

DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT <i>Sara Savoronok</i>	PROJECT NO(S). <i>DR-14-05</i>	
NON-REFUNDABLE FEE(S) <i>\$1,500</i>	REFUNDABLE DEPOSIT(S)	TOTAL <i>+ 1,500</i>

Type of Review (Please check all that apply):

- | | | |
|--|---|---|
| <input type="checkbox"/> Annexation (ANX)
<input type="checkbox"/> Appeal and Review (AP) *
<input type="checkbox"/> Conditional Use (CUP)
<input type="checkbox"/> Design Review (DR)
<input type="checkbox"/> Easement Vacation
<input type="checkbox"/> Extraterritorial Ext. of Utilities
<input type="checkbox"/> Final Plat or Plan (FP)
<input type="checkbox"/> Flood Management Area
<input type="checkbox"/> Hillside Protection & Erosion Control | <input checked="" type="checkbox"/> Historic Review
<input type="checkbox"/> Legislative Plan or Change
<input type="checkbox"/> Lot Line Adjustment (LLA) */**
<input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan)
<input type="checkbox"/> Non-Conforming Lots, Uses & Structures
<input type="checkbox"/> Planned Unit Development (PUD)
<input type="checkbox"/> Pre-Application Conference (PA) */**
<input type="checkbox"/> Street Vacation | <input type="checkbox"/> Subdivision (SUB)
<input type="checkbox"/> Temporary Uses *
<input type="checkbox"/> Time Extension *
<input type="checkbox"/> Variance (VAR)
<input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP)
<input type="checkbox"/> Water Resource Area Protection/Wetland (WAP)
<input type="checkbox"/> Willamette & Tualatin River Greenway (WRG)
<input type="checkbox"/> Zone Change |
|--|---|---|

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

Site Location/Address:
LOT WEST OF 1831 FIFTH AVENUE

 Assessor's Map No.: **3S1 2BD**

 Tax Lot(s): **301**

 Total Land Area: **5,000 sq. ft.**

Brief Description of Proposal: HISTORIC DESIGN REVIEW - NEW CONSTRUCTION APPROVAL IS REQUESTED FOR PLANS FOR CONSTRUCTION OF AN APPROXIMATELY 1550 SQUARE FOOT HOME ON AN EXISTING LOT IN THE WILLAMETTE HISTORIC DISTRICT.

Applicant Name: RUTH AND JERRY OFFER
(please print)

 Address: **1831 FIFTH AVENUE**

 City State Zip: **WEST LINN, OR 97068**

 Phone: **503-657-1350 503-890-6847**

 Email: **OFFERDOGS@GMAIL.COM**
Owner Name (required): RUTH AND JERRY OFFER
(please print)

 Address: **1831 FIFTH AVENUE**

 City State Zip: **WEST LINN, OR 97068**

 Phone: **503-657-1350**

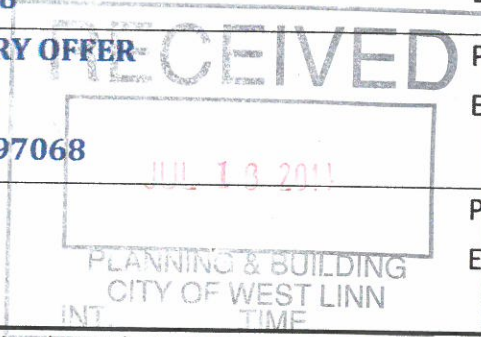
 Email: **OFFERDOGS@GMAIL.COM**
Consultant Name:
(please print)

Address:

City State Zip:

Phone:

Email:



1. All application fees are non-refundable (excluding deposit). **Any overruns to deposit will result in additional billing.**
2. The owner/applicant or their representative should be present at all public hearings.
3. A denial or approval may be reversed on appeal. No permit will be in effect until the appeal period has expired.
4. **Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application. One (1) complete set of digital application materials must also be submitted on CD in PDF format.**
 If large sets of plans are required in application please submit only two sets.

* No CD required / ** Only one hard-copy set needed

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

Jerry Offer / Ruth Offer
 Applicant's signature _____ Date **7/18/14**

Jerry Offer / Ruth Offer
 Owner's signature (required) _____ Date **7/18/14**

1819 Fifth Avenue

**A Request for
Design Review Approval – New Construction
Willamette Historic District**

Ruth and Jerry Offer

July 18, 2014

**APPLICATION FOR
DESIGN REVIEW APPROVAL – NEW CONSTRUCTION
WILLAMETTE HISTORIC DISTRICT**

APPLICANTS/
OWNERS:

Ruth and Jerry Offer
1831 Fifth Avenue
West Linn, OR 97068

Contact: Jerry Offer
Phone: 503-890-6847

PROPERTY
LOCATION:

1819 Fifth Avenue (assumed address number)
Tax Lot 301, Map T3S-R1E 2BD Clackamas County
Lot 6, Block 16 Willamette Falls subdivision plat

SITE AREA:

5,000 sq. ft

ZONING:

Low Density Residential/R-5 designation.

REQUEST:

A request for Historic District Design Review to construct a new approximately 1,550 square foot, 2-story plus basement home on an existing lot in the Willamette Historic District. The proposed home will be slightly smaller in scale and height than existing homes on adjacent lots.

The existing gazebo on the site will be removed and relocated to the adjacent parcel to the east which is also owned by the applicants. The existing garage structure will be retained.

Three regulated trees are intended to be removed to build the new home. Two of those trees are planned to be taken down by the owners even if the proposed new home is not constructed. Both trees have become hazardous trees based upon the frequency that they have been dropping large limbs. Several other existing trees and other landscaping will be retained with the construction of the new home.

I. PROPOSAL DESCRIPTION

This application requests Historic Design Review approval for our plans to build an approximately 1,550 square foot two-story home (plus basement) on an existing lot within the Willamette Historic District. It is our intention to move into the new home and sell our adjacent home at 1831 Fifth Avenue. When we purchased these lots in 1989, it was the furthest thing from our minds that we would ever build a new home on the subject parcel, lot 6 of Block 16 of the Willamette Falls subdivision plat. However, after 25 years of living in the 1895-built home located on adjacent lot 5; raising four children; and maintaining the old home and landscaping on both lots; we were beginning to think about downsizing and moving. As we considered where we wanted to live, we began to think that there could be no better location for us than Willamette, and we then came to a realization that we knew of an existing lot waiting for a new home (and we happened to know that the existing owners – us – were ready to sell. This led us to a search for the right home design for not just our purposes, but also the right home design for the Historic District and to complement the our existing home.

The proposed new home was designed by Ross Chapin Architects in what they have termed as a cottage-style design. When we first saw this home design built in White Salmon, Washington, we immediately said that we thought the exterior design of the home was of a scale and a design that would fit into our neighborhood and, more specifically, would fit onto our second lot. The proposed home is slightly smaller in size and height than most of the existing homes on nearby lots. The proposed home will be 24-feet wide. Our existing home to the west is 30-feet wide. Adjacent homes to the west across 13th Street, Fifth Avenue, and the Awalt home to the east of ours are all at least 30 feet wide. The proposed new home will be between 24- and 25-feet tall. Our existing home and the Awalt home are also both approximately 25-feet tall, as are several other nearby 1 and ½ story tall homes. The Androkopolus and Pernisco homes to the west across 13th Street are full 2-story homes and are slightly taller. The proposed home has a 12/12 roof pitch which will be similar to the roof pitches of our existing home and the Awalt home. The proposed home also has a large front porch, as does our home and the Awalt home and many other older homes within our neighborhood. The proposed home will be sided with horizontal lap siding of varying widths and will include windows which will primarily be taller than they will be wide, similar to the older homes in the neighborhood.

