

## DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT <i>Tom Soppe</i>	PROJECT NO(S). <i>MUSC-14-03</i>	
NON-REFUNDABLE FEE(S) <i>1,000-</i>	REFUNDABLE DEPOSIT(S)	TOTAL <i>1,000-</i>

**Type of Review** (Please check all that apply):

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Annexation (ANX)<br><input type="checkbox"/> Appeal and Review (AP) *<br><input type="checkbox"/> Conditional Use (CUP)<br><input type="checkbox"/> Design Review (DR)<br><input type="checkbox"/> Easement Vacation<br><input type="checkbox"/> Extraterritorial Ext. of Utilities<br><input type="checkbox"/> Final Plat or Plan (FP)<br><input type="checkbox"/> Flood Management Area<br><input type="checkbox"/> Hillside Protection & Erosion Control | <input type="checkbox"/> Historic Review<br><input type="checkbox"/> Legislative Plan or Change<br><input type="checkbox"/> Lot Line Adjustment (LLA) */**<br><input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan)<br><input checked="" type="checkbox"/> Non-Conforming Lots, Uses & Structures<br><input type="checkbox"/> Planned Unit Development (PUD)<br><input type="checkbox"/> Pre-Application Conference (PA) */**<br><input type="checkbox"/> Street Vacation | <input type="checkbox"/> Subdivision (SUB)<br><input type="checkbox"/> Temporary Uses *<br><input type="checkbox"/> Time Extension *<br><input type="checkbox"/> Variance (VAR)<br><input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP)<br><input type="checkbox"/> Water Resource Area Protection/Wetland (WAP)<br><input type="checkbox"/> Willamette & Tualatin River Greenway (WRG)<br><input type="checkbox"/> Zone Change |
|--|---|---|

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

Site Location/Address <i>5781 Terrace Drive West Linn, OR 97068</i>	Assessor's Map No. <i>22E30CB04500</i>
	Tax Lot
	Total Land Area

Brief Description of Proposal <i>Adjustment to sideyard setback requirement.</i>	
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Owner Name & Address <i>Coni Rosati</i> <i>5781 Terrace Drive West Linn, OR 97068</i>	<input checked="" type="checkbox"/> Check if this is the applicant.	Phone <i>(760) 580-0421</i> Email <i>croati@medovate.com</i>
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Consultant Name & Address <i>Patrick Schmitt</i> <i>Patrick Schmitt, designer inc Portland, OR 97229</i>	<input type="checkbox"/> Check if this is the applicant.	Phone <i>503-768-4573</i> Email <i>Patrick@psdesignerinc.com</i>
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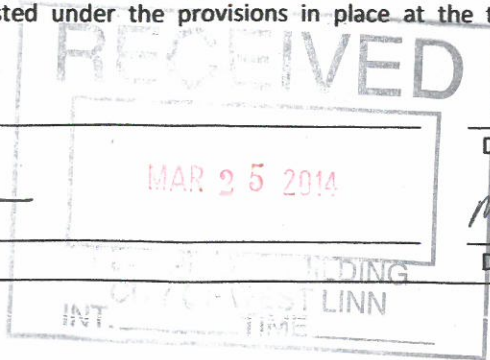
1. All application fees are non-refundable (excluding deposit).
2. The owner/applicant or their representative should be present at all public hearings.
3. A denial or approval may be reversed on appeal. No permit will be in effect until the appeal period has expired.
4. **Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application.**  
**One (1) complete set of digital application materials must also be submitted on CD in PDF format.**  
**If large sets of plans are required in application please submit only two sets.**

\* No CD required / \*\* Only one copy needed

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. The applicant waives the right to the provisions of ORS 94.020. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

Applicant's signature  
*Coni Rosati*

Owner's signature



Date  
*Mar 20, 2014*

Date

## Adjustment Application Written statement

Project Location: 5781 Terrace Drive  
West Linn, Oregon 97068  
City of West Linn

### Summary of Adjustment request(s):

- This house is located on the southeast corner of Webb Street and Terrace Drive, facing the latter. In the R-10 zone the minimum side yard setback from a right of way is 15 feet per 11.070(5)(c). However this is a non-conformingly small lot (approx. 8,000 square feet in a zone that requires 10,000) so per 68.040(A)(3)(f) it is allowed a 13-foot setback from a side street. The applicant has a setback that is a approximately 6" less than this and wants to replace the deck and expand the living area below the deck into this non-conforming setback area. This would expand the non-conforming structure within the non-conforming area without worsening the non-conformity. The applicant also plans to replace the deck on the rear, North-East area of the home. Non-conforming lots in this zone have a minimum three-foot setback, which the south deck already meets, so replacing this deck does not have to be addressed by this permit.

### Overview of site and existing conditions:

- The site is a corner lot facing onto Terrace Drive. The home is a split level, daylight basement style home, with a third level bedroom wing at the southern third of the home. Currently there are wood framed decks at all three levels on the rear, north, face of the home. These decks are worn and in need of replacement as part of routine maintenance of the home. The owner would like to replace these decks in their entirety with decks of equal size. At the basement level, the owner would like to replace the existing deck area with an addition of new living space. A very small sliver of this new structure, approximately 5" at the corner of the existing home and tapering to zero inches at the outside corner of the addition, falls within the setback area and is the area under review.

### Applicant's Response to Approval Criteria ("a" and "b" ) of section 66.080 ENLARGEMENT OF OR ALTERATION TO A NON-CONFORMING STRUCTURE: PROCESS AND APPROVAL STANDARDS, item B(2).

