

CONSTRUCTION NOTES:

A. GENERAL

1. ALL PUBLIC IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WEST LINN CONSTRUCTION STANDARDS AND APWA STANDARDS. PRIVATE STREET AND PARKING AREA IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WEST LINN PUBLIC WORKS STANDARDS AND APWA STANDARDS. ALL PRIVATE UTILITY IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE UNIFORM BUILDING CODE AND THE UNIFORM PLUMBING CODE, WITH OREGON AMENDMENTS.
2. ELEVATION DATUM: ELEVATIONS SHOW ARE REFERENCED TO A CITY OF WEST LINN BENCH MARK 'B', 3" CAP ON PIPE AT FIVE WAY INTERSECTION OF ROSEMONT AND SANTA ANITA DR. YELLOW WATER WORKS LID 93.5' EAST & 17' SOUTH OF FIVE WAY INTERSECTION. EL = 867.22
3. THE CONTRACTOR SHALL PERFORM ALL THE WORK SHOWN ON THE DRAWINGS AND ALL INCIDENTAL WORK NECESSARY TO COMPLETE THE PROJECT IN AN ACCEPTABLE MANNER. ALL INCIDENTAL WORK SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE ITEMS OF WORK LISTED IN THE PROPOSAL. ANY ITEM NOT LISTED IN THE PROPOSAL IS CONSIDERED INCIDENTAL.
4. THE CONTRACTOR AND/OR SUB-CONTRACTORS SHALL HAVE A MINIMUM OF ONE (1) SET OF APPROVED CONSTRUCTION PLANS ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION PHASES.
5. ALL MATERIAL SUPPLIER(S) SHALL, UPON REQUEST, SUBMIT TO THE ENGINEER PROOF OF MATERIAL(S) TESTED IN ACCORDANCE WITH THE SPECIFICATIONS. BY ACCEPTANCE OF THE CONTRACT WITH THE OWNER/DEVELOPER, THE CONTRACTOR CERTIFIES THAT ALL MATERIALS DELIVERED TO THE JOB SITE OR INCORPORATED INTO THE WORK WILL MEET OR EXCEED SPECIFICATIONS. ANY MATERIAL NOT CONFORMING SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.
6. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY SIGNIFICANT DISCREPANCIES. UTILITIES HAVE BEEN LOCATED FROM AVAILABLE RECORDS AND MAY NOT BE AS SHOWN HEREON. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AT 48 HOURS PRIOR TO BEGINNING EXCAVATION.

B. STREETS AND STRUCTURAL FILLS

1. ALL TREES, BRUSH AND DEBRIS WITHIN LIMITS OF THE RIGHT-OF-WAY AND ON THE AREAS TO BE FILLED/GRADED SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR UNLESS OTHERWISE NOTED ON THE PLANS.
2. ALL AREAS OF CONSTRUCTION SHALL BE STRIPPED. STRIPPING SHALL CONSIST OF REMOVING THE TOPSOIL HUMUS. STRIPPING MATERIALS MAY BE PLACED ON LOT AREAS UP TO A MAXIMUM OF 12 INCHES IN DEPTH, WITHIN THE BUILDING ENVELOPE. EXCESS STRIPPING MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR, OFF-SITE.
3. EMBANKMENTS OR STRUCTURAL FILLS FOR STREET CONSTRUCTION OR FILLS TO BE CONSTRUCTED ON BUILDABLE AREAS SHALL BE CONSTRUCTED FROM EXCAVATED MATERIALS ACCEPTABLE TO THE ENGINEER AND SHALL BE BROUGHT TO GRADE IN LIFTS NOT TO EXCEED 8" LOOSE MEASURE. EACH LIFT SHALL BE COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY AS OBTAINED BY AASHTO T-99 COMPACTION TEST. PUBLIC STREET EARTHWORK SHALL BE CONSTRUCTED PER APWA 204.

FILLS SHALL NOT BE CONSTRUCTED ON NATURAL SLOPES STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL. ALL FILL SLOPES SHALL NOT EXCEED TWO HORIZONTAL TO ONE VERTICAL. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN 12" SHALL BE BURIED OR PLACED IN THE FILLS.

IF SPRINGS OR GROUND WATER ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL ADVISE THE ENGINEER OF THE CONDITION FOUND AND COORDINATE HIS ACTIVITIES IN A MANNER THAT WILL ALLOW THE ENGINEER TIME TO REVIEW THE SITUATION AND PREPARE A PLAN TO PROPERLY DISPOSE OF THE WATER ENCOUNTERED.
4. ROCK BASE, ASPHALTIC CONCRETE PAVEMENT, CURB AND SIDEWALK CONSTRUCTION SHALL BE AS SHOWN ON THE TYPICAL SECTION, SHEET PB3 & PB4 OF PB17, AND IN ACCORDANCE WITH THE ABOVE REFERENCED SPECIFICATIONS.
5. CONTRACTOR TO STAMP CURBS DURING CURB CONSTRUCTION WITH "W" TO DENOTE WATER SERVICE, "S" TO DENOTE SANITARY SEWER SERVICE LOCATIONS, AND "ST" FOR STORM.

C. UTILITIES

1. ALL TRENCH BACKFILL WITHIN RIGHT-OF-WAY AREAS SHALL BE CLASS 'B' (GRANULAR). TRENCH BACKFILL OUTSIDE OF RIGHT-OF-WAY AREAS SHALL BE CLASS 'A' (NATIVE).
2. STORM SEWER PIPE SHALL BE OF THE SIZE NOTED ON THE PLANS. PVC STORM SEWER SHALL CONFORM TO ASTM D-3034 WITH RUBBER GASKETS. CORRUGATED POLYETHYLENE (CPE) SHALL BE SMOOTHED LINED, WITH BALL AND SPIGOT STYLE JOINTS. CORRUGATED ALUMINUM PIPE (CAP) SHALL BE 12 GAUGE OR THICKER, AND FITTINGS SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M196, AND M197.
3. SANITARY SEWER SHALL BE OF THE SIZE NOTED ON THE PLANS. PVC SANITARY SEWERS SHALL CONFORM TO ASTM D-3034 WITH RUBBER GASKETS. SANITARY SEWERS SHALL BE AIR TESTED IN ACCORDANCE WITH CITY OF WEST LINN STANDARDS.
4. SANITARY SEWER SERVICE LATERALS SHALL BE 6-INCH PVC AND SHALL BE INSTALLED AT 2% MINIMUM SLOPE UNLESS OTHERWISE NOTED ON THE PLANS. MARK ALL LATERAL ENDS WITH 2"x4" MARKER THAT IS LABELED TO INDICATE DEPTH, PER DETAIL SHEET PB17 OF PB17.
5. ALL SANITARY SEWER MANHOLES WILL BE VACUUM TESTED PER APWA STANDARDS. TEST PROCEDURES SHALL CONFORM TO THE CITY OF WEST LINN STANDARDS.
6. TELEVISION INSPECTION AND MANHOLE DEFLECTION TESTING OF UNDERGROUND SANITARY AND STORM PIPING IS REQUIRED. CONTRACTOR SHALL OBTAIN TELEVISION INSPECTION SERVICES FROM A QUALIFIED INDEPENDENT COMPANY. THE CONTRACTOR SHALL SUPPLY BOTH COLOR VIDEO AND WRITTEN REPORTS PER THE REQUIREMENTS OF THE LOCAL AGENCY, STATE AND ENGINEER.
7. WATERLINE SHALL BE OF THE SIZE NOTED ON THE PLANS. DUCTILE IRON PIPE SHALL BE CLASS 52, CEMENT LINED CONFORMING TO ANSI A21.51, WITH PUSH-ON TYPE JOINTS. CAST IRON FITTINGS SHALL BE MECHANICAL JOINT CONFORMING TO ANSI A-21.10. ALL WATER PIPE SHALL HAVE A MINIMUM 36" OF COVER MEASURED FROM FINISHED GRADE.
8. ALL WATERLINE SERVICES SHALL BE 2-INCH PVC OR 3/4" & 1" AS NOTED ON THE PLANS. ALL CORPORATION STOPS, TEES AND ANGLE METER STOPS SHALL BE COMPRESSION FITTINGS.
9. ALL TEES, BENDS, ELBOWS AND CHANGES IN DIRECTION OF MORE THAN 11 1/4 DEGREES SHALL BE SECURELY THRUST BLOCKED USING 3000 PSI CONCRETE POURED AGAINST UNDISTURBED GROUND, OR APPROVED ALTERNATE.
10. TESTING, FLUSHING AND STERILIZATION OF ALL NEW WATERLINE IMPROVEMENTS SHALL BE APPROVED BY THE CITY OF WEST LINN PRIOR TO ANY PHYSICAL CONNECTION OF THE NEW WATERLINE TO THE EXISTING CITY WATERLINE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE CITY OF WEST LINN FOR ANY USE OF CITY WATER SYSTEM FOR TESTING, FLUSHING AND STERILIZATION.
11. ALL UTILITY LINE AND ASSOCIATED APPURTENANCES SHALL BE TESTED IN ACCORDANCE WITH APWA STANDARDS.

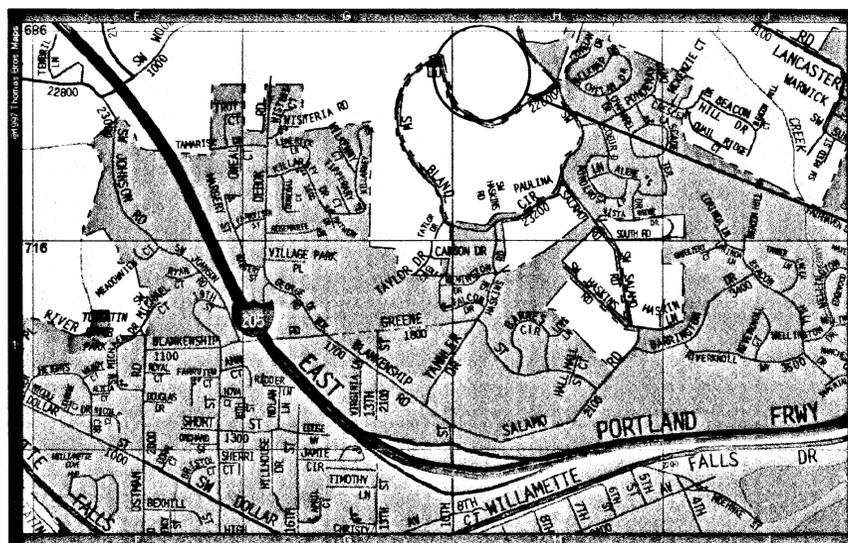
D. APPROVALS

1. CHANGES TO THESE PLANS MUST BE APPROVED BY THE CITY OF WEST LINN AND THE ENGINEER PRIOR TO IMPLEMENTATION.
2. CONTRACTOR TO ACQUIRE ALL REQUIRED PERMITS BEFORE WORKING IN ALL AREAS AND THE PUBLIC RIGHT OF WAY.

CONSTRUCTION PLANS FOR CASCADE SUMMIT IV PHASE 2 (PUBLIC IMPROVEMENTS)

WEST LINN, OREGON

CASE FILE NO. DR-97-13



VICINITY MAP
N.T.S.



THESE "RECORD" PLANS ARE COMPILED FROM DATA COLLECTED FROM THE CONTRACTOR, PERIODIC FIELD OBSERVATIONS DURING CONSTRUCTION AND SURVEY DATA. WE SUGGEST THAT THESE PLANS BE USED IN CONJUNCTION WITH FIELD VERIFICATION OF LOCATION AND ELEVATION OF IMPROVEMENTS IN QUESTION. TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF, THESE PLANS ARE AN ACCURATE RECORD OF THE SUBJECT IMPROVEMENTS.

Carl B. Jensen
CARL B. JENSEN DATE: 10/9/98

SHEET LEGEND	
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PB17	DETAILS



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CONSULTING ENGINEERING SERVICES
JUN 13 2000

CONDITIONS OF APPROVAL - CASE FILE NO. DR-97-13

1. TO MEET REQUIREMENTS OF SECTIONS 15.070 AND 24.140, AND TO COMPLY WITH CONDITION OF APPROVAL #14 OF FILE NO. ZC-92-03/SUB-92-03, THE APPLICANT SHALL PROVIDE FOR A MINIMUM 40-FOOT TRANSITION AREA BETWEEN THE MULTI-FAMILY UNITS AND THE HARDY PROPERTY, WHICH ABUTS THE PROJECT SITE ON THE SOUTH/SOUTHWEST. THIS TRANSITION AREA SHALL BE LANDSCAPED AND SHALL NOT INCLUDE DRIVEWAYS OR STRUCTURES AS PART OF THE TRANSITION AREA. THE APPLICANT SHALL ALSO PROVIDE SUCH A TRANSITION AREA FOR ANY OTHER PORTIONS OF THE SUBJECT PROPERTY THAT ABUTS OTHER SINGLE FAMILY HOMES (I.E., PROPERTY ABUTTING TO THE NORTH). THIS TRANSITION AREA REQUIREMENT SHALL NOT APPLY TO THE PROJECT BOUNDARY BETWEEN PHASE I AND PHASE II OF THE CASCADE SUMMIT PHASE IV PUD.

TO FULFILL THIS CONDITION, THE APPLICANT SHALL REVISE THE REVISED SITE PLAN SUBMITTED TO THE CITY ON AUGUST 18, 1997, SHOWING THE 40-FOOT WIDE TRANSITION AREA WITH 5-FOOT HIGH LANDSCAPED BERM TO THE PLANNING DIRECTOR FOR REVIEW AND APPROVAL PRIOR TO OBTAINING FINAL DESIGN REVIEW APPROVAL FOR THIS DEVELOPMENT, AND PRIOR TO ISSUANCE OF ANY BUILDING PERMITS FOR THE ENTIRE PROJECT. THIS REVISION SHALL INCLUDE, AT A MINIMUM, A LANDSCAPED TRANSITION AREA OF MINIMUM 40-FOOT WIDE WIDTH, FREE AND CLEAR OF ANY DRIVEWAYS.

2. THE APPLICANT SHALL PROVIDE A SIGHT-OBSCURING FENCE THAT FULLY SCREENS THE TRASH COMPACTOR FROM VIEW OF THE ADJOINING STREETS, ADJACENT APARTMENT UNITS AND THE CLUBHOUSE FACILITY. ANY OTHER TRASH RECEPTACLES SHALL ALSO BE REQUIRED TO BE SCREENED FROM VIEW BY A SIGHT-OBSCURING FENCE.
3. THE APPLICANT SHALL PROVIDE A MINIMUM OF 4 BICYCLE PARKING SPACES IN CONJUNCTION WITH THE CLUBHOUSE/MANAGEMENT OFFICE/RECREATION CENTER FACILITY. THESE SPACES SHALL BE IN A CONVENIENT AND DIRECTLY ACCESSIBLE LOCATION TO THE FRONT ENTRANCE OF THIS FACILITY. THE APPLICANT SHALL ALSO PROVIDE A 15-FOOT WIDE DRIVEWAY PER THE REQUIREMENTS OF SECTION 46.120. A REVISED SITE PLAN FOR THIS PORTION OF THE SITE SHOWING THESE FEATURES SHALL BE SUBMITTED TO THE PLANNING DIRECTOR FOR APPROVAL PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
4. ALL PATHWAYS ON SITE THAT DO NOT ABUT TRAVEL LANES OR PARKING AREAS SHALL BE AT LEAST 6 FEET WIDE, PER SECTION 46.150(A)(20). ALL PATHWAYS ABUTTING TRAVEL LANES OR PARKING AREAS SHALL BE AT LEAST 8 FEET WIDE, AND SHALL BE SEPARATED BY LANDSCAPING, PER SECTION 55.100(B)(7)(d). THE CIRCULATION PATHWAYS ON SITE SHALL INCLUDE OCCASIONAL WIDER PORTIONS, REFERRED TO IN THE APPLICANT'S SUBMITTAL AS "NODES" TO PROVIDE SEATING OPPORTUNITIES.
5. TO PRESERVE AS MANY TREES AS POSSIBLE ON SITE, THE APPLICANT SHALL ARRANGE FOR THE CITY ARBORIST TO APPROVE, PRIOR TO DISTURBANCE OF THE TREES, ANY AND ALL TREES IDENTIFIED FOR REMOVAL WITHIN THE DOUGLAS FIR STAND THAT IS LOCATED IN THE VICINITY OF THE NEW DAY ROAD/CLUB ROAD INTERSECTION (SEE SHEET 6 OF THE GRADING PLAN).
6. TREE PROTECTION. TO ASSURE ADEQUATE PROTECTION OF TREES ON SITE, PRIOR TO ANY SITE WORK STARTING ON THE PROPERTY AND PRIOR TO ISSUANCE OF ANY BUILDING PERMIT, THE FOLLOWING SHALL BE COMPLETED:
 - a. SNOW FENCING SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES WITHIN AREAS OF ANY SITE WORK OR NEAR ANY CONSTRUCTION AREA, "SITE WORK AREAS" AND "NEAR ANY CONSTRUCTION AREAS" SHALL BE DEFINED AS ANY AREA THAT COULD RECEIVE DIRT OR DEBRIS OR HAVE THE GROUND TRAVERSED WITH EQUIPMENT OR HAVE THE NATURAL GRADE MODIFIED.
 - b. ONLY IF SUCH FENCE PLACEMENT AT THE DRIP LINE IS INFEASIBLE, SNOW FENCING MAY BE INSTALLED OUT OF THE ROOT ZONE AND IN A MANNER THAT PROHIBITS ANY CONTACT WITH THE TREE TRUNK.
 - c. THE CITY ARBORIST SHALL INSPECT AND APPROVE ALL ON-SITE TREE PROTECTION MEASURES INCLUDING PLACEMENT OF PROTECTION FENCES PRIOR TO THE START OF SITE WORK. IT IS THE APPLICANT'S RESPONSIBILITY TO CONTACT THE CITY ARBORIST AND ARRANGE FOR THIS APPROVAL TO TAKE PLACE.
 - d. ALL TREE PROTECTION MEASURES SHALL REMAIN IN PLACE AND FULLY FUNCTIONAL FOR THE ENTIRE TIME THAT SITE WORK AND CONSTRUCTION IS TAKING PLACE.
7. STREET TREE SELECTION, INSTALLATION, AND SPACING WILL BE APPROVED BY THE CITY ARBORIST. THE APPLICANT IS RESPONSIBLE FOR ARRANGING FOR THE APPROVAL TO BE COMPLETED. STREET TREES ARE TO BE PLANTED PRIOR TO BUILDING OCCUPANCY. THE REQUIREMENTS OF SECTION 54.030 THROUGH 54.060 SHALL APPLY.
8. THIS APPROVAL IS CONTINGENT UPON RECEIPT OF A FINAL ORDER BY THE PORTLAND AREA BOUNDARY COMMISSION, APPROVING ANNEXATION OF THE SUBJECT PROPERTY, TO THE PLANNING DIRECTOR. IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO APPLY TO THE CITY (PLANNING DEPARTMENT) AND THE PORTLAND AREA BOUNDARY COMMISSION FOR ANNEXATION OF THE SUBJECT PROPERTY.
9. A STREET STUBOUT PROVIDING A VEHICLE AND PEDESTRIAN CONNECTION FROM THE CASCADE SUMMIT PHASE IV PUD TO THE PARCEL TO THE SOUTH (THE HARDY PROPERTY) SHALL BE PROVIDED. A REVISED PLAN SHOWING HOW AND WHERE THIS PROPERTY WILL BE CONNECTED SHALL BE SUBMITTED TO THE PLANNING DIRECTOR FOR APPROVAL PRIOR TO ISSUANCE OF ANY BUILDING PERMITS FOR THIS PROJECT.
10. THE APPLICANT SHALL SUBMIT A SIGNED COPY OF A COMMON ACCESS AGREEMENT FOR THE STREET STUBOUT FROM CASCADE SUMMIT APARTMENT PROJECT AREA TO THE ASSISTED LIVING FACILITY, BOTH WITHIN THE PUD AREA OF CASCADE SUMMIT PHASE IV, TO THE PLANNING DIRECTOR PRIOR TO ISSUANCE OF BUILDING PERMIT.
11. THE APPLICANT SHALL BE REQUIRED TO RECEIVE THE PLANNING DIRECTOR APPROVAL ON ANY RELOCATION OF ANY BUILDING AND/OR SETBACK MODIFICATION IF THE PARKER ROAD EXTENSION STREET IS RE-ALIGNED TO RESOLVE STREET RIGHT-OF-WAY PROBLEMS. IT IS THE APPLICANT'S/DEVELOPER'S RESPONSIBILITY TO OBTAIN NECESSARY UGB ROADWAY RE-ALIGNMENT ADJUSTMENT PERMITS FROM METRO NECESSARY TO ACCOMMODATE PARKER ROAD EXTENSION. THESE PERMITS SHALL BE OBTAINED PRIOR TO APPROVAL OF PUBLIC IMPROVEMENT CONSTRUCTION PLANS.
12. THE APPLICANT SHALL BE REQUIRED TO DEDICATE THE STREET RIGHT-OF-WAY AREA THAT CONTAINS THE PARKER ROAD EXTENSION NORTH OF THE NEW DAY ROAD AS A PUBLIC RECREATIONAL OPEN SPACE IF THE APPLICANT IS GRANTED THEIR REQUEST FOR A CONDITION OF APPROVAL MODIFICATION TO ELIMINATE IT AS A STREET IMPROVEMENT.
13. THE APPLICANT SHALL BE REQUIRED, IF THEIR CONDITION OF APPROVAL MODIFICATION (PARKER ROAD EXTENSION STREET IMPROVEMENT NORTH OF THE NEW DAY ROAD ELIMINATION) IS APPROVED, TO POST A BOND IN THE AMOUNT EQUAL TO THE COST OF THE ELIMINATED STREET IMPROVEMENTS TO SECURE THE CONSTRUCTION OF ANY NECESSARY LOCAL STREET IMPROVEMENTS (IDENTIFIED BY A SDC CREDITABLE TRANSPORTATION STUDY PAID FOR BY THE APPLICANT) THAT IS DUE TO THE STREET CONNECTION ELIMINATION.
14. THE APPLICANT SHALL BE REQUIRED TO CONSTRUCT STORM DRAINAGE DETENTION AND TREATMENT FACILITIES TO MEET THE STRICTER STORM DRAINAGE CODE REQUIREMENTS OF EITHER THE CITY OF WEST LINN OR CLACKAMAS COUNTY. IF AN ABOVE GROUND DETENTION POND IS CONSTRUCTED, IT SHALL BE REQUIRED TO BE FENCED AND INCLUDE A GATE THAT IS LOCKED. IT IS THE APPLICANT'S RESPONSIBILITY TO HAVE FINAL DESIGNS FOR ON-SITE STORM DETENTION FACILITIES APPROVED BY THE CITY ENGINEER, PRIOR TO ISSUANCE OF BUILDING PERMITS.