The primary differences between the proposed home and neighboring homes (other than age) will be in materials. We are proposing that the new home have a combination of wood and masonry horizontal siding of varying widths, as has been specified by Ross Chapin Architects. We considered changing the siding to be all wood siding in order to be more consistent with what has been used on the neighboring homes, but after talking with neighbors who have used masonry siding on portions of their homes and have been very pleased with the look and performance of the masonry siding, we have decided to propose use of masonry siding. We are proposing the use of architectural grade laminate shingle roofing. Most of the neighboring homes have standard composition shingles rather than architectural grade.

However, most of those homes have not been reroofed since architectural grade shingles became popular. The exception to the standard grade shingles is the Smolens-Hellegas home to the south which is newer than most of the surrounding homes. The Smolens-Hellegas home has architectural grade shingles. In addition, we may be re-roofing our existing home before selling it. We would plan on using architectural grade shingles on our older home as well as on the proposed home because we simply prefer the look of the architectural grade shingles.

Other than the differences in proposed siding and roofing materials described above, the materials to be used on the new home would be similar to what has been used on nearby older homes. We are planning on using primarily wood trim. The amount and style of trim will be similar to what exists on the nearby older homes. We are varying from the Chapin Architects plan in primarily using wood windows rather than vinyl coated windows. We believe that using wood windows rather than vinyl will help tie the home in character and quality to the neighboring homes. The new home will use vinyl windows for basement windows, however, because of concerns with long term maintenance near the ground. Doors to the proposed home will also be wood. Decking for the front porch and the rear deck will likely be composite materials, but we will strive to use materials which will look like wood. We may still decide to use wood for the front porch decking, but we are definitely proposing composite decking materials for the rear deck because of its ability to hold up to sun from the south and other weather impacts.

The proposed home will be located consistent with the minimum setback standards of Section 25.070.C.1 of the Community Development Code (CDC) for the Willamette Historic District. We are proposing a front yard setback of 15.5 feet to the primary front building face. This would be roughly equivalent to the average of the actual front yard setback of the adjacent home to the east (10.3 feet for our existing home) and 20 feet, as is required by this Code Section for a corner lot. The unenclosed front porch would be setback 13.5 feet from the front property line, as is allowed by Section 25.070.C.1.B. Some neighbors have suggested that the new home be located consistent with the front yard setback of the existing home and the Awalt home to the east in order to maintain the pattern of the block. We would be willing to have such a reduced corner lot front yard setback if the Historic Review Board determines that it would be appropriate, but we are proposing our site plan to be as consistent with the applicable standards as possible. The rear yard setback will be approximately 34.5 feet. The minimum required setback is 20 feet. The proposed side street setback along the 13th Street (west) side will be approximately 17 feet. The minimum required corner side yard setback standard is 10 feet. The proposed home will be setback approximately 9-feet from the eastern side lot line with lot 5. The applicable minimum side yard setback is 5 feet. Please note that we have chosen to provide this greater than minimum side yard setback for the proposed home on lot 6 in order to provide what we think is a sufficient minimum separation between the new house and the existing house on lot 5. The existing house was built in 1895 prior to the establishment of setback standards and may have been located without thought to where the lot line was and any possibility of future development of lot 6. As such, the existing home was built approximately 2.1 feet (to bay window) to the east of the lot line between lots 5 and 6.

When side yard setback standards were enacted by the City of West Linn requiring a minimum 5-foot setback standard, the existing home became non-conforming with the new setback standard. However, since the home was built prior to the enactment of the setback standard, the home's setback is treated by the City as having legally non-conforming status and is allowed to continue without a mandate for additional setbacks on the adjacent lot (except as might be required by the Fire Code). We, however, would not want to build a home on lot 6 only 5-feet from the lot line and 7.1 feet from the dining room bay windows of the existing home. Therefore, we are choosing to provide the additional setback to provide an 11.1-foot separation from the dining room windows (and a greater separation from the remainder of the existing home's west side). We plan on recording an easement or non-build restriction over the actual east side setback area on lot 6 so that the future owners of the home on lot 5 can be assured of an adequate separation between the homes and so that they can have adequate area to access the west side of their home.

The existing gazebo will be removed from the lot. The gazebo was designed and built to work with the existing home. It is our intent to temporarily relocate it "on blocks" onto the adjoining lot until we sell the existing home. We will then determine with the home's purchaser where to finally locate the gazebo on that lot.

Lot 6 is currently fenced along its western 13th Street boundary and northern Fifth Avenue boundary with a relatively ornate wooden picket fence. The fence was also designed to match the trim on the existing home on lot 5. Our intent is to remove the existing fence along lot 6's boundaries since its design would not be consistent with the design of the proposed new home. We may use re-use this fence around the remainder of lot 5, or at least we will provide the new owners of that lot with the fence materials for them to decide how to re-use it. We have lived with a picket fence around us for over 25 years. Therefore, it is likely that we will choose to provide a new picket fence along its 13th Street and Fifth Avenue frontages. The fence design has not been chosen, but we will pick a style which will be consistent with the design of the new home.

The existing one-car garage in the southwestern corner of the lot will be retained and renovated, although this will be done separately from the current Historic District Design Review application process. From Sanford Fire Insurance Maps of the area, we have determined that the garage was built between 1910 and 1920. We have been told that the garage was built from wood that was reused from a small barn which previously existed on the southeastern corner of the lot. From the inside of the garage, it can be seen that the garage was sided with horizontal approximately 10-inch wide fir or cedar boards that would be typical of a barn. The horizontal siding is in rough shape and several gaps are apparent. At some point, that siding was covered by cedar shingles. We plan on repairing the foundation of the garage to repair the sway back roof. In addition, we will remove the cedar shake siding and determine whether the horizontal siding underneath is repairable. We will either re-use that historic horizontal siding or re-side the garage with siding similar to what will be used on the proposed new house.

Three mature trees are intended to be removed to build the new home. A 20-inch caliper very tall tulip poplar tree in the northeastern corner of the lot along Fifth Avenue and near the existing house will be removed - and may be removed prior to the Historic Review Board's hearing. A cedar tree adjacent to an existing landscape pond and a myrtle tree will also be removed. We have been planning on removing the tulip poplar and the cedar even before we developed the plans to construct the new home. Both of these trees have become hazardous based upon the frequency that they have been dropping large limbs. In addition, the poplar has become infested with aphids whose droppings have had a seriously adverse impact upon the roof on the existing home on lot 5. While the myrtle tree has not been a problem tree, it is located in an area which conflicts with the plans for the home.

Several other existing trees and other mature landscaping will be retained with construction of the new home. Most notably, the sugar pine along the alley, two birch trees near the garage, and a large dogwood tree along 13th Street are planned to be retained.

The proposed new home will be served by connections to the existing public sanitary sewer and the water line within the alley behind the home. Telecommunications, electricity, and natural gas service will be provided by below ground service lines connecting to the private utility services within the alley.

II. COMPLIANCE WITH APPLICABLE APPROVAL CRITERIA

A. R-5 ZONING DISTRICT (CHAPTER 13)

Permitted Uses (13.030) The proposed usage of the site - a single-family detached residential dwelling unit - is a permitted use in the R-5 zoning district per Section 13.030.1.

