

21 April 2014

City of West Linn
Attn: Tom Soppe
Cc: David Emami
Re: Shady Hollow Village

Tom,

This letter is our response to your letter of 1 April and email of 8 April; the revised drawings and narrative are being printed this morning and will be delivered by David Emami. The following describes the general responses to your letters and indicates where the detailed revisions or clarifications can be found in the drawings and/or narrative. Please note that we are resubmitting the entire drawing package and the entire narrative only – all other documents in the original submission remain valid.

Section 55.070(D) – 11 x 17 drawings have been requested as part of the print order

Section 24.080(B) and (E) – tabulation is on page 3 of the narrative

Section 24.080(F) and 55.110(B)(10) – land type information added to drawing DRS1

Section 24.170(B)(3) and (4) – information is on narrative page 5

Section 24.180(E) – information is on narrative page 5

Section 32.040(G) – information is on narrative page 5

Section 32.050 – information is on narrative pages 6 and 7

Section 32.060(A) and 55.110(A) – map added to drawing DRS2

Section 32.060(B)(2) – information added to drawing DRS1

Section 55.100(B)(1-5) – information is on narrative pages 9 and 10

Section 55.100(B)(6)(b-h) – information is on narrative pages 10 and 11

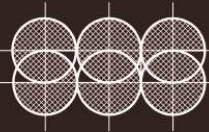
Section 55.100(E) – information is on narrative page 13 under noise/privacy

Section 55.100(H-M) – information is on narrative pages 14 and 15

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Section 55.110(B)(3) – slope analysis information has been added to drawing DRS1

Section 55.110(B)(5) – the general direction of the water flow has been added to drawing DRS1; this is discharge from a drainage pipe, not a creek – the general direction of flow is assumed based on information available about the general slope of the ground from the survey that was completed, since we did not have access to the neighboring properties to establish precise information.

Section 55.120(D) – graphic scale has been added to drawings DRS1 and DRS2

Section 55.120(G)(7) – a call-out for the main sign on the gazebo in activity area 1 has been added to drawing DRS2

Buffer to properties at 18194 and 18200 Shady Hollow Way – the design of buildings C1 and C2, and their locations have been modified to provide the required 25' distance from the property line.

Density calculations – it is understood from your 8 April email that you concur with our assertion that the allowed number of duplex buildings is 13.

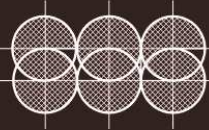
Shady Hollow Way dedications – the 4'-0" dedication along the eastern property line has been incorporated in all plan drawings; it is understood that the pavement width along the south property line must be 28' rather than the 26' shown in your letter of 1 April, which results in the 2'-0" dedication already shown.

Sidewalk along Highway 43 frontage – all plan drawings have been modified to show the sidewalk spaced 6'-0" behind the curb in this area, with additional trees removed (shown on drawing DRS1); street trees have been moved into planted area between curb and sidewalk; if allowed, sidewalk may be set at an elevation below top of curb in some areas to better accommodate grading requirements.

Undergrounding of overhead utilities – we acknowledge requirements for moving overhead utilities to underground, however, the means and locations for this are not yet finalized and therefore not noted on drawings.

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Curb radius at intersections – radius has been modified to 25' on drawing DRS2

Street lighting – final design for layout and fixture selection will be done in concert with PGE, however, the lighting plan DRS7 has been modified to show general locations anticipated and also notes City of West Linn standard 150W HPS Cobra Head type fixtures.

Fire hydrant – the requirement to upgrade existing hydrant at the intersection of Highway 43 and Shady Hollow Way has been noted on drawing DRS1

Thank you.

Stewart Straus

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NARRATIVE – Shady Hollow Village

Project Description: Construction of thirteen duplex buildings as a PUD on a 2.08 acre site with base zoning of R4.5, including conditions of approval from previous land use action that changed zoning to R4.5 from R10.

PART A: Compliance with qualifications for and requirements of a PUD as stipulated in Chapter 24 of the Community Development Code

1. Compliance with 24.010 Purpose

The purpose of the Planned Unit Development overlay zone is to provide a means for creating planned environments:

A. To produce a development which would be as good or better than that resulting from traditional lot-by-lot development.

Findings: Compared with a lot-by-lot development, the proposed PUD will create a true village neighborhood with opportunities for social interaction, separation of pedestrian and vehicular uses, and design themes that provide for both individuality and cohesiveness.

B. To preserve, to the greatest extent possible, the existing landscape features and amenities through the use of a plan that relates the type and design of the development to a particular site.

Findings: The general slope of the site is maintained and provides for a variety of building types to suit a range of housing types and pricing.

C. To correlate comprehensively the provisions of this title and all applicable plans; to encourage developments which will provide a desirable, attractive, and stable environment in harmony with that of the surrounding area.

Findings: The proposal is intended to create a transition from the environment of the Highway 43 corridor to the lower density of the existing residential development to the east. The proposal is an attractive and stable addition to the area with design features that create a sense of place that recalls the traditional existing neighborhood surrounding the site.

D. To allow flexibility in design, placement of buildings, use of open spaces, circulation facilities, off-street parking areas, and to best utilize the potentials of sites characterized by special features of geography, topography, size, and shape.

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Findings: The proposal creates a unique environment that integrates a variety of open spaces, separates pedestrian and vehicle circulation, and blends with the existing topography on an odd-shaped site.

- E. To allow a mixture of densities between zoning districts and plan designations when more than one district or designation is included in the development.

Findings: There is only one zoning district included in this development

- F. To develop projects that are compatible with neighboring development in terms of architecture, massing, and scale. Where that cannot be accomplished, appropriate transitions should be provided that are deferential or sympathetic to existing development.

Findings: The proposal is compatible in scale and architectural character while acting as a transition from the existing single family residential area to the more intense uses along Highway 43.

- G. To carry out the goals of West Linn’s Vision, Imagine West Linn, especially goals relating to housing, commercial, and public facilities.

Findings: The proposal promotes the goals of Imagine West Linn in terms of creating a sense of community, including active/passive recreational opportunities, providing transitional infill development and providing a network of paths and meeting places on a small scale.

2. Compliance with 24.060 Area of Application

Findings: The proposal complies with these requirements because it is a residential development with more than 20% of the dwelling units being attached.

3. Compliance with 24.080(B)(E) Density – narrative and table

Findings: Number of duplexes allowed is based on the gross existing site area, less area of dedications for public right of way along Shady Hollow Way, less area dedicated to water resource area per table:

DENSITY CALCULATION TABLE

Existing gross site area	90,375 square feet
Less public right of way dedications	1,132 square feet
Less water resource area	1,098 square feet
Net site area available for development	88,150 square feet
Basic number of duplexes @ 8,000 sf ea	11.02
Density bonus for design excellence @ 15%	1.65
Density allowed	12.67
Density proposed (rounding up)	13 duplexes

Note: Existing site is Type I land except for a small area of Type II and Type III land located substantially coincidental with the area designated as water resource area – see existing conditions plan.

4. Compliance with 24.100 Approval Criteria

A. Compliance with Chapter 55-Design Review and Chapter 43-Side Yards

Findings: See discussion in Part C Design Review

B. Compliance with specific PUD criteria:

1. Preserve existing amenities by coordination with topography and other features on the site

Findings: The general slope of the site is maintained and existing trees are preserved to the greatest extent possible.

2. Provide a desirable and stable environment in harmony with the surrounding area.

Findings: The proposal is intended to create a neighborhood in a well organized arrangement of dwellings, pedestrian paths, vehicle areas and amenities that encourage social interaction; the buildings and outdoor spaces are similarly scaled to surrounding homes.

3. Placement and design of buildings, use of open spaces, circulation facilities, parking and landscaping best utilize the potential of the site.

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Findings: See response to #2 above

4. The PUD shall be compatible with neighboring development in terms of architecture, massing and scale.

Findings: See response to #2 above

- C. Densities, density transfers, transitions, density bonuses and proposed setbacks shall conform with provisions of PUD and base zones.

Findings: See #5 below and other responses as appropriate

5. Compliance with 24.110 thru 24.160 density and density bonuses

Findings: Existing site is 90375 sf less 1132 sf dedication and 1093 sf water resource area = 88150 sf; 100% of this area can be used for density determination based on 8000 sf per duplex allowed. Basic number of duplexes allowed by right is 11.02. Density bonus for design excellence @ 15%: $1.15 \times 11.2 = 12.67$ duplexes allowed (to be rounded up to 13). There are no transitions required because duplexes are considered compatible with single family homes.

Density bonus is earned based on the following:

Maximum retention of natural slopes and trees

Garages off alleys at rear of units

Maximum open space retained – landscape areas total 39%

Landscape plan provides a variety of size, color and texture as well as being low maintenance.

The architectural design is comprised of quality materials and rich colors that bridge between traditional and contemporary. Facades are broken up into multiple planes, materials and color accents.

Four basic unit types have been developed, two of which are planned as handicap adaptable/accessible.

A pedestrian pathway system connects all parts of the site to public rights of way for easy connection to public transportation.

6. Compliance with 24.170 Usable Open Space

Findings: There are four distinct usable opens spaces provided as part of this proposal, with a total of 8646 sf, or 332 sf per unit; these are not all traditional recreational areas – some are more suited to mental relaxation than physical activity:

Area 1 – A gazebo with concrete table and benches; table to have integral chess/checkers board – 2231 sf

Area 2 – A putting and chipping green for golfers – 2707 sf

Area 3 – Two basketball backboards with courts integrated into the emergency vehicle turning area

Area 4 – A bocce court; this area could also become a community garden with small plots for the residents – 1908 sf

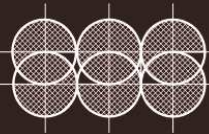
These further provide four unique opportunities for social activity in different parts of the site, encouraging residents to be involved.

These common areas will remain the responsibility of the developer until such time as a home owner association can be formed according to state law. Common areas do abut the perimeter, however none that do would be considered “active” in the same sense as examples provided in the code that typically generate considerable noise – all proposed perimeter activities are relatively quiet and engaged in by one to four persons at a time.

7. Compliance with 24.180 Base Zone Provisions

Findings:

- a. Lot coverage – maximum allowed is 50%, proposed is 25.5%
- b. Building height – maximum allowed by underlying zoning is 35’; proposed is 27’-4”
- c. Setbacks – minimum per base zone are 20’ at front (Hwy 43), 15’ at side street (Shady Hollow), 20’ at rear, and 5’ at interior sides; these are met or exceeded in all locations; within the development, there are no formal front, rear or side yards, so the proposed setbacks are alternatives to those stipulated based on the general character of the development designed, and approval is requested based on these as proposed.
- d. Floor Area Ratio – maximum allowed is 45%; proposed FAR is 44.6%



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PART B: Compliance with Water Resource requirements (Chapter 32)

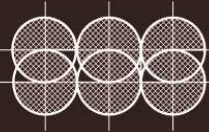
1. Compliance with 32.040(G) – Description of water resource area

Findings: The water resource area located on this site is about 1093 sf located at the northeast corner of the site, uphill from the point of discharge from a pipe daylighting on an adjoining property. The area on this site exhibits no characteristics of wetland vegetation that might be associated with a water source – trees and other vegetation are similar in character to that found elsewhere on the subject property. There is one 6” hawthorn within the defined water resource area, and one 40” cedar several feet upslope from the edge of the water resource area. While there is no distinction to the vegetation within the water resource area, it will be kept in its current condition in compliance with code requirements.

2. Compliance with 32.050 – Approval Criteria

Findings:

- a. The water resource area shown on drawings submitted is based on investigation by Martin Schott, a wetland biologist, who determined the source of the water to be the discharge from a pipe located approximately 25’ from the northeast corner of the subject property and draining generally to the northeast following the existing slope of the ground.
- b. The proposed development has identified the required buffer from the point of discharge and there are no alterations proposed for this area – it is to remain intact exactly as found.
- c. Development adjacent to the defined water resource area will consist of walkways and minor recreational features having minimum impact of existing ground conditions.
- d. Only a small portion of the water resource area is within the subject property; silt fencing is proposed during construction at the uphill perimeter of the area on the subject property, and a 4’ high demarcation fence is proposed for installation as a permanent deterrent to disturbance of this area; what happens on adjoining properties is beyond our control.



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- e. Land adjacent to the point of discharge is believed to be in the range of 0% to 25% - not being on the subject property, we can only project from survey data available from our property. We have established a 57'-6" buffer distance from the discharge point to any constructed improvements on our property.
- f. No construction of any kind is proposed for the water resource area.
- g. A 6' high chain link fence will be installed at the perimeter of the water resource area on this property during construction.
- h. All paving is located outside the perimeter of the water resource area on this property.
- i. Since actual drainage occurs on adjoining property, this criterion is not applicable.
- j. See finding 'd' above regarding erosion control measures.
- k. Since the water resource area on this property is uphill from the actual discharge point of the water, enhanced vegetation is not believed to improve conditions for the water course.
- l. See finding 'e' above regarding distance to structural work.
- m. There are no storm water facilities within the defined water resource area.
- n. There are no piped drains on the subject property to be opened.
- o. There are no adjustments to setbacks required or sought.
- p. The drain pipe shown on the submitted drawings is the only water resource area determinant for this property.

PART C: Compliance with Design Review requirements (Chapter 55)

1. Compliance with prerequisite Pre-App and neighborhood meetings

Findings: Documentation related to these meetings is attached

2. Compliance with 55.100 approval standards for Class II Design Review

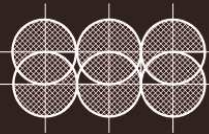
A. Compliance with other code chapters

1. Chapter 33 Stormwater Management

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Findings: A preliminary design for storm water management is shown on drawing DRS4 based on calculations attached herewith; detention is proposed by soils report due to conditions that are not conducive to infiltration.

2. Chapter 34 Accessory Structures

Findings: The only accessory structure provided is the small gazebo in activity area #1, which also serves as signage for the project

3. Chapter 38 Additional Yard Requirements

Findings: The provisions of this chapter are not applicable to this proposal

4. Chapter 41 Building Height (replaces repealed Chapter 40)

Findings: “A” and “C” buildings 35’ max; “B” and “D” buildings 45’ max based on 10’ site slope accommodated.

5. Chapter 42 Vision Clearance

Findings: The only place this is an issue is at the intersection of Hwy 43 and Shady Hollow Way; the required 30’ each way at intersection has been used to determine the allowable location of the gazebo

6. Chapter 44 Fences

Findings: There are no fences proposed for the perimeter of the site. At each unit, the entry court/patio is surrounded by a stone clad wall that extends approximately 3’ above the patio surface, which provides definition of the interface between public and private space.

7. Chapter 46 Parking

Findings: There are two-car garages provided for all “A”, “B” and “D” units and one-car garages are provided for the “C” units; in addition, there are 23 visitor parking spaces near the site entry; bike parking is available in all garages, plus there are 8 bike parking racks for visitors.

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8. Chapter 48 Access

Findings: The main driving aisles comply with fire department requirements for width (24') and turning radius (45' to centerline); the portion of the emergency access path north of buildings A3 and B5 is designated for fire and garbage vehicle access only – with heavy cobble paving to discourage use by most vehicles – which allows a portion of this area to be used as outdoor recreation space (see findings for usable open space on page 4 above). Three buildings are configured for accessibility: C1, C2 and D1. Accessible parking is provided in the visitor lot.

9. Chapter 52 Signs

Findings: One overall project sign is proposed to be incorporated into the design of the gazebo located in activity area #1. Method of addressing the buildings and units has not yet been determined; a site map will be incorporated into the feature that accommodates the mailboxes for the site.

10. Chapter 54 Landscaping

Findings: Proposal provides 39% landscape area compared to 25% minimum site area required. Plant materials have been selected for low maintenance while offering a variety of trees, shrubs and ground cover. Landscape plan incorporates existing trees in locations not conflicting with proposed buildings, circulation and outdoor activities; most of these are along the Hwy 43 frontage, which will help preserve the current look and feel of this thoroughfare.

B. Relationship to Natural and Physical Environment

1. Preservation of Heritage Trees

Findings: Arborist report identified only one significant tree on the site, an oak near the southwest corner of the property. This tree is being preserved whether or not it is considered “Heritage”

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2. Area of preserved trees

Findings: All existing trees to be preserved, including the significant tree noted above and others not designated as significant, shall be protected during the course of construction with chain link fencing at 10'-0" outside the dripline, which shall be verified prior to construction.

3. Existing topography and natural drainage to be preserved to maximum extent possible.

Findings: The proposed design is based on maximum possible retention of general site topography in benched terraces stepping down from west to east. Natural drainage patterns are preserved, but due to the poor percolation characteristics of the site, storm water is collected at impervious areas for treatment and detention prior to discharge into the existing creek system to the east of the site.

4. Buildings are not to be located in areas of slumping or sliding soils

Findings: The geotechnical investigation indicates that the site soils are not subject to slumping or sliding; site grade slopes are gradual enough to preclude lateral instability.

5. Buildings are to be located to provide adequate separation for light and fire protection

Findings: Buildings are located a minimum of 10'-0" apart at their closest conditions.

6. Architecture

a. Compatibility with buildings on adjoining sites

Findings: The proposed building designs are consistent with the existing wide range of residential styles, scale, materials and other features in the general vicinity. The design intent is to provide a reasonable range of variety within the development to give each building an identity in a similar manner to house-by-house development in the adjacent neighborhood.