*Section 66.080 – 2(a) Approval Criteria: If the enlargement, in and of itself, does not meet all provisions of the code, review and approval by the Planning Director for single-family structures, and by the Planning Commission for non-single-family structures under the provisions of CDC 99.060(B) is required subject to the following standard.*

- a) The enlargement or alteration will not change the non-conformity;  
and;*

- b) All other applicable ordinance provisions will be met. (Ord. 1192, 1987)***

**Response to approval criteria "a" & "b"**

- a) This proposal meets criteria 2a because:
- The proposed addition and deck replacement areas will not extend any further than the existing structures of either the home or the rear facing deck.
- b) This proposal meets criteria B because:
- The proposed scope of work will meet all other provisions, if any apply.



**SURVEY NOTES:**

THE DATUM FOR THIS SURVEY IS BASED UPON AN ASSUMED ELEVATION ON SITE. NO RECORD OR CITY BENCHMARK WAS USED FOR THIS SURVEY, THEREFORE THIS SURVEY IS NOT RELATED TO ANY RECORD DATUM.

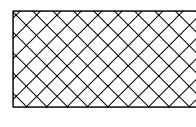
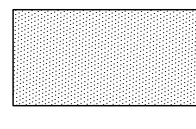
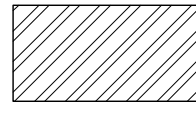

THE BASIS OF BEARINGS FOR THIS SURVEY IS PER MONUMENTS FOUND AND HELD PER RECORD OF SURVEY RECORDED UNDER PRIVATE SURVEY NUMBER 7897, RECORDS OF CLACKAMAS COUNTY.

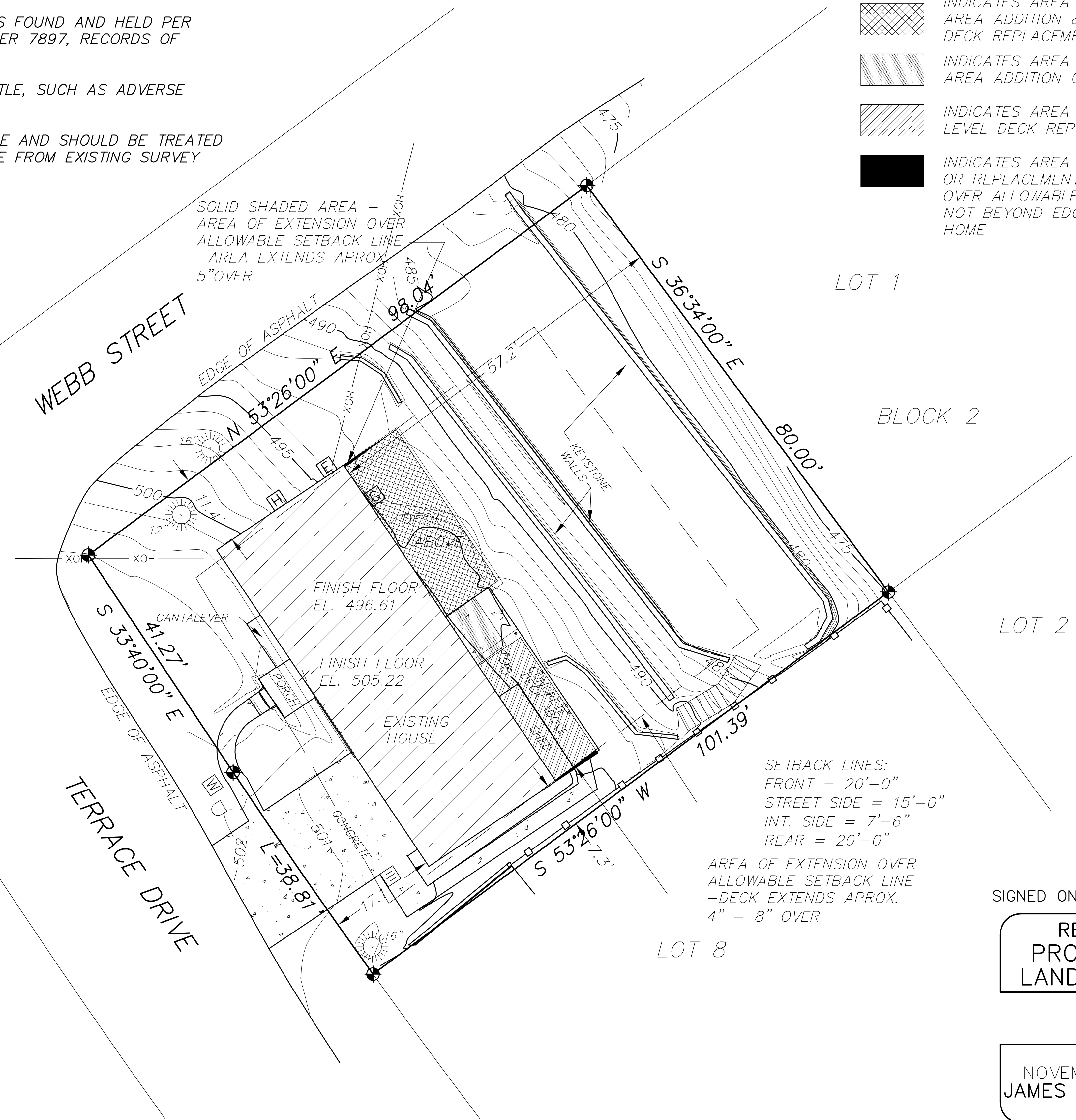
NO WARRANTIES ARE MADE AS TO MATTERS OF UNWRITTEN TITLE, SUCH AS ADVERSE POSSESSION, ESTOPPEL, ACQUIESCENCE, ETC.

PROPERTY LINES SHOWN HEREON ARE APPROXIMATE IN NATURE AND SHOULD BE TREATED AS SUCH, NO RESOLUTION WAS PERFORMED. LINES SHOWN ARE FROM EXISTING SURVEY DATA AND EXISTING PARCEL MAP DATA.