Accessory Uses (13.040) Accessory uses are allowed in the R-5 zone as provided by this Section and by per Section 34. Section 34.030 allows accessory dwelling units in conjunction with an existing primary single-family dwelling unit. We are not planning on having an accessory dwelling unit within the proposed home within the next few years. However, we would like to make it clear to the City and to our neighbors that the basement has been designed to accommodate an accessory dwelling unit at some point in the future. If, and when, we decide to finish a portion of the basement as an accessory dwelling unit we will contact the City and determine what process is necessary to make the conversion and what standards will apply to the conversion at that time.

Dimensional Requirements, uses permitted outright and uses permitted under prescribed conditions (13.070)

No changes are proposed to the dimensions of lot 6 from how it was established by the original platting of the Willamette Falls subdivision plat in 1894. Lot 6 is

5,000 square feet in size. However, we would like to address how the lot already complies with the standards of the R-5 district.

The minimum lot size in the R-5 district is 5,000 square feet. The lot therefore satisfies the minimum lot size of the R-5 zone.

The minimum lot width standard for the R-5 district is 50 feet. Lot 6 is 50 feet wide throughout its entire depth. The minimum lot length at the street standard is 35 feet. Lot 6 is 50 feet wide at Fifth Avenue. The lot therefore satisfies both the minimum lot width and the minimum lot length at the street standards of Section 13.070.

Lot Coverage (13.070.G) Section 13.070.G states that maximum lot coverage for the R-5 zone may not exceed 40 percent. The proposed lot coverage by the proposed home and the existing garage will be approximately 1,450 square feet of the 5,000 square foot lot, or approximately 29 percent of the lot's area. The calculation of coverage includes both the covered porch and the uncovered rear deck in addition to the footprints of the home and garage.

Section 13.070.I establishes maximum floor area ratio allowance of 0.45:1. Therefore, a maximum of 2,250 square feet of floor area is allowed on the 5,000 square foot lot. The proposed home will include 1,572 square feet of floor area. Basement area is not included in the total floor area consistent with the Community Development Code's definition of floor area ratio

B. OVERLAY DISTRICTS - HISTORIC DISTRICT (CHAPTER 25)

Permitted Uses (25.030) Section 25.030 says that unless otherwise provided for in this chapter, uses permitted by the base zoning district that are in accordance with the CDC are allowed on sites containing historic resources. The proposed use of lot 6 is a detached single family residence. Detached single family residences are permitted uses in the applicable R-5 district, per Section 13.030. Therefore, the proposed use is allowed on the subject site within the Willamette Historic District consistent with this section.

Historic Design Review Processes (25.040)

Section 25.040.A provides a list of improvements to properties in a historic district which are not subject to Historic Design Review. These include several topics related to our plans for lot 6 such as "ordinary maintenance" of the existing garage; "foundation" repairs to the existing garage; "building material" replacement for the garage; "landscaping;" "fences;" and "utilities." Although these topics are not part of this Historic Design Review application per this Code Section, we have attempted to be as informative as possible at this time so that the Historic Review Board, City staff, and our neighbors are aware of the full spectrum of our plans for development of this property. If necessary, we will make a separate Type I Design Review application for any of these topics if the

level of improvements for these plans exceeds the exemptions listed under Section 25.040.A.

Historic Design Standards (25.060)

Only subsections of this section which apply to new construction are quoted below in italics, with responses to the subsection provided below.

9. Roof materials. Replacement of a roof or installation of a new roof with materials other than cedar shingles, three tab asphalt shingles, or architectural composition shingles must be demonstrated, using photographic or other evidence, to be in character with those of the original roof, or with materials that are consistent with the original construction.

The new home is proposed to have architectural grade shingles. The color of the shingles has not yet been determined, but we will attempt to use a fairly neutral color shingle that will work well with a variety of the siding colors (also not yet determined).

11. New exterior walls and siding. Wood siding or shingles shall be used unless the applicant demonstrates that an alternative material has a texture and finish typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.

A combination of masonry and cedar siding are proposed. The proposed home is of a 2014-2015 construction period and not an early 20th Century home like the majority of homes within the Willamette Historic District. Masonry siding is a common, high quality siding material used on single family homes in 2014 and thus is representative of the era that the home will be constructed.

12. Gutters and downspouts. Replacement or new gutters and downspouts shall be rectangular, ogee, or K-shaped and comprised of wood or metal material, or styles and materials that match those that were typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials and styles that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.

Metal rain gutters and downspouts discharging to rain gardens or rain barrels will be utilized for most of the home. Rain chains or similar methods of draining water from the roof to the ground may be used for draining the front porch/dining room area's roof and the rear bedroom roof where the surface areas may not justify the use of large downspouts.

13. New windows. New windows shall match the appearance of the original windows as closely as possible. Wood window frames and sashes shall be used unless the applicant demonstrates that the non-wood windows are consistent with their wooden counterparts,

including profile and proportion of the sash, sill, trim, light patterns, glass color, and profile of mullions and muntins. The window trim and sill shall match the original trim.

Vinyl windows will be used for the basement windows. Painted wood windows will be used for all first and second level windows. Windows will be of a combination of styles. All windows facing the front will be single hung or double hung windows similar to the windows in nearby historic homes.

16. Doors. Doors shall be painted or stained wood, fiberglass clad, or metal clad, or another material that is consistent with the original historic appearance.

First floor doors on the front and rear of the home will be painted wood doors. The front door will be a split “Dutch door” style that is a characteristic element of Ross Chapin Architects designed home. The front door will be located perpendicular to Fifth Avenue and will be accessed via the front porch. The rear door will provide access to/from the rear deck. The basement level door will be a metal clad or fiberglass clad door. The basement door will be located below grade. Access to that door will be via a concrete stairwell from the rear yard. A wooden railing will be located along the top of the stair well. The railing will be of a design similar to the front porch railing.

17. Porches. Front porches are allowed on new construction....

A large covered front porch is proposed. The porch will be similar in orientation and size to the porches of the Offer and Awalt homes to the east along Fifth Avenue.

18. Decks. Decks shall be located in rear yard or the portion of the side yard behind the front 50 percent of the primary structure.

A deck is proposed on the rear of the home.

Additional Standards Applicable to Historic Districts (25.070)

B. Standards for New Construction

1. New construction shall complement and support the district. The historic district’s defining characteristics include a discernible aesthetic rhythm of massing, scale, and siting. Infill buildings shall not deviate in a detracting manner from these elements, but appear as complementary members of the district, by conforming to the following:

a. Lot size, massing, scale, proportion, form, siting, floor area ratio, window patterns, building divisions, and height shall correspond to the contributing buildings within the district, and any specific historic district standards and the applicable requirements of the underlying zone.

The proposed home will be located on an existing lot. The lot is consistent with the minimum lot size of the R-5 zone. The lot has not been reconfigured since platting of the Willamette Falls subdivision 120 years ago.

The proposed home will be smaller, narrower, and lower in height than most of the surrounding older homes. The proposed home will be of a similar form as the surrounding homes and will have a steep roof pitch similar to the existing Offer and Awalt homes on the same block. The proposed home will be oriented towards Fifth Avenue, similar to the other homes along that street. The new home will have a large front porch similar to the neighboring homes.

b. Infill buildings shall relate to and strengthen the defining characteristics, including architectural style, without replicating the historic buildings. Buildings shall differentiate by use of materials, mechanical systems, construction methods, and, if applicable, signage. Architectural style shall not be the primary indicator of differentiation.

