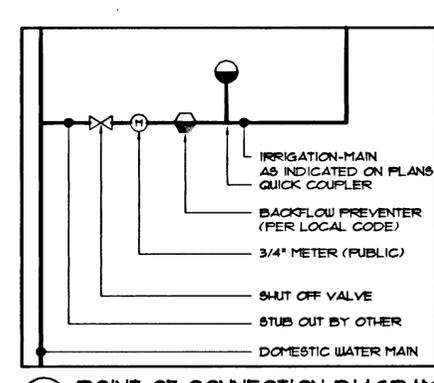
5 VALVE INSTALLATION
NOT TO SCALE



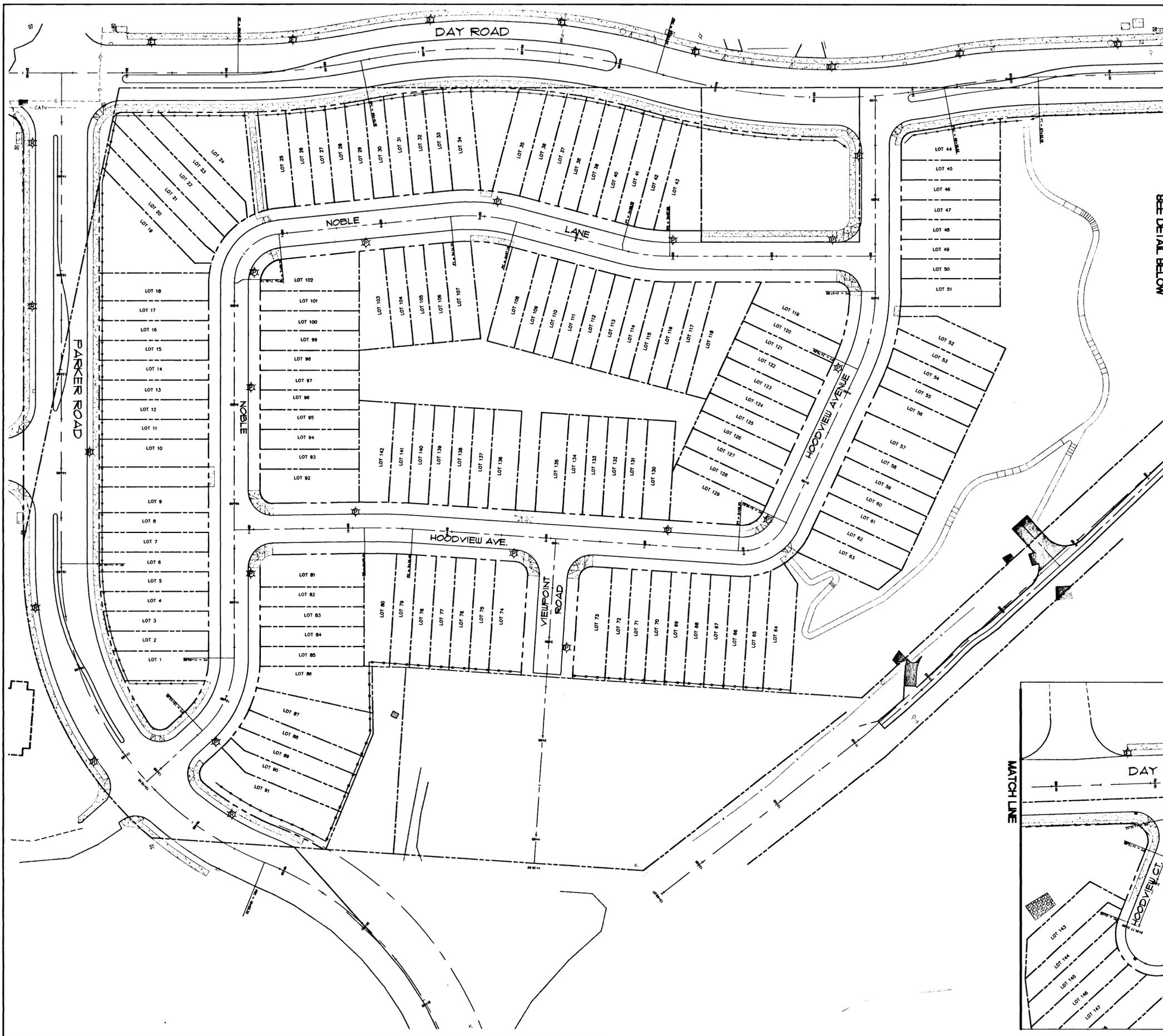
7 SHORT RANGE SHRUB POP-UP SPRINKLER
NOT TO SCALE