**SCALE/TOPOGRAPHIC SURVEY**

LOT 9, BLOCK 2, KRISTAN TERRACES  
CITY OF WEST LINN, CLACKAMAS COUNTY

-  INDICATES AREA OF BASEMENT AREA ADDITION & MAIN LEVEL DECK REPLACEMENT
-  INDICATES AREA OF BASEMENT AREA ADDITION ONLY
-  INDICATES AREA OF UPPER LEVEL DECK REPLACEMENT
-  INDICATES AREA WHERE ADDITION OR REPLACEMENT DECK EXTENDS OVER ALLOWABLE SETBACK BUT NOT BEYOND EDGE OF EXISTING HOME

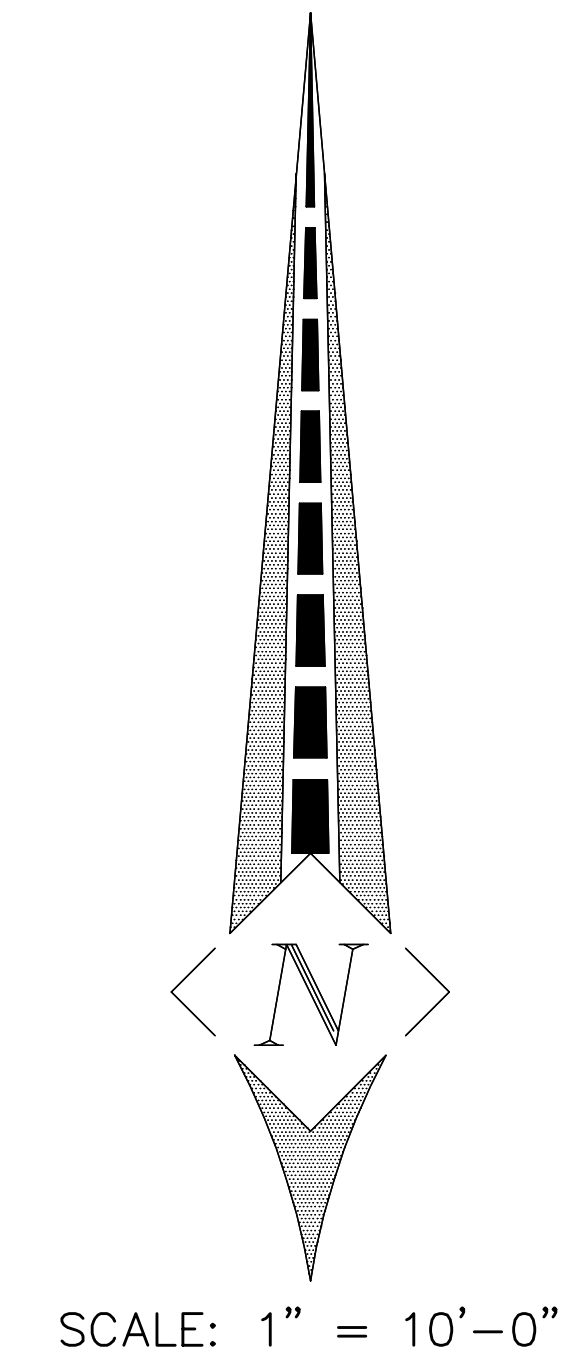


**LEGEND:**

-  WATER METER
-  STORM DRAIN
-  MAILBOX
-  GAS METER
-  EVERGREEN TREE
-  ELECTRIC METER
-  HEAT PUMP
-  OVERHEAD LINES

SETBACK LINES:  
FRONT = 20'-0"  
STREET SIDE = 15'-0"  
INT. SIDE = 7'-6"  
REAR = 20'-0"

AREA OF EXTENSION OVER ALLOWABLE SETBACK LINE - DECK EXTENDS APPROX. 4" - 8" OVER



SIGNED ON: \_\_\_\_\_

REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

OREGON  
NOVEMBER 30, 2007  
JAMES BURTON BROWN  
60379

VALID THROUGH DECEMBER 31, 2015

**PATRICK SCHMITT**  
designer, Inc.

Custom Home Design  
+Consulting

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Portland, Oregon 97229

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F : 503-297-4290

patrick@psdesignerinc.com  
www.psdesignerinc.com

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. PATRICK SCHMITT, designer Inc. must be notified and consent to any variation from dimensions set forth herein.

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GENERAL CONTRACTOR: BRENT HILLMAN & ASSOC.  
PO Box 3188 / TUALATIN, OR 97062  
PH: 503-209-1794

