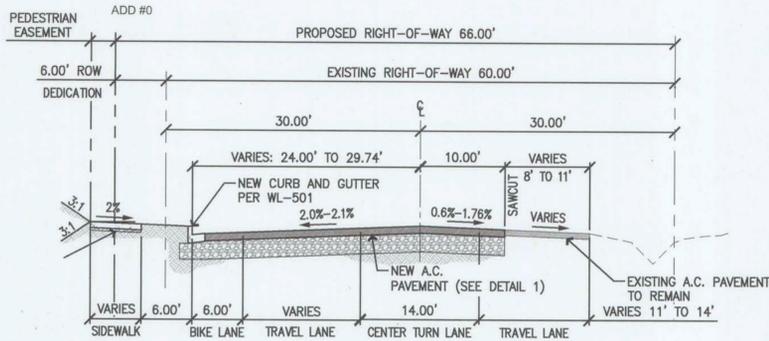
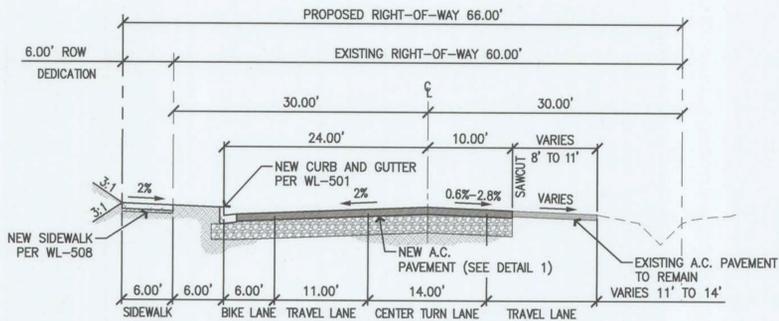


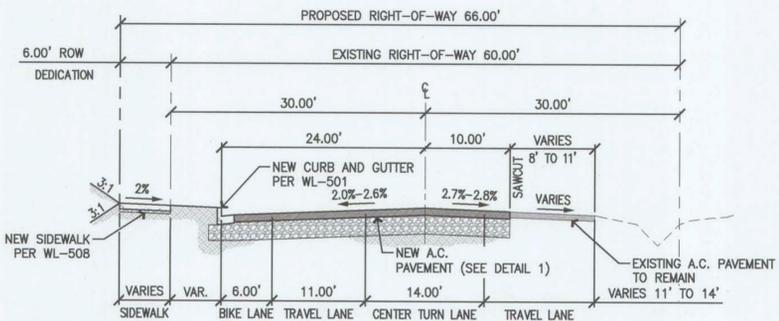
1 TYPICAL PAVEMENT SECTION FOR ROSEMONT ROAD
PI3.1|PI1.2 SCALE: N.T.S.



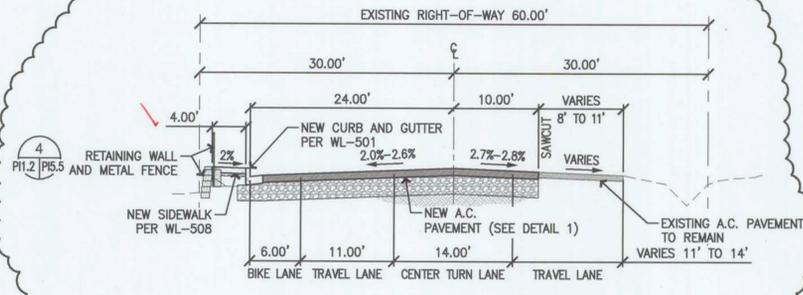
2 TYPICAL PAVEMENT SECTION FOR ROSEMONT ROAD
PI3.1|PI1.2 SCALE: N.T.S.