Although the proposed new home will be of a similar scale and general style as the nearby historic homes as described above, the new home will be of a simpler cottage style rather than the more complex Victorian style of most of the existing historic homes. Besides its less fussy style, the new home will also be distinguishable from the historic homes through its use of more modern materials such as masonry siding and architectural laminate roofing.

c. Mechanical and automobile infrastructure must be appropriately concealed when not consistent with the district's character.

The proposed new home will utilize the existing garage for its one required parking space. The existing garage is freestanding and located in the rear southwest corner of the lot so that its presence will not detract from the primary residential structure to be constructed. In addition, the garage's size will make it clearly subservient to the home. The garage will be renovated in a manner which will be complementary to the proposed home as far as types of roofing and siding materials, orientation of siding, and colors. All mechanical equipment for the proposed home is currently planned to be located within the structure. If an exterior heat pump is used, it will be appropriately concealed by landscaping and will be located in the eastern or southern yards away from views from the adjacent streets.

C. Willamette Historic District General Design Standards

1. *Front yard setback.*

a. The front yard setback shall equal the average of the front setbacks of adjacent homes on the block face. For corner lots, the setback shall be the average between the adjacent house to the side and 20 feet. The setback shall be the distance measured from the front property line to the dominant vertical face of the building, exclusive of any porches or front landings.

b. Unenclosed porches with no living space above may encroach into the front yard setback six feet from the dominant vertical face of the building.

The proposed home will have a front yard setback of 15.5 feet to the primary front building face. The primary building face setback is roughly equivalent to the average of the actual front yard setback of the adjacent home to the east (10.3 feet for the existing home to the east) and 20 feet, as is required by this Code Section for a corner lot. The unenclosed front porch would be setback 13.5 feet from the front property line, as is allowed by Section 25.070.C.1.B. Some neighbors have suggested that the new home's front porch and primary building faces be located consistent with the front yard setback of the existing home and the Awalt home to the east in order to maintain the building situation pattern of the block. We would be willing to have such a reduced corner lot front yard setback if the Historic Review Board determines that it would be appropriate, but we are proposing our site plan to be as consistent with the applicable standards as possible.

2. *Side yard setback. Side yard setbacks shall be five feet...*

The proposed new home will be setback approximately 9-feet from the eastern side lot line with lot 5.

3. *Side street setback. Setbacks from side streets shall be 10 feet for both developed and undeveloped streets, except:*

a. Bays, porches and chimneys and other projections may intrude two feet into side street yard setback; and

b. One and two story accessory structures may be sited within five feet of the side street property line.

The proposed side street setback along the 13th Street (west) side will be approximately 17 feet.

4. Rear yard setback. The rear yard setback shall be a minimum of 20 feet, except for accessory structures, which may be sited to within three feet of the rear property lines.

The rear yard setback will be approximately 34.5-feet.

5. Orientation. New home construction on corner lots shall be oriented the same direction as the majority of homes on the street with the longest block frontage.

The new home will be oriented towards Fifth Avenue rather than towards 13th Street. None of the neighboring homes (within 150 feet) is oriented towards 13th Street. All of the neighboring homes are oriented towards the avenues, with the exception of homes that are located south of Fourth Avenue and which are located outside of the Willamette Historic District.

6. New lot configuration. In addition to other requirements of the CDC, all new lots in the historic district shall be perpendicular to the street and extend directly from the lot line along the street to the opposite lot line. The primary structure and any other contributing structures on the original property shall not be located on separate lots.

This standard is not applicable. Lot 5 is an existing lot.

7. Building height.

a. Residential structures are limited to 28 feet in height. Cupolas and towers shall not exceed 50 feet in height.

The proposed new home will be between 24 and 25 feet tall when viewed from Fifth Avenue, because the lot slopes slightly to the south, the rear of the homes will be approximately 26 to 27 feet tall from existing grade. There will be no cupolas or towers on the new home.

8. Building shapes and sizes. No building shall exceed 35 feet in overall width. Front facade gables shall not exceed 28 feet in overall width.

The proposed new home will be 24 feet wide for most of its width. The rear portion of the home will be 12 feet wide, with a 12 foot wide open deck.

9. Roof pitch. Roofs shall have a pitch of at least 6:12.

The predominant roof pitch of the proposed home will be 12:12.

10. Garage access and parking areas.

a. Garages shall be accessed from an alley, if present. No garage door may face or have access onto a street except when alley access is not available.

It is proposed that the new home will use the existing approximately 100-year old garage. The garage is oriented towards 13th Street as it appears to have been for almost 100 years. The garage for the Androkopolus home directly across is also oriented towards the street. Several other older garages within the Willamette historic District are also oriented towards 13th Street. All of these garages should be considered to be legally non-conforming with regard to compliance with this standard.

C. OFF-STREET PARKING (Chapter 46)

The existing single-story garage on lot 6 will be retained, although it will be re-sided and re-roofed consistent with materials to be used on the proposed house. The garage provides for one inside parking space for a motor vehicle. A minimum of one parking space, inside or outside, is required by Section 46.090.1 for a detached single-family residence.

When an accessory dwelling unit is established in the basement of the proposed home, it will be necessary that the applicable on-site parking standard be satisfied for the accessory dwelling unit in addition to the parking requirement for the existing home.

Ample on-street parking is provided on the abutting streets.

D. PLANS

Sheet 1 - Existing Conditions/Site Survey of Lot 6 (site) and Lot 5 (Site of Our Current Home)

Sheet 2 - Updated Assessors Map with Neighboring Owners' Names Noted

Sheet 3 - Preliminary Site Plan

Sheet 4 - Floor Plan

Sheet 7.1- Front Elevation (towards Fifth Avenue)