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b. Transitions to buildings on adjoining sites

Findings: The proposed building designs are similar enough to and sufficiently distant from single family residences on adjoining site to preclude the need for transitions designed into the proposed buildings.

c. Contrasting architecture

Findings: The proposed building designs, while similar to those on adjoining sites, use the vocabulary of adjacent buildings in a more sophisticated manner. This does not contrast with the existing buildings, but adds to the quality of the existing neighborhood.

d. Human scale

Findings: The proposed buildings incorporate a number of features to maintain a human scale: intimate entry ways with private outdoor patios, windows with traditional trims and proportions, varieties of siding materials to break up large wall areas, and changes in wall planes. At the units with basement garages, a trellis is introduced to moderate the higher wall plane.

e. Windows at commercial building frontages

Findings: Not applicable to this proposal

f. Variations in depth and roof line

Findings: All sides of the proposed buildings incorporate variations in wall plane (bump-outs) and roof configuration (dormers) to create a hierarchy of architectural elements and opportunities to introduce variations of siding materials.

g. Micro-climate conditions for pedestrians

Findings: Building orientation on the site was primarily a function of the topography. Covered entries are provided at dwelling units. Introduction of awnings or similar devices is not appropriate for this residential use or consistent with what would be found in a traditional lot-by-lot development.

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7. Transportation

a. Orientation of commercial developments

Findings: This is not applicable to the proposed development

b. Parking for multi-family projects

Findings: This proposal is intended to strike a balance between a variety of design goals to provide an overall pleasant environment for the residents as well as for the neighborhood. We have separated vehicular and pedestrian circulation, including parking access and unit entrances, giving each unit a pleasant entry courtyard patio. Visitor parking has been consolidated in a single area along Shady Hollow Way, directly opposite the existing Burgerville restaurant, which has extensive vehicular activity, and heavily buffered with bermed landscaping. The primary site frontage along Highway 43 is only pedestrian oriented. Had the preferences described in the code been incorporated into the design, the access to visitor parking would have been through areas intended to be private for residents and would have required more paved site area.

c. Buildings fronting on rights-of-way

Findings: As described above, the buildings and their pedestrian access are located as close to the Highway 43 frontage as allowed by required setbacks.

d/e. Pedestrian access

Findings: The proposal includes an extensive network of interconnected pedestrian paths separated to the extent possible from vehicular circulation. The widths of paths vary in a hierarchal manner: primary accesses are wider and more formal; secondary accesses are narrower and less formal. Where pedestrian paths cross vehicular circulation, they are typically raised and marked.

f. Primary access

Findings: The proposal is comprised of multiple buildings and multiple access points from both Highway 43 and Shady Hollow way. The two accesses at the southwest corner could be deemed “main”.

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g. Access from public transit

Findings: Public transit is available on Highway 43 with the closest stop being in front of Burgerville. Riders have access to and from the site via two access points near the southwest corner of the site.

h. Height-to-width ratio

Findings: As noted in item 'c' above, buildings along the Highway 43 frontage are located as close to the right-of-way as allowed by setbacks. Because Highway 43 is very wide and the buildings are only two story, the desired proportion for streetscape design is not possible.

C. Compatibility and Buffering

Findings: While buffering is not required between single family and duplex developments, there is a condition of approval from the zone change that requires a 25' buffer between buildings on this property and the site property line. This is provided in all locations.

D/E. Privacy and Noise

Findings: All units have a front patio area for outdoor activities - this functions as an entry court, and exceeds the 48 square foot minimum in all locations. These are screened from the attached unit and since most are elevated between 2' and 4' above grade, the perimeter stone faced wall provides visual privacy from passersby and the neighbors. The primary noise concern is from Hwy 43 traffic, although at a speed of 35 mph, the noise generated will not be similar to being next to a freeway – the proposal includes 3' to 4' high berms in the landscape area between the units and the public right of way and heavy planting to help dampen the noise.

F. Shared Outdoor Recreation Space

Findings: This has been addressed above on page 4

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G. Demarcation of public and private spaces

Findings: As noted above, the entry courts to each unit are generally raised a few feet and surrounded by a stone clad wall.

H. Public transportation

Findings: Existing bus service on Highway 43

I. Public facilities

Findings: Existing right-of-way on Shady Hollow Way is proposed to be increased by 2' dedication on south and 4' dedication on east; storm water collection, treatment and detention system is proposed on site, with metered discharge to nearby creek; existing water and sanitary sewer systems have been determined adequate to accommodate the proposed project; see "O" below for waste handling.

J. Crime prevention

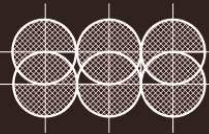
Findings: Lighting provided throughout the site for vehicular circulation, pedestrian circulation, key outdoor features and general monitoring of concealed areas.

K. ADA accommodation

Findings: Ramped access is available to dwelling units in buildings C1, C2 and D, with connection to mailboxes, outdoor activity areas and public right-of-way sidewalk.

L. Signs

Findings: Sign identifying "Shady Hollow Village" to be mounted on frieze of gazebo structure at southwest corner of the project site. Each dwelling unit will have an address – addressing system to be determined. Other directional signage and informational signage to be determined at a later date. All signage to utilize a common graphic design compatible with the buildings and other site features.



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M. Utilities

Findings: Electrical power and communications systems, public water supply and public sanitary sewer to be provided by existing serving utility companies. All electrical wires will be placed underground per City code – impact to adjoining property owners not the responsibility of this developer.

N. Wireless communication facilities

Findings: Not applicable to this proposal

O. Refuse and recycling

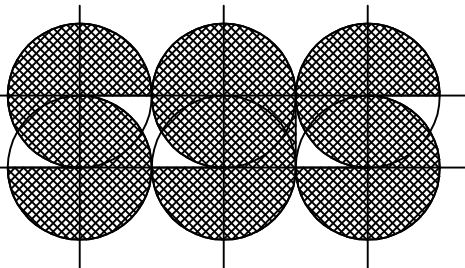
Findings: Garbage and recycling containers will be kept in the garages of each unit and moved outside the garage or in an area designated adjacent to the garage on pick-up days. The access drives have been configured to accommodate garbage trucks.

3. Transportation Analysis

Findings: A copy of the transportation report completed May, 2008 is attached herewith.

4. Compliance with Robinwood Neighborhood Plan goals

Findings: As evident in multiple findings above, the proposed development is pedestrian and bike friendly, uses high quality materials, preserves natural areas where possible, and provides good lighting for security.



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SHADY HOLLOW VILLAGE

PROJECT TEAM

OWNER/DEVELOPER

BARRINGTON MANAGEMENT
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DRAWING INDEX

DR0 COVER AND DIRECTORY

SITE INFORMATION

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- DR52 DIMENSIONED SITE PLAN SITE AREA ANALYSIS
- DR53 GRADING & DRAINAGE PLAN
- DR54 ON SITE UTILITY PLAN
- DR55 OVERALL LANDSCAPE PLAN
- DR56 LANDSCAPE DETAIL
- DR57 LIGHTING PLAN

BUILDING INFORMATION

- DRA1 BUILDING 'A' FLOOR PLANS & ELEVATIONS
- DRA2 BUILDING 'B' FLOOR PLANS & ELEVATIONS
- DRA3 BUILDING 'C' FLOOR PLANS & ELEVATIONS
- DRA4 BUILDING 'D' FLOOR PLANS & ELEVATIONS

PROJECT NUMBER: 1335

DRAWING	DATE	BY
DESIGN	20 NOV 2013	SGS

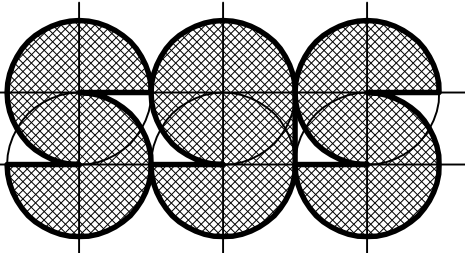
NBRHD MTG
11 FEB 2014
SGS

DES REV
12 MAR 2014
SGS

PERMIT

SHEET TITLE
COVER
DIRECTORY

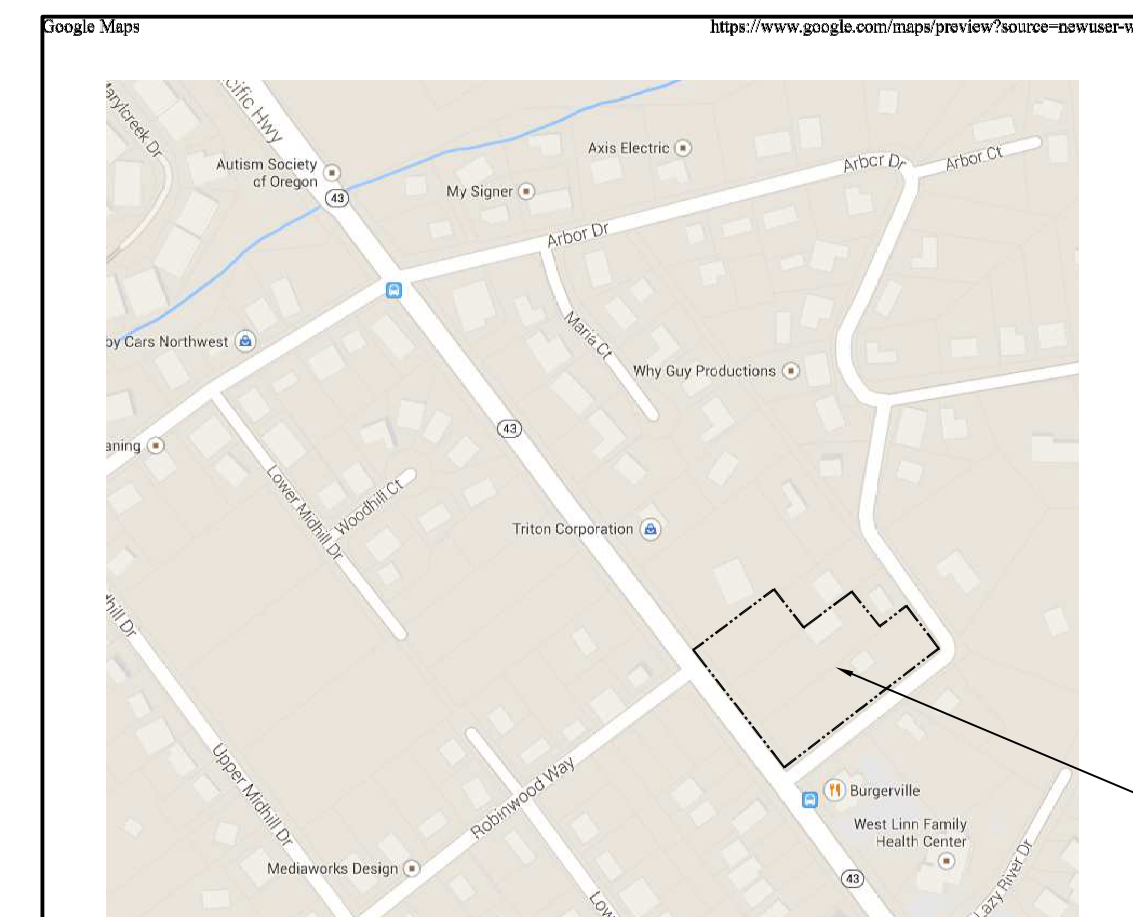
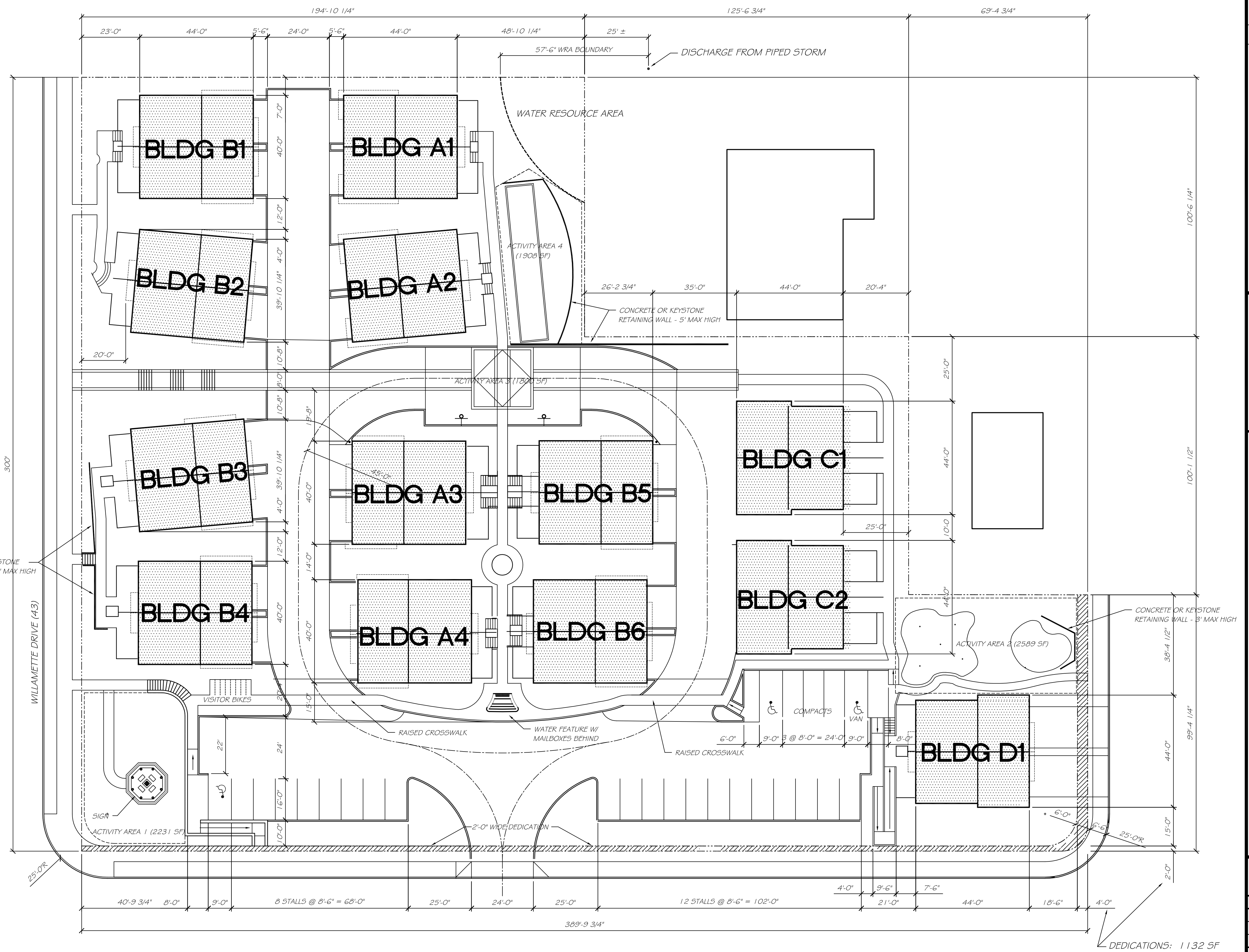
SHEET #
DR0



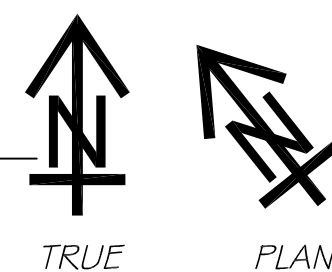
STEWART GORDON STRAUS
ARCHITECT
6775 SW 111TH AVENUE
SUITE 20
BEAVERTON, OR 97008
(503) 672-7517 (OFFICE)
(503) 672-7808 (FAX)
sgs@s-strauss.com (e-mail)



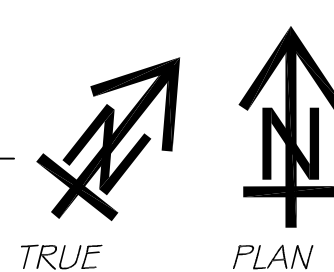
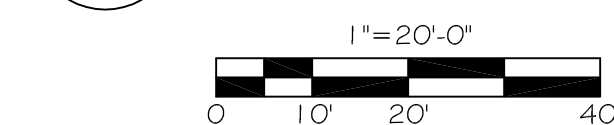
SHADY HOLLOW VILLAGE
SHADY HOLLOW AND WILLAMETTE DRIVE
WEST LINN, OREGON



2 VICINITY MAP
DRS2 1" = 400'-0" (APPROX)



1 SITE PLAN
DRS2 1" = 20'-0"



SITE AREA ANALYSIS

EXISTING SITE AREA	90375 SF	
LESS DEDICATIONS ALONG SHADY HOLLOW WAY	1132 SF	
DEVELOPMENT SITE AREA	89243 SF	
BUILDING AREA	22773 SF	25.5%
PAVING AREA (ASPHALT, CONCRETE, ACTIVITY)	31705 SF	35.5%
LANDSCAPING AREA	34765 SF	39.0%

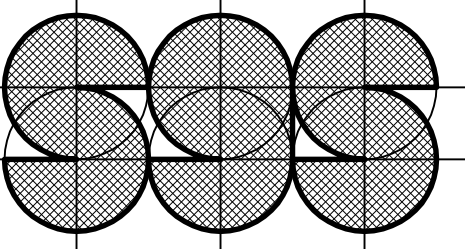
ACTIVITY AREAS (INCLUDE PAVING & LANDSCAPING)	
AREA 1: CHESS/CHECKERS IN GAZEBO	2231 SF
AREA 2: PUTTING/CHIPPING GREENS	2589 SF
AREA 3: TWO BASKETBALL HOOPS	1800 SF
AREA 4: BOCCIE COURT	1908 SF
TOTAL	328 SF PER DWELLING 8528 SF