3 TYPICAL PAVEMENT SECTION FOR ROSEMONT ROAD
PI3.2|PI1.2 SCALE: N.T.S.



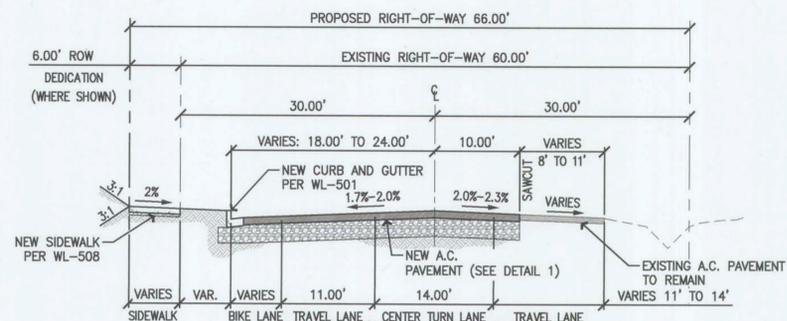
4 TYPICAL PAVEMENT SECTION FOR ROSEMONT ROAD
PI3.2|PI1.2 SCALE: N.T.S.



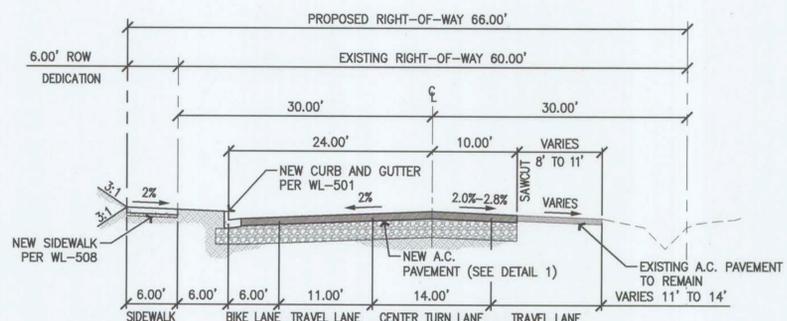
5 TYPICAL PAVEMENT SECTION FOR ROSEMONT ROAD
PI3.2|PI1.2 SCALE: N.T.S.



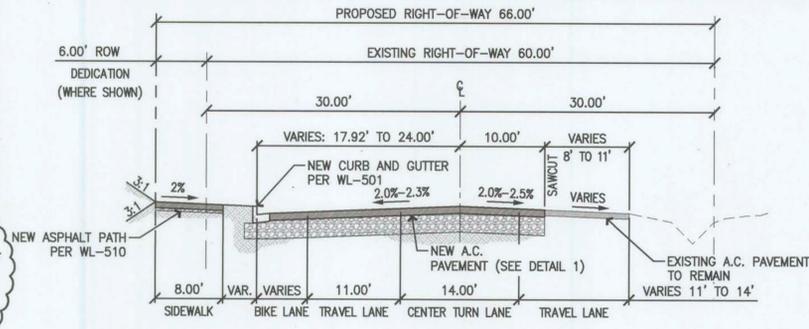
6 TYPICAL PAVEMENT SECTION FOR ROSEMONT ROAD
PI3.2|PI1.2 SCALE: N.T.S.



7 TYPICAL PAVEMENT SECTION FOR ROSEMONT ROAD
PI3.2|PI1.2 SCALE: N.T.S.



8 TYPICAL PAVEMENT SECTION FOR ROSEMONT ROAD
PI3.2|PI1.2 SCALE: N.T.S.



9 TYPICAL PAVEMENT SECTION FOR ROSEMONT ROAD
PI3.2|PI1.2 SCALE: N.T.S.

APPROVED FOR CONSTRUCTION BY
CITY OF WEST LINN
This approval is only for general conformance with the design concept and general compliance with applicable codes and requirements and shall not be construed as relieving the Design Engineer of full responsibility for accuracy and completeness of the drawings. This plan review approval does not prevent the City Inspector from requiring further code corrections in the field.
DATE: 07/07/11 BY: *Ami & Ste*