**MELLE RESIDENCE**

5781 TERRACE DRIVE  
WEST LINN, OR 97068  
\* REMODEL / ADDITION PLANS \*

DATE: March 4, 2014

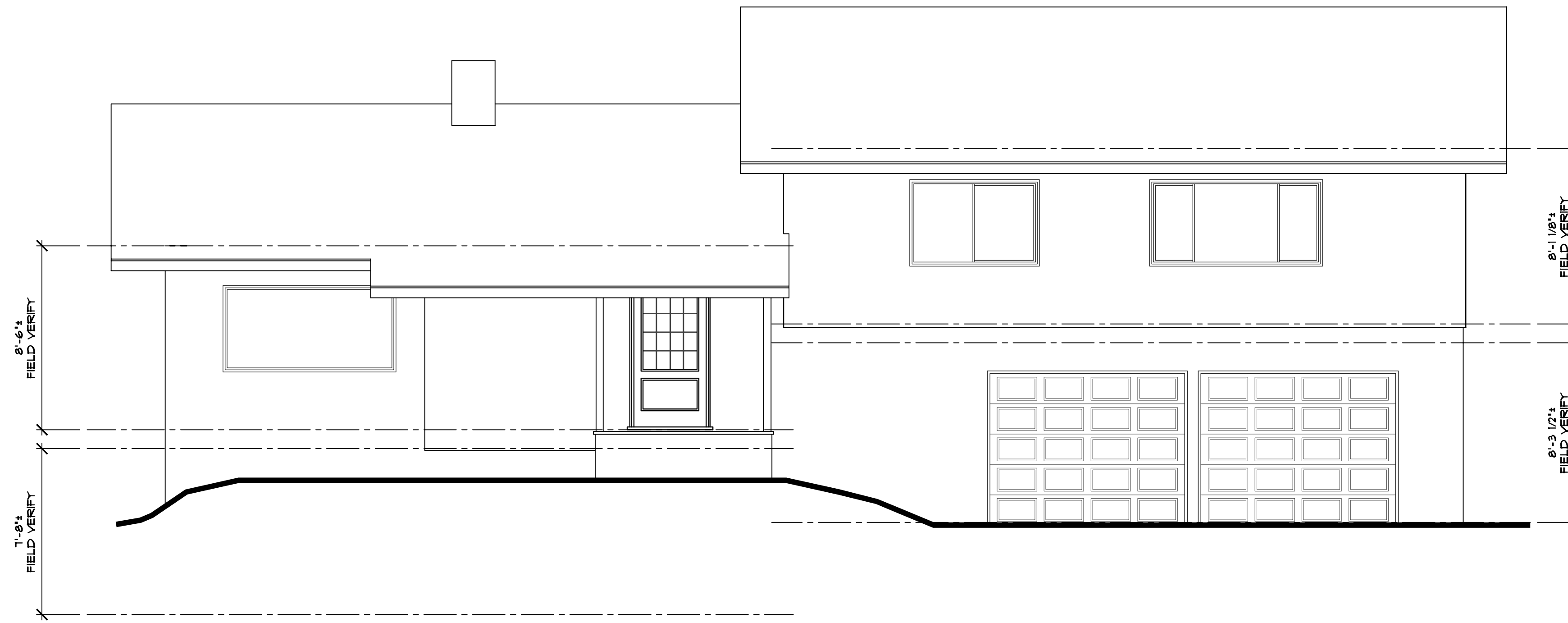
JOB NO.: PS-1481-14

REVISION:

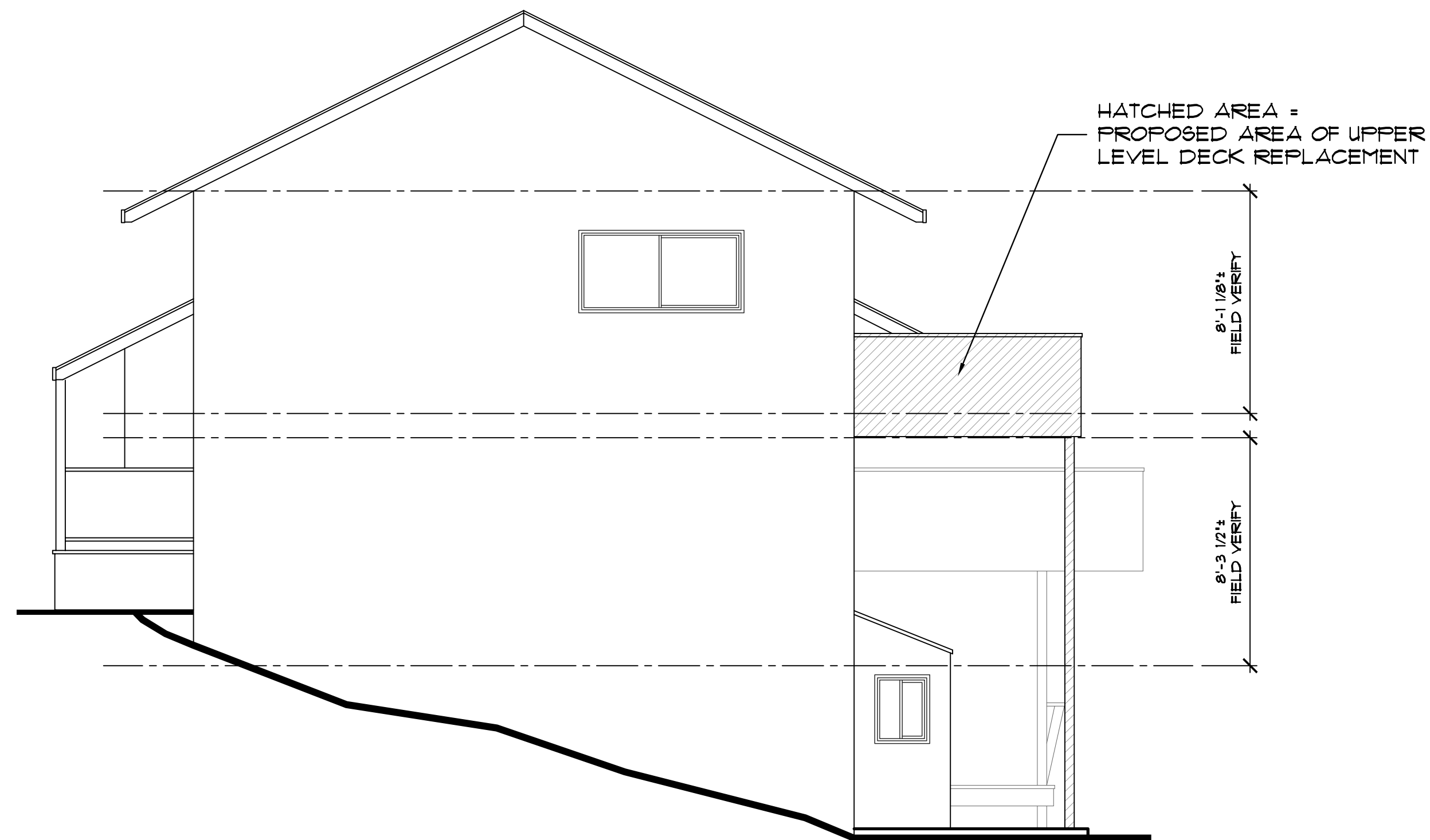
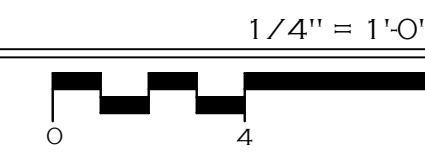
SHEET TITLE:

Site Plan

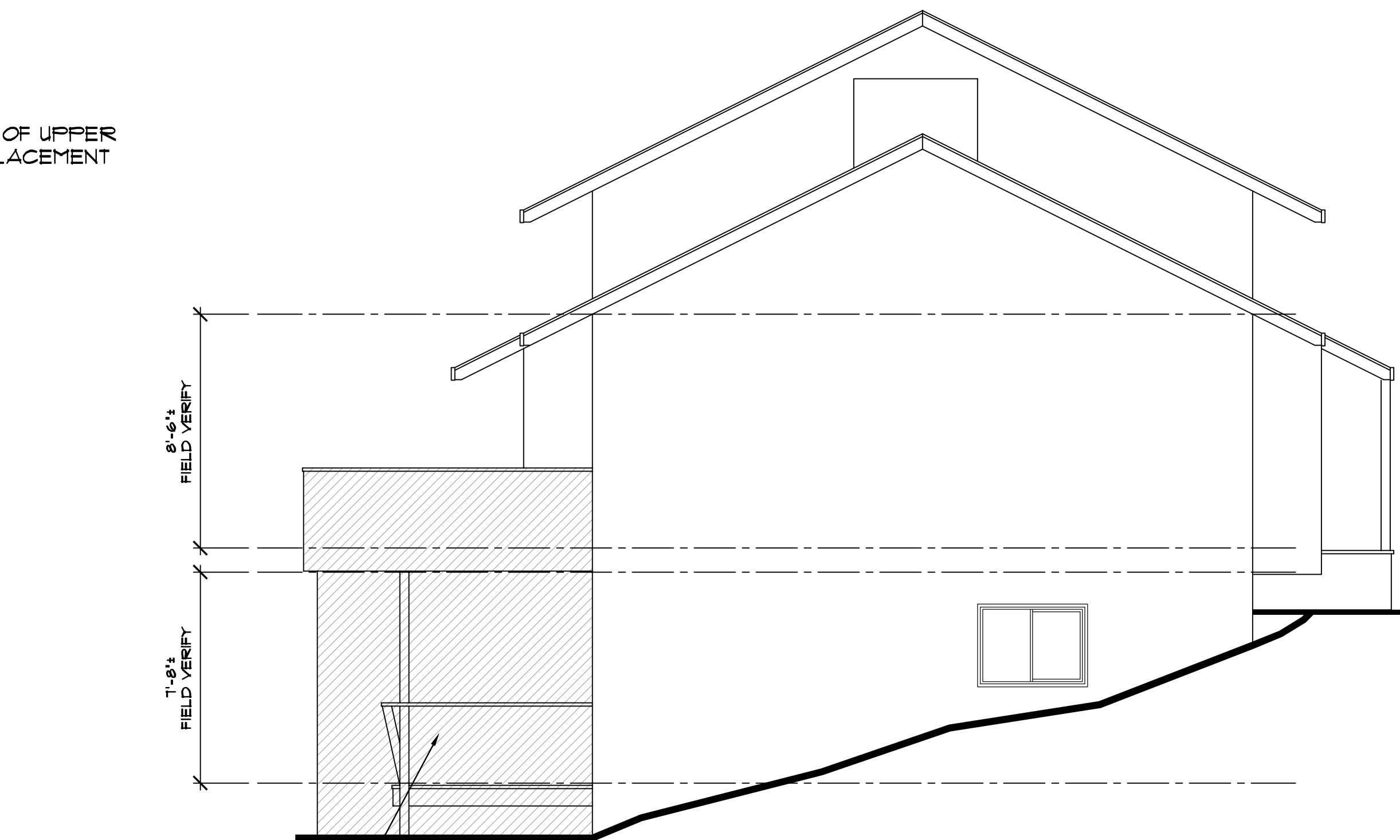
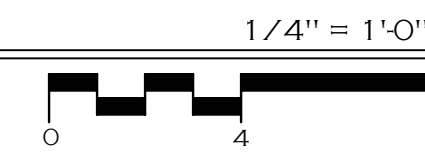
1  
OF  
6