PROJECT NUMBER: 1335

DRAWING	DATE	BY
DESIGN	20 NOV 2013	SGS
NBRHD MTG	11 FEB 2014	SGS
DES REV	12 MAR 2014	SGS
	21 APR 2014	SGS
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SHEET TITLE
PROPOSED SITE PLAN / ANALYSIS

SHEET #
DRS2



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SHADY HOLLOW VILLAGE
SHADY HOLLOW AND WILLAMETTE DRIVE
WEST LINN, OREGON

PROJECT NUMBER: 1335

DRAWING	DATE	BY
DESIGN	20 NOV 2013	SGS

NRHD MTG 11 FEB 2014 SGS

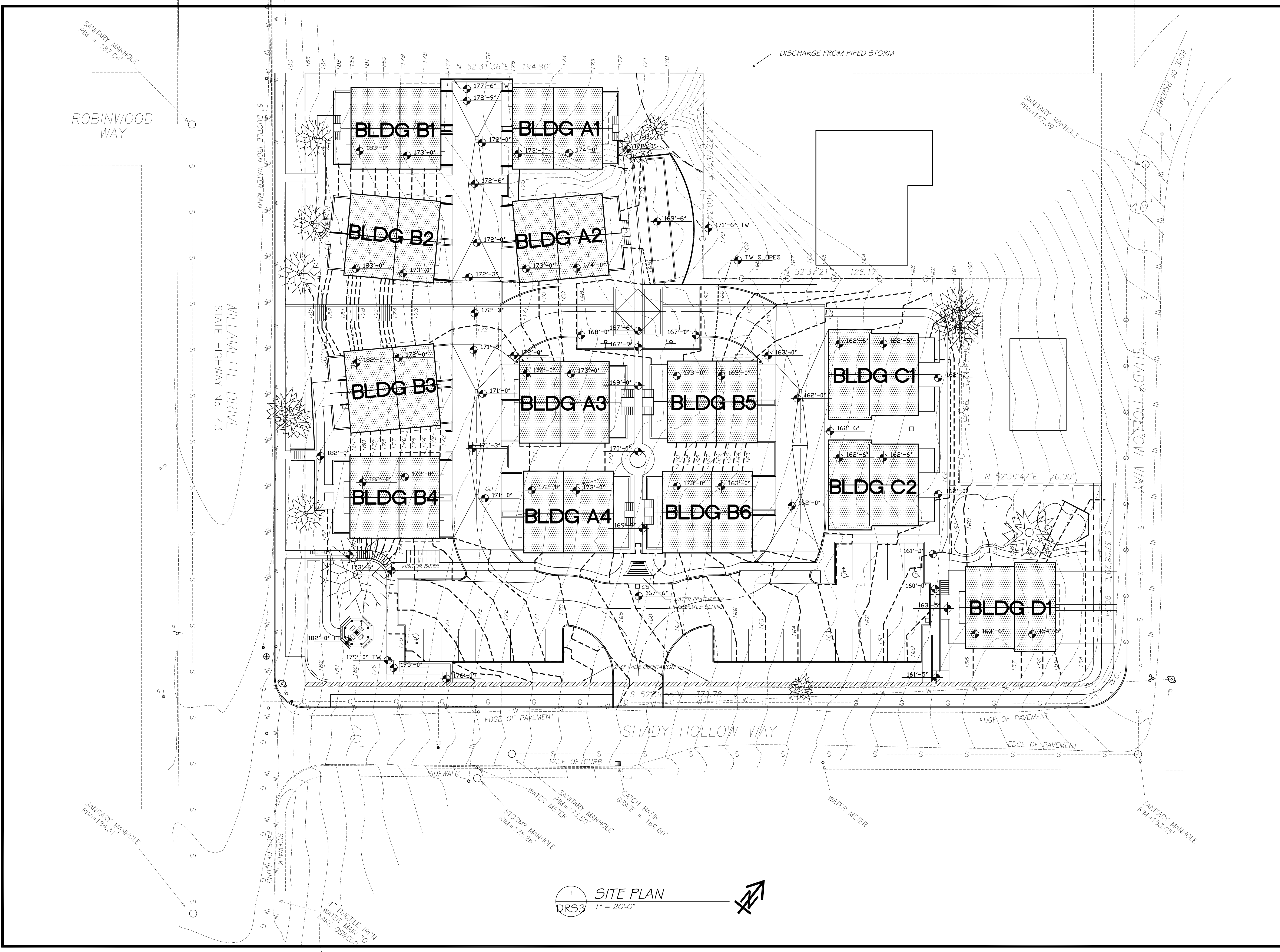
DES REV 12 MAR 2014 SGS
21 APR 2014 SGS

PERMIT

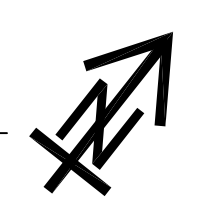
SHEET TITLE
PROPOSED
GRADING PLAN

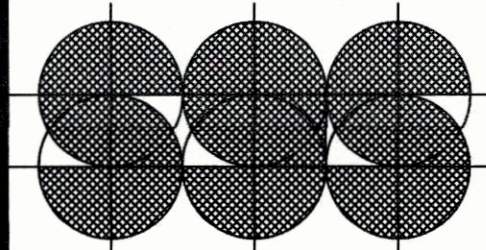
SHEET #

DRS3



1 SITE PLAN
DRS3 1" = 20'-0"





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Structural - Civil Engineers
6443 SW Beaverton-Hillsdale Hwy, suite 210
Portland, Oregon 97221
ph: 503.203.8111 fx: 503.203.8122
www.wdy.com

**PRELIMINARY
NOT FOR
CONSTRUCTION**
03/12/14

SHADY HOLLOW VILLAGE
SHADY HOLLOW AND WILLAMETTE DRIVE
WEST LINN, OREGON

PROJECT NUMBER:	1335
DRAWING DATE BY	DESIGN
	20 NOV 2013 SCS
NBR/HD MTG	
	11 FEB 2014 SCS
DES REV	
	12 MAR 2014 SCS
PERMIT	

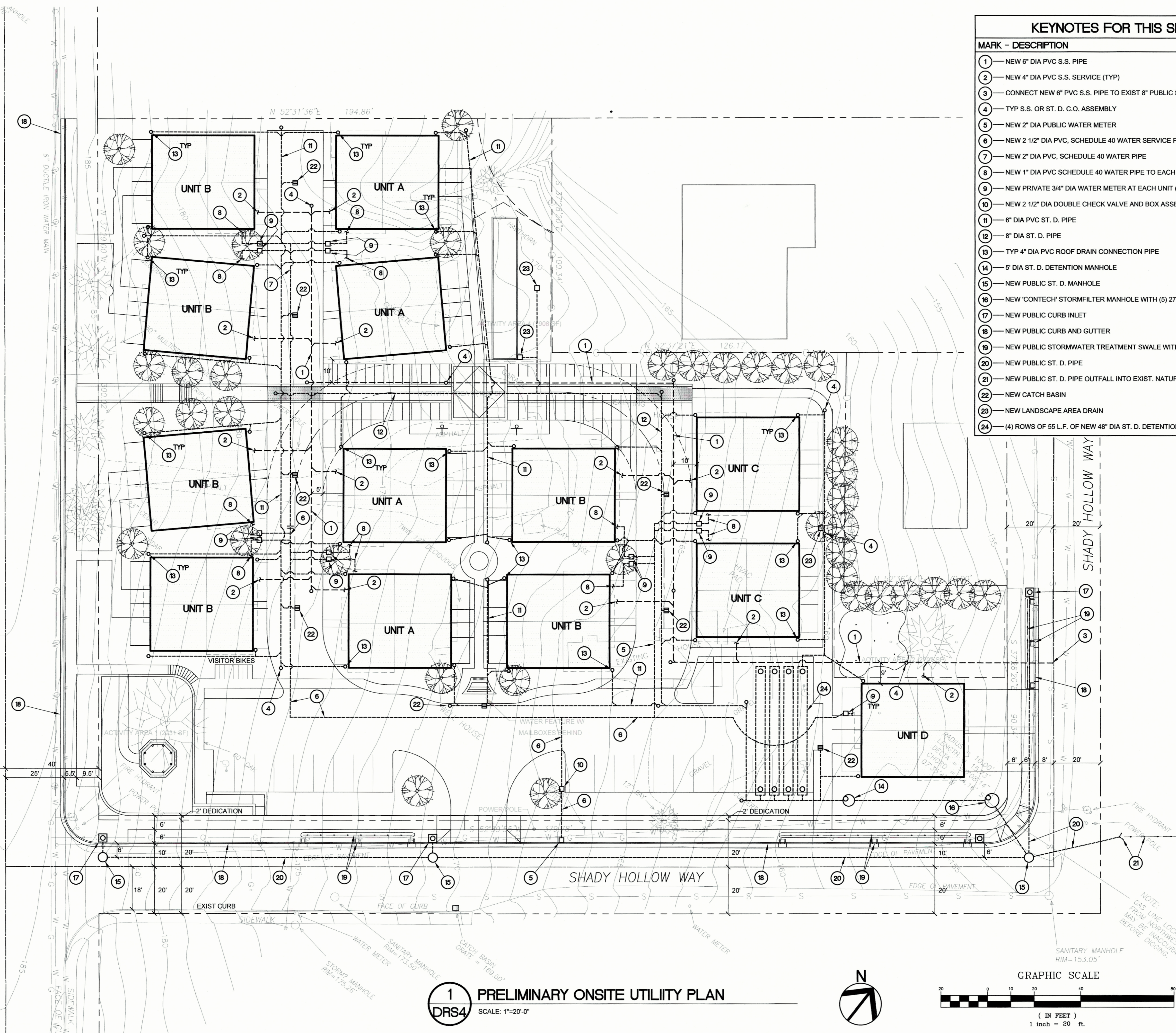
SHEET TITLE
**ON SITE
UTILITY PLAN**
SHEET #
DRS4

KEYNOTES FOR THIS SHEET

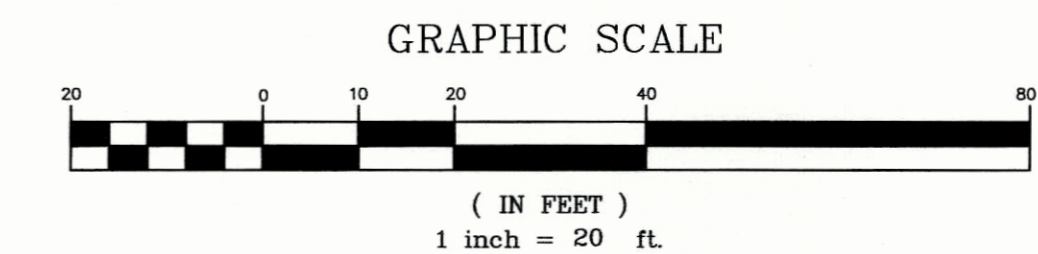
MARK	DESCRIPTION
1	NEW 6" DIA PVC S.S. PIPE
2	NEW 4" DIA PVC S.S. SERVICE (TYP)
3	CONNECT NEW 6" PVC S.S. PIPE TO EXIST 8" PUBLIC S.S. MAIN
4	TYP S.S. OR ST. D. C.O. ASSEMBLY
5	NEW 2" DIA PUBLIC WATER METER
6	NEW 2 1/2" DIA PVC, SCHEDULE 40 WATER SERVICE PIPE
7	NEW 2" DIA PVC, SCHEDULE 40 WATER PIPE
8	NEW 1" DIA PVC SCHEDULE 40 WATER PIPE TO EACH UNIT (TYP)
9	NEW PRIVATE 3/4" DIA WATER METER AT EACH UNIT (TYP)
10	NEW 2 1/2" DIA DOUBLE CHECK VALVE AND BOX ASSEMBLY
11	6" DIA PVC ST. D. PIPE
12	8" DIA ST. D. PIPE
13	TYP 4" DIA PVC ROOF DRAIN CONNECTION PIPE
14	5' DIA ST. D. DETENTION MANHOLE
15	NEW PUBLIC ST. D. MANHOLE
16	NEW 'CONTECH' STORMFILTER MANHOLE WITH (5) 27" TALL CARTRIDGES
17	NEW PUBLIC CURB INLET
18	NEW PUBLIC CURB AND GUTTER
19	NEW PUBLIC STORMWATER TREATMENT SWALE WITH CURB INLETS
20	NEW PUBLIC ST. D. PIPE
21	NEW PUBLIC ST. D. PIPE OUTFALL INTO EXIST. NATURAL DRAINAGE WAY
22	NEW CATCH BASIN
23	NEW LANDSCAPE AREA DRAIN
24	(4) ROWS OF 55 L.F. OF NEW 48" DIA ST. D. DETENTION PIPE



REVIEW 12/31/2014

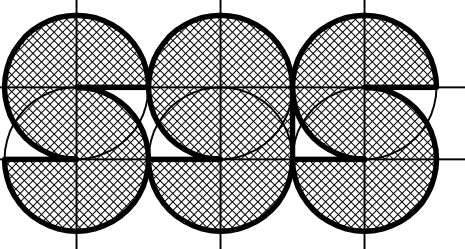


1 PRELIMINARY ONSITE UTILITY PLAN
SCALE: 1"=20'-0"



NOTE: GAS LINE LOCATION IS BASED ON SCALING FROM NORTHWEST'S NATURAL GAS MAPS AND MAY BE INACCURATE. CALL FOR LOCATES BEFORE DIGGING.

P:\2014\1025_5 Shady Hollow Apartments\DWG\1335_Prelim\1335_Prelim.dwg, 3/12/2014 1:22:27 PM, Kobayashi



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SHADY HOLLOW VILLAGE
SHADY HOLLOW AND WILLAMETTE DRIVE
WEST LINN, OREGON

PROJECT NUMBER: 1335

DRAWING	DATE	BY
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NRHD MTG	DATE	BY
	11 FEB 2014	SGS
DES REV	DATE	BY
	12 MAR 2014	SGS
	21 APR 2014	SGS

PERMIT	DATE	BY

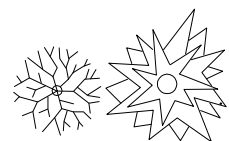
SHEET TITLE
PROPOSED
LANDSCAPE

SHEET #
DRS5

PLANT LIST

TREES (see A1 for existing trees)

TRACHYCARPUS FORTUNEI
Windmill Palm



CUPRESSUS SEMPERVIRENS
Italian Cypress



TAXUS BREVIFOLIA
Oregon Yew



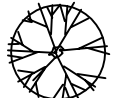
ALBUTUS UNEDO
Strawberry Tree



QUERCUS PHILLYREOIDES
Ubrame Oak



STREET TREES
Verify species with jurisdictions



SHRUBS AND ORNAMENTAL GRASSES

GAULTHERIA SHALON
Salal



MAHONIA AQUAFOLIUM
Oregon Grape



MAHONIA AQUAFOLIUM "COMPACTA"
Dwarf Oregon Grape



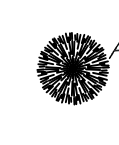
NANDIAN DOMESTICA
Heavenly Bamboo



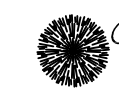
ANDROPOGON GERARDII
Big Bluestem Turkeyfoot Grass