NOT USED

GRADING NOTES

1. SURVEY OF EXISTING CONDITIONS PREPARED BY COMPASS ENGINEERING. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL SURVEY DATA. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING RIGHT-OF-WAY LINES, SLOPE EASEMENTS, AND ALL HORIZONTAL AND VERTICAL CONTROL PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING AND SHALL ARRANGE FOR STAKING WITH A LICENSED SURVEYOR. STAKING WILL BE REVIEWED BY OWNER FOR CONFORMANCE TO DESIGN PRIOR TO CONSTRUCTION.
3. ALL GRADES BETWEEN SPOT ELEVATIONS SHALL HAVE UNIFORM SLOPE UNLESS OTHERWISE INDICATED. MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING WALLS AND DOORS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION. ADEQUATE SHORING BRACING, TIES, AND SUPPORTS SHALL BE USED TO PROVIDE PROPER TEMPORARY INTEGRITY DURING ALL PHASES OF CONSTRUCTION.
5. ALL EXISTING LANDSCAPED AND UNPAVED AREAS WHICH ARE DISTURBED BY CONSTRUCTION OR EARTHWORK OPERATIONS SHALL BE HAND RAKED SMOOTH AND RETURNED TO ORIGINAL EXISTING CONDITIONS. DISTURBED LANDSCAPED AREAS SHALL RECEIVE BARK DUST AND REPLACEMENT PLANTINGS. DISTURBED NATURAL AREAS SHALL BE HYDROSEED TO REPLACE NATIVE COVER. DISTURBED GRAVEL AREAS SHALL RECEIVE REPLACEMENT GRAVEL OR CRUSHED ROCK SURFACING.
6. ALL DITCHES, SWALES, GUTTERS, ETC. SHOULD BE CONSIDERED ACTIVE STORM CONVEYANCES UNLESS OTHERWISE INDICATED. CONTRACTOR IS RESPONSIBLE FOR ADDRESSING STORM WATER DRAINAGE AND DEMATERING OF WORK AREAS DURING CONSTRUCTION.
7. DURING WET WEATHER PERIODS, CONTRACTOR IS RESPONSIBLE FOR SEQUENCING CONSTRUCTION IN A MANNER TO MINIMIZE IMPACT ON OPEN EARTHWORK AND COMPACTION OPERATIONS.
8. ALL EXISTING MONUMENTS SHALL BE PROTECTED DURING CONSTRUCTION. IF ANY MONUMENTS ARE DISTURBED OR DESTROYED DURING CONSTRUCTION, CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO RESTORE THE MONUMENT TO ITS ORIGINAL CONDITION AND FILE THE NECESSARY SURVEYS AS REQUIRED BY STATE LAW.
9. COMPLETELY COVER ANY SOIL STOCKPILES WITH 6 MIL BLACK PLASTIC AND PROVIDE RESTRAINTS TO HOLD PLASTIC IN PLACE. MONITOR PLASTIC COVER AS PART OF CONTINUOUS EROSION CONTROL PLAN. PLACE SILT FENCE COMPLETELY AROUND STOCKPILE.
10. GRADING PERMIT MUST BE OBTAINED PRIOR TO ANY GRADING ACTIVITIES TAKING PLACE.