15. THE APPLICANT SHALL AUTHORIZE A STREET LIGHTING AGREEMENT WITHIN 60 DAYS OF FINAL LAND USE APPROVAL.
16. THE APPLICANT SHALL BE REQUIRED TO COMPLETE GEOTECHNICAL WELL PERFORMANCE STUDIES, PERFORMED BY A QUALIFIED EXPERT, ON PROPERTY WITHIN 500 FEET OF THE PROPERTY LINE OF THE PROPOSED DEVELOPMENT SITE. THESE TESTS SHALL INCLUDE ONLY EXISTING WELLS, AND ARE TO BE PERFORMED BEFORE AND AFTER CONSTRUCTION. EVIDENCE OF THESE TESTS AND IDENTIFIED WELL LOCATIONS SHALL BE SUBMITTED TO THE PLANNING DIRECTOR PRIOR TO ISSUANCE OF BUILDING PERMITS.
17. ANY DEVIATION FROM THE APPROVED ARCHITECTURAL DESIGN, BUILDING MATERIALS OR COLOR SCHEME AS SUBMITTED WILL REQUIRE PLANNING DIRECTOR APPROVAL.

CONDITIONS OF APPROVAL - CASE FILE NO. CUP 95-07/DR 95-14/ZC 95-11

1. HVAC UNITS SHALL BE MOUNTED FLUSH WITH THE BUILDING FACE AND SHALL NOT PROJECT OUT.
2. THE APPLICANT'S ARCHITECT SHALL SUBMIT DESIGN MODIFICATION SUBJECT TO APPROVAL BY THE PLANNING DIRECTOR, FOR THE WEST ELEVATION THAT ACCOMPLISHES THE FOLLOWING TASKS:
 - a. LOWERS THE RIDGELINE OF THE 280-FOOT LONG WEST ELEVATION TO AN ELEVATION ROUGHLY EQUAL TO THE TOP OF THE MAIN DORMERS.
 - b. ADD FOUR-INCH WINDOW TRIM ON ALL WINDOWS.
 - c. REPLACE THE WHITE PLASTIC FISH SCALE SHINGLES WITH ALTERNATIVE MATTE COLOR, SUBJECT TO CITY PLANNING DIRECTOR'S APPROVAL. VERTICAL SIDING DESIGN WOULD BE AN ALTERNATIVE.
 - d. COMPOSITION ROOFING SHALL HAVE MORE TEXTURE.
3. FIVE-FOOT LANDSCAPE BREAKS SHALL BE REQUIRED AFTER EVERY 12 PARKING SPACES.
4. PARKING MUST BE BASED ON THE NUMBER OF PEAK PERIOD EMPLOYEES (1 PER 2 EMPLOYEES + 1 PER 3 UNITS)
5. THE FINAL PRODUCT SHALL CONFORM TO DESIGNS APPROVED BY THE PLANNING DIRECTOR OR PLANNING COMMISSION AS APPLICABLE.
6. THE APPLICANT SHALL DEMONSTRATE THAT THE NOISE LEVELS OF THE HVAC UNITS MEET ACCEPTABLE STANDARDS BY NOT PROJECTING THE NOISE OFF-SITE, ESPECIALLY TO THE SOUTH AND WEST.
7. NO OFF-SITE GLARE PRODUCING LIGHT FIXTURES ARE PERMITTED.
8. THE APPLICANT SHALL PLANT AT LEAST FOUR COLUMNAR TREES ALONG THE WEST EDGE OF THE PROPERTY TO PROVIDE VERTICAL BREAKS ON THAT ELEVATION, AND PROVIDE A REVISED LANDSCAPE PLAN CONSISTENT WITH THE CONCERNS EXPRESSED BY THE PLANNING COMMISSION REGARDING APPEARANCE AND SCREENING AND COMMITMENTS MADE BY THE APPLICANT AT THE HEARING. IT IS THE PLANNING COMMISSION'S UNDERSTANDING THAT THE APPLICANT WILL INCLUDE PLANTING OVER 200 TREES IN THAT PLAN.
9. THE APPLICANT SHALL PROVIDE A 1 1/2-FOOT TO 2-FOOT EAVE OVERHANG FOR ALL ROOFS.
10. A LOW WOOD FENCE SHALL BE INSTALLED ON THE WEST PROPERTY LINE NEXT TO THE ADULT LIVING FACILITY.
11. THE APPLICANT SHALL PROVIDE DOCUMENTATION VERIFYING THAT, AT ANY POINT IN TIME, 20 PERCENT OF THE PROPOSED ASSISTED LIVING FACILITY WILL HOUSE LOW INCOME RESIDENTS PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
12. THE APPLICANT SHALL BE REQUIRED TO PROVIDE AND RECORD A SIGNED PRE-ANNEXATION AGREEMENT.
13. THE APPLICANT IS REQUIRED TO SUBMIT A LIGHTING PLAN AND LIGHTING FIXTURE FOR APPROVAL BY THE PLANNING DIRECTOR PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR THE ASSISTED LIVING FACILITY.
14. THE APPLICANT SHALL APPLY FOR DELAYED ANNEXATION.
15. THE APPLICANT SHALL BE REQUIRED TO PERFORM GEOTECHNICAL WELL PERFORMANCE STUDIES ON PROPERTIES WITHIN 500 FEET OF THE PROPERTY LINE OF THE PROPOSED DEVELOPMENT SITE; THESE TESTS SHALL INCLUDE ONLY EXISTING WELLS, AND ARE TO BE PERFORMED BEFORE AND AFTER CONSTRUCTION.
16. THE APPLICANT SHALL BE REQUIRED TO PRESERVE THE THREE TREE CLUSTERS ILLUSTRATED ON PAGE A-76 OF THE STAFF REPORT. THIS SHALL ALSO INCLUDE THE PIONEER MAPLE TREE AT THE SOUTHWESTERN CORNER OF THE DEVELOPMENT SITE.
17. THE APPLICANT SHALL BE REQUIRED TO MAKE THE FOLLOWING PUBLIC STREET IMPROVEMENTS: BLAND CIRCLE, PARKER ROAD EXTENSION, AND THE PUBLIC RIGHT-OF-WAY THAT WILL ACCESS THE SITE BETWEEN DAY ROAD AND THE PARKER ROAD EXTENSION, IN CONJUNCTION WITH THE FIRST PHASE OF THE MULTI-FAMILY PORTION OF CASCADE SUMMIT PHASE IV.

BASED UPON THE FINDINGS CONTAINED IN THIS REPORT, THE PLANNING DIRECTOR APPROVES THE APPLICATION, FILE NO. DR-96-20, FOR A 152-UNIT APARTMENT COMPLEX PART OF CASCADE SUMMIT PHASE IV PLANNED UNIT DEVELOPMENT. THE FOLLOWING CONDITIONS OF APPROVAL ARE HEREBY IMPOSED.

1. ALL TREES THAT ARE INTENDED TO BE SAVED AS SHOWN ON THE SITE PLAN C-1 SHALL BE PROTECTED BY SNOW FENCES LOCATED AT THE DRIP LINE OF THE TREES, OR AT A DISTANCE AS DETERMINED BY THE CITY ARBORIST SUFFICIENT TO PROVIDE FOR THE HEALTH OF THE TREE. PARTICULAR ATTENTION SHOULD BE PAID TO THE PRESERVATION OF TREES ADJACENT TO APARTMENT CLUSTER U, N, AND T.
2. ALL SIDEWALKS SHALL BE SIX FEET WIDE. ALL SIDEWALKS OR PATHS ADJACENT TO PARKING LOTS AND RIGHT-OF-WAYS OR OTHER TRAVEL AREAS SHALL BE EIGHT FEET WIDE. THE APPLICANT SHALL ALSO SUBMIT A PLAN IDENTIFYING THE LOCATION OF SIGNS FOR THE PURPOSE OF DIRECTING PEDESTRIANS BETWEEN THE VARIOUS PARTS OF THE PROJECT AND DIRECTING TO OFF-SITE DESTINATIONS INCLUDING, BUT NOT LIMITED TO, THE ADULT ASSISTED LIVING FACILITY ADJACENT TO THE SITE, THE COMMERCIAL AREA TO THE EAST OF THE SITE, THE CLUBHOUSE, THE PARK TO THE NORTH OF THE SITE, AND ANY TRANSIT FACILITIES THAT ARE LOCATED ALONG SALAMO ROAD.
3. THE APPLICANT SHALL DEMONSTRATE THAT THE REQUIREMENT THAT 10 PERCENT OF THE PARKING LOTS IN THE COURTYARD AREAS MUST BE LANDSCAPED HAS BEEN SATISFIED. STAFF WOULD REFERENCE THE PARKING LOT IDENTIFIED AS D ON MAP A-4 WHICH IS SURROUNDED BY APARTMENTS K, L, M, N, AND O, AS WELL AS THE PARKING LOT IDENTIFIED AS F CONTIGUOUS TO THE APARTMENT BLOCKS V AND U, AS WELL AS THE PARKING LOT IDENTIFIED AS E SURROUNDED BY APARTMENT BLOCKS T, S, R, Q, AND P AS WELL AS THE PARKING LOT IDENTIFIED AS A SURROUNDED BY APARTMENT BLOCKS A AND B.
4. THE APPLICANT SHALL PROVIDE EXTENDED ONE-FOOT EAVES/OVERHANGS ON ALL OF THE UNITS.
5. ALL WINDOW TRIM SHALL BE AT LEAST FOUR INCHES WIDE.
6. THE APPLICANT SHALL INSTALL SIDEWALK FACILITIES ACROSS THE EAST-WEST PUBLIC ROAD OF DIFFERENT TEXTURE TO THE ROAD SO AS TO CLEARLY IDENTIFY IT FOR PEDESTRIAN PURPOSES.
7. THE APPLICANT'S ARCHITECT WILL PROVIDE LANDSCAPING DIRECTLY IN FRONT OF EACH UNIT TO TRANSITION BETWEEN THE PARKING LOT AND THE UNITS. ALTERNATELY, DECORATIVE OR DIFFERENT PAVING MATERIALS MAY BE USED EXCLUSIVELY OR IN CONCERT WITH THE LANDSCAPING SO AS TO PRODUCE THE SAME EFFECT.
8. THE METAL CARPORTS SHALL BE REDESIGNED AND POSSIBLY REPLACED BY A DIFFERENT MATERIAL. THE REDESIGN SHALL BE APPROVED BY THE PLANNING DIRECTOR.
9. DOOR COLORS SHALL BE APPROVED BY THE PLANNING DIRECTOR.
10. THE APPLICANT SHALL ADD 12 SPACES OR REDUCE THE APARTMENT MIX SO THAT THE 321 SPACES ARE ADEQUATE PER CDC CHAPTER 46.
11. THE APPLICANT SHALL INSTALL DIRECTIONAL SIGNS FOR PEDESTRIAN TRAFFIC ASSISTING INTERNAL CIRCULATION AND ACCESS TO OFF-SITE LOCATIONS (E.G. COMMERCIAL CENTER).
12. ALL INTERNAL PEDESTRIAN WAYS SHALL BE SIX FEET WIDE, AND EIGHT FEET WIDE WHEN ADJACENT TO STREETS AND PARKING LOTS. THE PEDESTRIAN WAYS SHALL BE SPECIALLY TEXTURED OR COLORED. PHYSICAL SEPARATION BY PLANTERS, CURBING BOLLARDS, ETC. ARE PREFERRED.
13. ALL LAYOUTS, BUILDING DESIGNS NOT MODIFIED BY THESE CONDITIONS SHALL BE INSTALLED PER THE SUBMITTED PLANS OF THE APPLICATION.
14. THE APPLICANT SHALL CONTACT TRI-MET AND INSTALL FACILITIES AS DEEMED REASONABLE AND APPROPRIATE.
15. THE CLEAR VISION AREA SHALL BE MAINTAINED AT ALL INTERSECTIONS.
16. FIREFLOW REQUIREMENTS SHALL BE PROVIDED FOR THE PROPOSED BUILDINGS.
17. ALL COLORS AND MATERIALS SHALL BE CONSISTENT WITH THE COLOR BOARD ON FILE AT THE PLANNING DEPARTMENT.

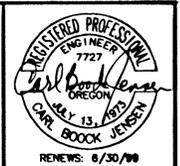
CONDITIONS OF APPROVAL MIS 97-36

1. THE IMPROVEMENTS MADE TO UPPER BLAND CIRCLE IN CONJUNCTION WITH CONDITIONS OF APPROVAL NO. 17 OF CUP 95-07/DR 95-34/ZC 95-11 SHALL BE AS FOLLOWS:
 - a. THE STREET SHALL BE IMPROVED WITH AN ADDITIONAL 1-1/2" OF CLASS 'C' PAVEMENT, TO BE PLACED ON THE EXISTING INTERIM PAVING PLAN PAVEMENT IN ACCORDANCE WITH CITY STANDARDS;
 - b. IN ORDER TO COMPLETE THE IMPROVEMENTS NEEDED TO CONSTRUCT A NEW INTERSECTION BETWEEN UPPER BLAND CIRCLE AND THE NEW PARKER ROAD EXTENSION, SOME GRADING MAY BE ALLOWED TO ACCOMMODATE ADEQUATE TRANSITION.
2. THE APPLICANT SHALL ESTABLISH A MAINTENANCE AND ACCESS AGREEMENT TO MAINTAIN THE STREET "AS IS" AND AS IT IS NOW LOCATED, FOR ANY PORTIONS OF THE STREET THAT ARE NOT CURRENTLY IN THE RIGHT-OF-WAY OF UPPER BLAND CIRCLE AS IT NOW EXISTS.