ARRHENATHERUM CLATIUS
BULBOSUM "VARIEGATUM"
Bulbous Oat Grass



CORTADERIA SELLOANA
Pampas Grass



PENNISETUM ALOPECUROIDES
Fountain Grass



RHODODENDRON
Varieties to be selected

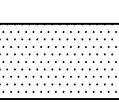


AZALEA
Varieties to be selected

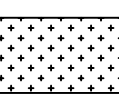


GROUND COVERS

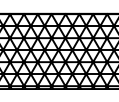
ASARUM CAUDATUM
Wild Ginger



COTONEASTER DAMERII
Bearberry Cotoneaster



ARCTOSTAPHYLOS UVA URSI
Kinnickinnick

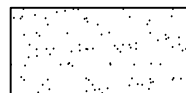


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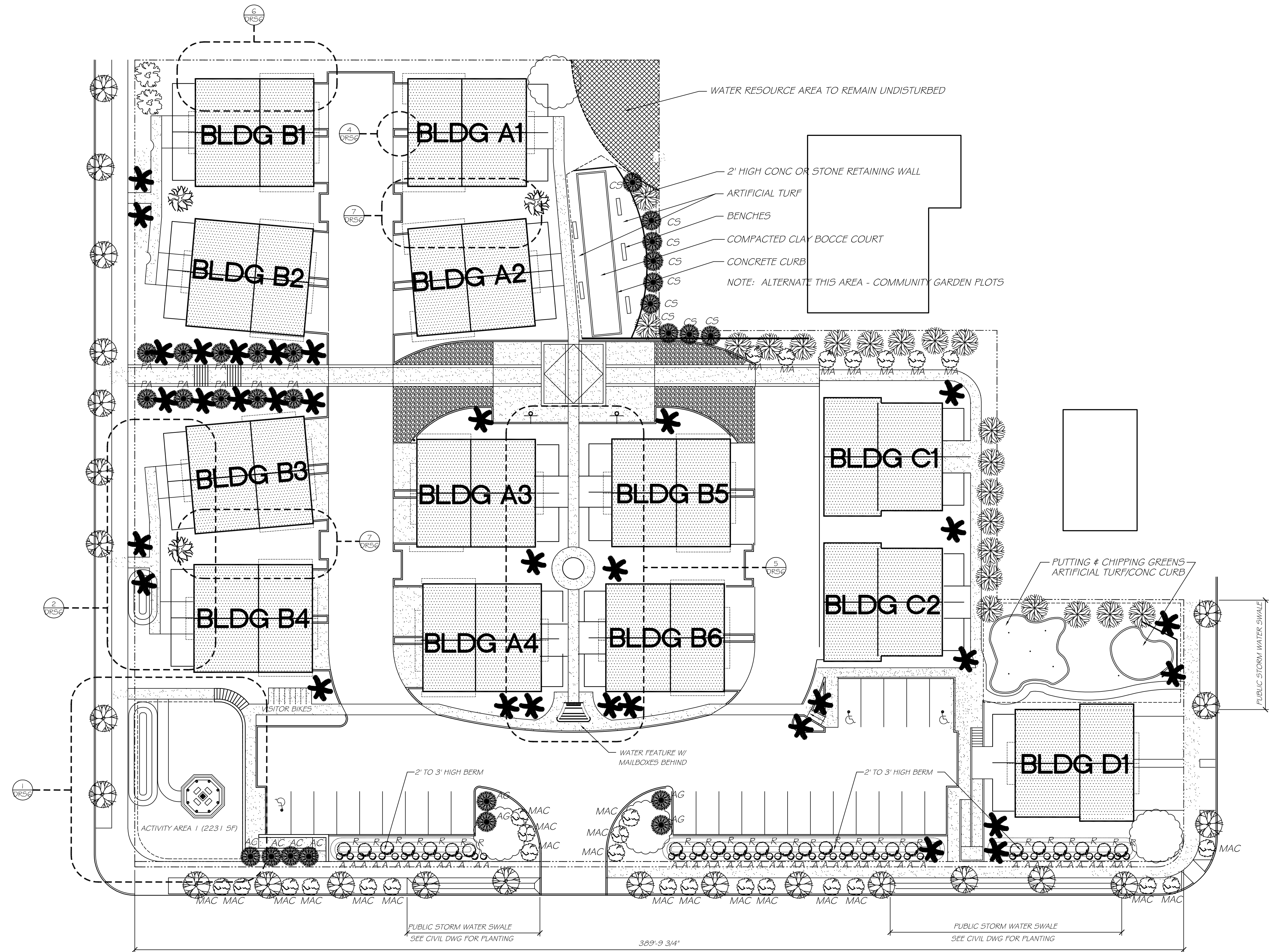
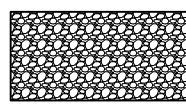
- NEW TREES TO BE 2" CAL DBH AND/OR 6'-0" MIN HEIGHT
- NEW SHRUBS AND GRASSES TO BE 1 GAL CONTAINER MIN
- NEW GROUND COVERS TO BE 4" POT @ 18" OC TRIANGULAR
- TYPICAL GROUND COVER TO BE KINNICKINNICK UNLESS NOTED
- PROVIDE 2" BARK MULCH IN ALL PLANTER BEDS

CONCRETE PAVING

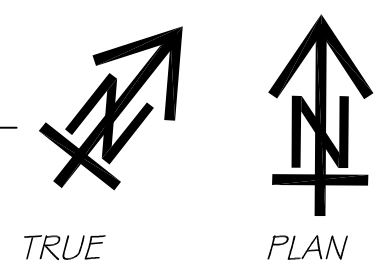
SALT OR BROOM, SCORED



WITH COBBLES/ROCKS
(EMERGENCY ACCESS ONLY)



LANDSCAPE PLAN
1" = 20'-0"

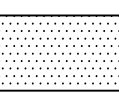




PLANT LIST

TREES (see existing conditions plan A1 for existing trees)

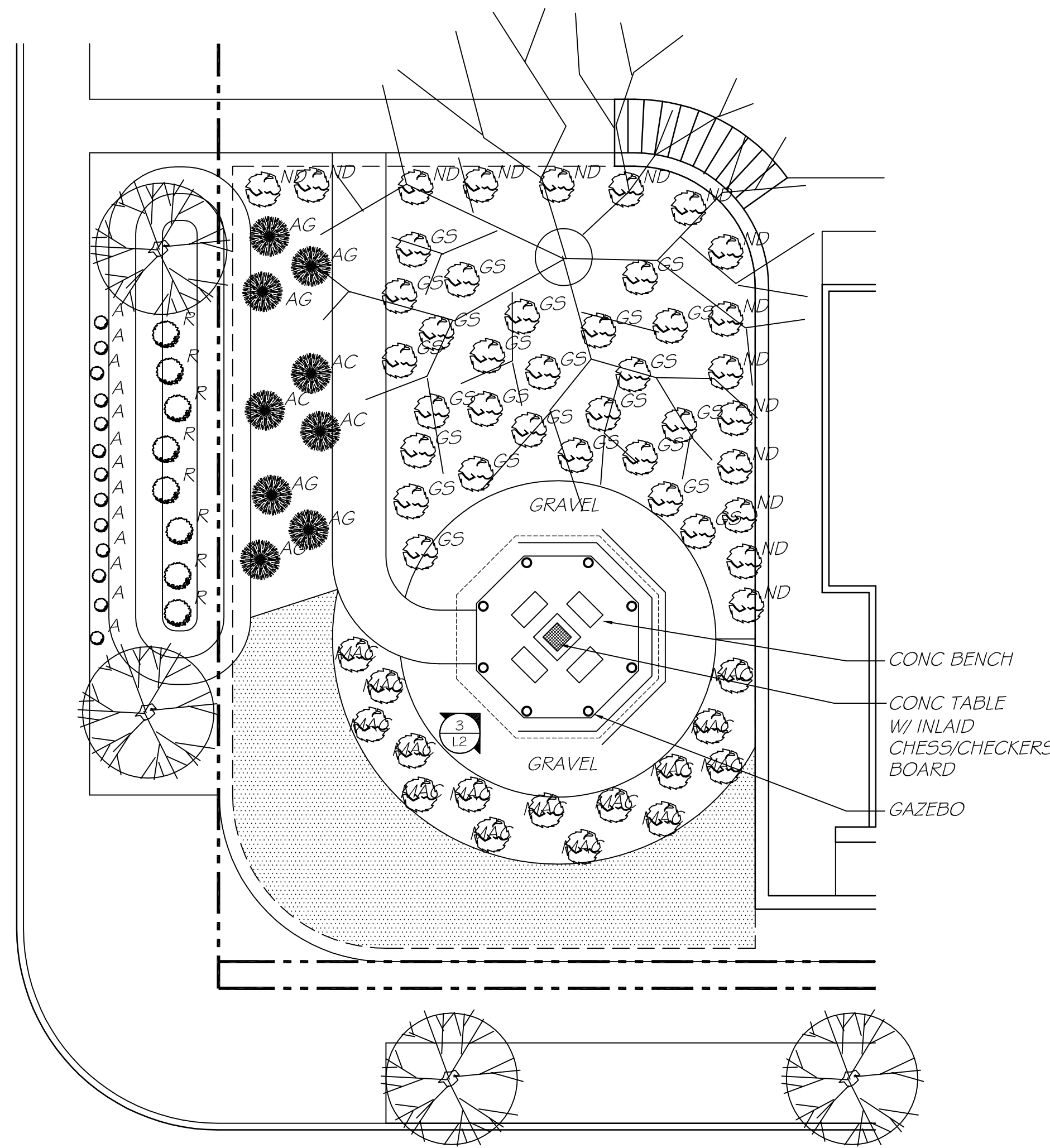
- TRACHYCARPUS FORTUNEI
Windmill Palm 
- CUPRESSUS SEMPERVIRANS
Italian Cypress 
- TAXUS BREVIFOLIA
Oregon Yew 
- ALBUTUS UNEDO
Strawberry Tree 
- QUERCUS PHILLYREOIDES
Ukame Oak 
- STREET TREES
Verify species with jurisdictions 
- SHRUBS AND ORNAMENTAL GRASSES
- GAULTHERIA SHALON
Salal 
- MAHONIA AQUAFOLIUM
Oregon Grape 
- MAHONIA AQUAFOLIUM "COMPACTA"
Dwarf Oregon Grape 
- NANDIAN DOMESTICA
Heavenly Bamboo 
- ANDROPOGON GERARDII
Big Bluestem Turkeyfoot Grass 
- ARRHENATHERUM CLATIUS
BULBOSUM "VARIEGATUM"
Bulbous Oat Grass 
- CORTADERIA SELLOANA
Pampas Grass 
- FENNISETUM ALOPECUROIDES
Fountain Grass 
- RHODODENDRON
Varieties to be selected 
- AZALEA
Varieties to be selected 

GROUND COVERS

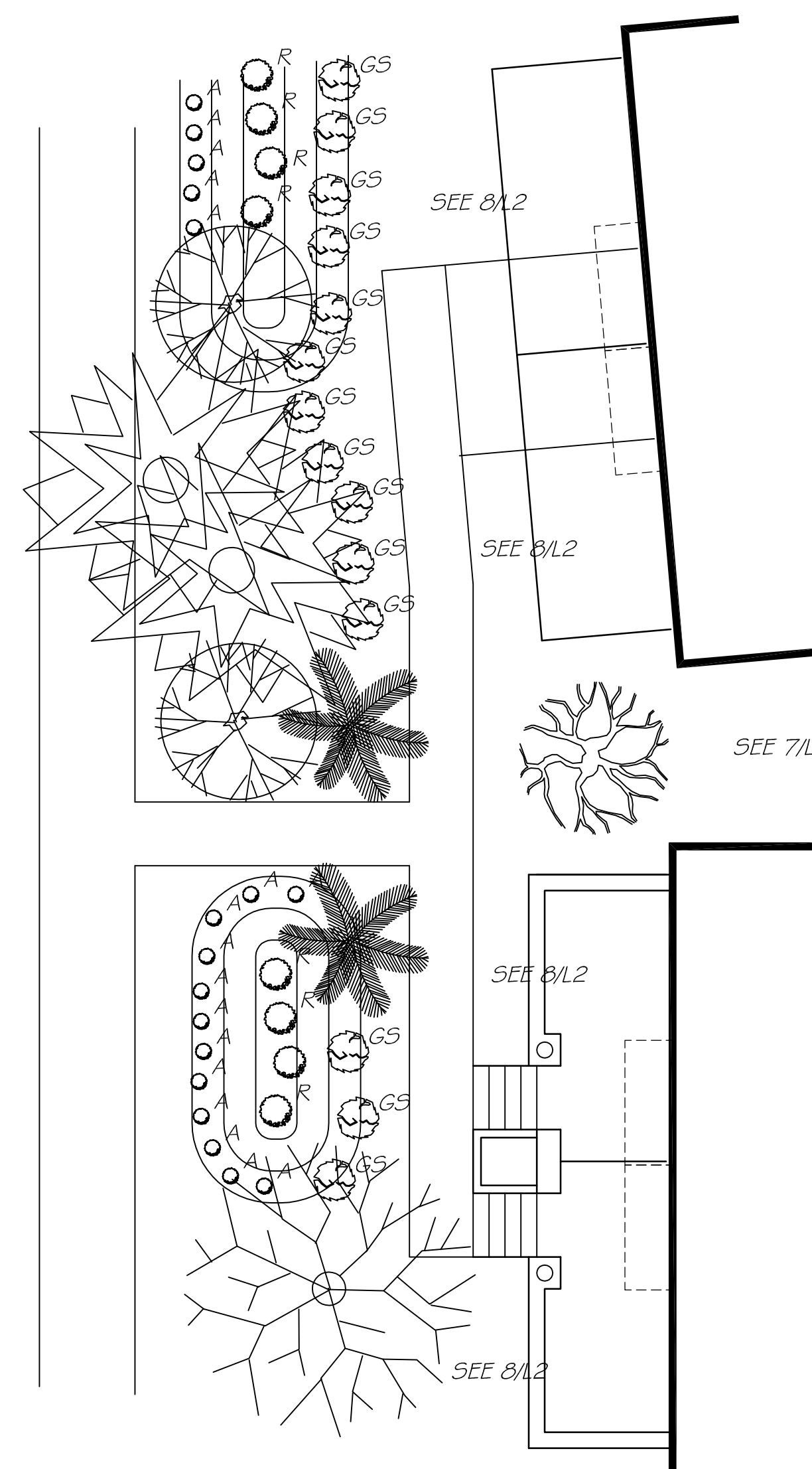
- ASARUM CAUDATUM
Wild Ginger 
- COTONEASTER DAMERII
Bearberry Cotoneaster 
- ARCTOSTAPHYLOS UVA URSI
Kinnickinick 

NOTES

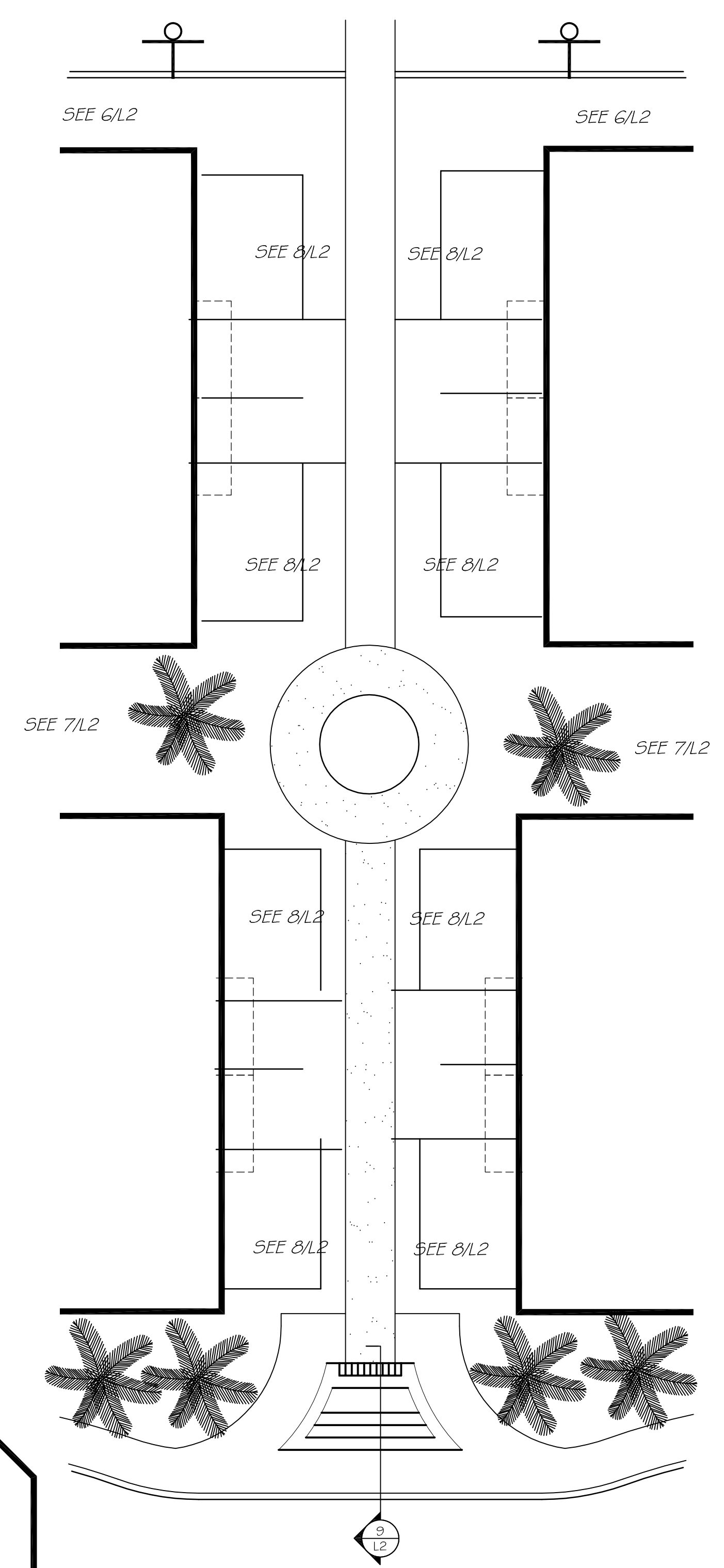
1. NEW TREES TO BE 2" CAL DBH AND/OR 6'-0" MIN HEIGHT
2. NEW SHRUBS AND GRASSES TO BE 1 GAL CONTAINER MIN
3. NEW GROUND COVERS TO BE 4" POT @ 1.8" OC TRIANGULAR
4. TYPICAL GROUND COVER TO BE KINICKINICK UNLESS NOTED
5. PROVIDE 2" BARK MULCH IN ALL PLANTER BEDS