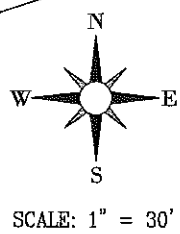
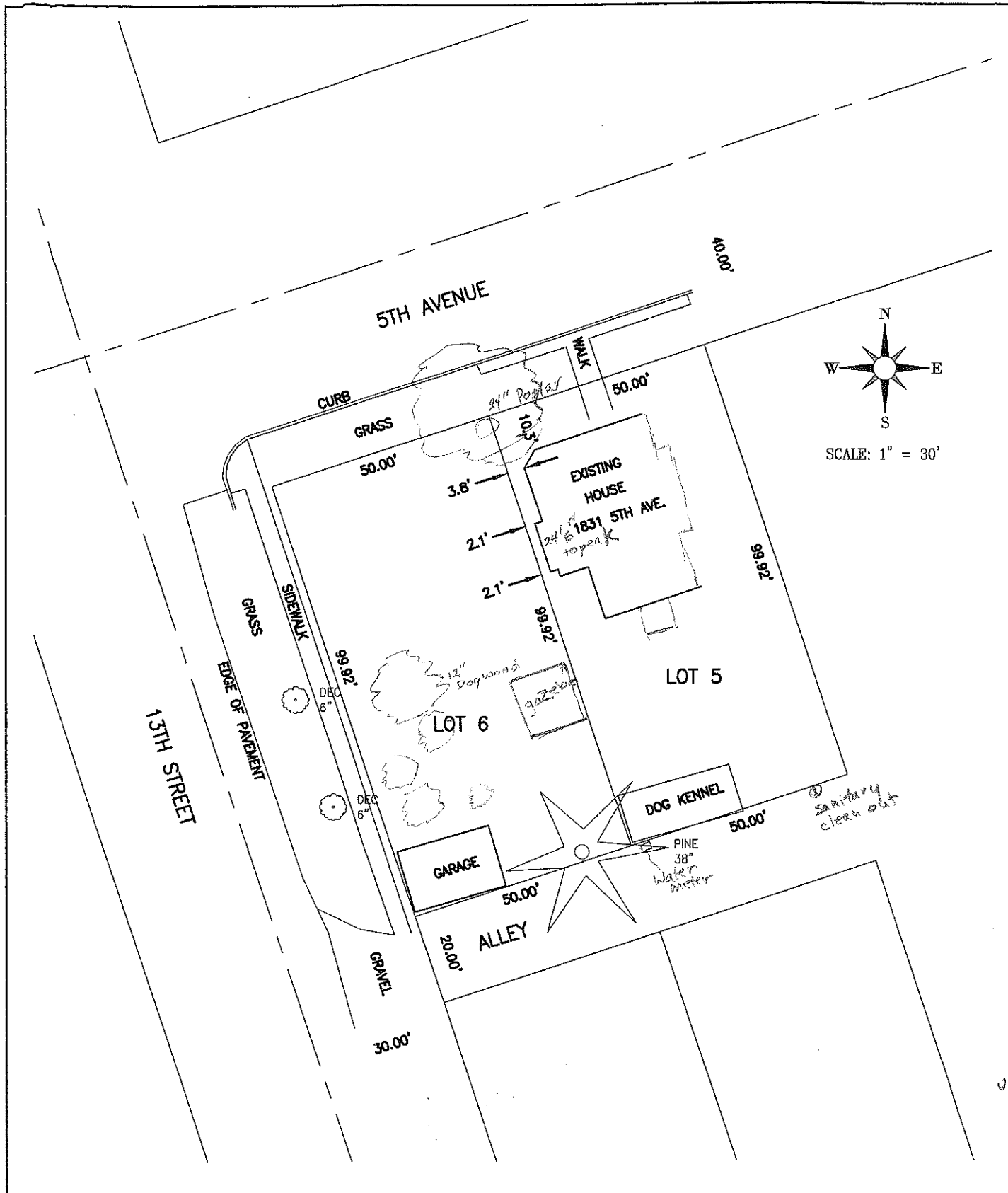
Sheet 7.2 - Left Side Elevation

Sheet 7.3 – Back Elevation

Sheet 7.4 –Right Side Elevation (towards 13th Street)

Photographs of this Home Plan Built Elsewhere (not exactly what we are proposing)

Photoshop Representation of Proposed Home and Adjacent Home to the East



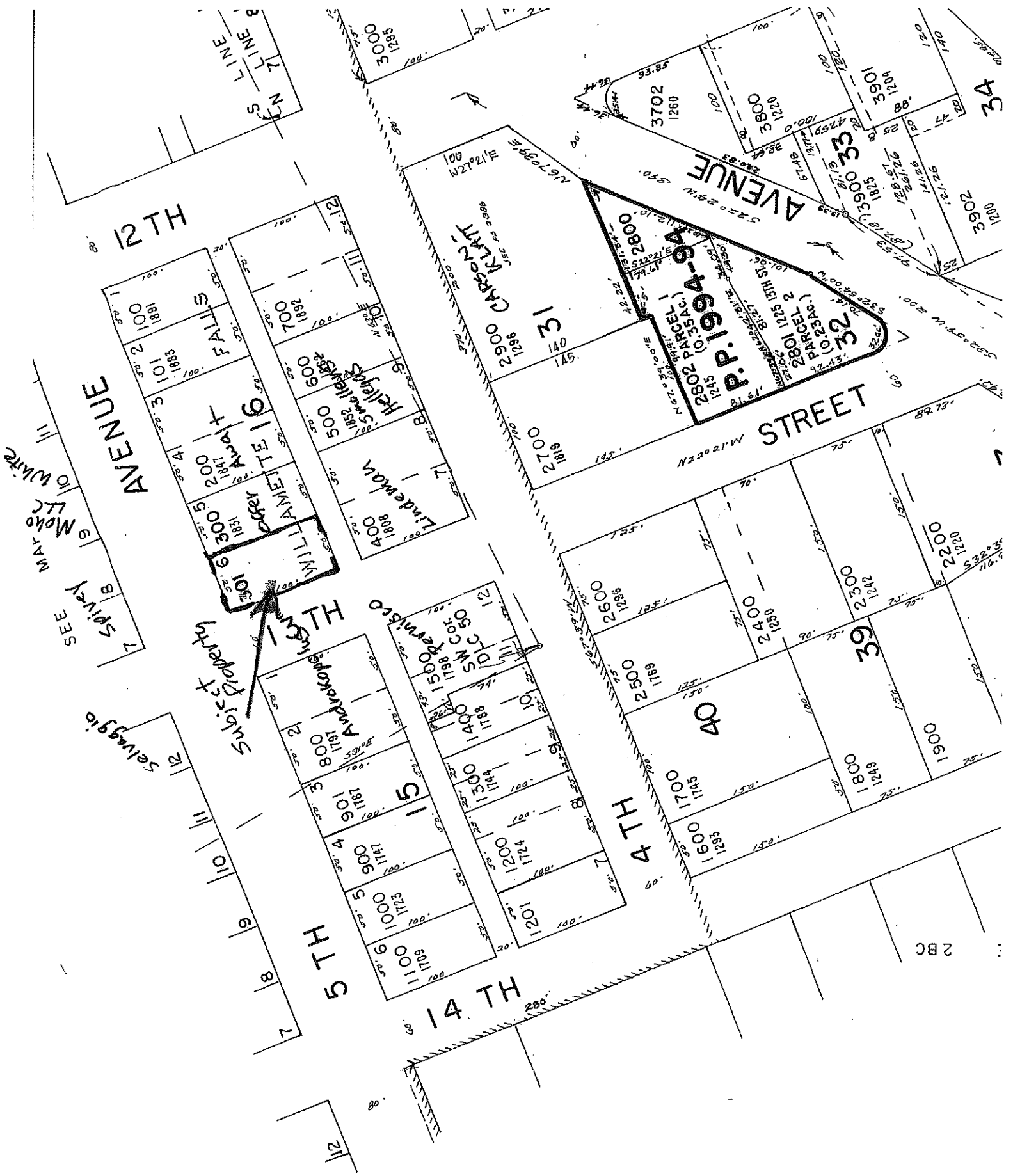
05/10/2014 DCB
 Field
 05/18/2014 DCB
 Calculated
 05/20/2014 DCB
 Drawn