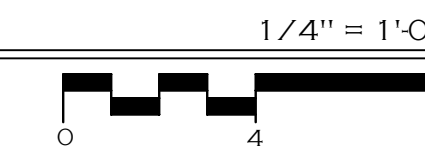
**FRONT ELEVATION  
AS-BUILT**



**RIGHT SIDE ELEVATION  
AS-BUILT**



**LEFT SIDE ELEVATION  
AS-BUILT**



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**MELLE RESIDENCE**

5781 TERRACE DRIVE  
WEST LINN, OR 97068

\* REMODEL / ADDITION PLANS \*

DATE: March 4, 2014

JOB NO.: PS-1481-14

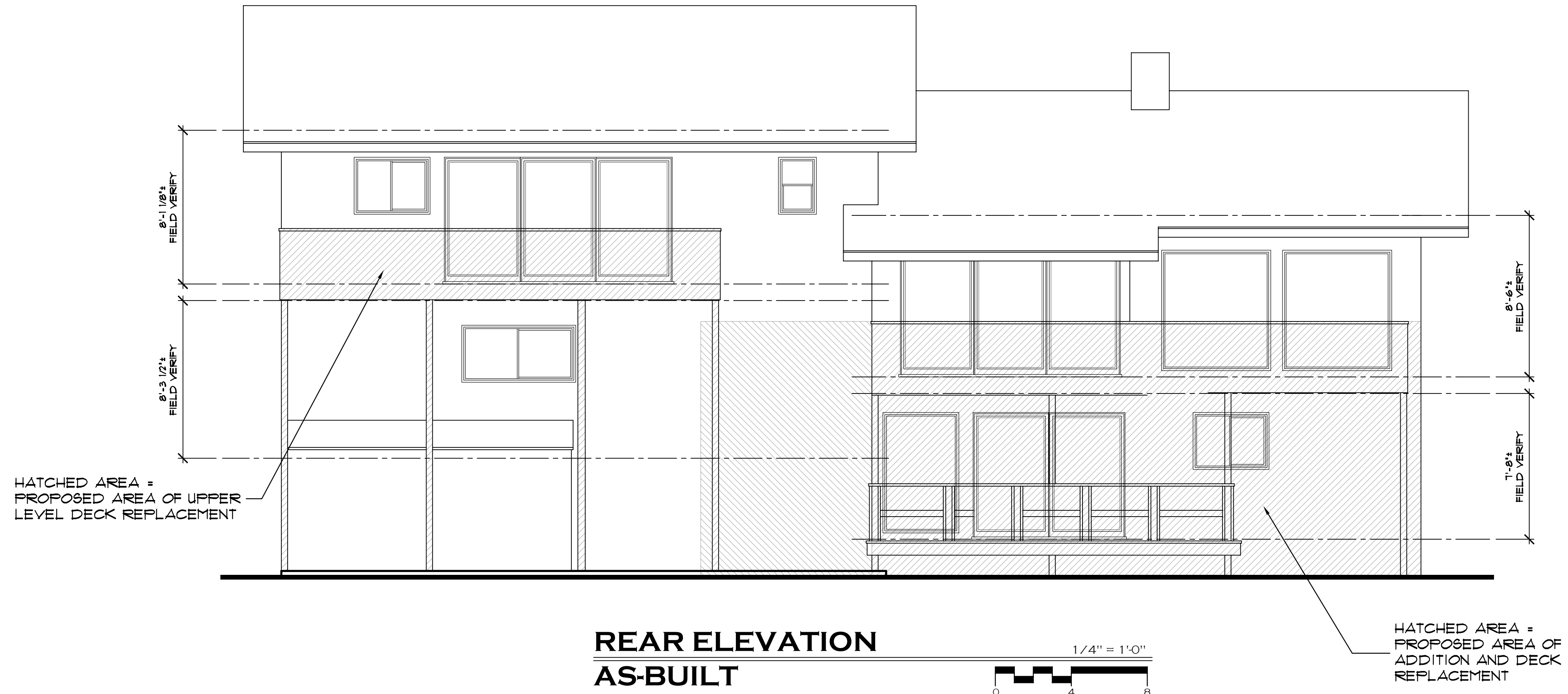
REVISION:

SHEET TITLE:  
Front, Left & Right Side  
Elevations - Remodel Plans

**2**  
OF  
**6**

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**MELLE RESIDENCE**

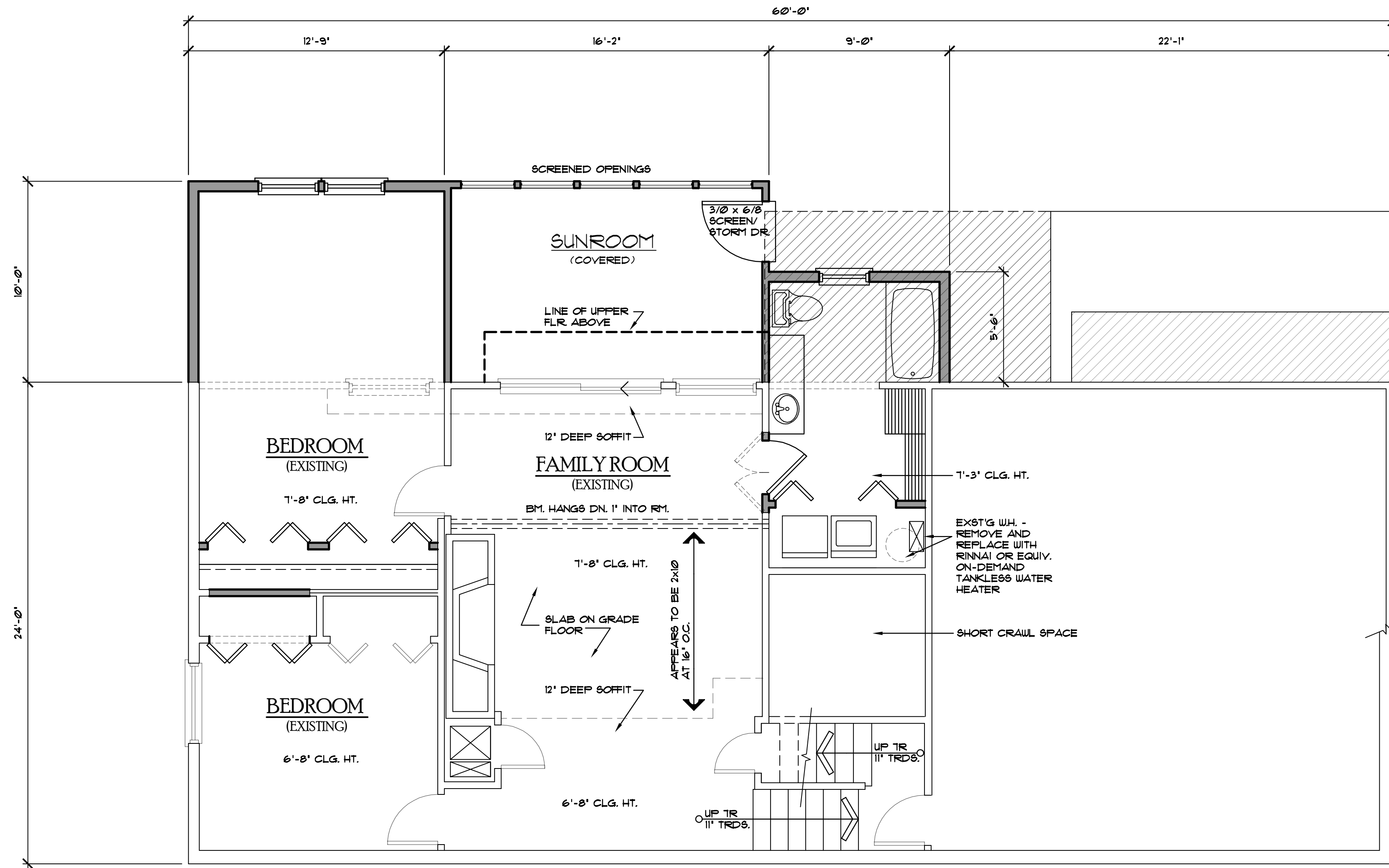
5781 TERRACE DRIVE  
WEST LINN, OR 97068  
\* REMODEL / ADDITION PLANS \*