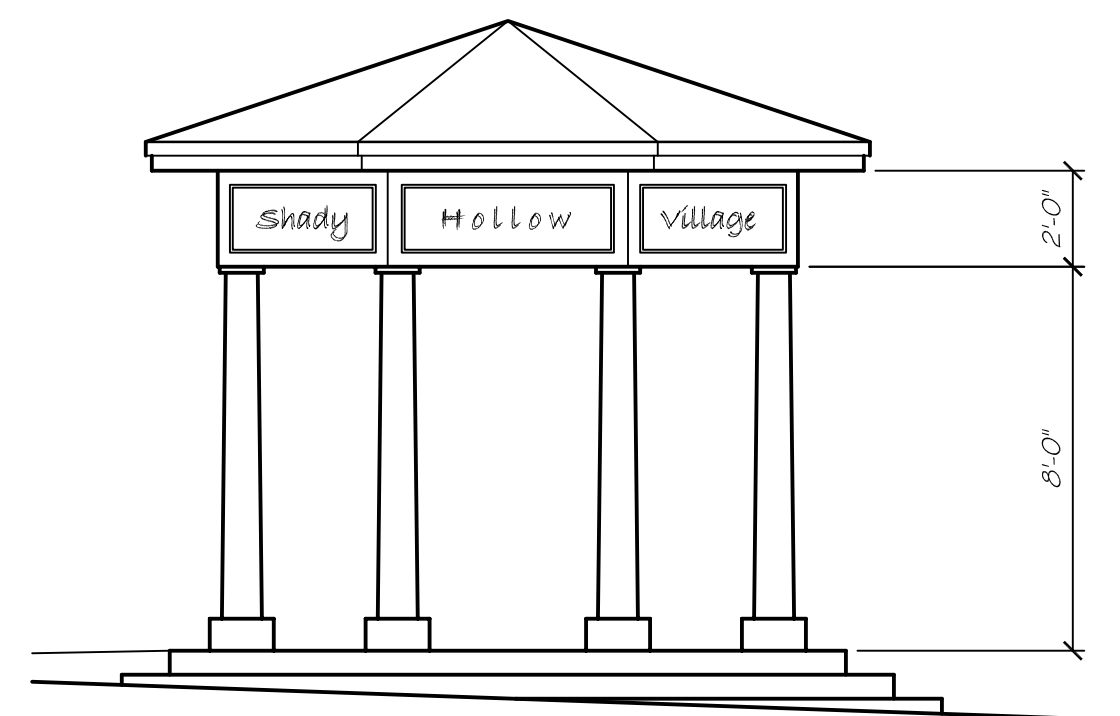
1 ACTIVITY AREA 1 PLAN
DRSG 1/8" = 1'-0"



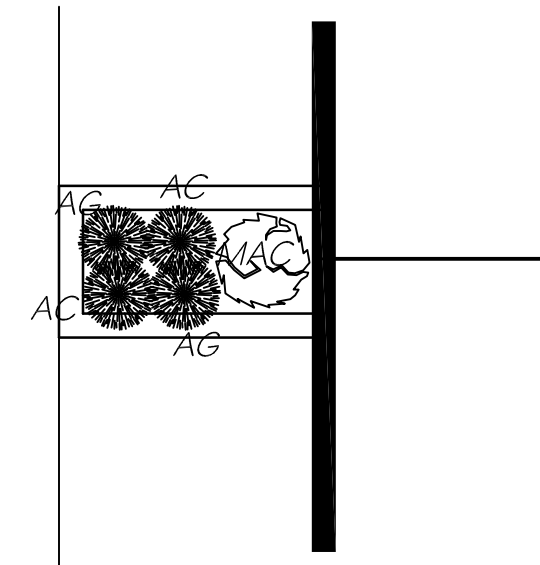
2 HIGHWAY 43 FRONTAGE PLAN
DRSG 1/8" = 1'-0" BLDGS B3 & B4 SHOWN, OTHERS SIMILAR



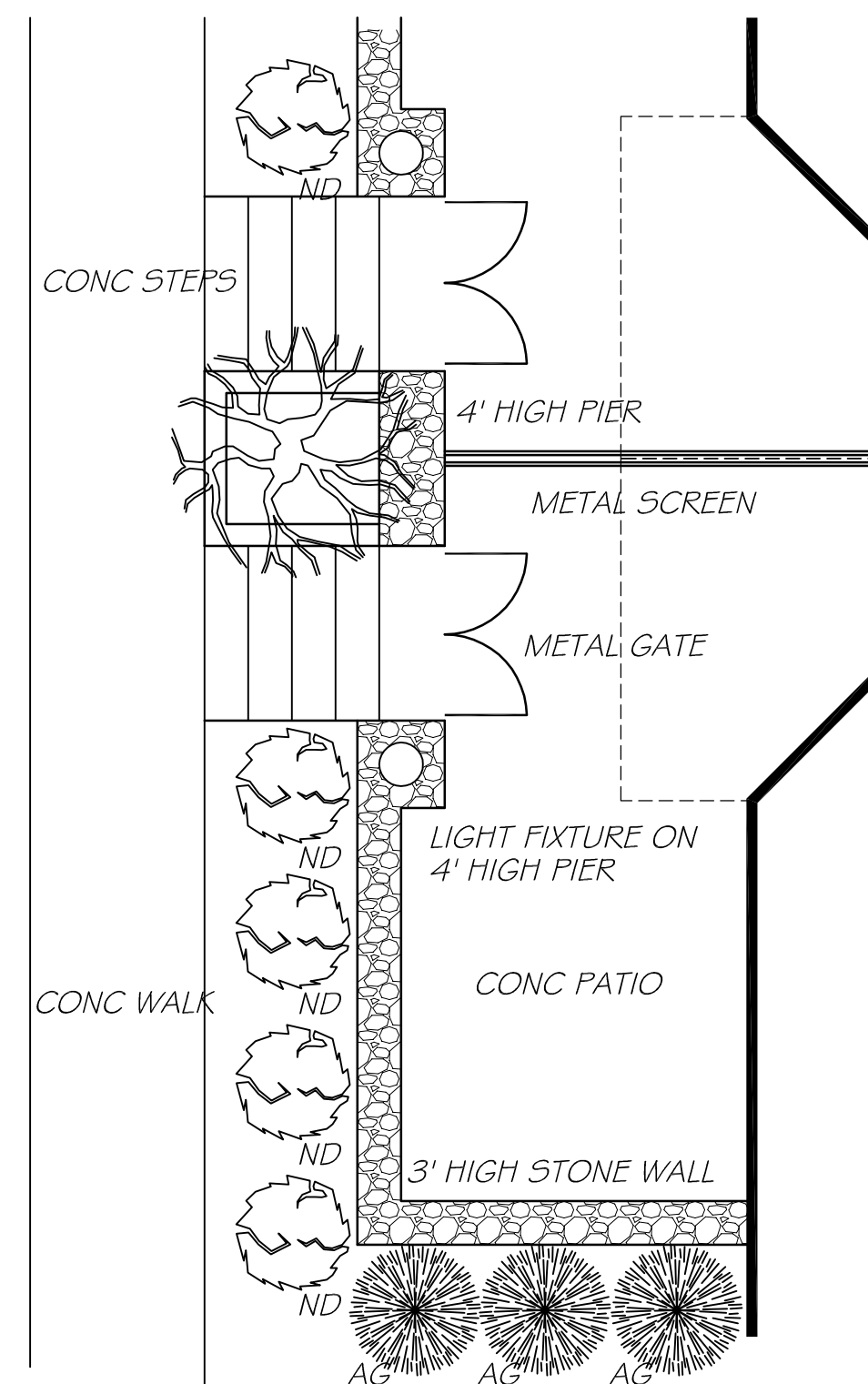
5 CENTER COURT PLAN
DRSG 1/8" = 1'-0"



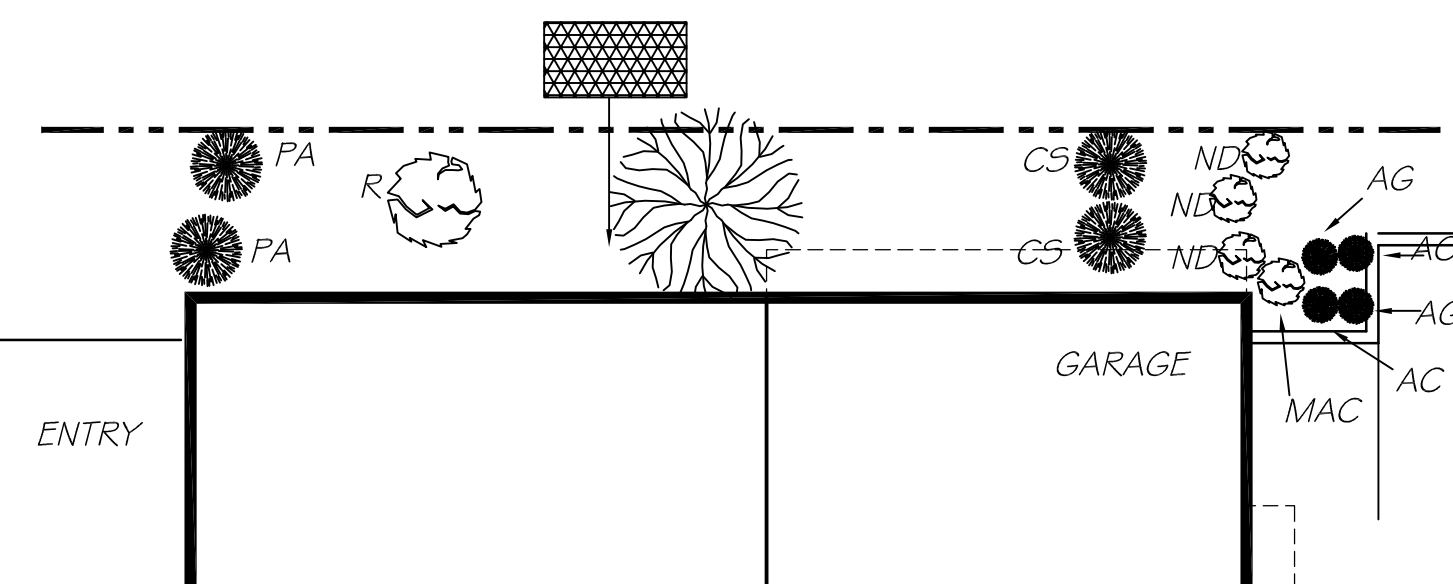
3 GAZEBO/PROJECT SIGN
DRSG 1/4" = 1'-0"



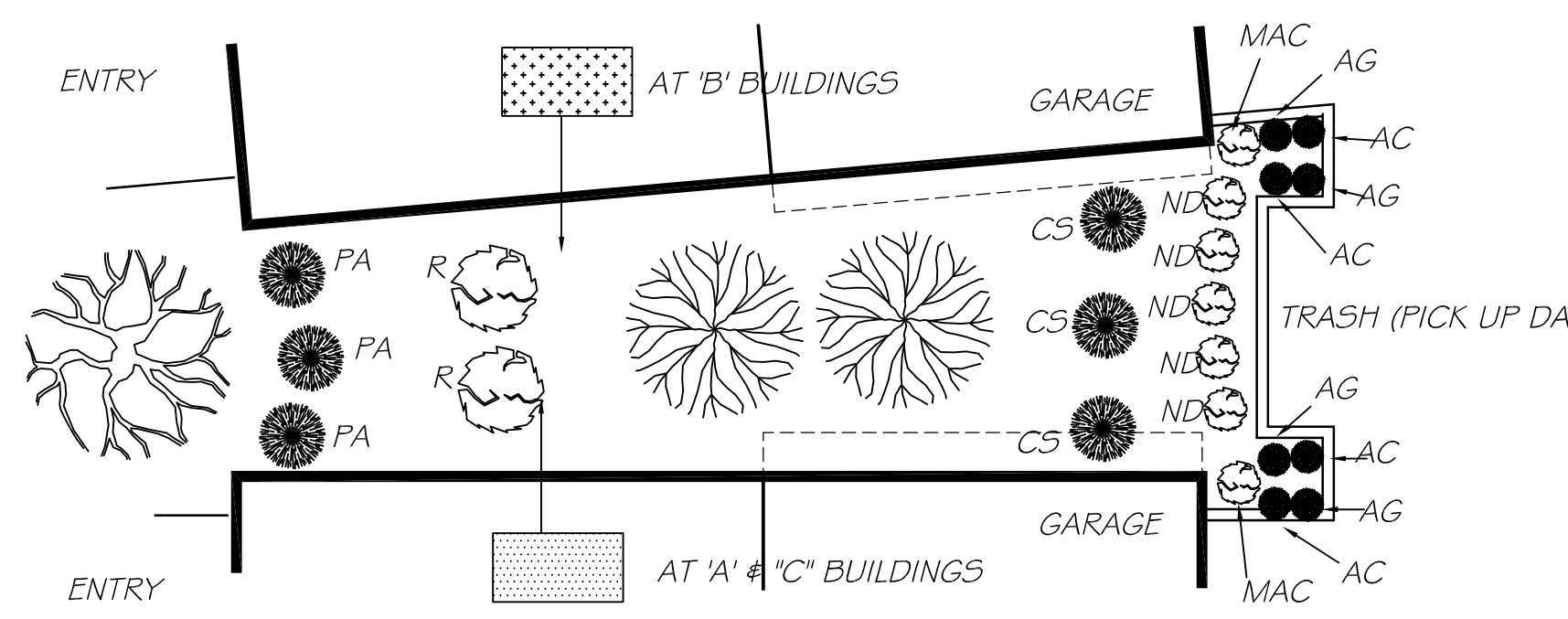
4 PLANTER @ GARAGES
DRSG 1/4" = 1'-0"



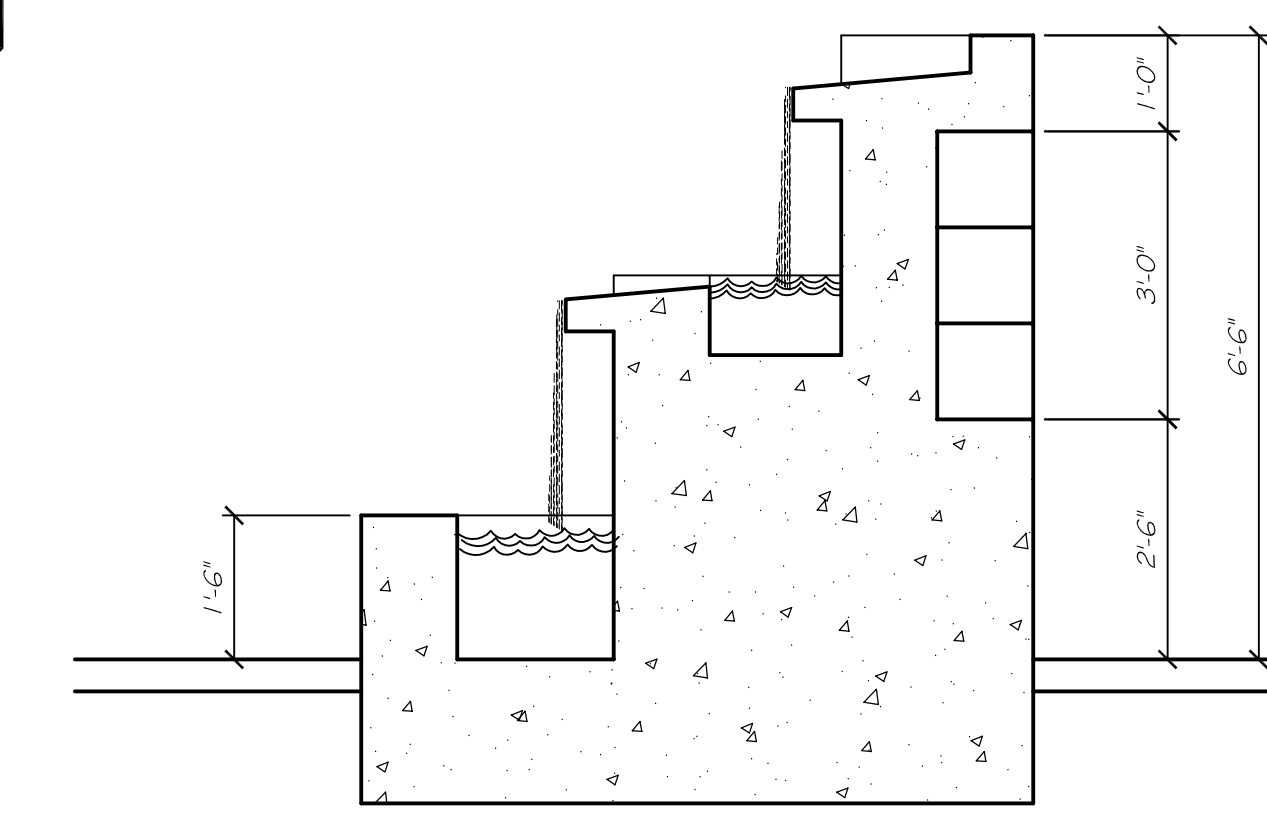
8 ENTRY PATIO
DRSG 1/4" = 1'-0"



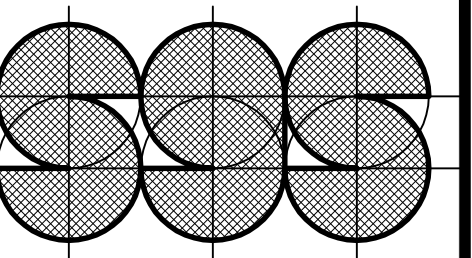
6 TYPICAL BLDG ENDS
DRSG 1/8" = 1'-0"



7 TYPICAL BETWEEN BLDGS
DRSG 1/8" = 1'-0"



9 MAILBOX/FOUNTAIN SECTION
DRSG 1/2" = 1'-0"

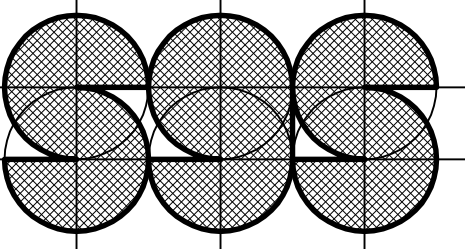


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sgs@s-strauss.com (e-mail)



SHADY HOLLOW VILLAGE
SHADY HOLLOW AND WILLAMETTE DRIVE
WEST LINN, OREGON

PROJECT NUMBER:	1335
DRAWING DATE BY	DESIGN 20 NOV 2013 SGS
NBRHD MTG	11 FEB 2014 SGS
DES REV	12 MAR 2014 SGS
PERMIT	
SHEET TITLE	LANDSCAPE DETAILS
SHEET #	DRS6