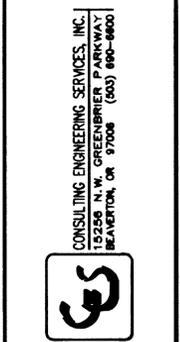
CONSULTING ENGINEERING SERVICES, INC.
1226 N.W. GREENBERRY WAY
SEASIDE, OR 97138 (503) 666-6661

THESE "RECORD" PLANS ARE COMPILED FROM DATA COLLECTED FROM THE CONTRACTOR, PERIODIC FIELD OBSERVATIONS DURING CONSTRUCTION AND SURVEY DATA. WE SUGGEST THAT THESE PLANS BE USED IN CONJUNCTION WITH FIELD VERIFICATION OF LOCATION AND ELEVATION OF IMPROVEMENTS IN QUESTION. TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF, THESE PLANS ARE AN ACCURATE RECORD OF THE SUBJECT IMPROVEMENTS.

Carl B. Jensen DATE: 10/9/98
CARL B. JENSEN



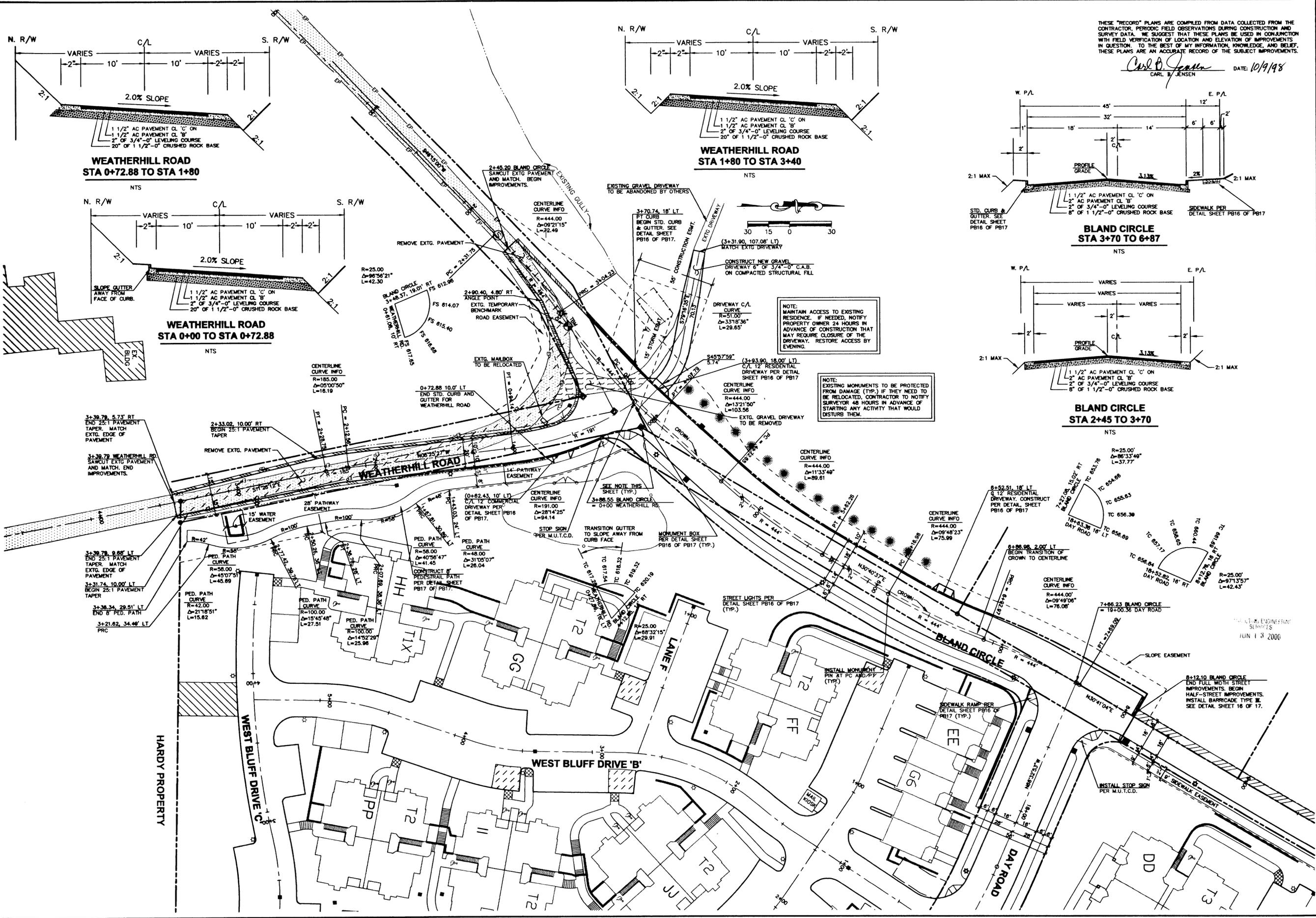
CASCADE SUMMIT PH. 2
CASE FILE NO. DR-97-13
SIMPSON HOUSING LIMITED PARTNERSHIP
1226 18TH AVENUE WEST, SUITE 100
SEATTLE, WA 98119
(206) 286-9117



REVISIONS	1. RECORD DRAWING	DATE	10/7/98
PROJECT NO.	1065	DATE	1/29/98
DESIGNED BY	CSJ	DATE	10/7/98

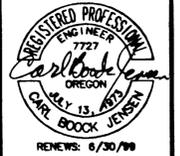
CONDITIONS OF APPROVAL

SHEET
PB 2
OF
PB17



THESE "RECORD" PLANS ARE COMPILED FROM DATA COLLECTED FROM THE CONTRACTOR, PERIODIC FIELD OBSERVATIONS DURING CONSTRUCTION AND SURVEY DATA. WE SUGGEST THAT THESE PLANS BE USED IN CONJUNCTION WITH FIELD VERIFICATION OF LOCATION AND ELEVATION OF IMPROVEMENTS IN QUESTION. TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF, THESE PLANS ARE AN ACCURATE RECORD OF THE SUBJECT IMPROVEMENTS.

Carl B. Jensen DATE: 10/19/98
 CARL B. JENSEN



CASCADE SUMMIT PH. 2

CASE FILE NO. DR-97-13
 SIMPSON HOUSING LIMITED PARTNERSHIP
 1226 16TH AVENUE WEST, SUITE 100
 SEATTLE, WA 98119
 (206) 286-9117

CONSULTING ENGINEERING SERVICES, INC.
 12326 N.W. GREENBRIER PARKWAY
 BEAVERTON, OR 97006 (503) 690-0600



- REVISIONS:
1. REVISED BLAND CIRCLE & INTERSECTION WITH DAY RD.
 2. PER CITY ENGINEERING NOTES PER CITY ORDINANCE 7/13/98
 3. REVISED BLAND CIRCLE TO ADD EXTENSION TO 7/21/98
 4. RECORD DRAWING JUN 10/77/98

PROJECT NO.: 1088 DATE: 1/29/98
 DRAWING BY: JCS

SHEET
PB 3
 OF
PB17

STREET PLAN

DATE: JUN 13 2000

THESE "RECORD" PLANS ARE COMPILED FROM DATA COLLECTED FROM THE CONTRACTOR, PERIODIC FIELD OBSERVATIONS DURING CONSTRUCTION AND SURVEY DATA. WE SUGGEST THAT THESE PLANS BE USED IN CONJUNCTION WITH FIELD VERIFICATION OF LOCATION AND ELEVATION OF IMPROVEMENTS IN QUESTION. TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF, THESE PLANS ARE AN ACCURATE RECORD OF THE SUBJECT IMPROVEMENTS.

Carl B. Jensen
CARL B. JENSEN DATE: 10/9/98



CASCADE SUMMIT PH. 2

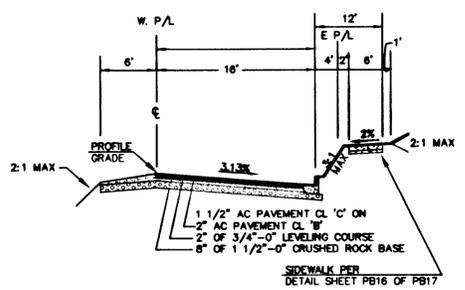
CASE FILE NO. DR-97-13
SIMPSON HOUSING LIMITED PARTNERSHIP
1228 16TH AVENUE WEST, SUITE 100
SEATTLE, WA 98119
(206) 286-9117

CONSULTING ENGINEERING SERVICES, INC.
15256 N.W. GREENBRIER PARKWAY
BEAVERTON, OR 97006 (503) 660-8600

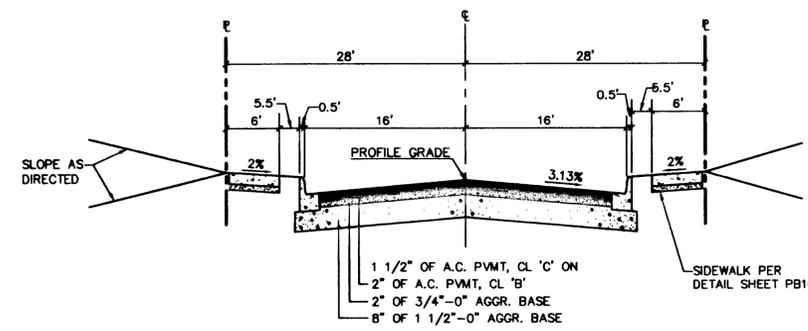


REVISIONS	DATE	BY	DESCRIPTION
1.	7/2/98	JDU	REVISED BLAND CIRCLE/DAY ROAD INTERSECTION PER CITY DIRECTION
2.	7/2/98	JDU	REVISED MONUMENT NOTES PER CITY DIRECTION
3.	7/2/98	JDU	REVISED BLAND CIRCLE TO ADD EXTENSION
4.	10/7/98	JDU	RECORD DRAWING

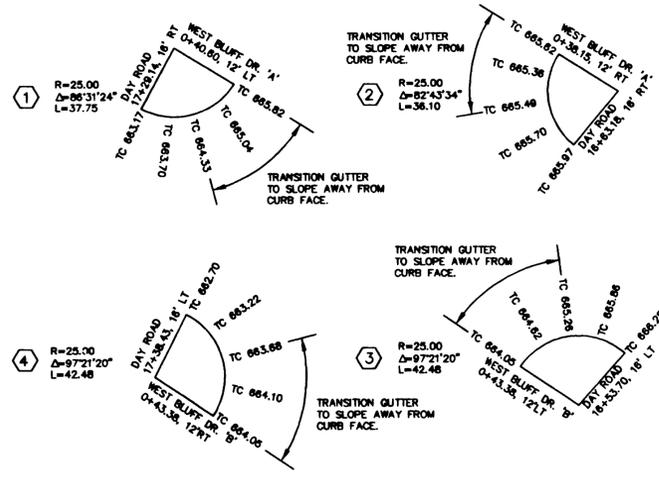
PROJECT NO.	1085
DATE	1/9/98
DESIGNED BY	JDU
DRAWN BY	JDU
STREET PLAN	
SHEET	PB 4
OF	PB 17



**BLAND CIRCLE
STA 8+12 TO 11+25**
NTS

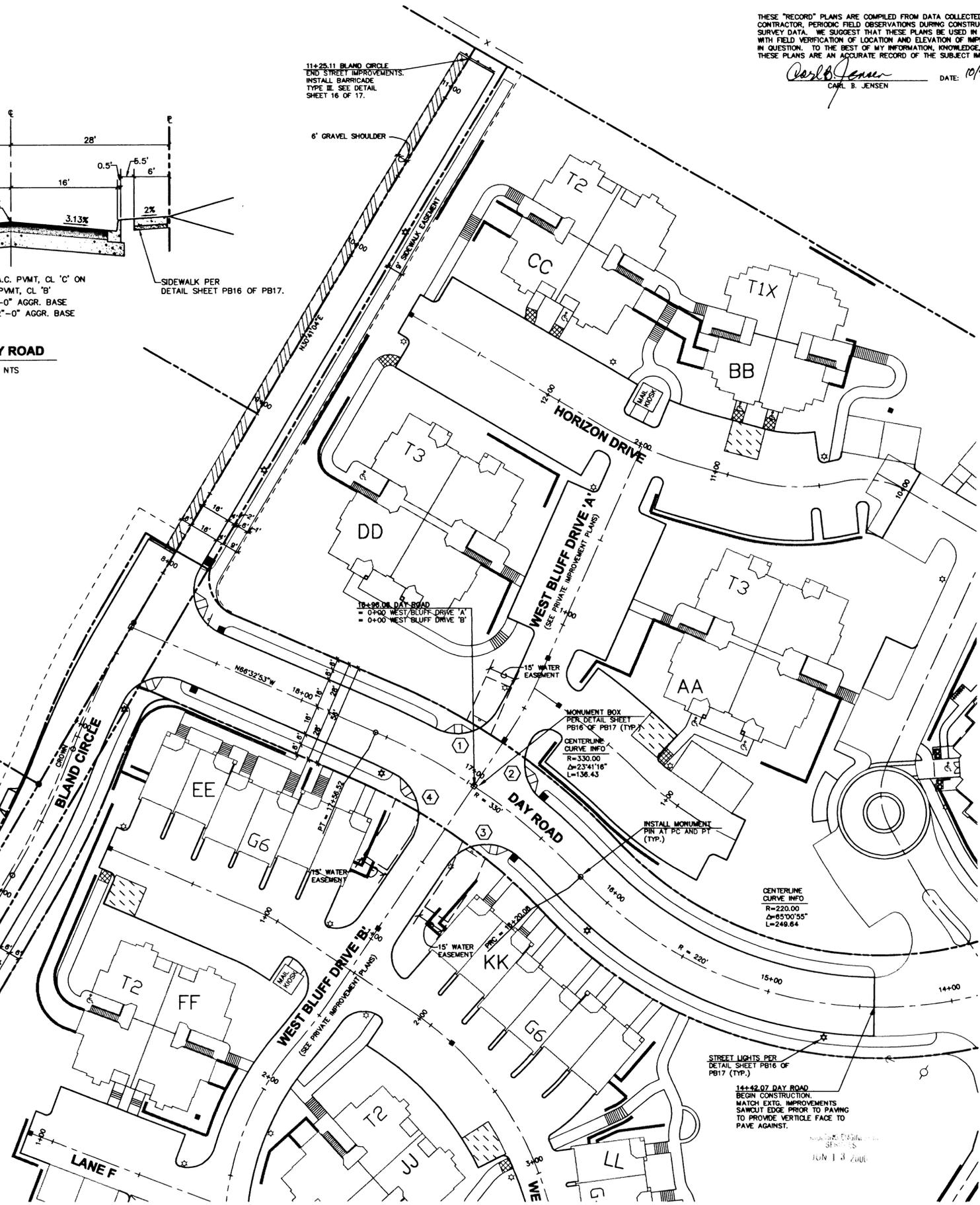


DAY ROAD
NTS



NOTE:
SEE SHEET PB3 OF PB17
REFERENCE ELEVATIONS FOR CURB
RETURNS AT THE INTERSECTION OF
BLAND CIRCLE AND DAY RD

TREE SCREENING PER
ROBINSON/SIMPSON AGREEMENT
PLANT 2\"/>



STREET LIGHTS PER
DETAIL SHEET PB16 OF
PB17 (TYP.)

14+42.07 DAY ROAD
BEGIN CONSTRUCTION.
MATCH EXTS. IMPROVEMENTS
SANDWICH EDGE PRIOR TO PAVING
TO PROVIDE VEHICLE FACE TO
PAVE AGAINST.

DATE: 10/9/98
DRAWN BY: JDU

EROSION CONTROL NOTES

THE EROSION/SEDIMENTATION CONTROL (ESC) FACILITIES SHOWN ON THESE PLANS ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DOES NOT LEAVE THE SITE.

THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.

THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THESE PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.

THE ESC FACILITIES SHOWN ON THESE PLANS MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.

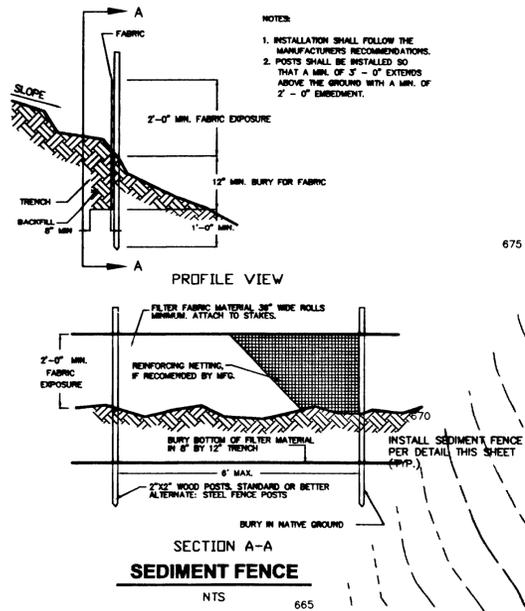
THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.

THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 24 HOURS FOLLOWING A STORM EVENT.

AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.

STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

PLACE GRASS SEED OVER BARREN SOIL; 60/40 BLEND OF PERENNIAL RYE AND CHEWING FESCUE, 5#/1500 SF. APPLY 20-10-10 FERTILIZER EVENLY AT 10#/1500 SF.

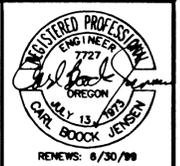


- NOTES:
1. INSTALLATION SHALL FOLLOW THE MANUFACTURER'S RECOMMENDATIONS.
 2. POSTS SHALL BE INSTALLED SO THAT A MIN. OF 3" - 0" EXTENDS ABOVE THE GROUND WITH A MIN. OF 2" - 0" EMBEDMENT.

NOTE: GRADING PLAN APPROVAL ONLY APPLIES TO PUBLIC IMPROVEMENTS; GRADING IS SEPARATE. CITY BUILDING DEPARTMENT GRADING PERMIT REQUIRED FOR PRIVATE AREAS (INCLUDING POND).

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Carl B. Jensen
DATE: 01/19/08



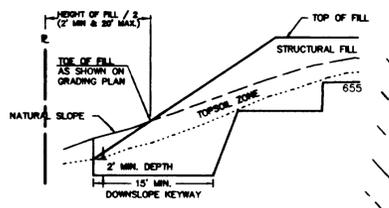
TREE PRESERVATION NOTES

PRIOR TO BEGINNING CONSTRUCTION, SNOW FENCING SHALL BE INSTALLED AT THE DRIPLINE OF ALL TREES TO BE SAVED WITHIN AREAS OF ANY SITE WORK OR NEAR ANY CONSTRUCTION AREA. "SITE WORK AREAS" AND "NEAR ANY CONSTRUCTION AREAS" SHALL BE DEFINED AS ANY AREA THAT COULD RECEIVE DIRT OR DEBRIS OR HAVE THE GROUND TRAVERSED WITH EQUIPMENT OR HAVE THE NATURAL GRADE MODIFIED.