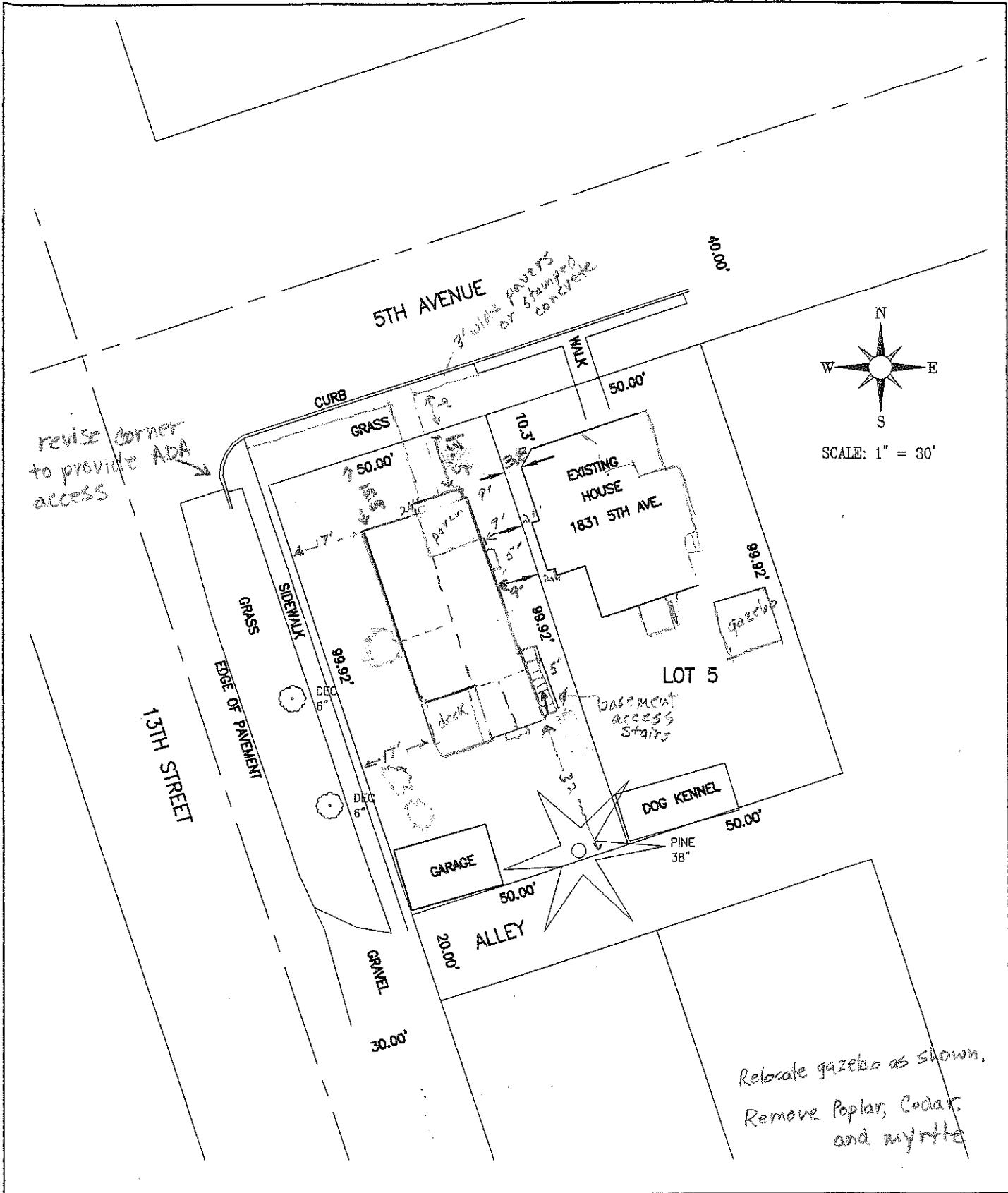
RUTH AND JERRY OFFER

LOTS 5 AND 6, BLOCK 16
 WILLAMETTE FALLS SUBDIVISION
 WEST LINN, OREGON

David C. Breneman, PLS
 1504 W. Main St., P.O. Box 294
 Sheridan, Oregon 97378
 Phone: (503) 843-2291

EXISTING CONDITIONS





05/10/2014 DCB
 Field
 05/18/2014 DCB
 Calculated
 05/20/2014 DCB
 Drawn
 05/21/2014 JDO
 Revised
 David C. Breneman, PLS
 1504 W. Main St., P.O. Box 294
 Sheridan, Oregon 97378
 Phone: (503) 843-2291

RUTH AND JERRY OFFER

LOTS 5 AND 6, BLOCK 16
 WILLAMETTE FALLS SUBDIVISION
 WEST LINN, OREGON

Site Plan 7/18/14

First Floor

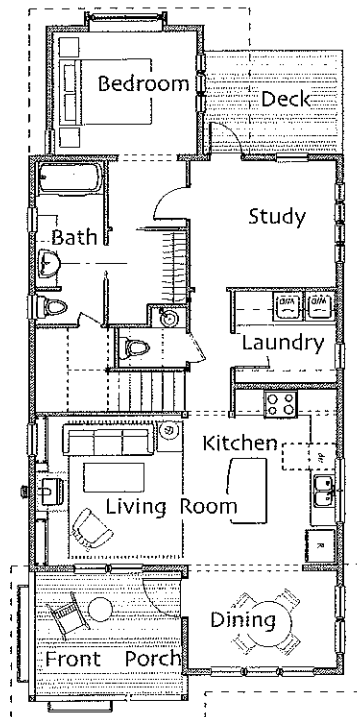
Living Room	12' x 11'-6"
Kitchen	11'-6" x 11'-6"
Dining Room	11'-6" x 8'-6"
Bedroom	11' x 9'-6"
Study	9'-6" x 11'
Laundry	7' x 7'-9"
Bath	full
WC	half

Second Floor >5'

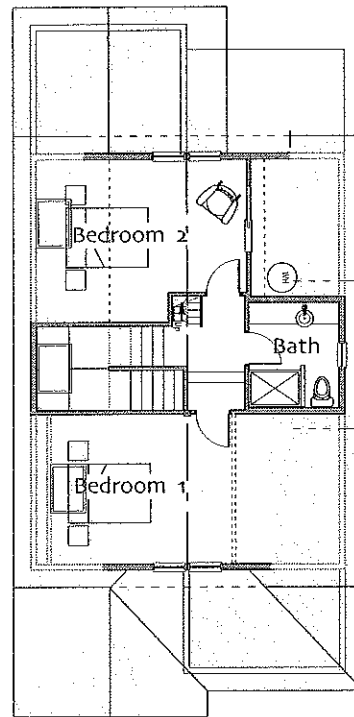
Bedroom 1	10'-8" x 11'-6"
Bedroom 2	13'-4" x 12'-6"
Bathroom	three-quarter

Total Heated Area 1572 sf

Footprint 24' x 52'