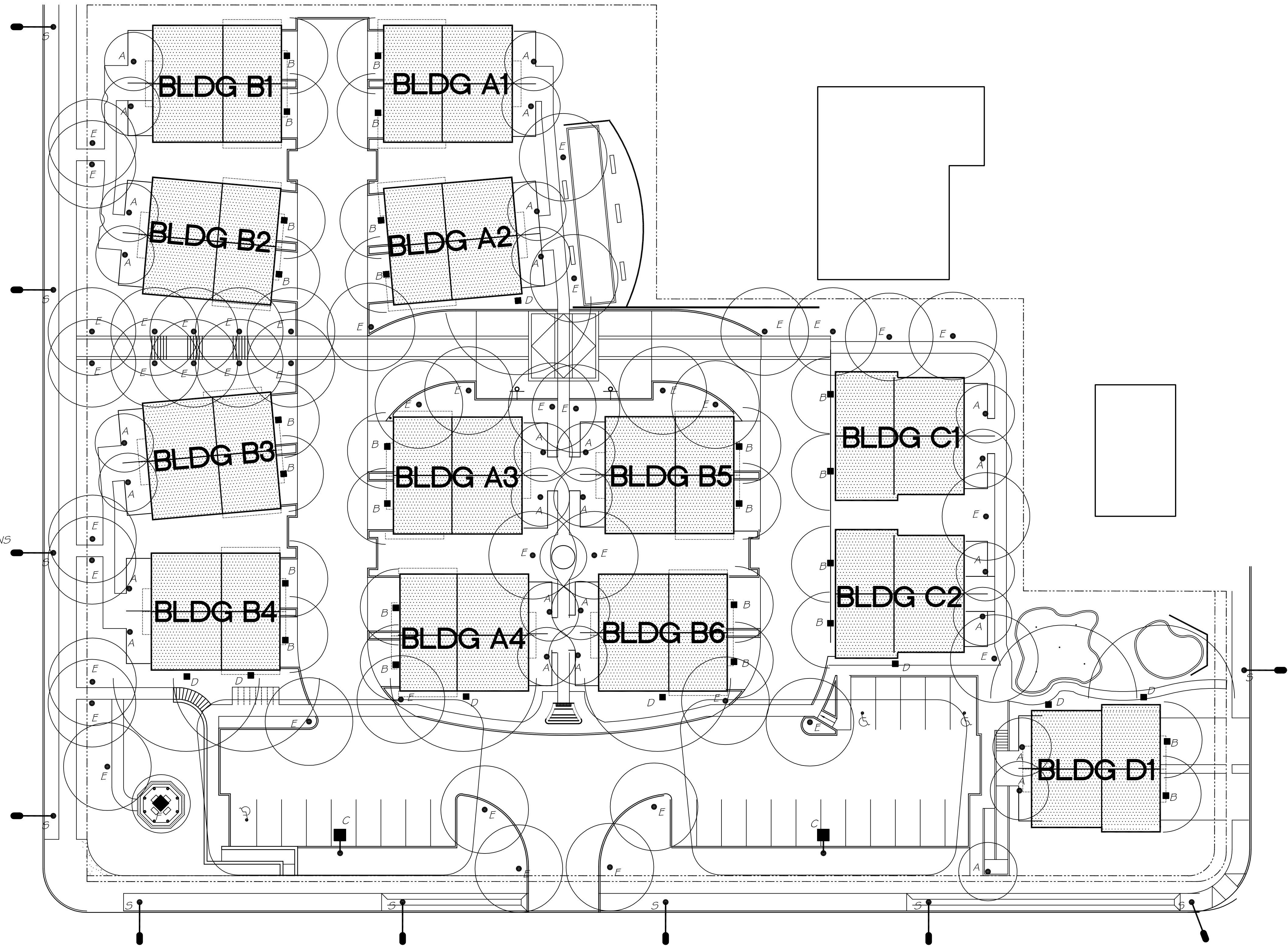


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(503) 672-7808 (FAX)
sgs@s-straus.com (e-mail)



LIGHT FIXTURE SCHEDULE

- A CREE "THE EDGE FWY-EDG-5M" - BLACK OR BRONZE
13" TO 18" POLE MOUNT, ANCHORED TO TOP OF MASONRY PIER
LED LAMPS
CONTROLS: PE & MOTION DETECTION
 - B RUUD "E3-H SERIES" RECTANGULAR WALL MOUNT PERIMETER CUTOFF
50 WATT P5MH LAMP
9' ± MOUNTING HEIGHT
CONTROLS: PE & MOTION DETECTION
 - C RUUD "AC2-16 SERIES" SQUARE POLE MOUNT AREA CUTOFF LIGHT
400 WATT P5MH LAMP
25' ± MOUNTING HEIGHT
CONTROLS: PE
 - D RUUD "E3-H SERIES" RECTANGULAR WALL MOUNT PERIMETER CUTOFF
70 WATT P5MH LAMP
9' ± MOUNTING HEIGHT
CONTROLS: PE
 - E RUUD "HCF SERIES" ROUND BOLLARD WITH HCL LOUVER
100 WATT P5MH LAMP
3' ± MOUNTING HEIGHT
CONTROLS: PE & MOTION DETECTION
 - F RUUD "SE1-8 SERIES" SQUARE CEILING MOUNT WITH TRANSLUCENT LENS
70 WATT P5MH LAMP
9' ± MOUNTING HEIGHT
CONTROLS: PE
 - S COBRA HEAD STREET LIGHT
150 WATT HP5 LAMP
25' ± MOUNTING HEIGHT
CONTROLS: PER JURSDICTION
- 1 FC LINE @ EACH FIXTURE

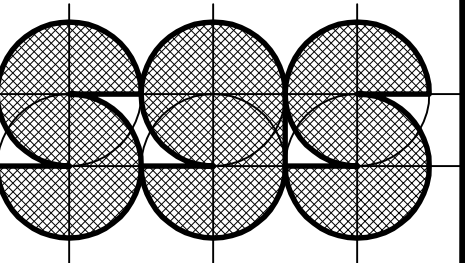


DRS7 SITE LIGHTING PLAN
1" = 20'-0"
TRUE PLAN

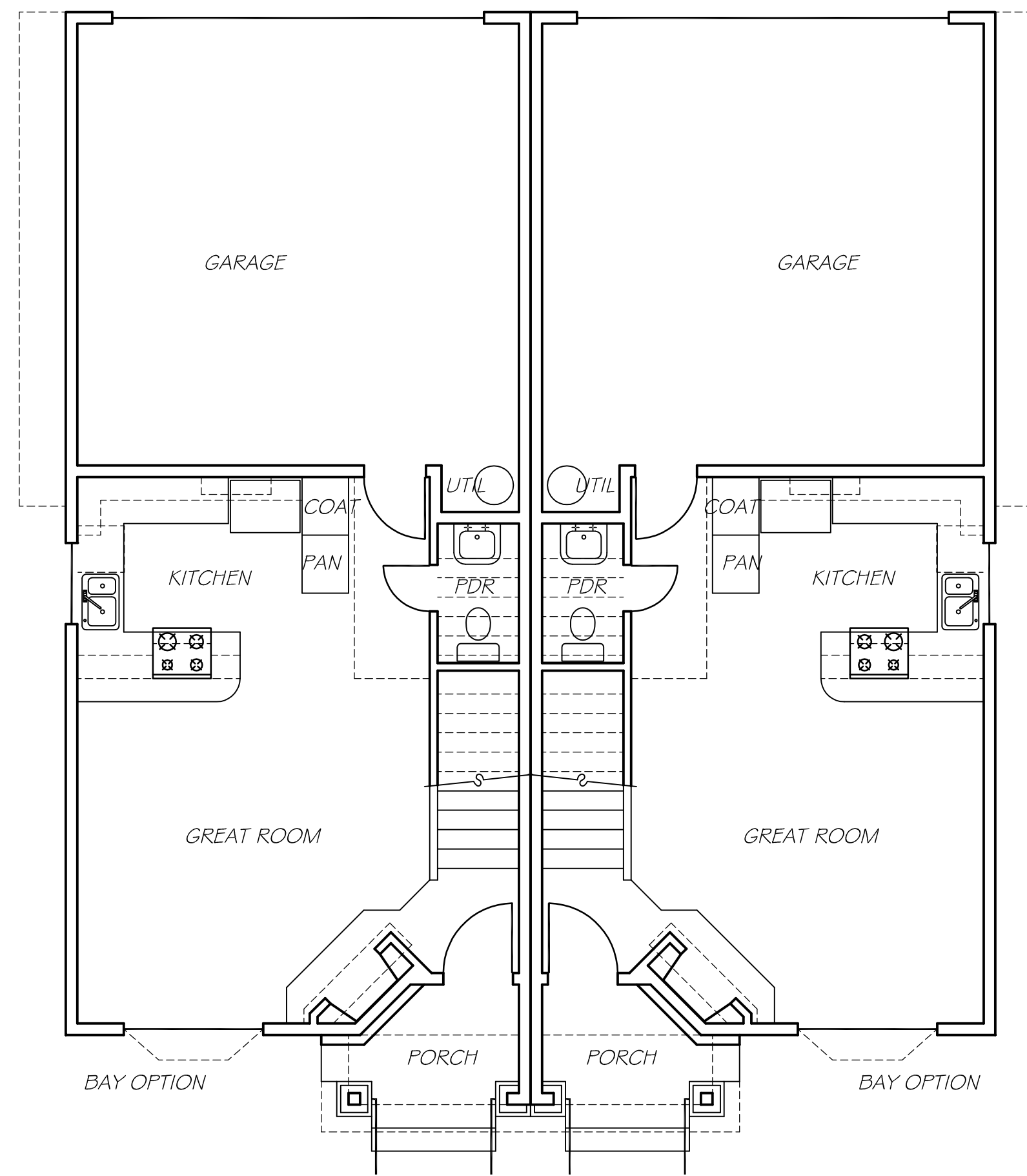
SHADY HOLLOW VILLAGE
SHADY HOLLOW AND WILLAMETTE DRIVE
WEST LINN, OREGON

PROJECT NUMBER:	1335	
DRAWING	DATE	BY
DESIGN	20 NOV 2013	SGS
NBRHD MTG	11 FEB 2014	SGS
DES REV	12 MAR 2014	SGS
	21 APR 2014	SGS
PERMIT		

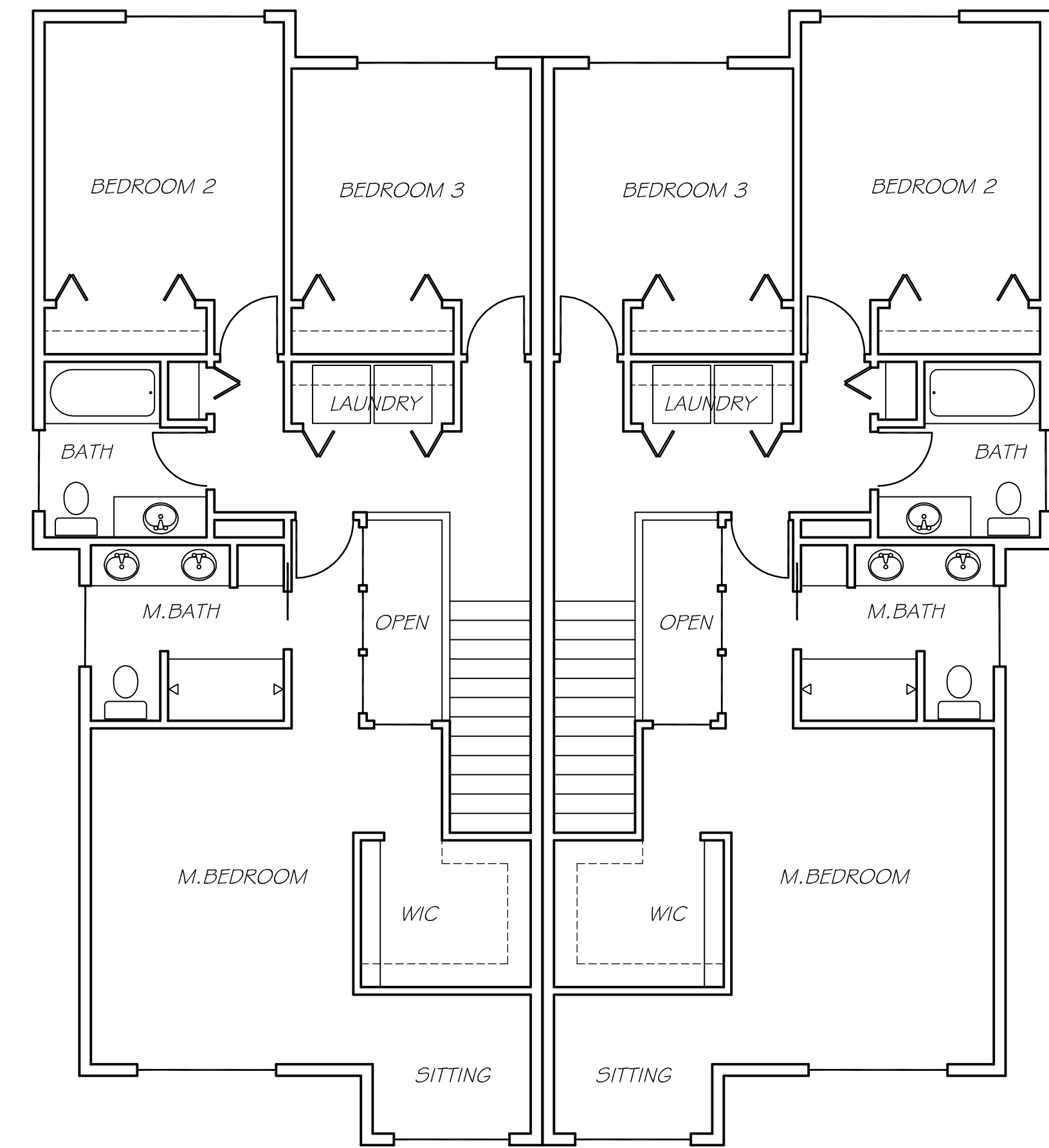
SHEET TITLE
PROPOSED LIGHTING PLAN
SHEET #
DRS7



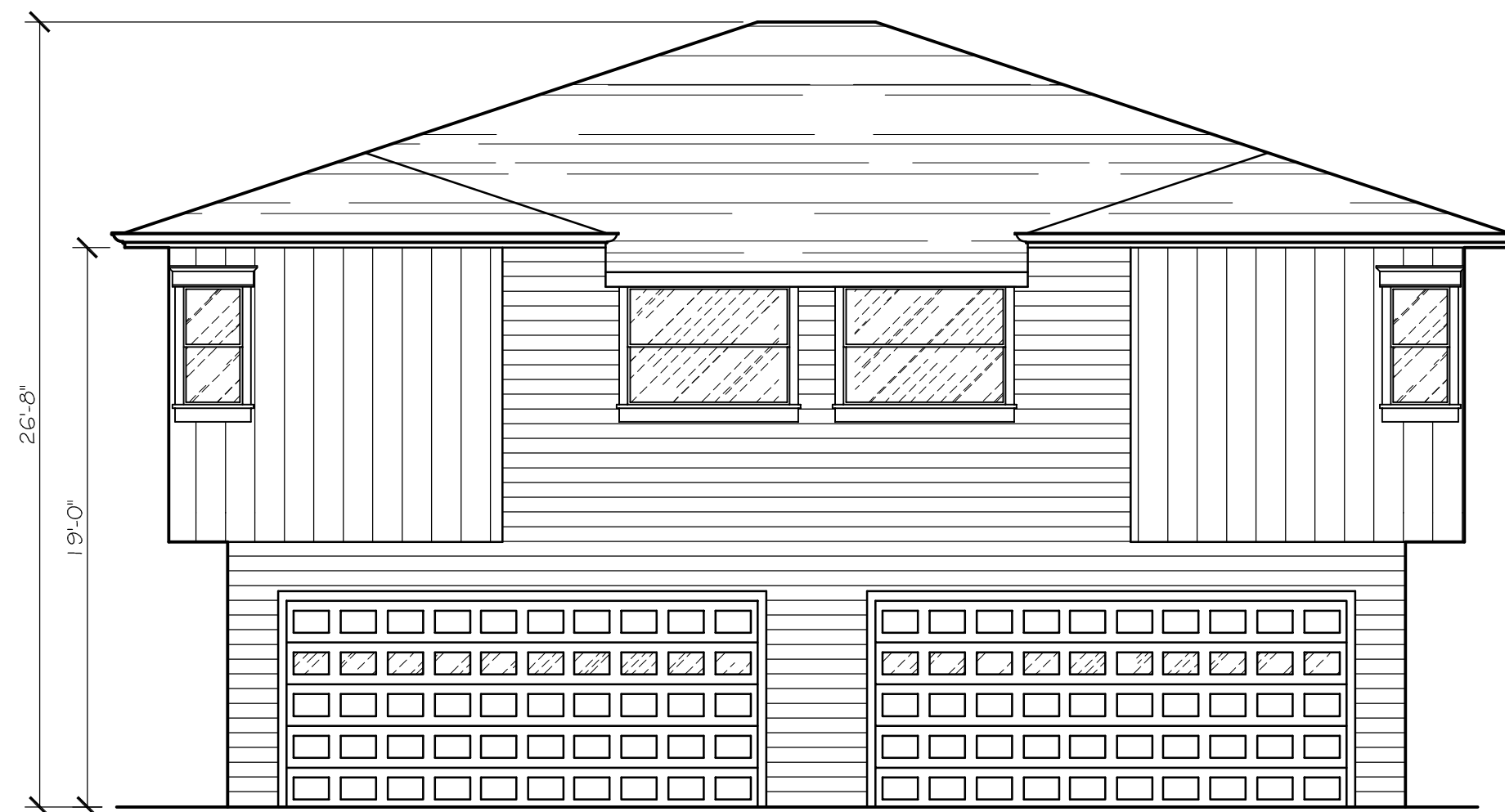
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SUITE 20
BEAVERTON, OR 97008
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(503) 672-7808 (FAX)
sgs@s-straus.com (e-mail)