DATE: March 4, 2014  
JOB NO.: PS-1481-14  
REVISION:

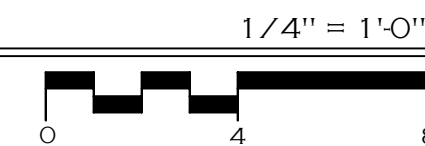
SHEET TITLE:  
Rear Elevation  
Remodel Plan

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**LOWER FLOOR PLAN  
REMODEL PLAN**



GENERAL CONTRACTOR: BRENT HILLMAN & ASSOC.  
PO Box 3188 / TUALATIN, OR 97062  
PH: 503-209-1794

**MELLE RESIDENCE**

5781 TERRACE DRIVE  
WEST LINN, OR 97068

\* REMODEL / ADDITION PLANS \*

DATE: March 4, 2014

JOB NO.: PS-1481-14

REVISION:

SHEET TITLE:

Basement Floor Plan  
Remodel Plan

4

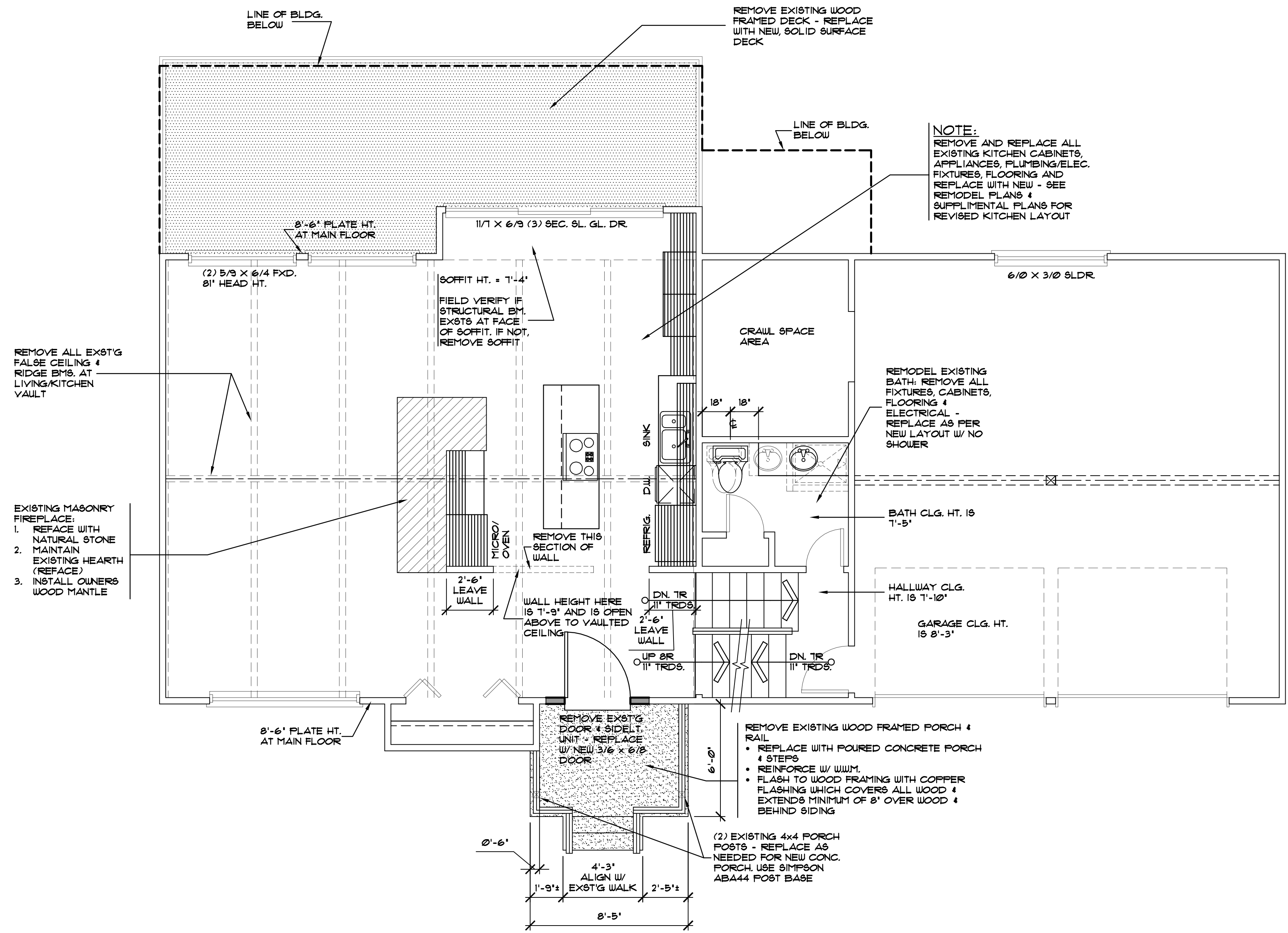
OF

6

GENERAL CONTRACTOR: BRENT HILLMAN & ASSOC.  
PO Box 31888 / TUALATIN, OR 97062  
PH: 503-209-1794

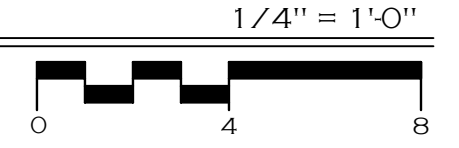
**MELLE RESIDENCE**

5781 TERRACE DRIVE  
WEST LINN, OR 97068  
\* REMODEL / ADDITION PLANS \*



**FRAMING NOTES:**  
ALL LUMBER GRADES TO BE:  
•STUDS - STUD GRADE OR BETTER  
•FLOOR JOISTS/CLG JOISTS - No. 2 DF/L OR BETTER, UNLESS NOTED OTHERWISE  
•BEAMS - No. 2 DF/L OR BETTER, UNLESS NOTED OTHERWISE  
•POSTS - No. 2 DF/L OR BETTER, UNLESS NOTED OTHERWISE