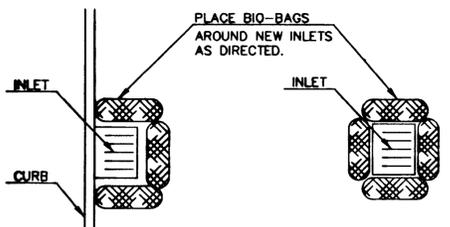
ONLY IF SUCH FENCE PLACEMENT AT THE DRIPLINE IS INFEASIBLE, SNOW FENCING MAY BE INSTALLED OUT OF THE ROOT ZONE AND IN A MANNER THAT PROHIBITS ANY CONTACT WITH THE TREE TRUNK.

THE CITY ARBORIST SHALL INSPECT AND APPROVE ALL ON-SITE TREE PROTECTION MEASURES INCLUDING PLACEMENT OF PROTECTION FENCES PRIOR TO THE START OF SITE WORK. CONTRACTOR IS RESPONSIBLE TO CONTACT THE CITY ARBORIST AND ARRANGE FOR THIS APPROVAL TO TAKE PLACE.

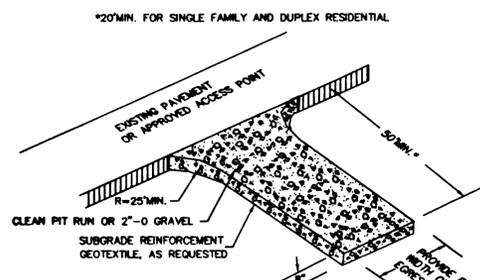
ALL TREE PROTECTION MEASURES SHALL REMAIN IN PLACE AND FULLY FUNCTIONAL FOR THE ENTIRE TIME THAT SITE WORK AND CONSTRUCTION IS TAKING PLACE.



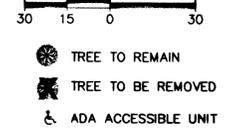
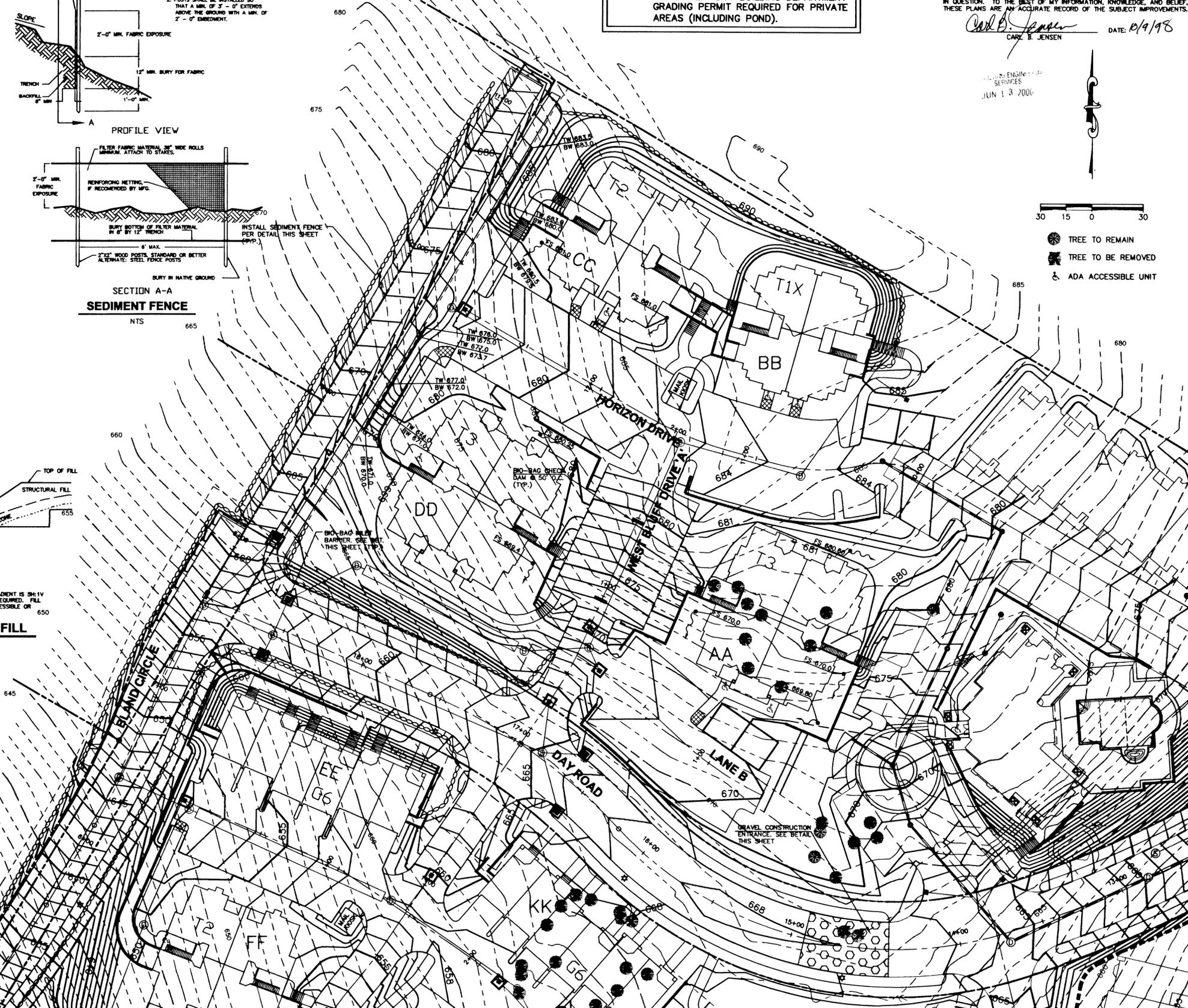
NOTE: WHERE THE NATURAL SLOPE GRADIENT IS 3H:1V OR FLATTER BENCHING IS NOT REQUIRED. FILL CAN NOT BE PLACED ON COMPRESSIBLE OR UNSUITABLE MATERIAL.



INLET PROTECTION DETAIL



STABILIZED CONSTRUCTION ENTRANCE



CASCADE SUMMIT PH. 2

CASE FILE NO. DR-97-13
SIMPSON HOUSING LIMITED PARTNERSHIP
1226 16TH AVENUE WEST, SUITE 100
SEATTLE, WA 98119
(206) 268-9117

CONSULTING ENGINEERING SERVICES, INC.
15258 N.W. GREENBRIER PARKWAY
BEAVERTON, OR 97008 (503) 680-8600



PROJECT NO.	1065
DATE	1/2/08
DESIGNED BY	JU
DRAWN BY	JU
REVISIONS	1. ADDED SECONDARY RET. WALL PER ARCH REQUEST 2. ADDED WALKWAY TO CLUBHOUSE - J1 12/12/07 3. REVISED CITY REQUIRE COMMENTS J1 1/19/08 4. REVISED BLAND CIRCLE FOR ROAD EXTENSION - J1 7/21/08 5. RECORD DRAWING - J1 10/7/08

GRADING & EROSION CONTROL PLAN

SHEET
PB 5
OF
PB17

NOTE: THE PRIVATE WATER QUALITY & DETENTION POND AND OUTFALL SHALL BE CONSTRUCTED AT THE SAME TIME AS GRADING TO ASSURE THAT ADEQUATE WATER QUALITY AND RUN-OFF RATES ARE CONTROLLED.

NOTE: RIGHT-OF-WAY/CONSTRUCTION APPROVAL FOR CONSTRUCTION AREAS IN MR. MAZLEN'S PROPERTY TO BE OBTAINED PRIOR TO THE CONSTRUCTION OF THE BLAND CIRCLE/WEATHERHILL ROAD INTERSECTION.

NOTE: COUNTY PERMIT REQUIRED PRIOR TO CONSTRUCTION OF STORM SEWER, AND WATER QUALITY AND DETENTION FACILITIES.

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Carl B. Jensen
CARL B. JENSEN DATE: 10/9/96

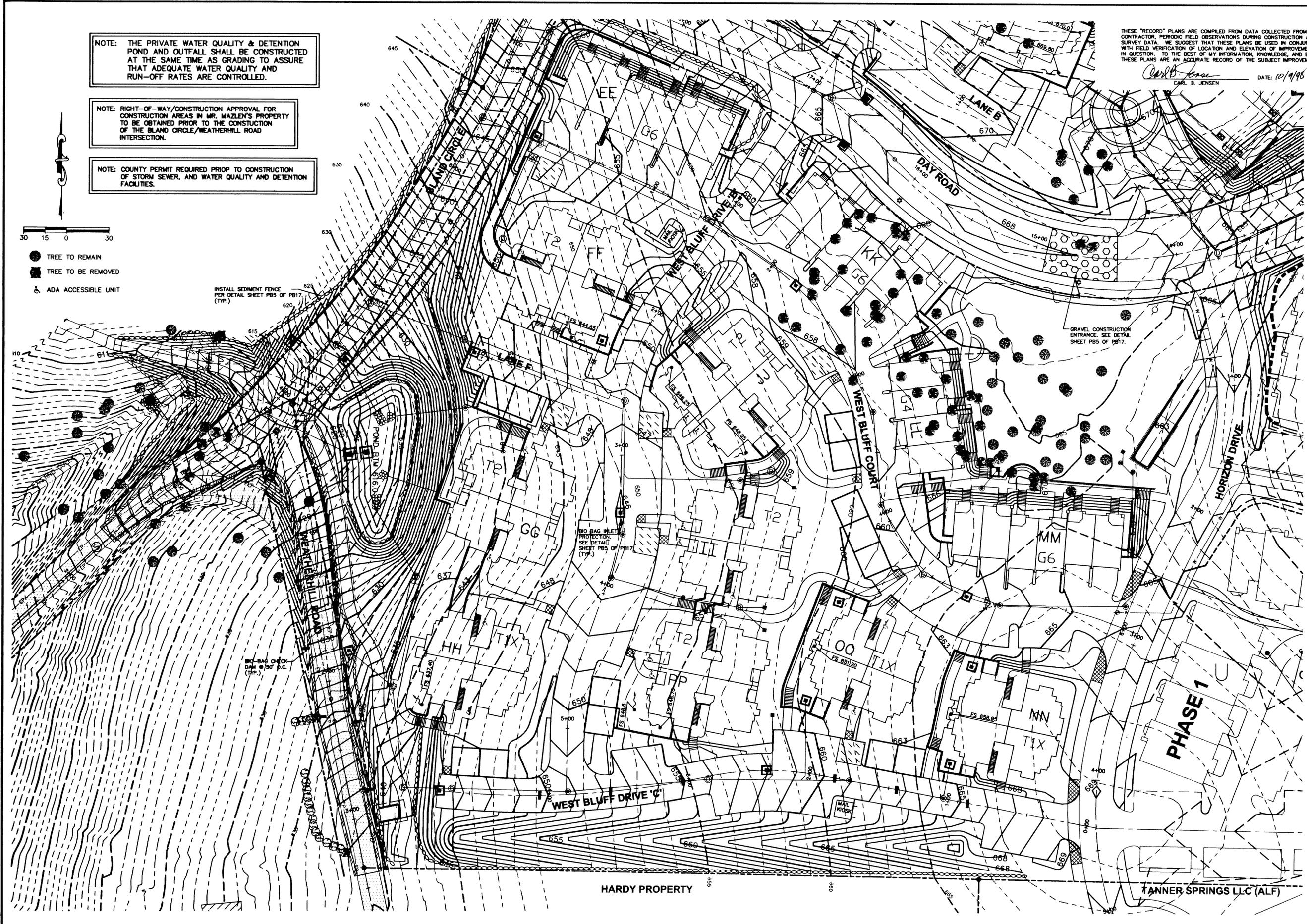


- TREE TO REMAIN
- TREE TO BE REMOVED
- ♿ ADA ACCESSIBLE UNIT

INSTALL SEDIMENT FENCE PER DETAIL SHEET P85 OF P817 (TYP.)

BIO-BAG INLET PROTECTION SEE DETAIL SHEET P85 OF P817 (TYP.)

GRAVEL CONSTRUCTION ENTRANCE SEE DETAIL SHEET P85 OF P817.



CASCADE SUMMIT PH. 2

CASE FILE NO. DR-97-13

SIMPSON HOUSING LIMITED PARTNERSHIP
1226 16TH AVENUE WEST, SUITE 100
SEATTLE, WA 98119
(206) 286-9117

CONSULTING ENGINEERING SERVICES, INC.
15255 N.W. GREENBRIER PARKWAY
BEAVERTON, OR 97008 (503) 690-8600

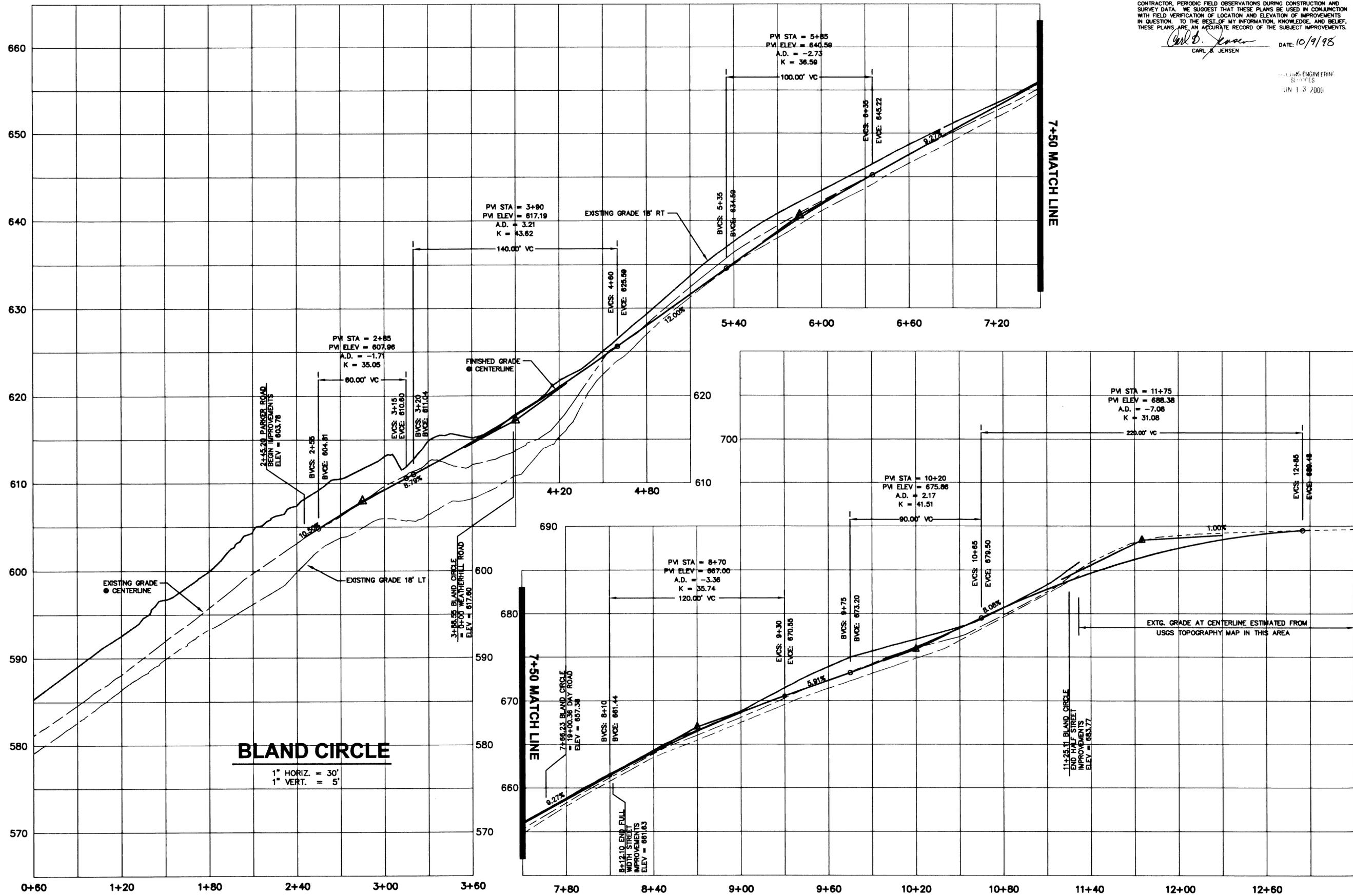


REVISIONS

1.	ADDED SECONDARY RET. WALL PER ARCH REQUEST	DATE: 12/7/97	BY: DJ
2.	REVISED PER CITY COMMENTS - J. 3/19/98	DATE: 3/19/98	BY: DJ
3.	RECORD DRAWING - J. 10/7/98	DATE: 10/7/98	BY: DJ

GRADING & EROSION CONTROL PLAN

SHEET **PB 6**
OF **PB17**



BLAND CIRCLE
 1" HORIZ. = 30'
 1" VERT. = 5'

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Carl B. Jensen
 CARL B. JENSEN
 DATE: 10/9/98

CONSULTING ENGINEERING SERVICES
 JUN 13 2000



CASCADE SUMMIT PH. 2
 CASE FILE NO. DR-97-13
 SIMPSON HOUSING LIMITED PARTNERSHIP
 1226 16TH AVENUE WEST, SUITE 100
 SEATTLE, WA 98119
 (206) 286-9117