1 TYP. UNIT 'A' - LOWER LEVEL PLAN
DRB1 3/16" = 1'-0"



2 TYP. UNIT 'A' - UPPER LEVEL PLAN
DRB1 3/16" = 1'-0"



3 TYP. UNIT 'A' - REAR ELEVATION
DRB1 3/16" = 1'-0"



4 TYP. UNIT 'A' - SIDE ELEVATION
DRB1 3/16" = 1'-0"



5 TYP. UNIT 'A' - FRONT ELEVATION
DRB1 3/16" = 1'-0"

SHADY HOLLOW VILLAGE
SHADY HOLLOW AND WILLAMETTE DRIVE
WEST LINN, OREGON

PROJECT NUMBER: 1335

DRAWING	DATE	BY
DESIGN	20 NOV 2013	SGS

NBRHD MTG 11 FEB 2014 SGS

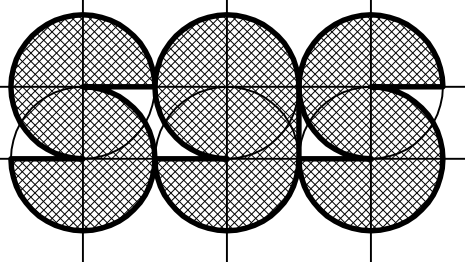
DES REV 12 MAR 2014 SGS

PERMIT

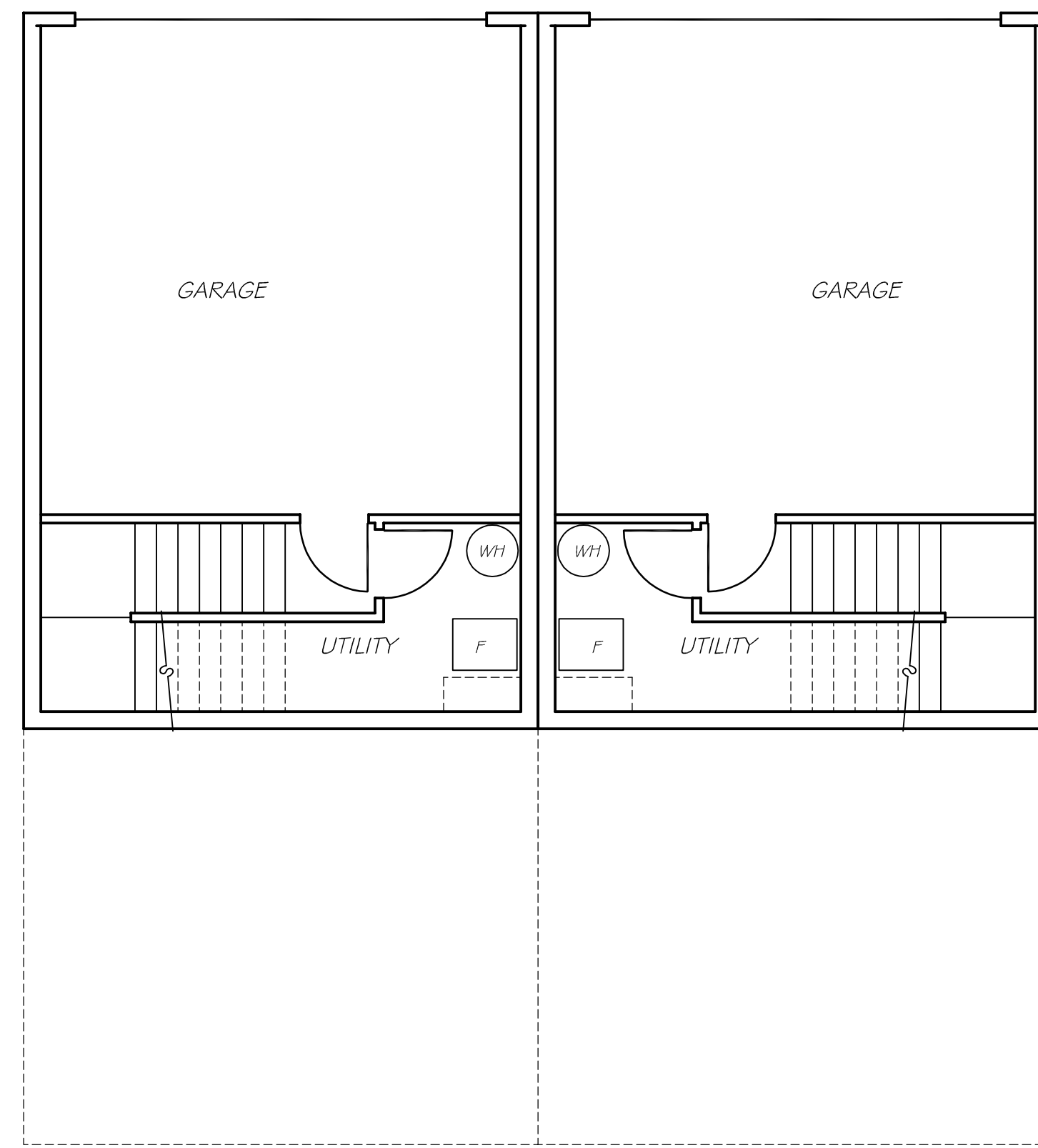
SHEET TITLE
UNIT TYPE 'A'
PLAN + ELEVS

SHEET #

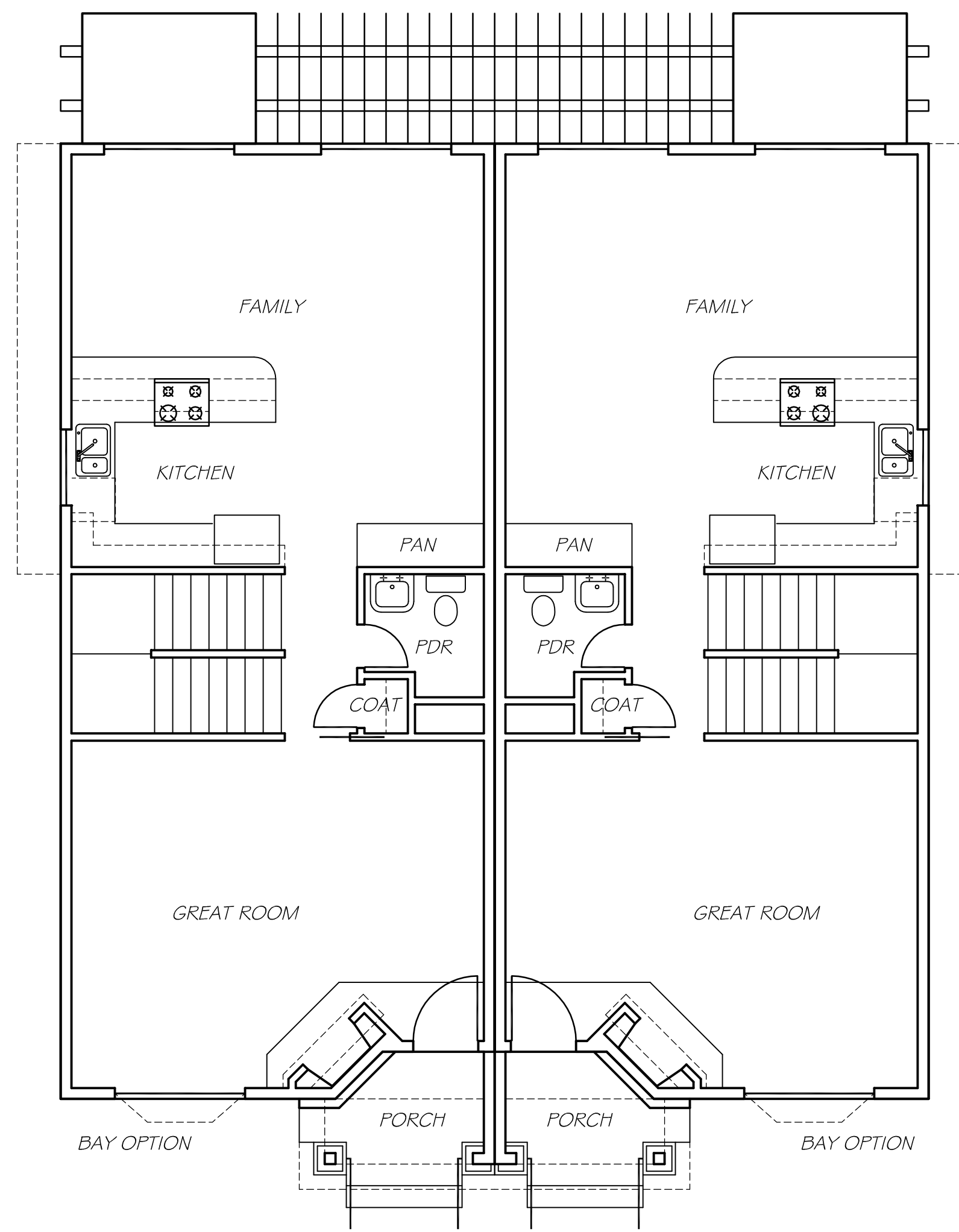
DRB-1



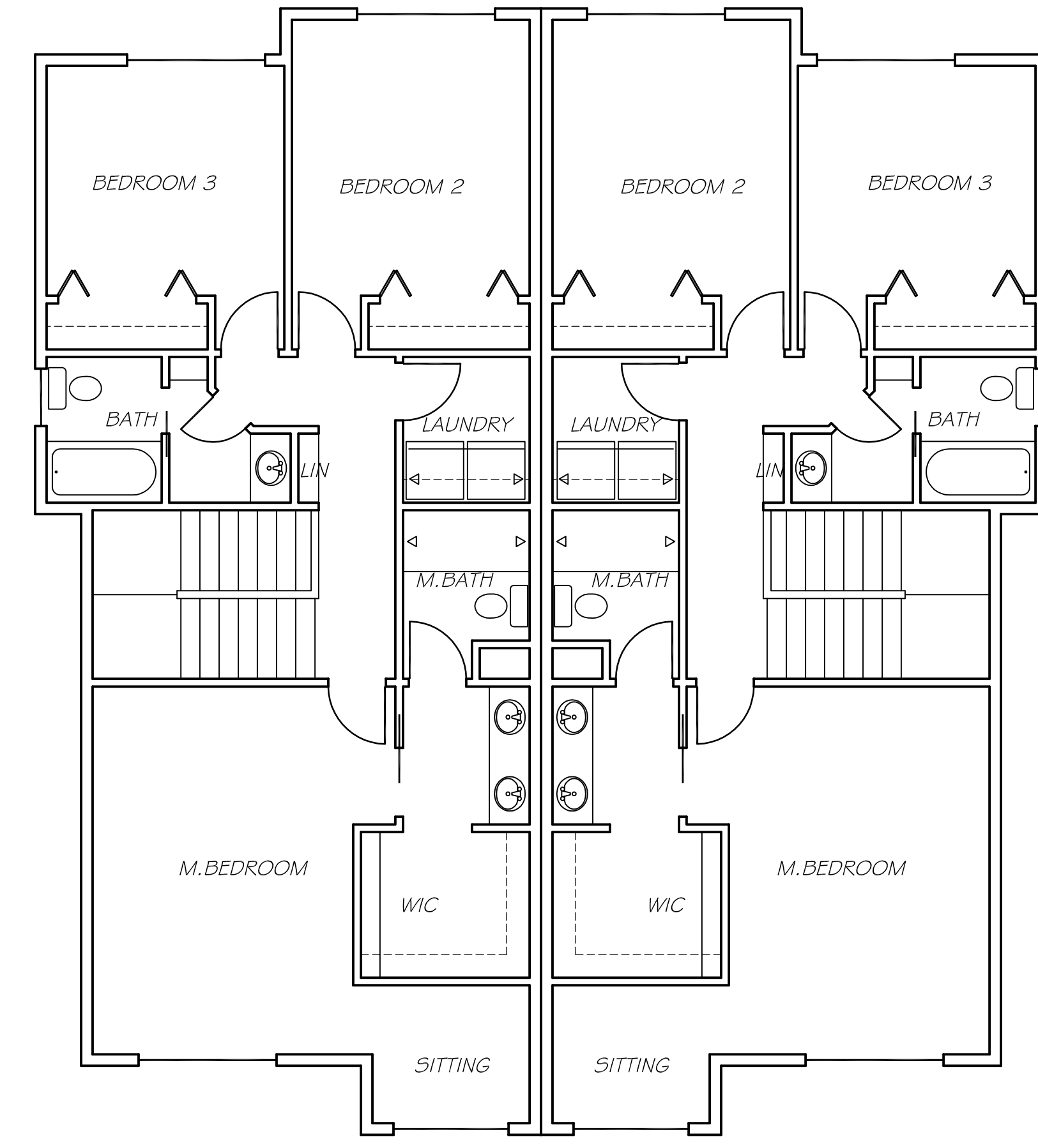
STEWART GORDON STRAUS
ARCHITECT
6775 SW 111TH AVENUE
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BEAVERTON, OR 97008
(503) 672-7517 (OFFICE)
(503) 672-7808 (FAX)
sgs@s-straus.com (e-mail)



1 TYP. UNIT 'B' - BASEMENT PLAN
DRB2 3/16" = 1'-0"



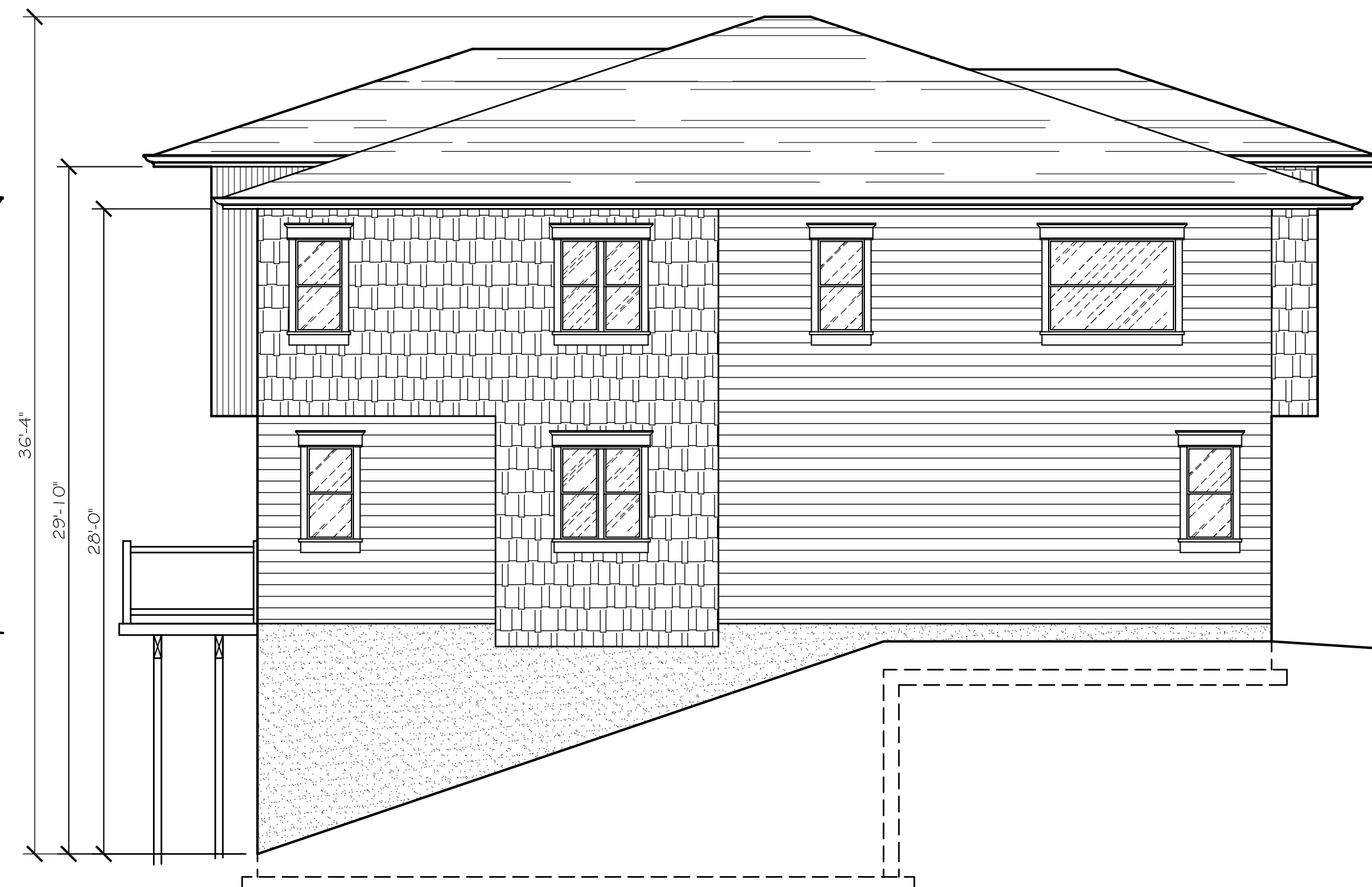
2 TYP. UNIT 'B' - LOWER LEVEL PLAN
DRB2 3/16" = 1'-0"