GENERAL EROSION CONTROL NOTES

1. SEE APPROVED ONSITE IMPROVEMENT PLANS FOR EROSION CONTROL MEASURES, AND INFORMATION REGARDING 1200-C PERMIT.
2. THE PROPOSED EROSION CONTROL MEASURES ARE A MINIMUM BEST MANAGEMENT PRACTICE. THE CONTRACTOR MAY BE REQUIRED TO TAKE ADDITIONAL EROSION CONTROL MEASURES TO ENSURE THAT NO SEDIMENT LOADED WATER EXISTS THE SITE OR ENTERS THE EXISTING STORMWATER SYSTEMS. THE CONTRACTOR MAY ALSO BE DIRECTED BY THE CITY ENGINEER, CITY INSPECTOR, OR PROJECT ENGINEER TO CONTROL DUST AND AIRBORNE EROSION.
3. PRIOR TO COMMENCEMENT OF GRADING ACTIVITY AND AFTER INSTALLATION OF EROSION CONTROL MEASURES, CONTRACTOR IS TO CONTACT THE CITY OF WEST LINN FOR THEIR SITE REVIEW AND APPROVAL.
4. ALL EROSION CONTROL PERMITS, INCLUDING 1200-C PERMIT, MUST BE OBTAINED PRIOR TO ANY GRADING ACTIVITIES TAKING PLACE.

DEMOLITION NOTES

1. DEMOLITION REQUIREMENTS SHOWN ON THESE DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY ARE INTENDED TO ILLUSTRATE THE GENERAL SCOPE OF DEMOLITION. THEY DO NOT IDENTIFY EVERY ELEMENT TO BE REVISED. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING A DETAILED SCOPE OF DEMOLITION FROM OWNER AND FROM EXAMINATION OF EXISTING SITE CONDITIONS.
2. CONTRACTOR SHALL SUBMIT A DEMOLITION PLAN, PRIOR TO CONSTRUCTION, OUTLINING ALL ITEMS TO BE REMOVED.
3. DEMOLISHED ITEMS SHALL BE REMOVED FROM THE SITE EXCEPT THOSE ITEMS IDENTIFIED AS "TO REMAIN", "SAVE AND PROTECT", OR "SALVAGE FOR OWNER".
4. ALL LINES THAT ARE CUT AT THE LIMITS OF DEMOLITION OR POINT OF DISCONNECTION WITHIN THE WORK AREA SHALL BE CAPPED OR PLUGGED WATER TIGHT TO CITY OR OWNER'S APPROVAL. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TEMPORARY ACCESS.
5. DEMOLITION PERMIT MUST BE OBTAINED AND APPROPRIATE EROSION CONTROL MEASURES IN PLACE PRIOR TO ANY DEMOLITION ACTIVITIES TAKING PLACE.

UTILITY NOTES

1. LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM RECORD DRAWINGS AND INTERPOLATION OF PHYSICAL EVIDENCE ON THE SITE AND ARE SUBJECT TO FIELD VERIFICATION BY THE CONTRACTOR.
2. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION UNDER THIS SECTION OR ANY OTHER SECTION.
3. THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, OR FITTING REQUIRED TO COMPLETE THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE AND WORKING SYSTEM. ALL ADDITIONAL WORK OR PARTS TO CONFORM TO CITY OF WEST LINN STANDARDS AND APPROVAL.
4. CONTRACTOR SHALL COORDINATE A UTILITY LOCATE 48 HOURS PRIOR TO BEGINNING ANY UTILITY CONSTRUCTION FOR LOCATION MARK-UP OF ALL EXISTING UTILITIES BOTH IN THE RIGHT-OF-WAY AND ON PRIVATE PROPERTY. CONTRACTOR SHALL COORDINATE THE UTILITY LOCAL WITH MUNICIPALITY HAVING JURISDICTION FOR ALL UTILITY WORK WITHIN A PUBLIC RIGHT-OF-WAY. INFORM ENGINEER IMMEDIATELY IF LOCATE INDICATES THAT EXISTING UTILITIES ARE DIFFERENT THAN SHOWN ON DRAWINGS. PRE-SURVEY LOCATING REQUESTS SHALL BE 14 DAYS IN ADVANCE.
5. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES, FEATURES, AND STRUCTURES LOCATED ON THE SITE. LOCATE, PROTECT, AND AVOID DISRUPTION OF ALL ABOVE AND BELOW GRADE UTILITIES DURING CONSTRUCTION.
6. ALL UTILITY CONSTRUCTION ON PRIVATE PROPERTY SHALL CONFORM TO THE LATEST EDITION OF THE OREGON PLUMBING SPECIALTY CODE. ALL UTILITY CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE STANDARD REQUIREMENTS OF THE MUNICIPALITY HAVING JURISDICTION.
7. ALL BURIED LINES TO HAVE 3 FEET MINIMUM COVER, UNLESS NOTED OTHERWISE.
8. DOWNSPOUT AND BUILDING UTILITY CONNECTIONS TO BE SHOWN ON BUILDING PLUMBING DRAWINGS. REFER TO PLUMBING DRAWINGS FOR CONTINUATION OF UTILITY LINES INTO BUILDING.
9. THRUST RESTRAINTS AND FIELD-LOC GASKET REQUIRED ON ALL PRESSURE LINES BENDS AND FITTINGS.
10. SEE LANDSCAPE DRAWINGS FOR IRRIGATION LINES.
11. ALL EXISTING UTILITIES AND TIE-IN POINTS SHOULD BE CONSIDERED ACTIVE UTILITIES UNLESS OTHERWISE INDICATED.
12. CONFIRM FIRE HYDRANT TYPE, NOZZLE SIZES, AND THREAD CONFIGURATIONS WITH LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO CONSTRUCTION.
13. CONFIRM ALL UTILITY VALVE VAULTS, VALVES, METERS, BACKFLOW PREVENTION ASSEMBLIES, AND OTHER PUBLIC UTILITY APPURTENANCES IN THE RIGHT-OF-WAY WITH THE MUNICIPALITY HAVING JURISDICTION.