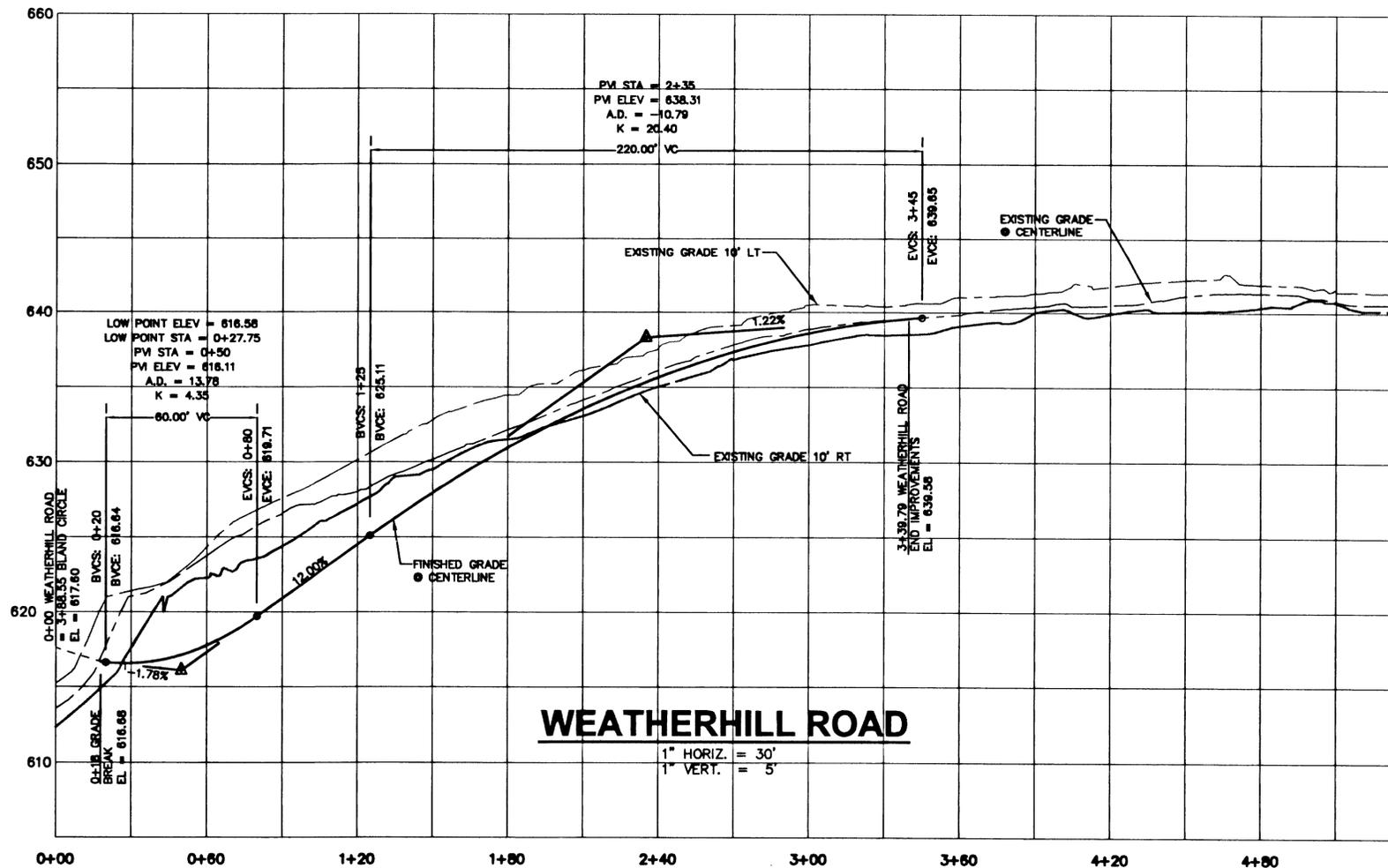
CONSULTING ENGINEERING SERVICES, INC.
 13236 N.W. GREENBRIER PARKWAY
 BEAVERTON, OR 97008 (503) 690-6600



REVISIONS	DATE	BY
1. REVISED PER CITY COMMENTS J. 3/19/98	J.D.	J.D.
2. REVISED FOR BLAND ROAD EXTENSION J. 7/21/98	J.D.	J.D.
3. RECORD DRAWING J. 10/7/98	J.D.	J.D.

STREET PROFILES
BLAND CIRCLE

SHEET
PB 7
 OF
PB17



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Carl E. Jensen
 CARL E. JENSEN DATE: 10/9/98
 RENEWS: 6/30/99

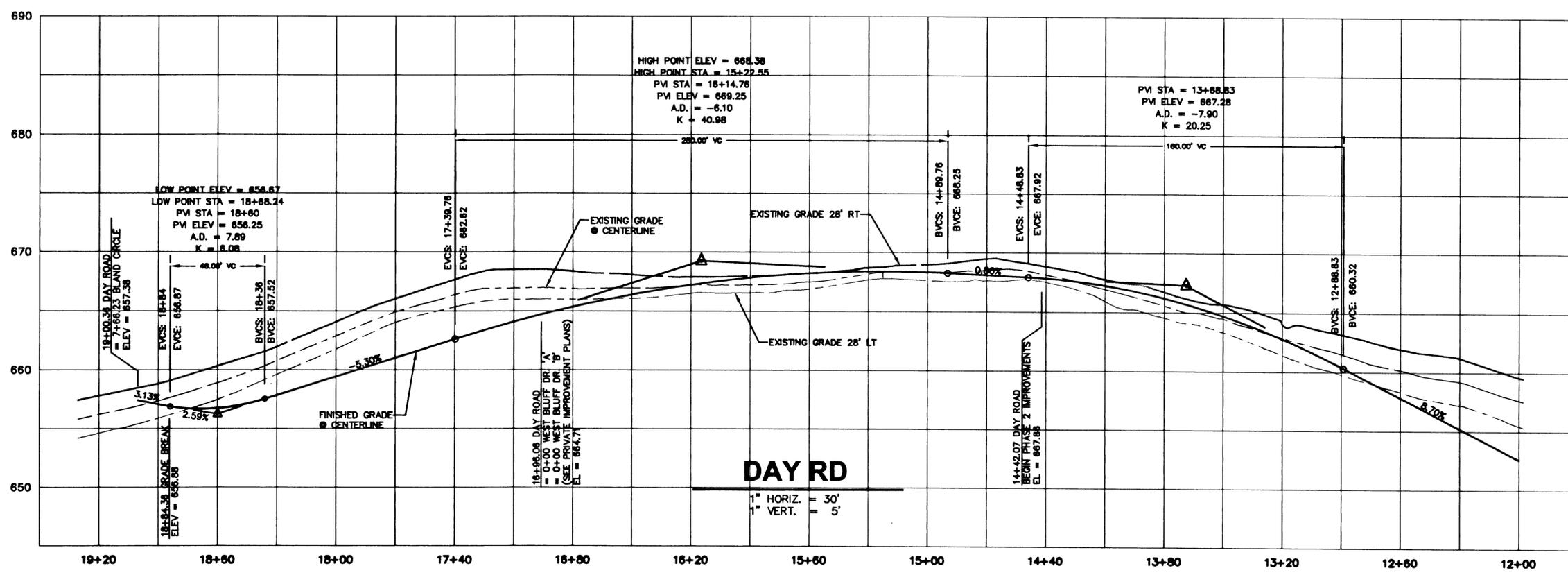
CONSULTING ENGINEERING SERVICES
 JUN 13 2000



CASCADE SUMMIT PH. 2
 CASE FILE NO. DR-97-13

SIMPSON HOUSING LIMITED PARTNERSHIP
 1226 16TH AVENUE WEST, SUITE 100
 SEATTLE, WA 98119
 (206) 286-9117

CONSULTING ENGINEERING SERVICES, INC.
 15256 N.W. GREENBRIER PARKWAY
 BEAVERTON, OR 97008 (503) 690-6600



REVISIONS
 1. REVISED PER CITY COMMENTS J. 3/19/98
 2. REVISED FOR BLAND CIRCLE EXTENSION J. 7/21/98
 3. RECORD DRAWING J. 10/7/98

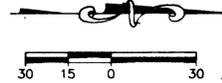
PROJECT NO.: 1065
 DATE: 1/2/98
 DESIGNED BY: DJ
 DRAWN BY: DJ

SHEET
PB 8
 OF
PB17

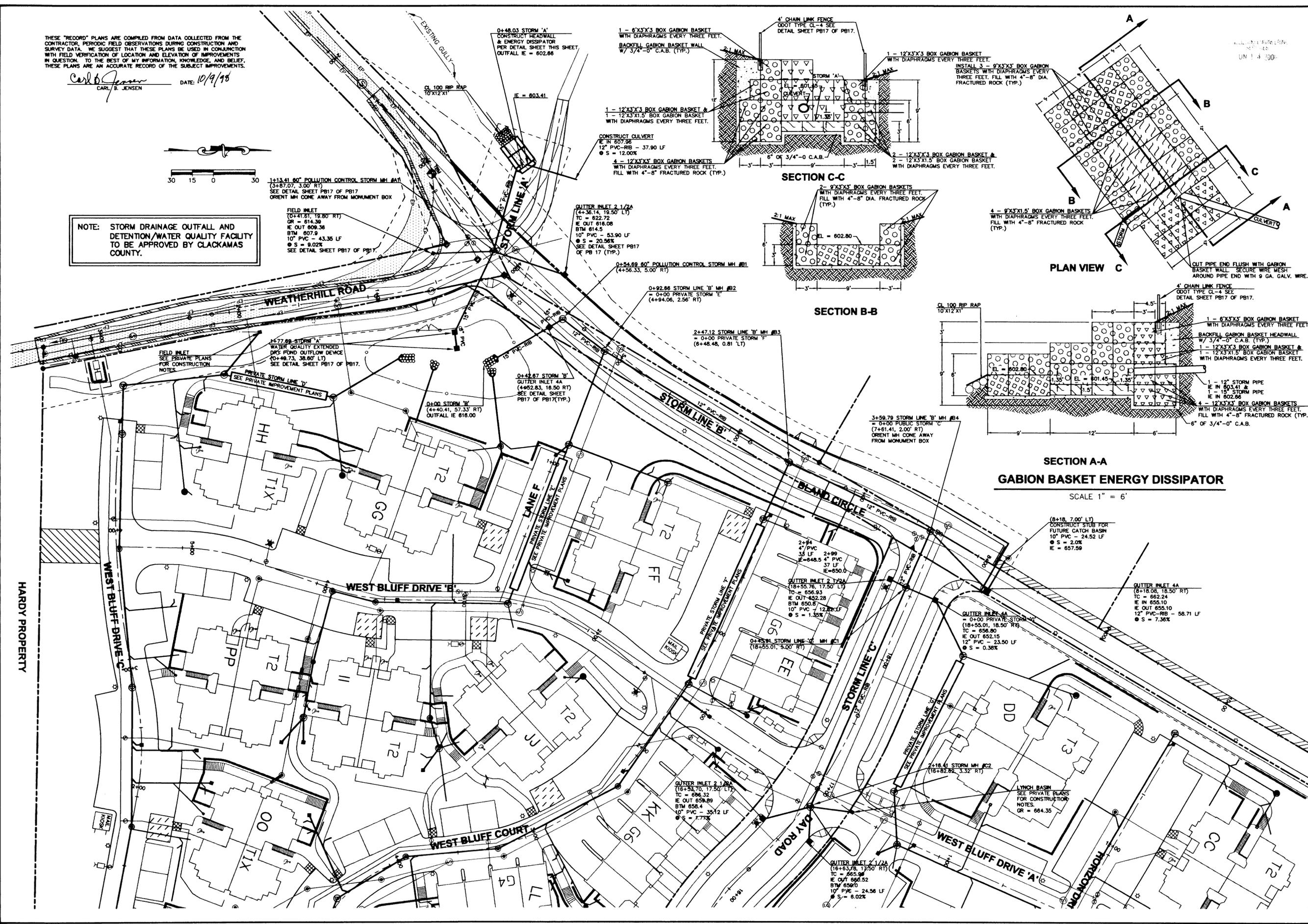
STREET PROFILES
 WEATHERHILL RD, & DAY RD.

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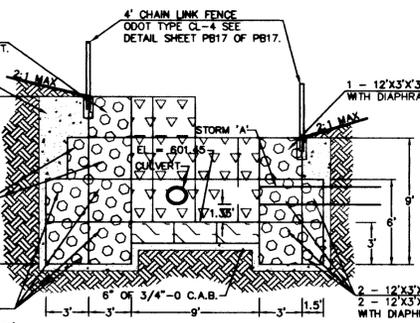
Carl B. Jensen DATE: 10/9/98
CARL B. JENSEN



NOTE: STORM DRAINAGE OUTFALL AND DETENTION/WATER QUALITY FACILITY TO BE APPROVED BY CLACKAMAS COUNTY.



1 - 6'X3'X3' BOX GABION BASKET WITH DIAPHRAGMS EVERY THREE FEET. BACKFILL GABION BASKET WALL W/ 3/4" - 0" C.A.B. (TYP.)



SECTION C-C

1 - 12'X3'X3' BOX GABION BASKET & 1 - 12'X3'X1.5' BOX GABION BASKET WITH DIAPHRAGMS EVERY THREE FEET.

CONSTRUCT CULVERT
12" PVC-RIB - 37.90 LF
S = 12.00%

4 - 12'X3'X3' BOX GABION BASKETS WITH DIAPHRAGMS EVERY THREE FEET. FILL WITH 4"-8" FRACTURED ROCK (TYP.)

GUTTER INLET 2 1/2A
(4+38.14, 19.50' LT)
TC = 622.72
IE OUT 618.08
BTM 614.5
10" PVC - 53.90 LF
S = 20.56%

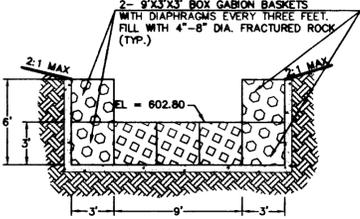
SEE DETAIL SHEET PB17 OF PB17 (TYP.)

0+54.69 60" POLLUTION CONTROL STORM MH #B1
(4+56.33, 5.00' RT)

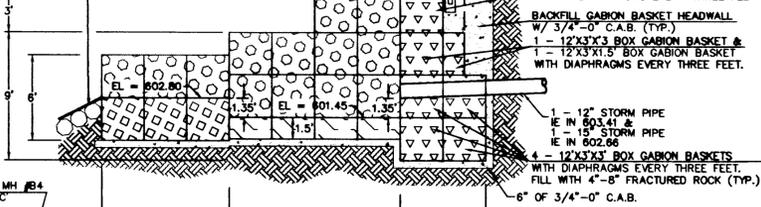
0+92.86 STORM LINE 'B' MH #B2
= 0+00 PRIVATE STORM 'E'
(4+94.06, 2.56' RT)

SECTION B-B

2+47.12 STORM LINE 'B' MH #B3
= 0+00 PRIVATE STORM 'F'
(6+48.48, 0.81' LT)



CL 100 RIP RAP TO X12 X1'



SECTION A-A
GABION BASKET ENERGY DISSIPATOR

SCALE 1" = 6'

(8+18, 7.00' LT)
CONSTRUCT STUB FOR FUTURE CATCH BASIN
10" PVC - 24.52 LF
S = 2.0%

GUTTER INLET 4A
(8+18.08, 18.50' RT)
TC = 662.24
IE IN 655.10
IE OUT 655.10
12" PVC-RIB - 58.71 LF
S = 7.36%

GUTTER INLET 4A
= 0+00 PRIVATE STORM 'G'
(18+55.01, 18.50' RT)
TC = 656.80
IE OUT 652.15
12" PVC - 23.50 LF
S = 0.38%

GUTTER INLET 2 1/2A
(16+53.70, 17.50' LT)
TC = 666.32
IE OUT 659.89
BTM 656.4
10" PVC - 35.12 LF
S = 1.77%

GUTTER INLET 2 1/2A
(16+53.70, 17.50' RT)
TC = 665.96
IE OUT 660.52
BTM 659.0
10" PVC - 24.56 LF
S = 6.02%



CASCADE SUMMIT PH. 2

CASE FILE NO. DR-97-13
SIMPSON HOUSING LIMITED PARTNERSHIP
1228 16TH AVENUE WEST, SUITE 100
SEATTLE, WA 98119
(206) 286-9117