**MAIN FLOOR PLAN  
REMODEL PLAN**



**LEGEND**

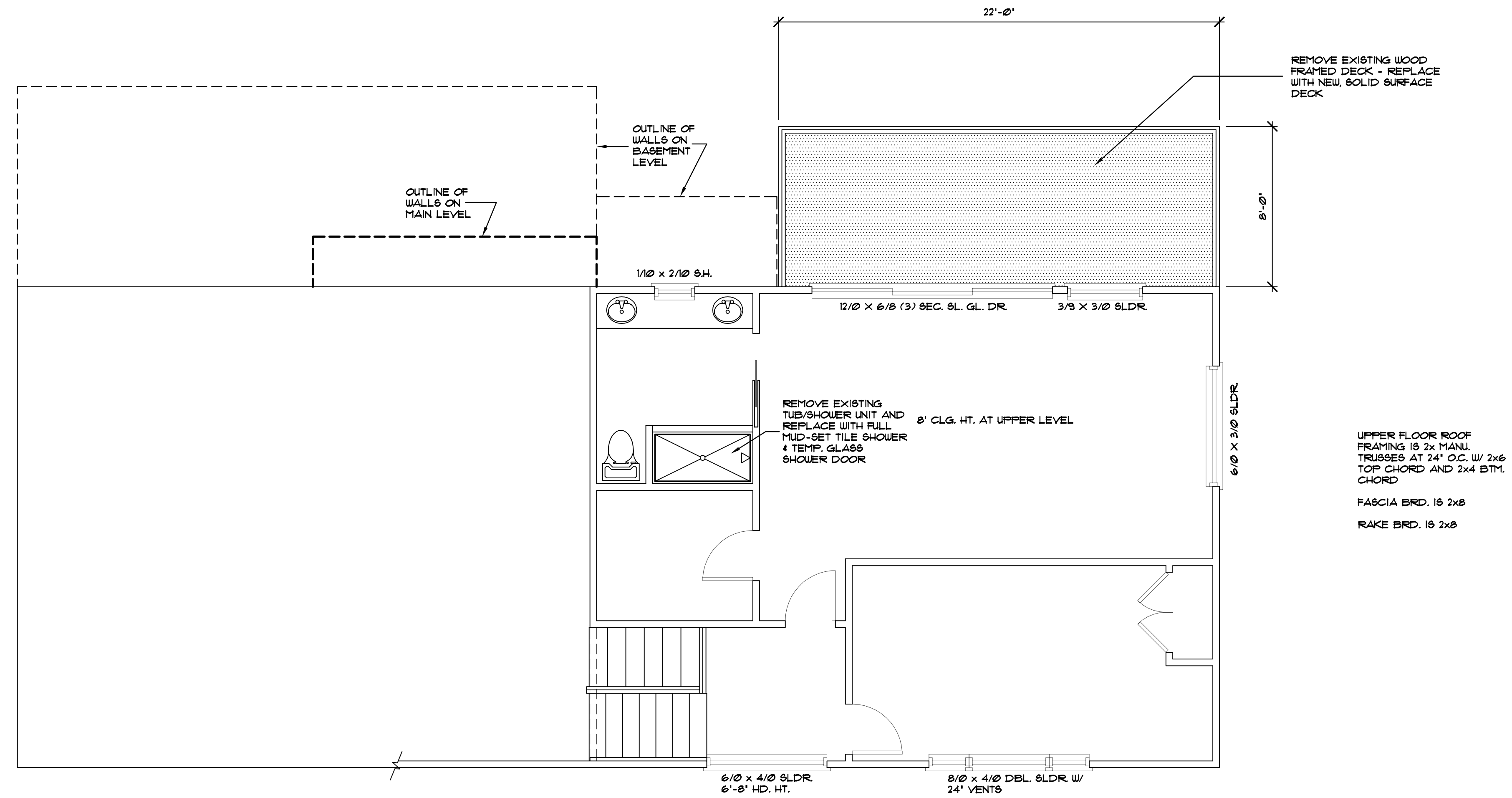
	NEW WALLS - 2 X 4 STUDS AT 16" O.C. UNO. - ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED
	EXISTING WALLS
	WALLS TO BE REMOVED

DATE: March 4, 2014  
JOB NO.: PS-1481-14  
REVISION:  
SHEET TITLE:  
Main Floor  
Electrical Plan

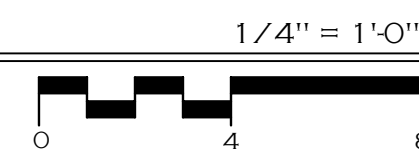


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**UPPER FLOOR PLAN  
REMODEL PLAN**



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PO Box 3188 / TUALATIN, OR 97062  
PH: 503-209-1794

**MELLE RESIDENCE**

5781 TERRACE DRIVE  
WEST LINN, OR 97068  
\* REMODEL / ADDITION PLANS \*

DATE: March 4, 2014

JOB NO.: PS-1481-14

REVISION:

SHEET TITLE:

Upper Floor Plan  
Remodel Plan