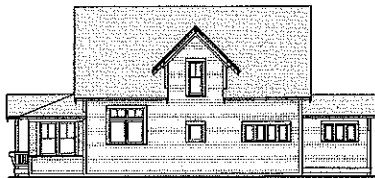
First Floor



Second Floor



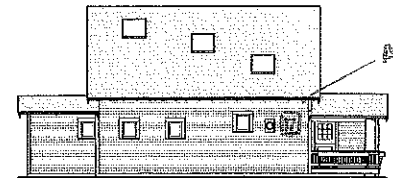
north



west



south



east

Add window

add stairwell and basement access windows be grade

© Ross Chapin Architects • Sizes are approximate/ Plans are subject to change

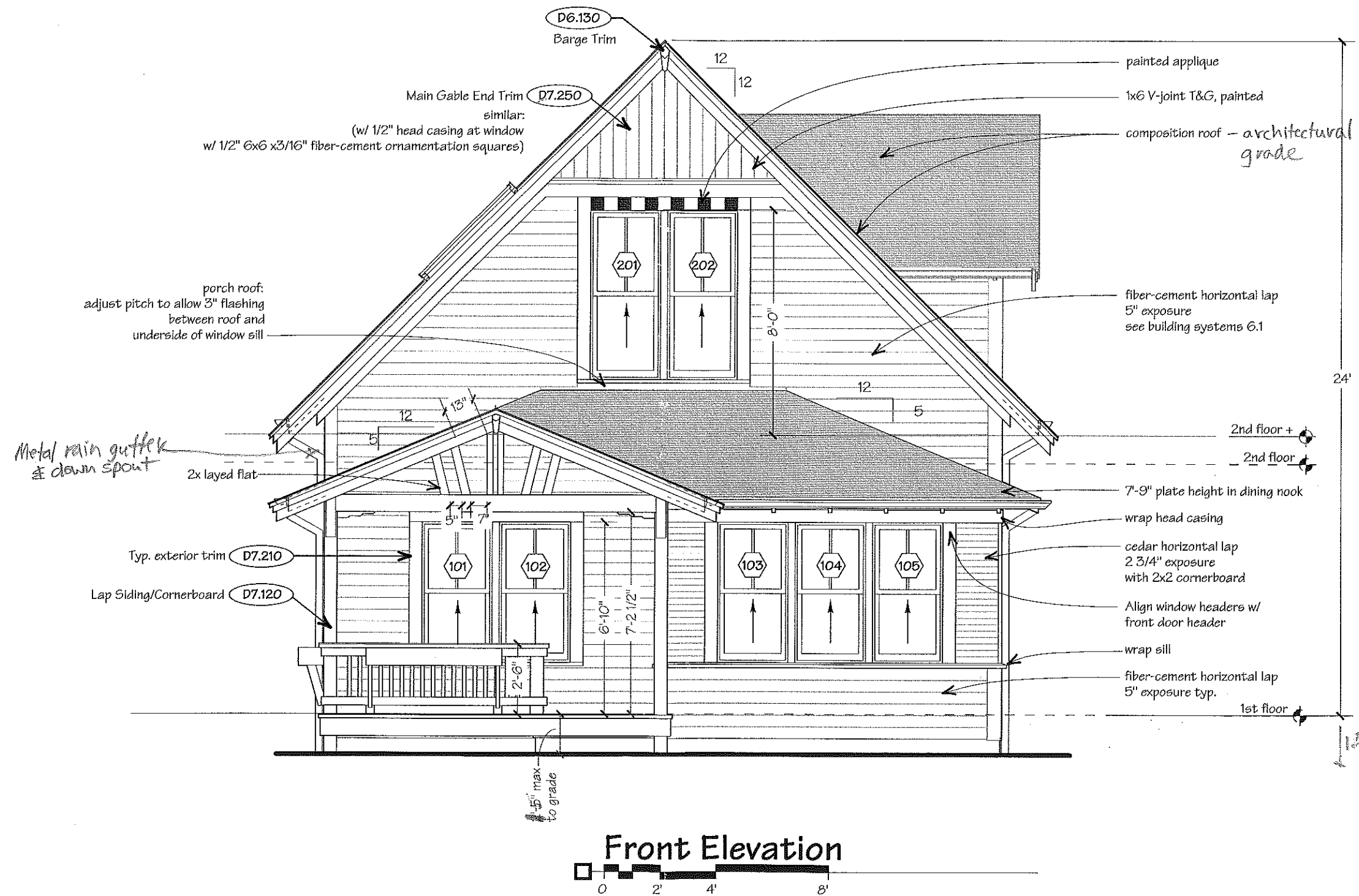
GoodFit

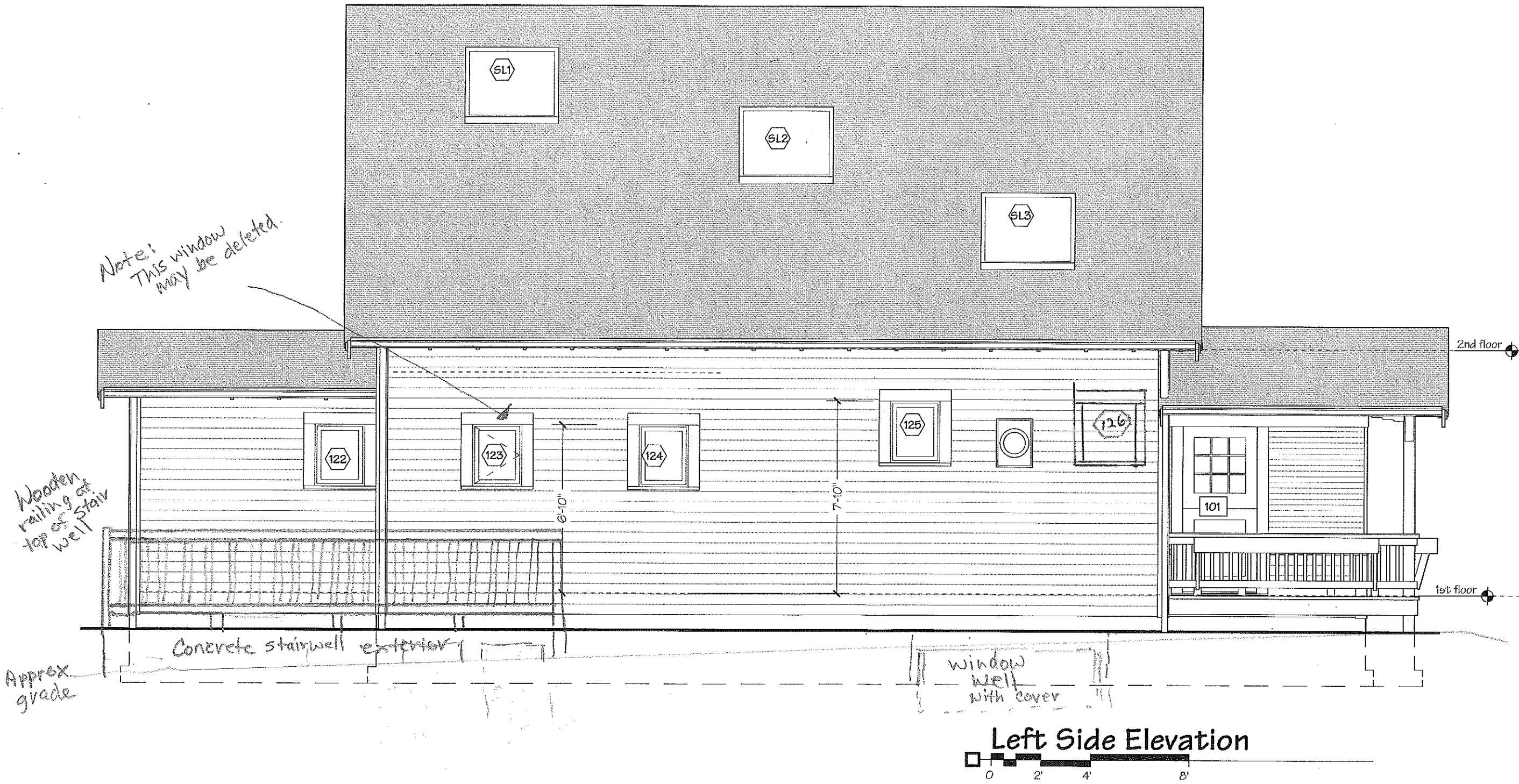
Cottages and Small Houses

PO Box 230 • Langley, Washington 98260 • plans@rosschapin.com • www.rosschapin.com

**Madrona
Version B**

Sheet 4





Left Side Elevation

Note: THIS window may be deleted.