CONSULTING ENGINEERING SERVICES, INC.
13256 N.W. GREENBRIER PARKWAY
BEAVERTON, OR 97008 (503) 960-9600



REVISIONS
1. REVISED FOR BLAND CIRCLE EXTENSION - J 7/21/98
2. RECORD DRAWING - J 10/7/98

PROJECT NO. 1085
DATE 1/9/98
DESIGNED BY JCU
DRAWN BY JCU

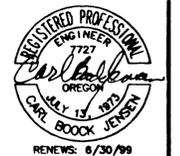
SHEET

PB 9
OF
PB17

STORM SEWER
PLAN

HARDY PROPERTY

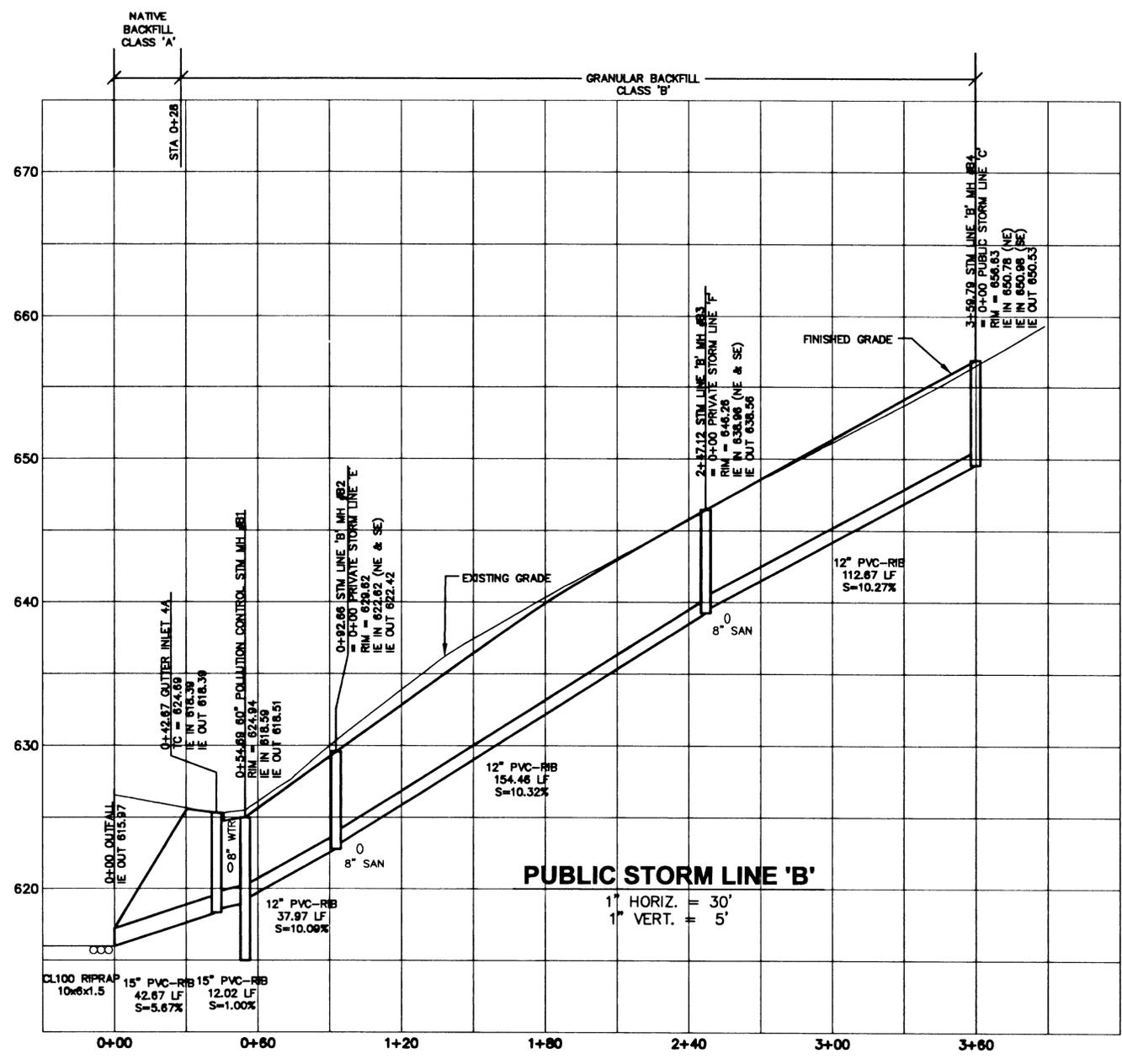
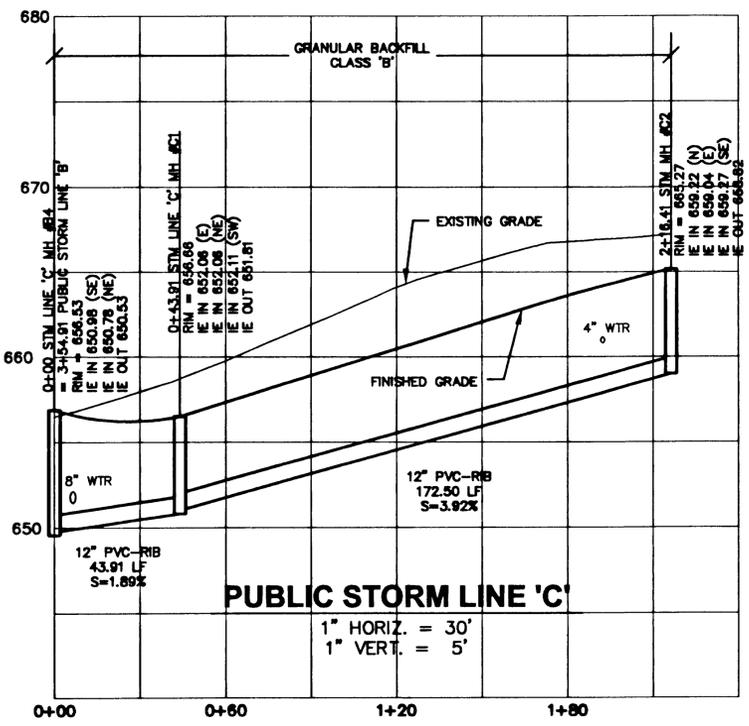
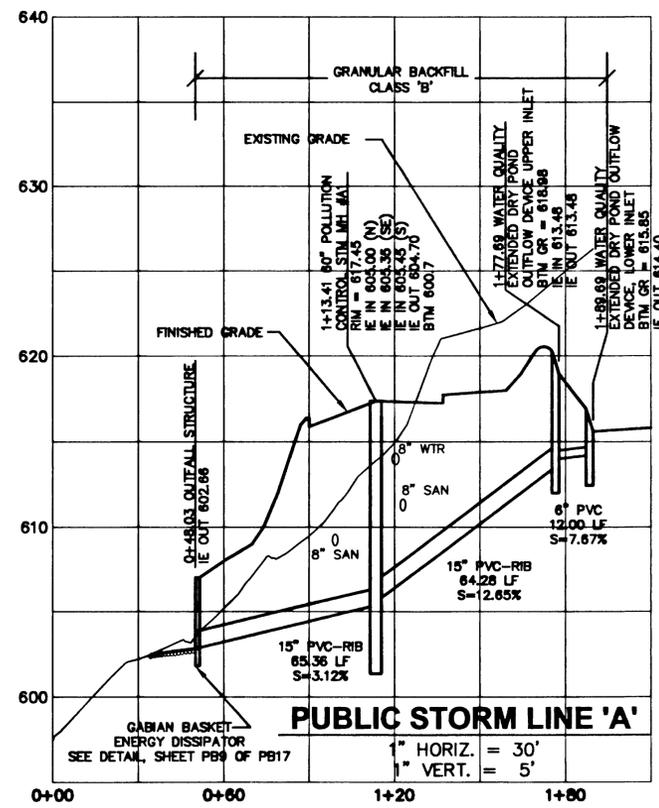
1085-P08.DWG



THESE "RECORD" PLANS ARE COMPILED FROM DATA COLLECTED FROM THE CONTRACTOR, PERIODIC FIELD OBSERVATIONS DURING CONSTRUCTION AND SURVEY DATA. WE SUGGEST THAT THESE PLANS BE USED IN CONJUNCTION WITH FIELD VERIFICATION OF LOCATION AND ELEVATION OF IMPROVEMENTS IN QUESTION. TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF, THESE PLANS ARE AN ACCURATE RECORD OF THE SUBJECT IMPROVEMENTS.

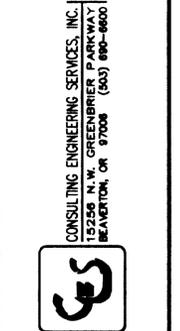
Carl B. Jensen
CARL B. JENSEN DATE: 10/9/95

SCALE: AS SHOWN
DATE: 10/9/95



CASCADE SUMMIT PH. 2

CASE FILE NO. DR-97-13
SIMPSON HOUSING LIMITED PARTNERSHIP
1226 16TH AVENUE WEST, SUITE 100
SEATTLE, WA 98119
(206) 286-9117

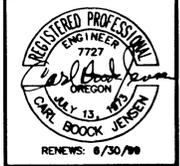


REVISIONS	DATE	BY
1. REVISED PER CITY COMMENTS	JJ 3/19/98	JJ
2. REVISED FOR BLIND CIRCLE EXTENSION	JJ 7/21/98	JJ
3. RECORD DRAWING	JJ 10/7/98	JJ

PROJECT NO.: 1065
DATE: 1/29/98
DRAWN BY: JJ
DESIGNED BY: JJ

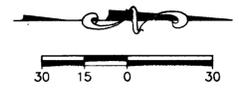
SHEET
PB10
OF
PB17

1085-P10.DWG



THESE "RECORD" PLANS ARE COMPILED FROM DATA COLLECTED FROM THE CONTRACTOR, PERIODIC FIELD OBSERVATIONS DURING CONSTRUCTION AND SURVEY DATA. WE SUGGEST THAT THESE PLANS BE USED IN CONJUNCTION WITH FIELD VERIFICATION OF LOCATION AND ELEVATION OF IMPROVEMENTS IN QUESTION. TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF, THESE PLANS ARE AN ACCURATE RECORD OF THE SUBJECT IMPROVEMENTS.

Carl B. Jensen DATE: 10/9/98
CARL B. JENSEN



CONSULTING ENGINEERING SERVICES
SERVICES
UN 13 2000

CASCADE SUMMIT PH. 2
CASE FILE NO. DR-97-13
SIMPSON HOUSING LIMITED PARTNERSHIP
1226 16TH AVENUE WEST, SUITE 100
SEATTLE, WA 98119
(206) 286-9117

CONSULTING ENGINEERING SERVICES, INC.
15255 N.W. GREENBRIER PARKWAY
BEAVERTON, OR 97008 (503) 680-8600



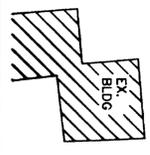
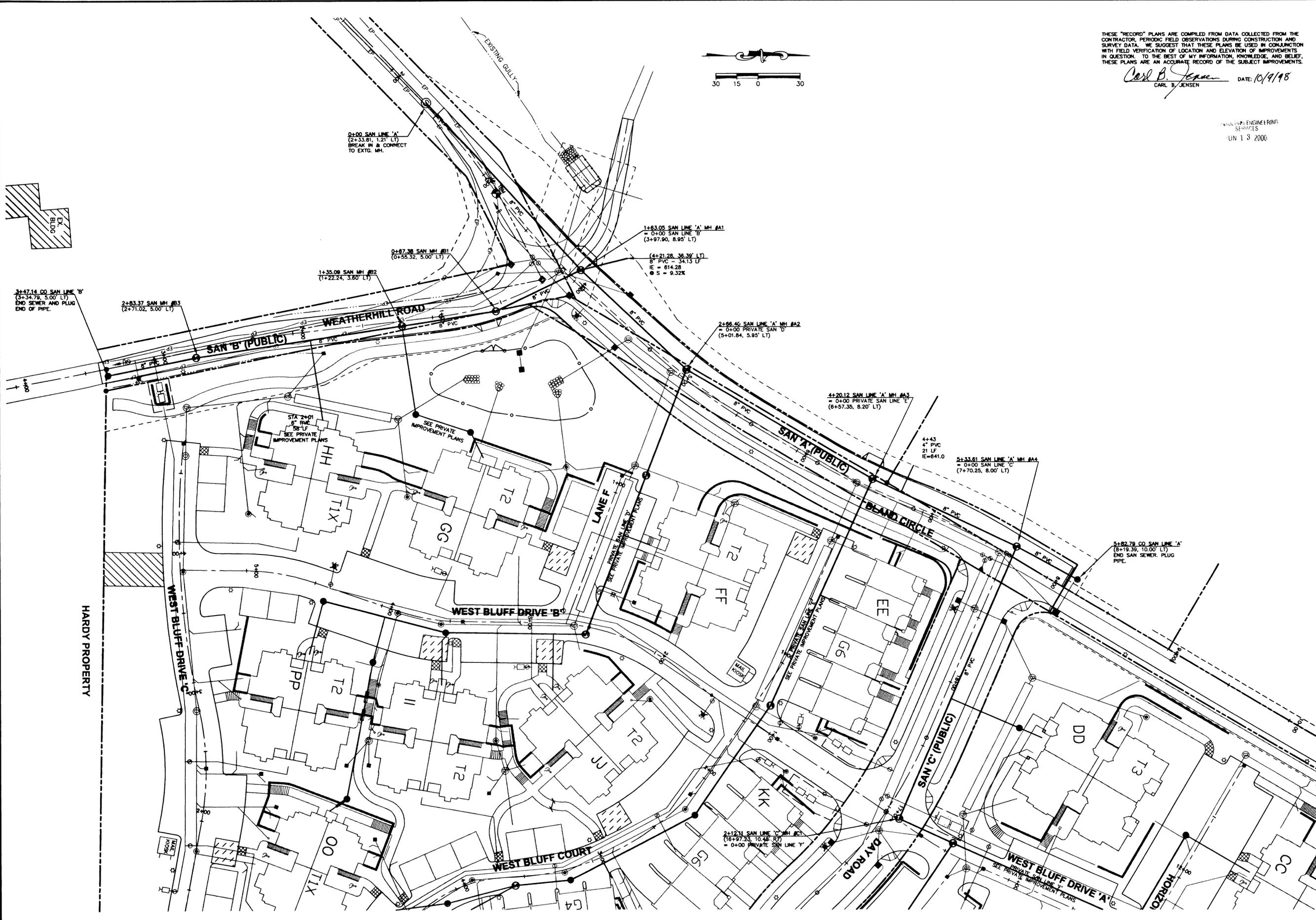
REVISIONS
1. REVISED PER CITY COMMENTS J. 3/19/98
2. REVISED FOR BLAND CIRCLE EXTENSION J. 7/21/98
3. RECORD DRAWING J. 10/7/98

1085-P11.DWG

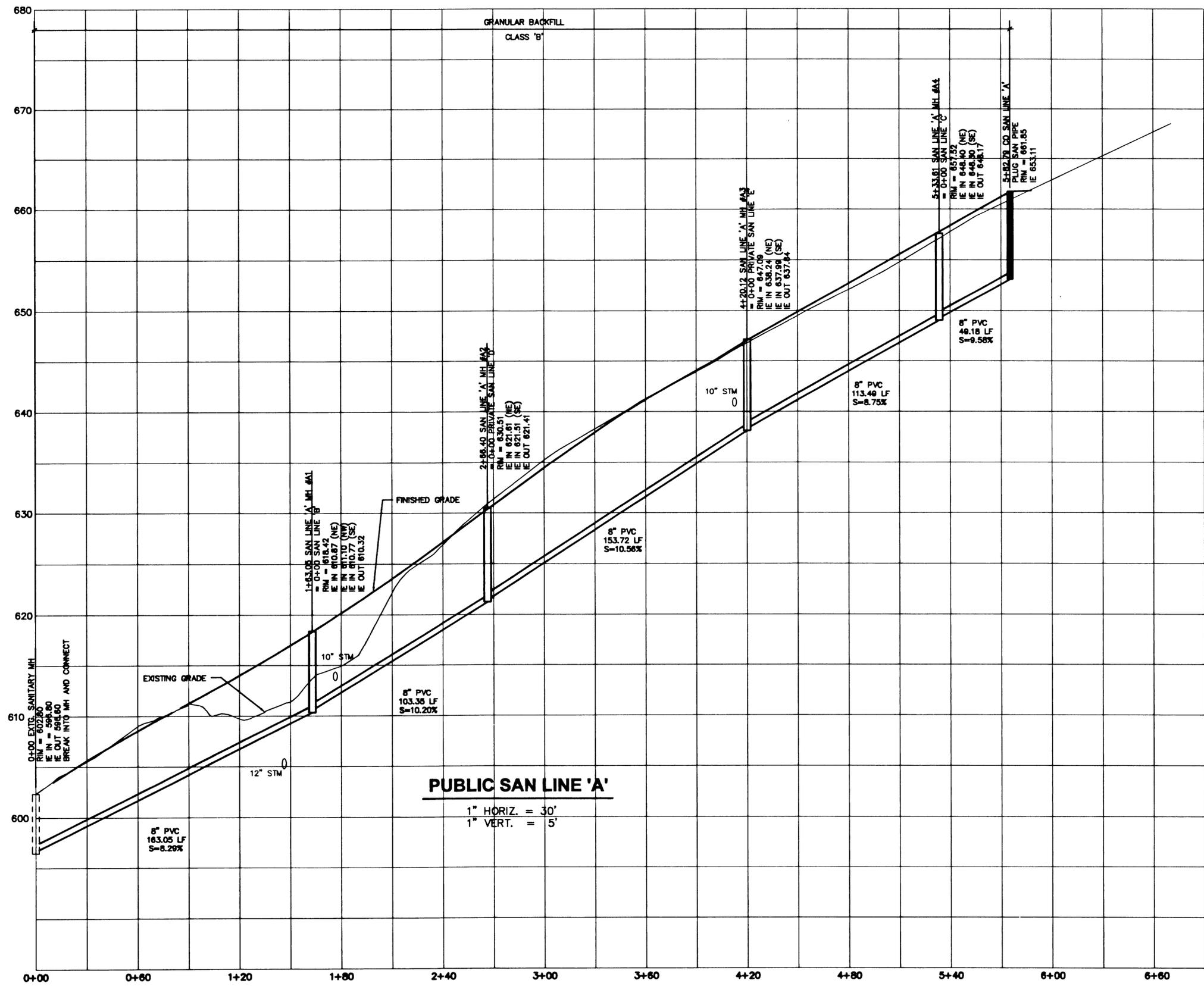
PROJECT NO. 1085
DATE 1/8/98
DESIGNED BY JCU
DRAWN BY JCU

SHEET
PB11
OF
PB17

**SANITARY
SEWER PLAN**



HARDY PROPERTY



THESE "RECORD" PLANS ARE COMPILED FROM DATA COLLECTED FROM THE CONTRACTOR, PERIODIC FIELD OBSERVATIONS DURING CONSTRUCTION AND SURVEY DATA. WE SUGGEST THAT THESE PLANS BE USED IN CONJUNCTION WITH FIELD VERIFICATION OF LOCATION AND ELEVATION OF IMPROVEMENTS IN QUESTION. TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF, THESE PLANS ARE AN ACCURATE RECORD OF THE SUBJECT IMPROVEMENTS.