4 SHORT RANGE POP-UP SPRINKLER
NOT TO SCALE



6 POINT OF CONNECTION DIAGRAM
NOTES



MATCH LINE
SEE DETAIL BELOW

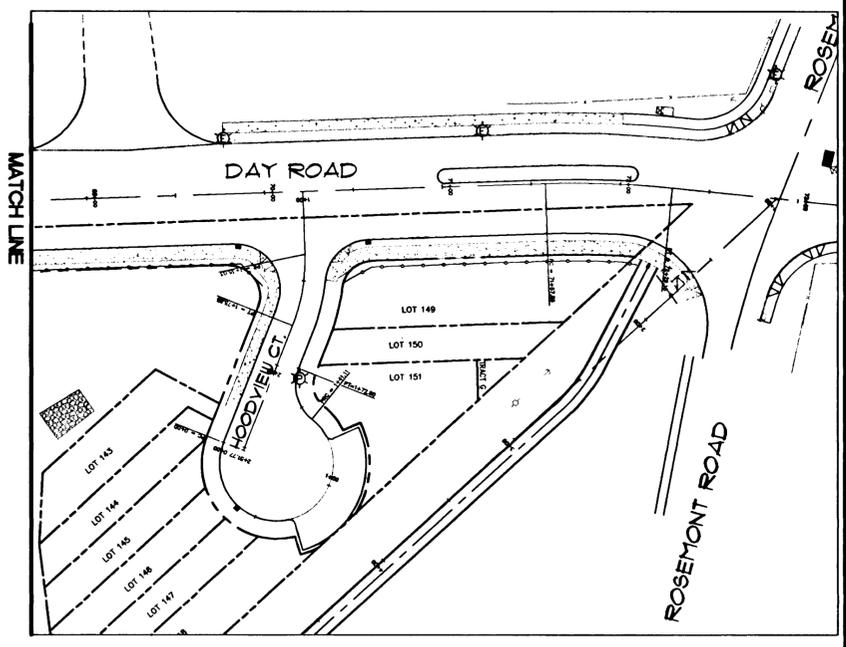
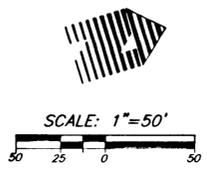
**HOODVIEW ESTATES,
WEST LINN, OREGON
STREET LIGHTING LEGEND**

- ☼ EXISTING STREET LIGHT: 35-foot, bronze, round, tapered, direct bury, fiberglass light pole, with a 200Watt, 240Volt, MPS, "Cobra-Head" style luminaire, mounted on a 6-foot mastarm, 30 feet above the roadway.
- ☼ PROPOSED STREET LIGHT: Same as above except on a gray pole.
- ☼ PROPOSED STREET LIGHT: 30-foot, bronze, round, tapered, direct bury, fiberglass light pole, with a 100Watt, 240Volt, MPS, "Shoe Box" style luminaire, mounted on a 6-inch mastarm, 25-feet above the roadway.

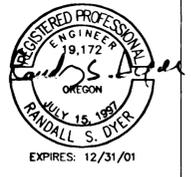
QTY REQUIRED: One (6) light

QTY REQUIRED: Eighteen (16) lights

Street light electrical design by:
R.L. Rouse Electric, Inc. (503) 639-9996
Fax: (503) 639-5991
All Per IES, PGE, & Municipal specifications



W R G
DESIGN
10450 SW Nimbus Ave., Portland, Oregon, 97223
503 603-9933 FAX: 503 603-9944
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**STREET LIGHTING PLAN
HOODVIEW TOWNHOMES**

WEST LINN, OREGON
HOODVIEW ESTATES, LLC

**AS-BUILT
DRAWING**

05/04/2001
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PROJECT NO.	JTS004
DATE	7/28/99
DESIGNED	
ENGINEER	R DYER
CHECKED	

SHEET TITLE
STREET LIGHT
SHEET NUMBER

E-1