Wooden railing at top of stair well

Approx grade

Concrete stairwell exterior

Window well with cover

2nd floor

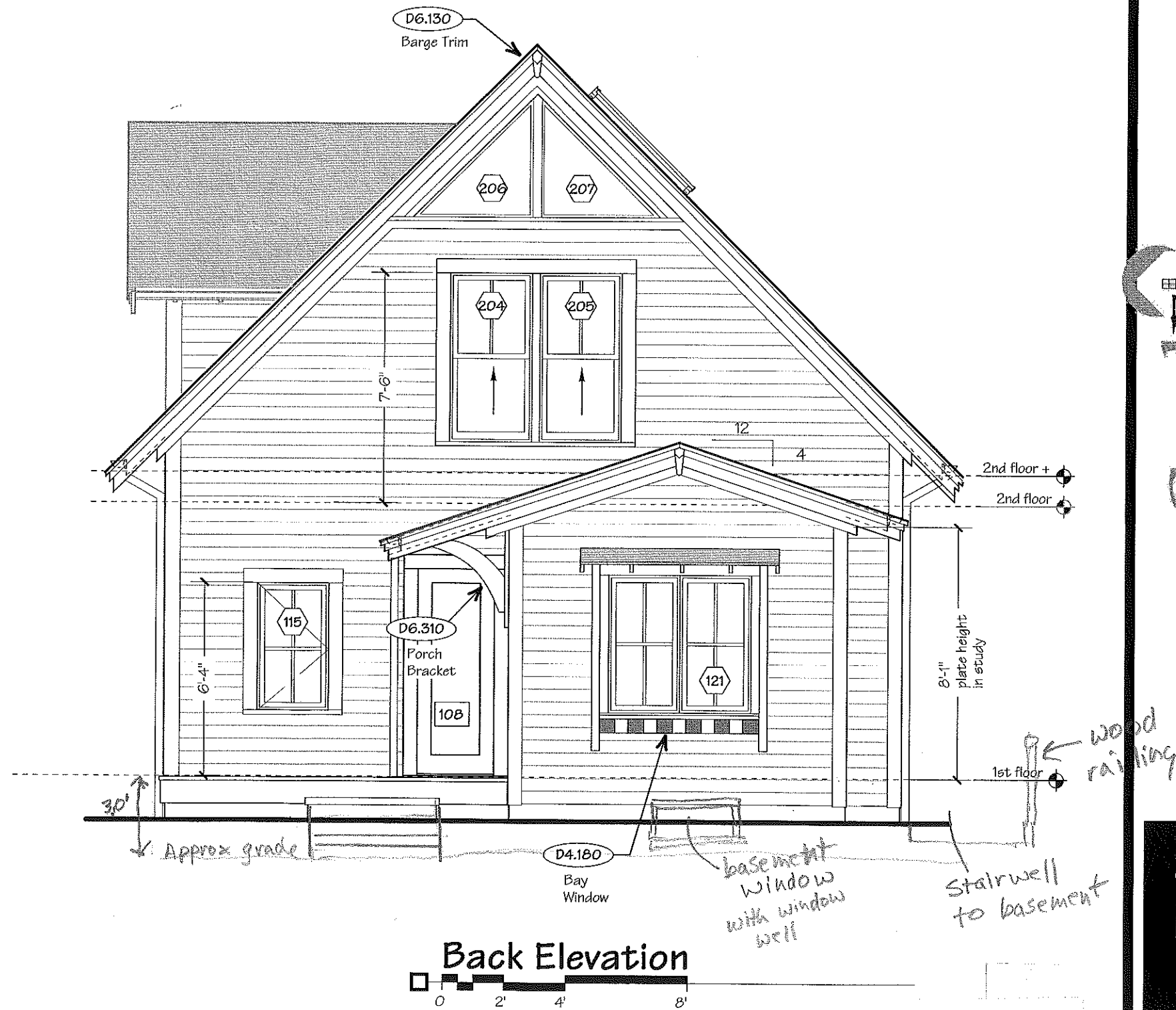
1st floor

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Madrona B

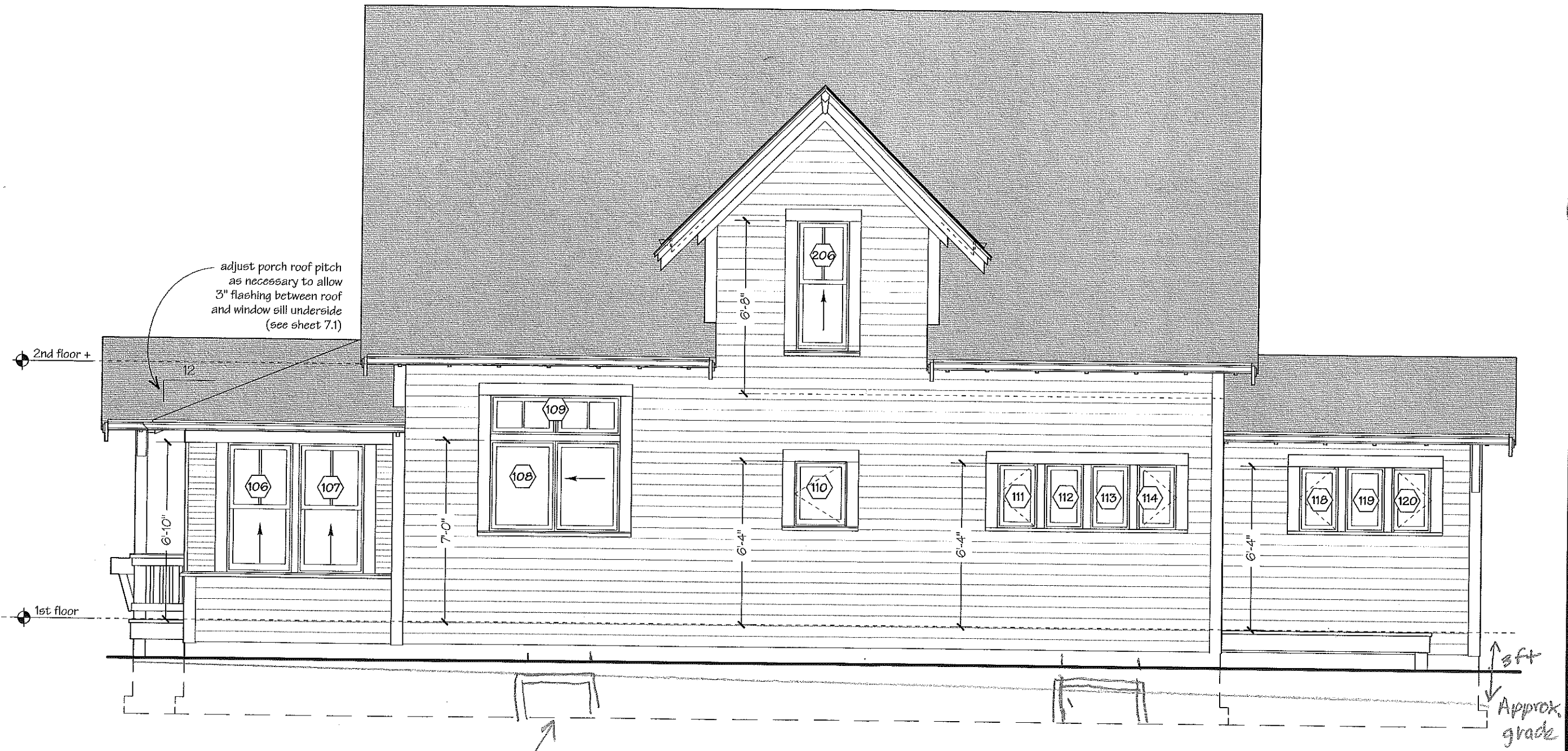
7.2
ELEVATION



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Madrona B

7.3
 ELEVATION



Right Side Elevation



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Madrona B

7.4
ELEVATION



Madrona - 05



Madrona - 02



Madrona - 01