Carl Jensen
 CARL J. JENSEN
 DATE: 10/9/98



CASCADE SUMMIT PH. 2
 CASE FILE NO. DR-97-13
 SIMPSON HOUSING LIMITED PARTNERSHIP
 1226 18TH AVENUE WEST, SUITE 100
 SEATTLE, WA 98119
 (206) 286-9117

CONSULTING ENGINEERING SERVICES, INC.
 1226 W. W. PEARSON BLVD.
 BENTON, OR 97008 (503) 666-6601



REVISIONS	1/29/98	1/29/98
1. REVISED PER CITY COMMENTS JJ 3/19/98	CSJ	CSJ
2. REVISED FOR BAND SINGLE EXTENSION JJ 7/21/98		
3. RECORD DRAWING JJ 10/7/98		

PROJECT NO.: 1085
 DATE: 1/29/98
 DRAWN BY: CSJ

SANITARY PROFILES

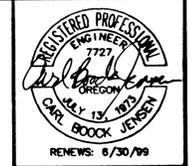
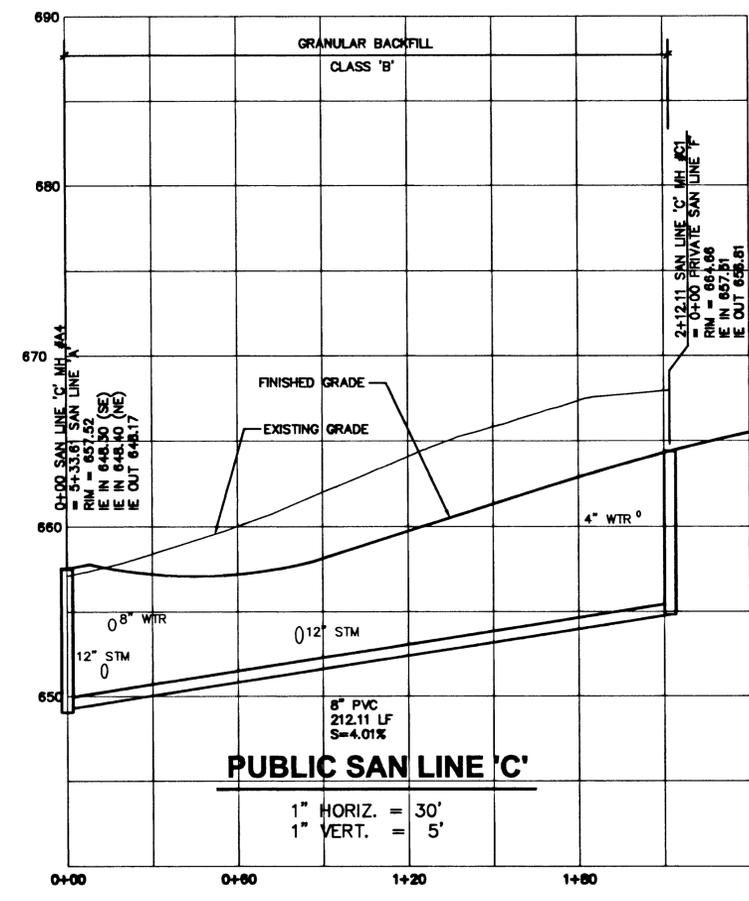
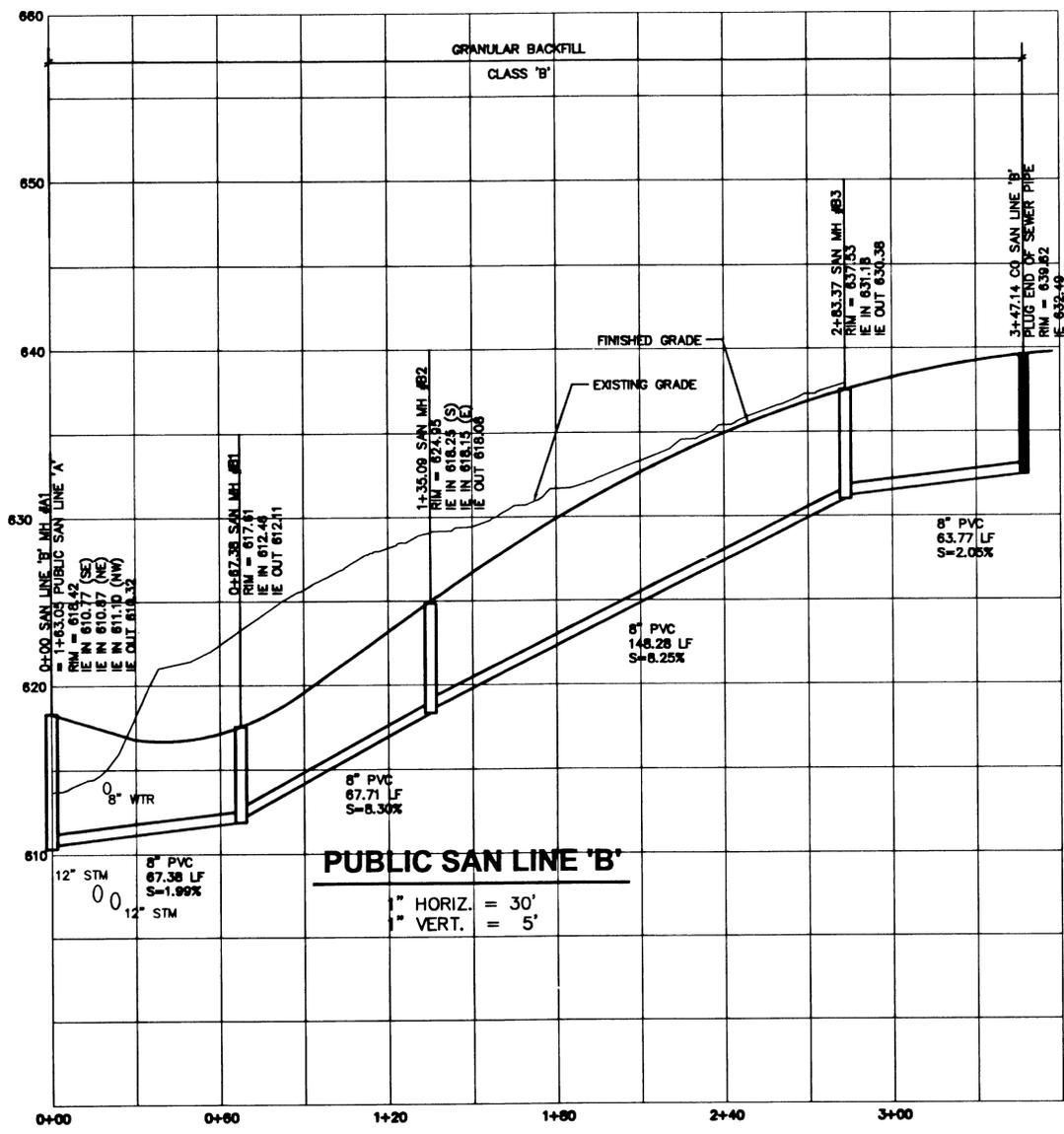
SHEET
PB12
 OF
PB17

THESE "RECORD" PLANS ARE COMPILED FROM DATA COLLECTED FROM THE CONTRACTOR, PERIODIC FIELD OBSERVATIONS DURING CONSTRUCTION AND SURVEY DATA. WE SUGGEST THAT THESE PLANS BE USED IN CONJUNCTION WITH FIELD VERIFICATION OF LOCATION AND ELEVATION OF IMPROVEMENTS IN QUESTION. TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF, THESE PLANS ARE AN ACCURATE RECORD OF THE SUBJECT IMPROVEMENTS.

Carl B. Jensen
 REGISTERED PROFESSIONAL ENGINEER
 OREGON
 7727
 CARL B. BOOCK JENSEN
 RENEWS: 6/30/99

DATE: 10/9/98
 CARL B. JENSEN

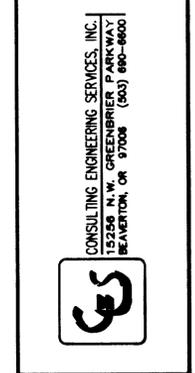
REGISTERED PROFESSIONAL ENGINEER
 DATE: 10/9/98



CASCADE SUMMIT PH. 2

CASE FILE NO. DR-97-13

SIMPSON HOUSING LIMITED PARTNERSHIP
 1226 16TH AVENUE WEST, SUITE 100
 SEATTLE, WA 98119
 (206) 286-9117



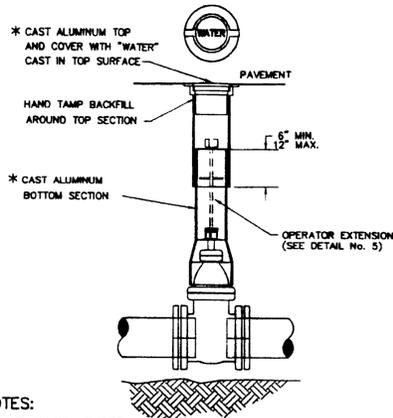
REVISIONS

NO.	DATE	DESCRIPTION
1	3/19/98	REVISED PER CITY COMMENTS
2	7/21/98	REVISED FOR BRAND CIRCLE EXTENSION
3	10/7/98	RECORD DRAWING

DATE: 1/9/98
 DRAWN BY: JSJ

SANITARY PROFILES

SHEET
PB13
 OF
PB17



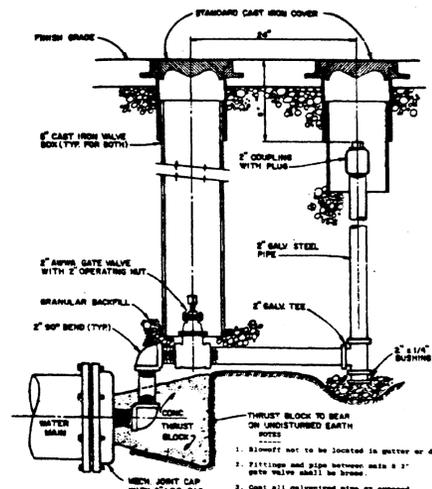
NOTES:

- 1) VALVE BOX NOT TO REST ON OPERATING ASSEMBLY.
- 2) OPERATOR EXTENSION REQUIRED WHEN VALVE NUT IS DEEPER THAN 3 FEET FROM FINISHED GRADE.
- 3) CENTER VALVE BOX ON AXIS OF OPER. NUT.
- 4) PROVIDE 24" SQUARE BY 4" THICK CONCRETE PAD AROUND VALVE BOX OUTSIDE OF PAVED AREAS
- 5) VALVE BOX COVER SHALL BE A MINIMUM OF 4 1/2" IN LENGTH

* MANUFACTURED BY:
METER BOX EQUIPMENT
VALVE BOX COVER NO. VBC
VALVE BOX TOP NO. VBT
VALVE BOX BOTTOM NO. VBB

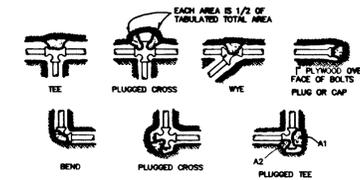
TYPICAL GATE VALVE SETTING

NTS



2" BLOWOFF

NTS



NOTES:

1. CONCRETE THRUST BLOCKING TO BE POURED AGAINST UNDISTURBED EARTH.
2. KEEP CONCRETE CLEAR OF JOINT AND ACCESSORIES.
3. IF NOT SHOWN ON PLANS REQUIRED BEARING AREAS AT FITTING SHALL BE AS INDICATED BELOW. ADJUSTED IF NECESSARY TO CONFORM TO THE TEST PRESSURES AND ALLOWABLE SOIL BEARING STRESSES STATED IN THE SPECIAL SPECIFICATIONS.
4. BEARING AREAS AND SPECIAL BLOCKING DETAILS SHOWN ON PLANS TAKE PRECEDENCE OVER BEARING AREAS AND BLOCKING DETAILS SHOWN ON THIS STANDARD DETAIL.
5. BUILDING PAPER OR VESICURE SHALL BE PLACED BETWEEN CONCRETE AND FITTINGS.
6. ALL POUR IN PLACED CONCRETE SHALL HAVE A (28) DAY STRENGTH OF 3,000 P.S.I. AND 2" TO 4" SLUMP.
7. ALLOW BEARING AREAS BASED ON TEST PRESSURE OF 180 P.S.I. AND AN ALLOWABLE SOIL BEARING STRESS OF 2,000 POUNDS PER SQUARE FOOT. TO COMPUTE BEARING AREAS FOR DIFFERENT TEST PRESSURES AND SOIL BEARING STRESSES, USE THE FOLLOWING EQUATION: BEARING AREA = (TEST PRESSURE/180) X (2000/SOIL BEARING STRESS) X (TABLE VALUE).

FITTING SIZE	TEE, WYE, PLUG, OR CAP	90° BEND PLUGGED CROSS	TEE PLUGGED ON RUN	45° BEND	22 1/2° BEND	11 1/4° BEND
1/2"	1.0	1.0	1.0	1.0	1.0	1.0
3/4"	1.0	1.0	1.0	1.0	1.0	1.0
1"	1.0	1.0	1.0	1.0	1.0	1.0
1 1/4"	1.0	1.0	1.0	1.0	1.0	1.0
1 1/2"	1.0	1.0	1.0	1.0	1.0	1.0
2"	1.0	1.0	1.0	1.0	1.0	1.0
2 1/2"	1.0	1.0	1.0	1.0	1.0	1.0
3"	1.0	1.0	1.0	1.0	1.0	1.0
4"	1.0	1.0	1.0	1.0	1.0	1.0
6"	1.0	1.0	1.0	1.0	1.0	1.0
8"	1.0	1.0	1.0	1.0	1.0	1.0
10"	1.0	1.0	1.0	1.0	1.0	1.0
12"	1.0	1.0	1.0	1.0	1.0	1.0
15"	1.0	1.0	1.0	1.0	1.0	1.0
18"	1.0	1.0	1.0	1.0	1.0	1.0
24"	1.0	1.0	1.0	1.0	1.0	1.0

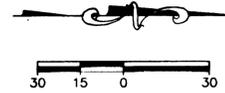
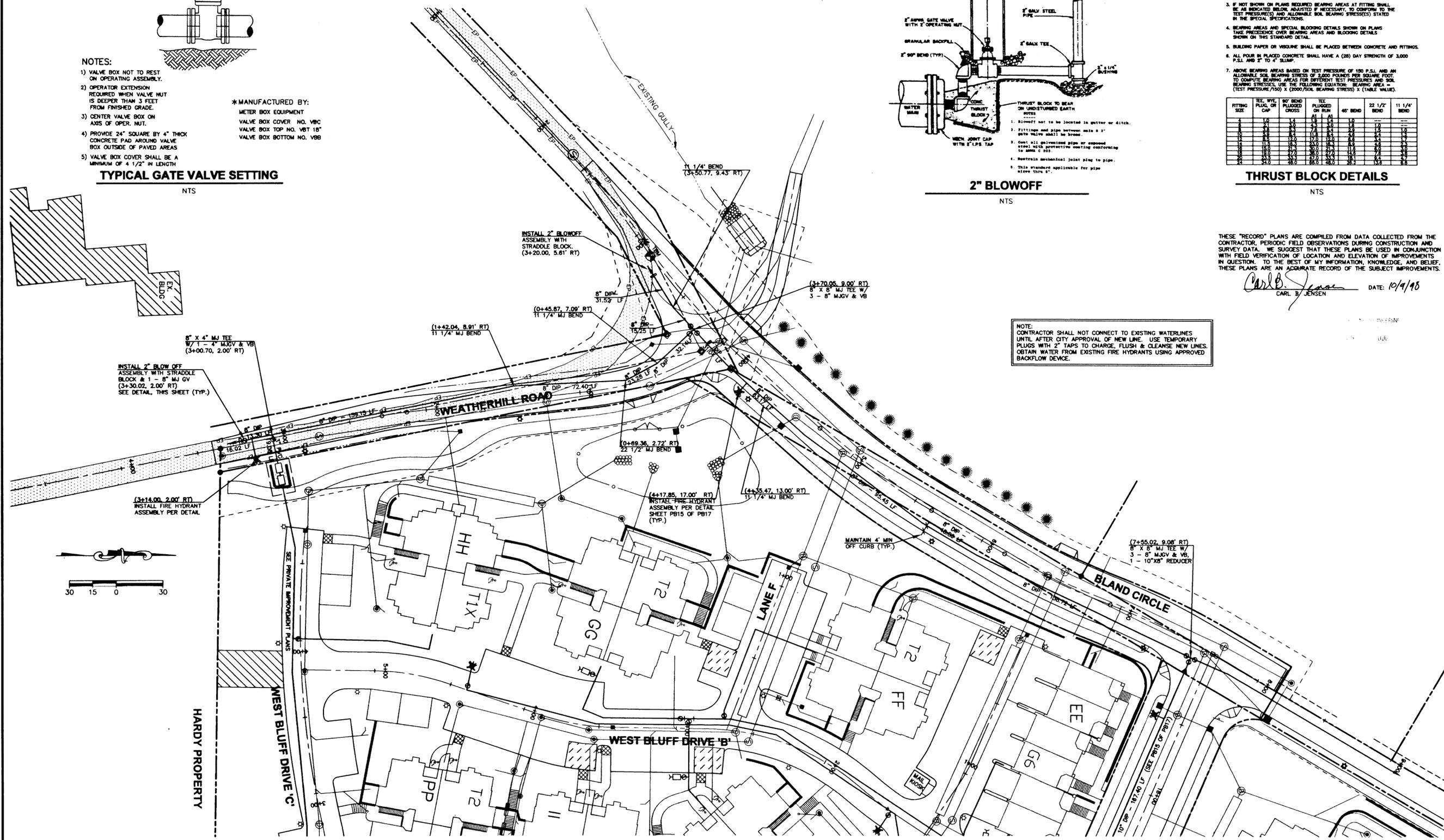
THRUST BLOCK DETAILS

NTS

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Carl B. Jensen DATE: 10/9/98
CARL B. JENSEN

NOTE:
CONTRACTOR SHALL NOT CONNECT TO EXISTING WATERLINES UNTIL AFTER CITY APPROVAL OF NEW LINE. USE TEMPORARY PLUGS WITH 2" TAPS TO CHARGE, FLUSH & CLEANSE NEW LINES. OBTAIN WATER FROM EXISTING FIRE HYDRANTS USING APPROVED BACKFLOW DEVICE.



CASCADE SUMMIT PH. 2
CASE FILE NO. DR-97-13

SIMPSON HOUSING LIMITED PARTNERSHIP
1226 16TH AVENUE WEST, SUITE 100
SEATTLE, WA 98119
(206) 286-9117

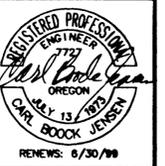
CONSULTING ENGINEERING SERVICES, INC.
15225 N.W. GREENBRIER PARKWAY
BEAVERTON, OR 97008 (503) 680-6600

REVISIONS	DATE	BY	DESCRIPTION
1.	3/19/98	JU	REVISED PER CITY COMMENTS
2.	7/21/98	JU	REVISED FOR BLAND CIRCLE EXTENSION
3.	10/7/98	JU	RECORD DRAWING

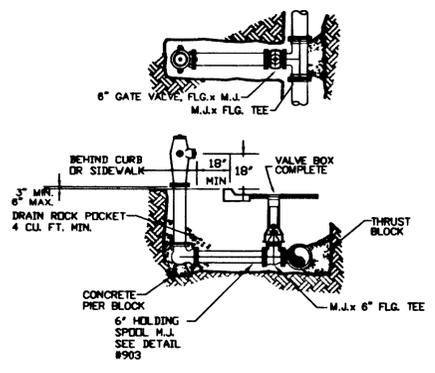
PROJECT NO. 1065
DATE 1/8/98
DRAWN BY JU
SHEET **PB14**
OF **PB17**
WATER PLAN

THESE "RECORD" PLANS ARE COMPILED FROM DATA COLLECTED FROM THE CONTRACTOR, PERIODIC FIELD OBSERVATIONS DURING CONSTRUCTION AND SURVEY DATA. WE SUGGEST THAT THESE PLANS BE USED IN CONJUNCTION WITH FIELD VERIFICATION OF LOCATION AND ELEVATION OF IMPROVEMENTS IN QUESTION. TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF, THESE PLANS ARE AN ACCURATE RECORD OF THE SUBJECT IMPROVEMENTS.