GENERAL SITE NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE. CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING.
2. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT NEW FEATURES TIE INTO EXISTING SITE DEVELOPMENT, PAVEMENT JOINTS MATCH CORRECTLY, AND THAT GENERAL DESIGN ELEVATIONS FOR NEW CONSTRUCTION PROVIDE PROPER PAVEMENT AND DRAINAGE SLOPES FROM EXISTING TIE IN POINTS. REPORT DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
3. IN AREAS WHERE ASPHALT PAVING IS BEING REWORKED, PROVIDE NEW PAINT STRIPING FOR ALL REVISED PAVING WORK AND PARKING STALLS. EXISTING STRIPING TO BE GROUND OFF IN RECONFIGURED AREAS AS REQUIRED.
4. ALL CONSTRUCTION ACTIVITIES SHALL BE COORDINATED WITH CITY INSPECTOR(S). CONTRACTOR SHALL NOTIFY CITY INSPECTOR(S) 48 HOURS PRIOR TO START OF CONSTRUCTION.
5. DURING CONSTRUCTION, THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL HAVE A MINIMUM OF ONE (1) SET OF PERMIT APPROVED PLANS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES.
6. UPON COMPLETION OF THE CONSTRUCTION PROJECT, THE CONTRACTOR SHALL LEAVE THE PROJECT AREA FREE OF DEBRIS AND UNUSED MATERIAL. ALL DAMAGE CAUSED BY THE CONTRACTOR SHALL BE RESTORED TO AN "AS GOOD OR BETTER" CONDITION.
7. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF WEST LINN STANDARDS AND SPECIFICATIONS.
8. ALL EXISTING FACILITIES INVOLVED IN THE CONSTRUCTION OF THE DEVELOPMENT MUST BE SURVEYED AND SHOWN ON THE CONSTRUCTION PLAN.
9. DEVELOPER SHALL BE RESPONSIBLE FOR ALL EXPENSE OCCURRED DUE TO LACK OF INFORMATION ON APPROVED CONSTRUCTION PLAN.

phase	CONSTRUCTION
SET	
date	April 6, 2011
revisions	

ASI #8	06/29/2011
project #	09014

GENERAL NOTES
TYPICAL SECTIONS

PI1.2

ADD #0