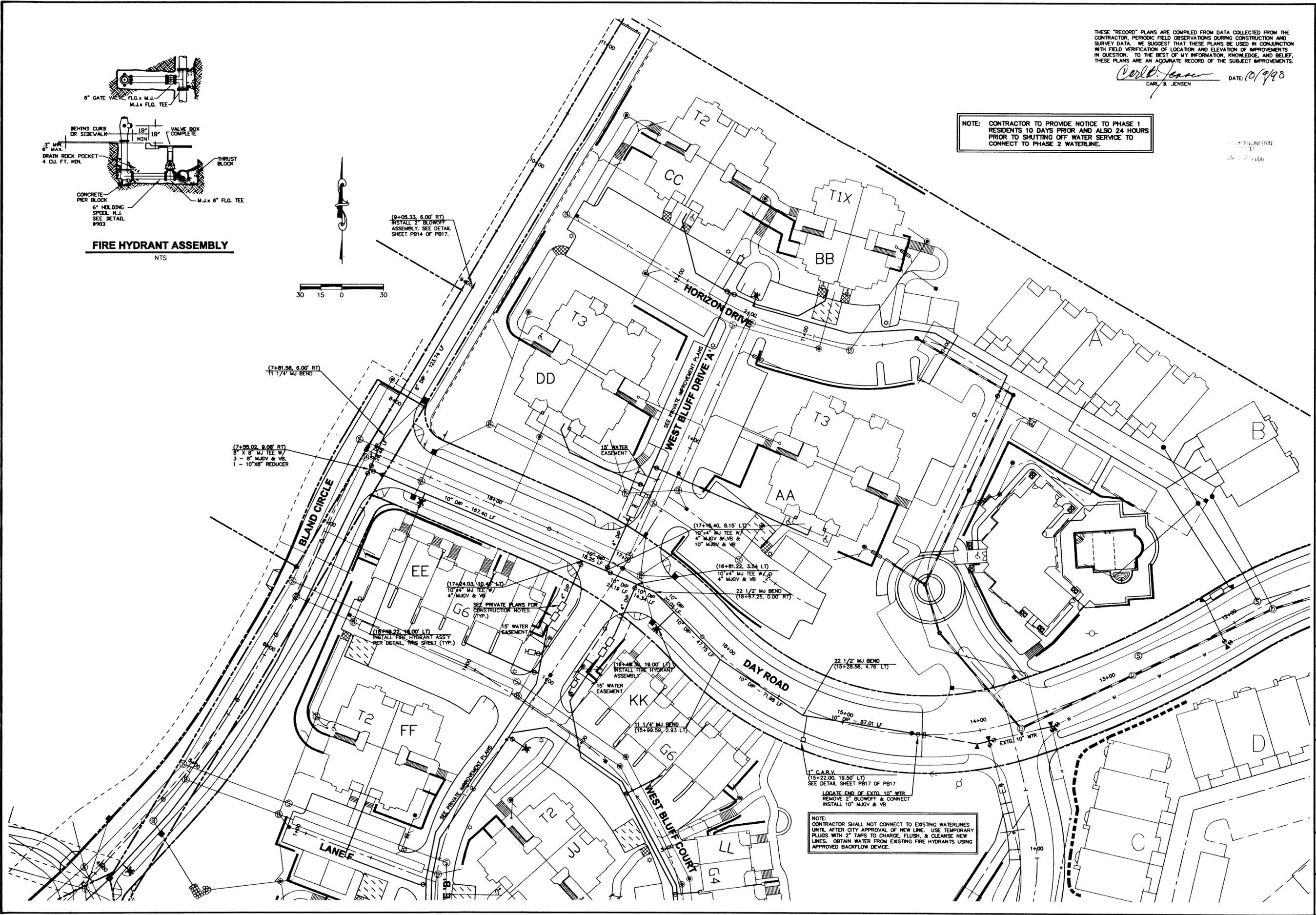
Carl B. Jensen
 CARL B. JENSEN DATE: 10/19/98



NOTE: CONTRACTOR TO PROVIDE NOTICE TO PHASE 1 RESIDENTS 10 DAYS PRIOR AND ALSO 24 HOURS PRIOR TO SHUTTING OFF WATER SERVICE TO CONNECT TO PHASE 2 WATERLINE.



FIRE HYDRANT ASSEMBLY
 NTS



NOTE: CONTRACTOR SHALL NOT CONNECT TO EXISTING WATERLINES UNTIL AFTER CITY APPROVAL OF NEW LINE. USE TEMPORARY PLUGS WITH 2" TAPS TO CHARGE, FLUSH, & CLEANSE NEW LINES. OBTAIN WATER FROM EXISTING FIRE HYDRANTS USING APPROVED BACKFLOW DEVICE.

CASCADE SUMMIT PH. 2
 CASE FILE NO. DR-97-13

SIMPSON HOUSING LIMITED PARTNERSHIP
 1226 16TH AVENUE WEST, SUITE 100
 SEATTLE, WA 98119
 (206) 286-9117

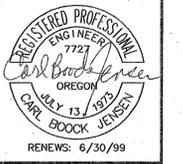
CONSULTING ENGINEERING SERVICES, INC.
 15250 N.W. GREENBRIER PARKWAY
 BEAVERTON, OR 97006 (503) 690-6600



REVISIONS	DATE	BY	COMMENTS
1.	3/19/98	JU	REVISED PER CITY COMMENTS
2.	10/7/98	JU	RECORD DRAWING

PROJECT NO.	1065
DATE	1/29/98
DRAWN BY	JU

WATER PLAN
 SHEET
PB15
 OF
PB17



CASCADE SUMMIT PH. 2
 CASE FILE NO. DR-97-13
 SIMPSON HOUSING LIMITED PARTNERSHIP
 310 SECOND AVENUE WEST
 SEATTLE, WA 98119
 (206) 286-9117

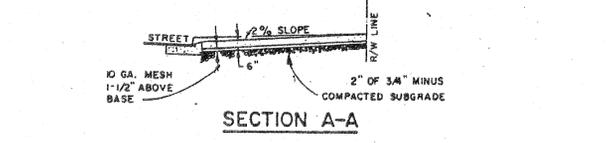
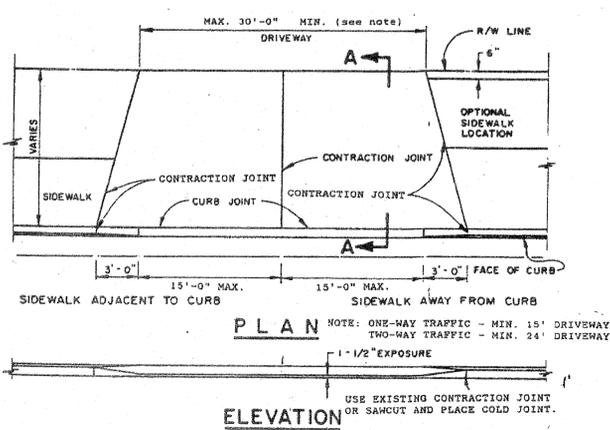
CONSULTING ENGINEERING SERVICES, INC.
 15226 N.W. GREENBRIER PARKWAY
 BEAVERTON, OR 97006 (503) 690-6600



REVISIONS
 PROJECT NO.: 1065
 DATE: 1/8/98
 DRAWN BY: JDU
 DESIGNED BY: JDU

DETAILS

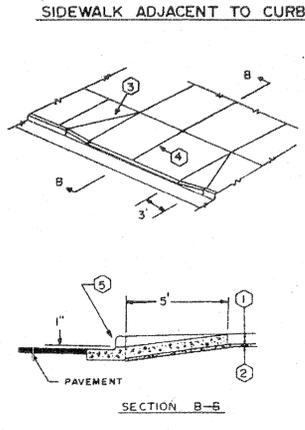
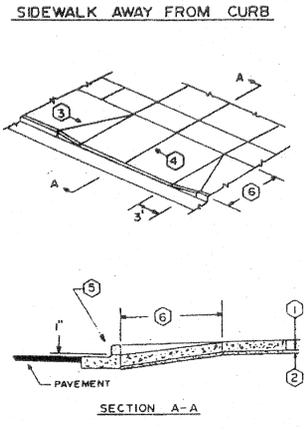
SHEET
PB16
 OF
PB17



1. CONCRETE SHALL HAVE A MINIMUM BREAKING STRENGTH OF 3000 PSI AFTER 28 DAYS, 6 SACK MIX.
2. CURB JOINT SHALL BE A TROWELED JOINT WITH A MIN. 1/2" RADIUS ALONG BACK OF CURB.
3. DRIVEWAY SHALL BE A MINIMUM 6" THICK.

COMMERCIAL DRIVEWAY

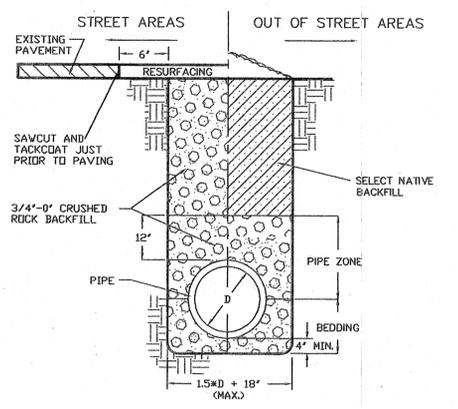
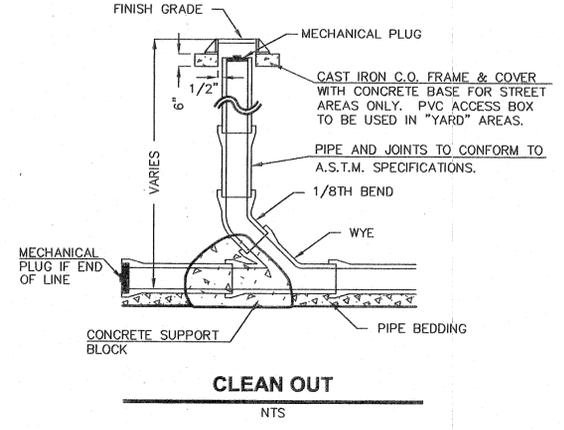
NTS



- 1 Min. thickness shall be 6".
- 2" of compacted 3/4"-0 aggregate, over compacted subgrade.
- 1" min. deep contraction joints shall be placed at sided of driveway approach.
- For a 20' driveway, a 1" deep contraction joint shall be placed at the center. An additional joint shall be installed for each additional 10' of driveway width.
- In areas of curb removal: For standard curb, excavation shall be extended to 16" below top of curb. For curb & gutter, excavation shall be extended to 16" below top of curb.
- For sidewalk less than 5' from back of curb, approach shall extend thru the sidewalk.
- Concrete shall have min. compression strength of 3000 PSI after 28 days.
- A curing compound is required. White reflective sheeting shall be used in case of rain.
- The surface finish shall be by cross brooming.

RESIDENTIAL DRIVEWAY

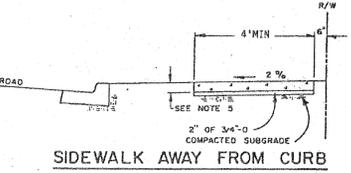
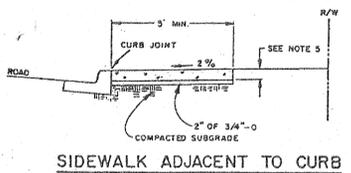
NTS



- BACKFILL IN STREET AREAS:
1. IF S/W IS AGAINST CURB, FILL ROCK TO BACK OF S/W
 2. IF S/W IS NOT AGAINST CURB, FILL ROCK 2' FROM BACK OF CURB.

TRENCH DETAIL

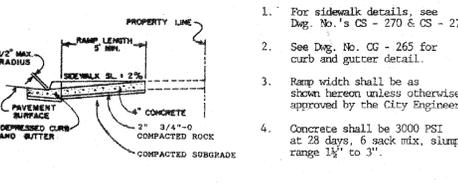
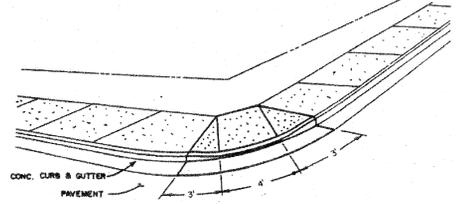
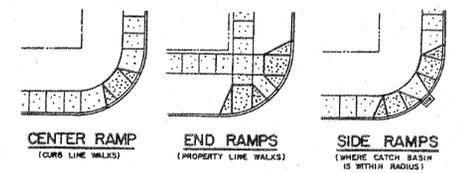
NTS



1. Concrete shall be 3000 PSI at 28 days, 6 sack mix, slump range of 1 1/2" to 2".
- Panel lengths shall be equal to the sidewalk width, but may be adjusted with the City Engineer's approval.
- Contraction joints (1 1/2" deep) shall be placed every third panel, with a max. spacing of 18 feet. Joints shall also be placed at the sides of driveway approaches, utility vaults, and wheelchair ramps.
- A curing compound shall be used. White reflective sheeting shall be used in case of rain.
- For sidewalks adjacent to the curb & poured at the same time as the curb, the joint between them shall be a troweled joint with a min. 1/2" radius.
- The sidewalk shall have a min. thickness of 6" if mountable curb is used or if the sidewalk is intended as a portion of the driveway. Otherwise, the sidewalk shall have a min. thickness of 4".
- Drain blockouts in the curb shall be extended to the back of the sidewalk with a 3" dia. plastic pipe at a 2% slope. A contraction joint shall be placed over the pipe.

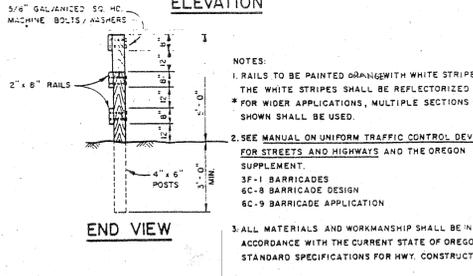
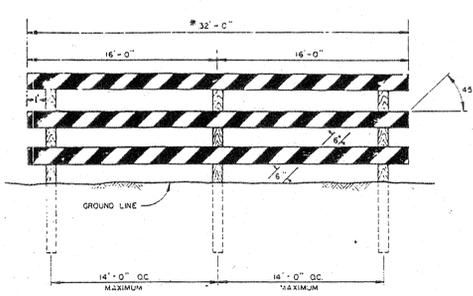
SIDEWALK DETAIL

NTS



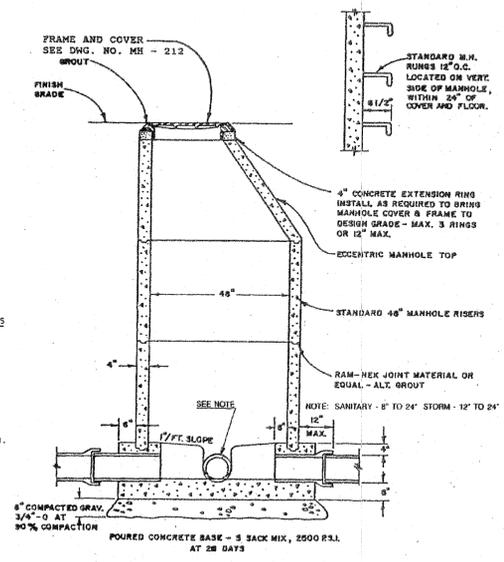
SIDEWALK RAMP

NTS



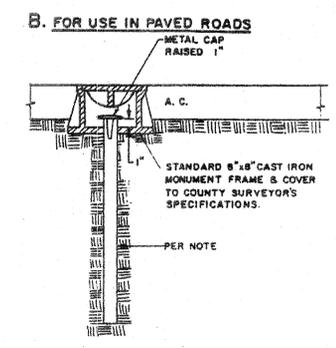
BARRICADE TYPE III

NTS



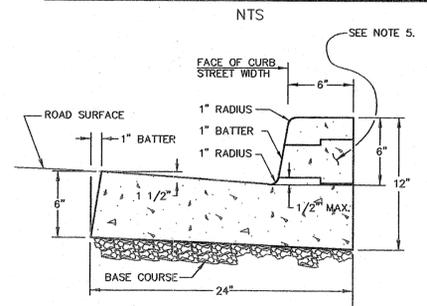
MANHOLE DETAIL

NTS



NOTE: ALL MONUMENTS SHALL USE EITHER 5/8" DIA. X 30" LONG IRON ROD OR 3/4" DIA. X 30" LONG IRON PIPE.
 ALL MONUMENTS SHALL BE IN ACCORDANCE WITH ORS 209.250(4).

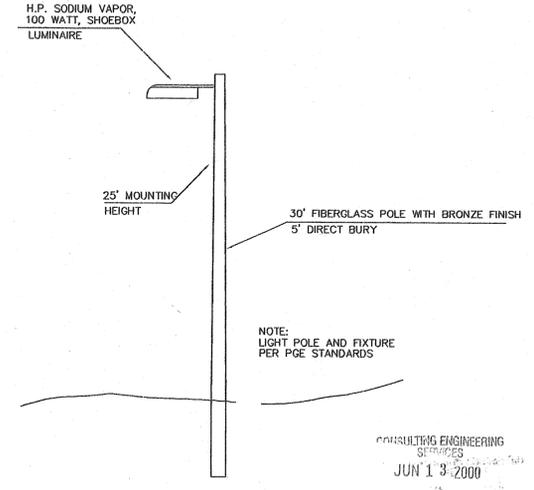
CENTERLINE SURVEY MONUMENT



1. CONCRETE SHALL HAVE A 28 DAY STRENGTH OF 3300 PSI.
2. EXPANSION JOINTS. A. TO BE PROVIDED: 1) AT EACH COLD JOINT. 2) AT EACH END OF DRIVEWAYS. 3) AT EACH SIDE OF INLET STRUCTURES. 4) AT EACH POINT OF TANGENCY OF THE CURB. 5) AT LOCATIONS NECESSARY TO LIMIT SPACING TO 45 FEET.
3. CONSTRUCTION JOINTS. A. SPACING TO BE NOT MORE THAN 15 FEET. B. THE DEPTH OF THE JOINT SHALL BE AT LEAST 1-1/2 INCHES.
4. BASE ROCK TO BE 1 1/2"-0 OR 3/4"-0 COMPACTED TO 95% OF AASHTO T-99 AND SHALL BE FULL DEPTH TO SUBGRADE.
5. DRAINAGE BLOCKOUT. A. 3" I.D. PLASTIC PIPE WITH COUPLING. B. DRAINAGE ACCESS THRU EXISTING CURB SHALL BE CORE DRILLED OR CURB SAW CUT VERTICALLY 18" EACH SIDE OF DRAINAGE AND REPOURED TO FULL DEPTH OF CURB.

STANDARD CURB AND GUTTER

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STREET LIGHT DETAIL

N.T.S.

CONSULTING ENGINEERING SERVICES, INC.
 JUN 13 2000

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