3 TYP. UNIT 'B' - UPPER LEVEL PLAN
DRB2 3/16" = 1'-0"



4 TYP. UNIT 'B' - REAR ELEVATION
DRB2 3/16" = 1'-0"



5 TYP. UNIT 'B' - SIDE ELEVATION
DRB2 3/16" = 1'-0"



6 TYP. UNIT 'B' - FRONT ELEVATION
DRB2 3/16" = 1'-0"

SHADY HOLLOW VILLAGE
SHADY HOLLOW AND WILLAMETTE DRIVE
WEST LINN, OREGON

PROJECT NUMBER: 1335

DRAWING	DATE	BY
DESIGN	20 NOV 2013	SGS

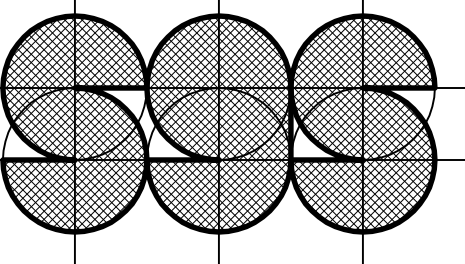
NRHD MTG	DATE	BY
	11 FEB 2014	SGS
DES REV		
	12 MAR 2014	SGS

PERMIT	DATE	BY

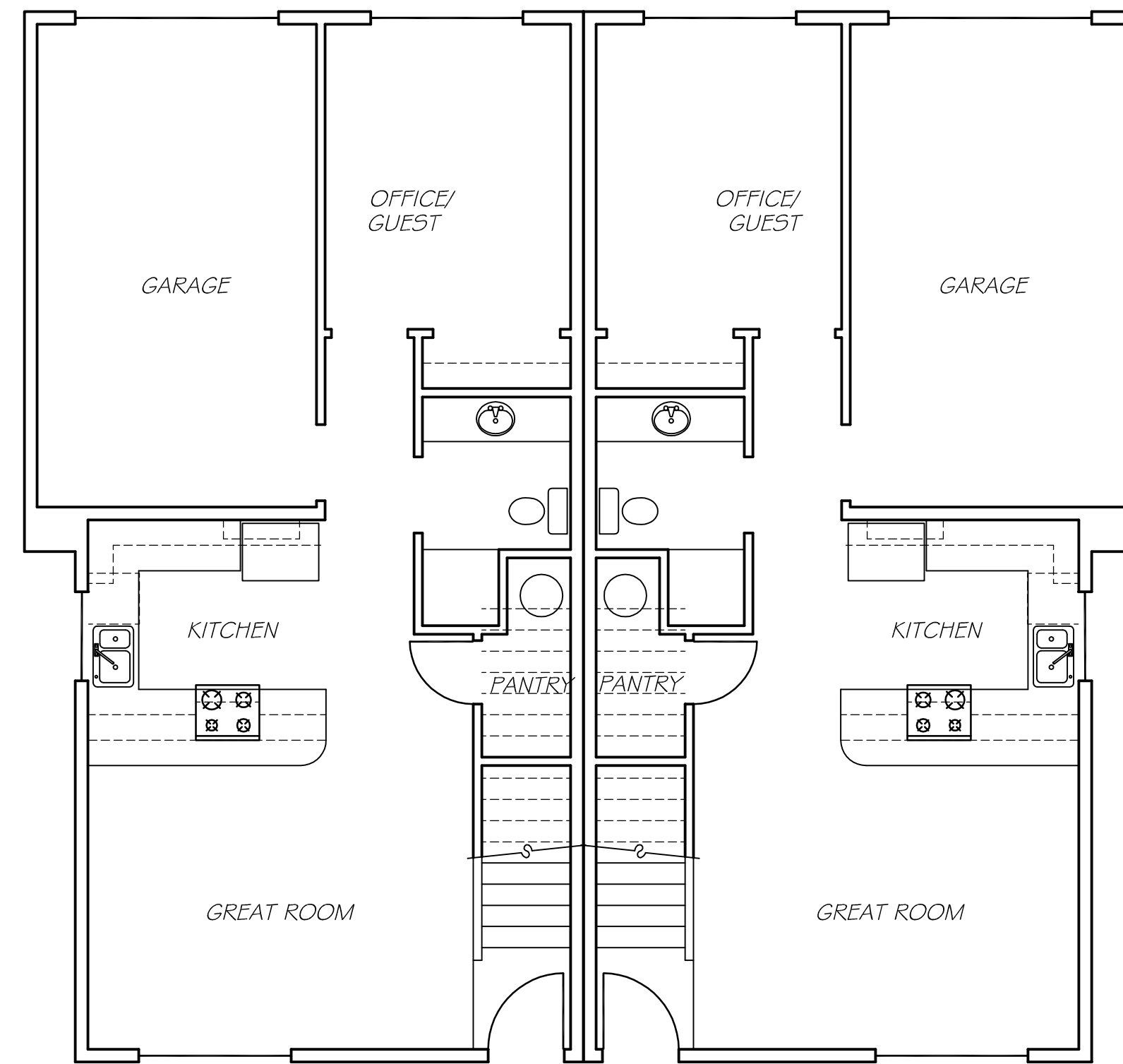
SHEET TITLE
UNIT TYPE 'B'
PLAN + ELEVATIONS

SHEET #

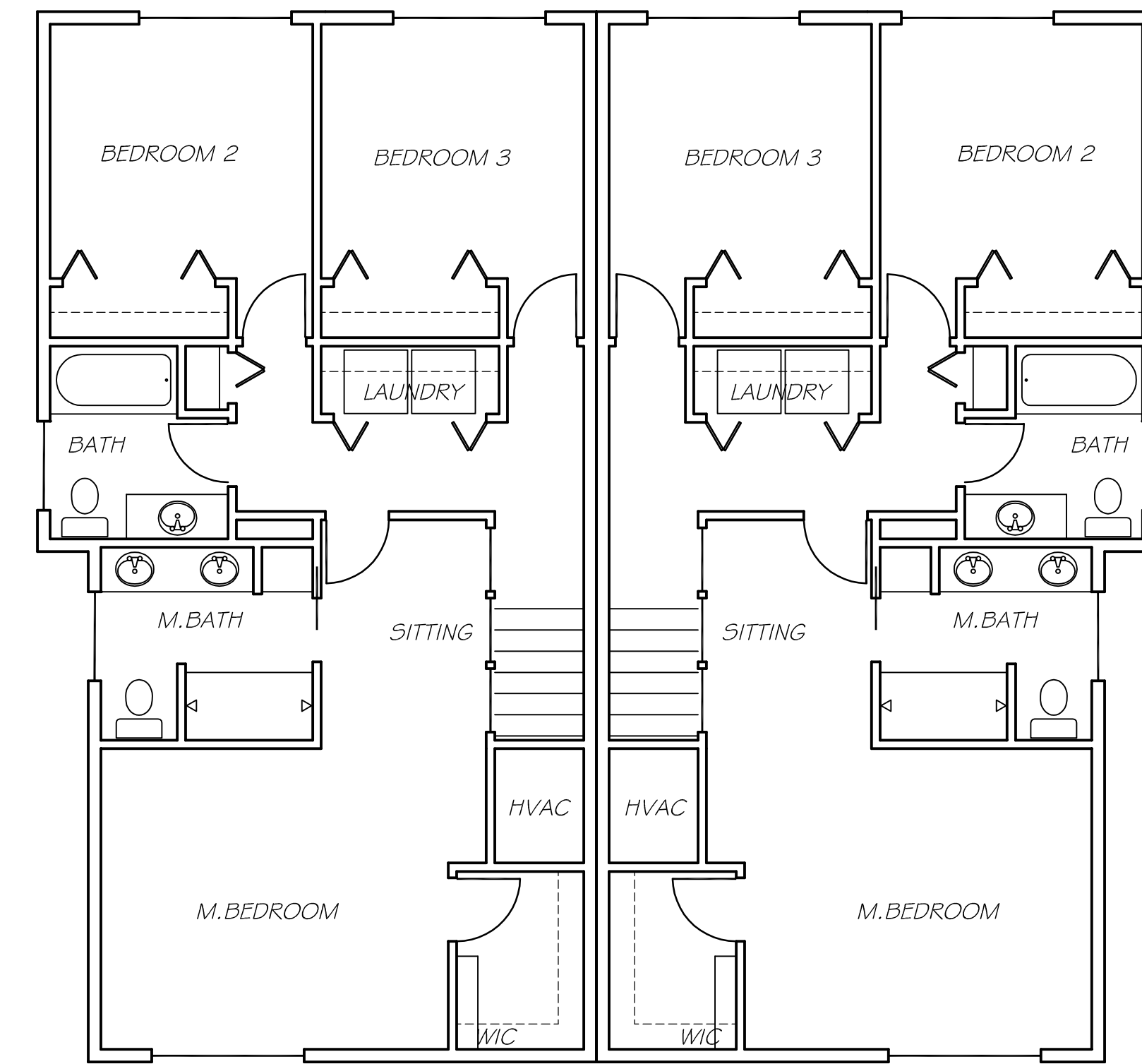
DRB-2



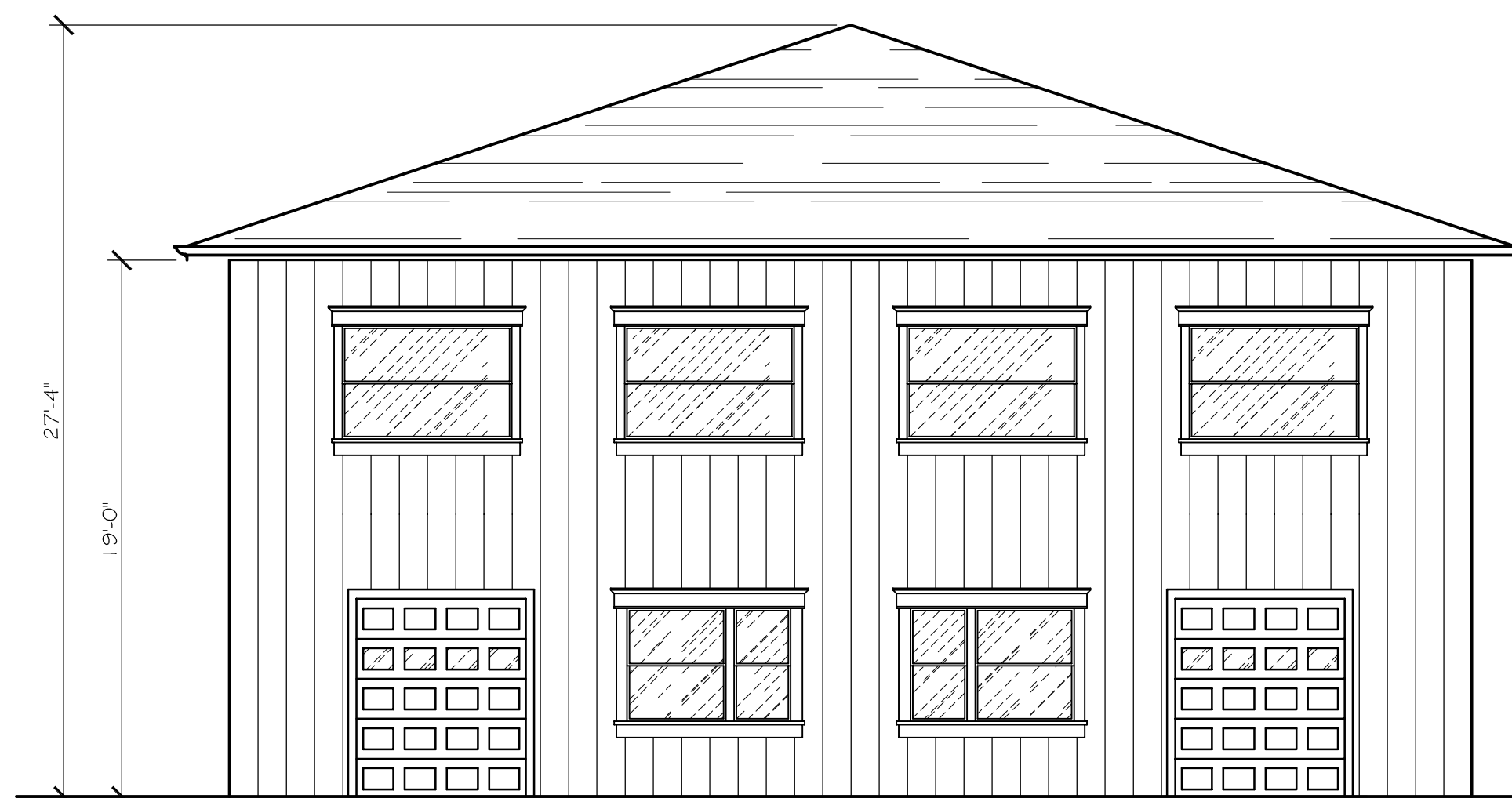
STEWART GORDON STRAUS
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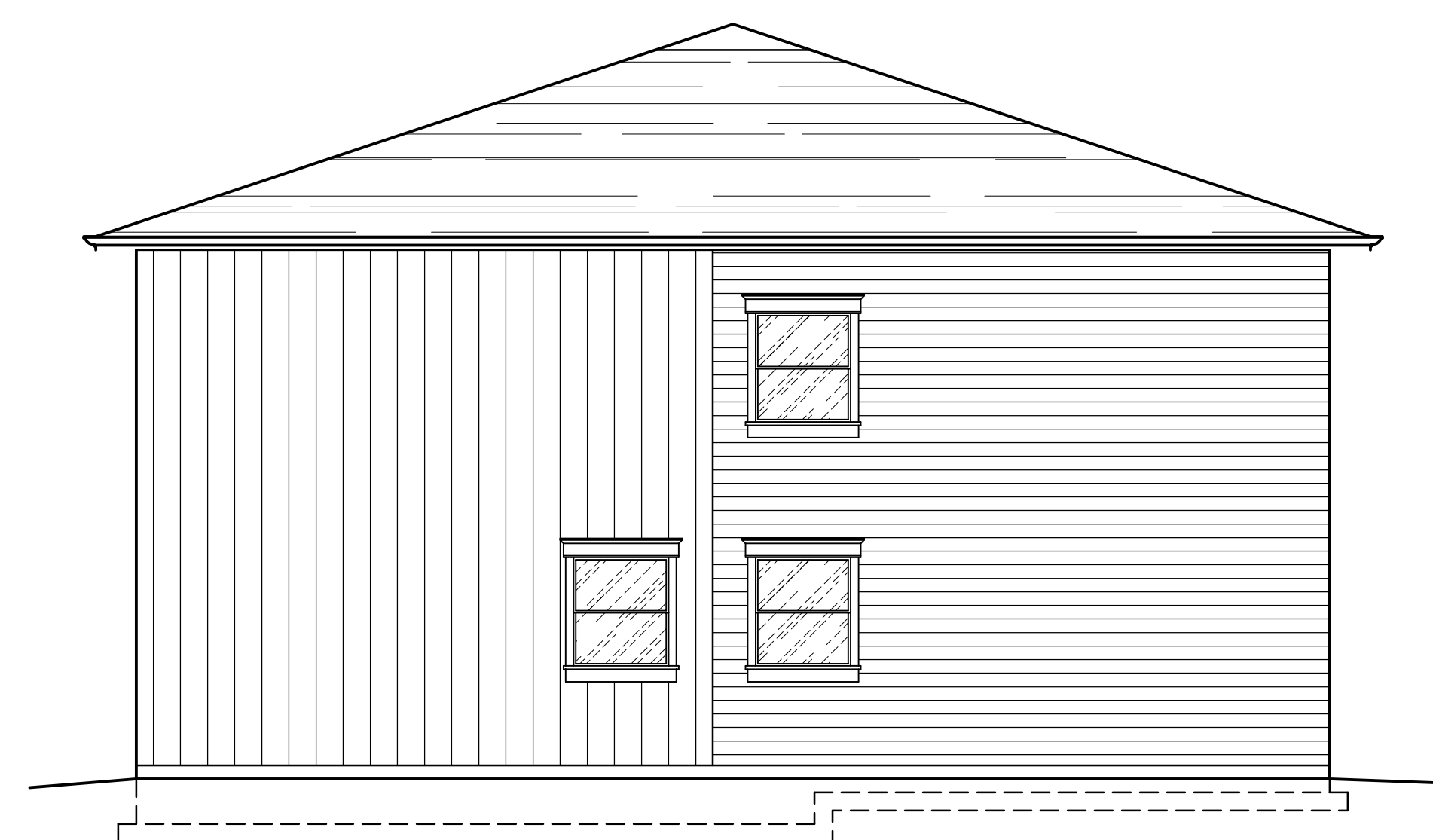
1 TYP. UNIT 'C' - LOWER LEVEL PLAN
DRB3 3/16" = 1'-0"



2 TYP. UNIT 'C' - UPPER LEVEL PLAN
DRB3 3/16" = 1'-0"



3 TYP. UNIT 'C' - REAR ELEVATION
DRB3 3/16" = 1'-0"



4 TYP. UNIT 'C' - SIDE ELEVATION
DRB3 3/16" = 1'-0"



5 TYP. UNIT 'C' - FRONT ELEVATION
DRB3 3/16" = 1'-0"

SHADY HOLLOW VILLAGE
SHADY HOLLOW AND WILLAMETTE DRIVE
WEST LINN, OREGON

PROJECT NUMBER: 1335

DRAWING	DATE	BY
DESIGN	20 NOV 2013	SGS

NBRHD MTG	11 FEB 2014	SGS
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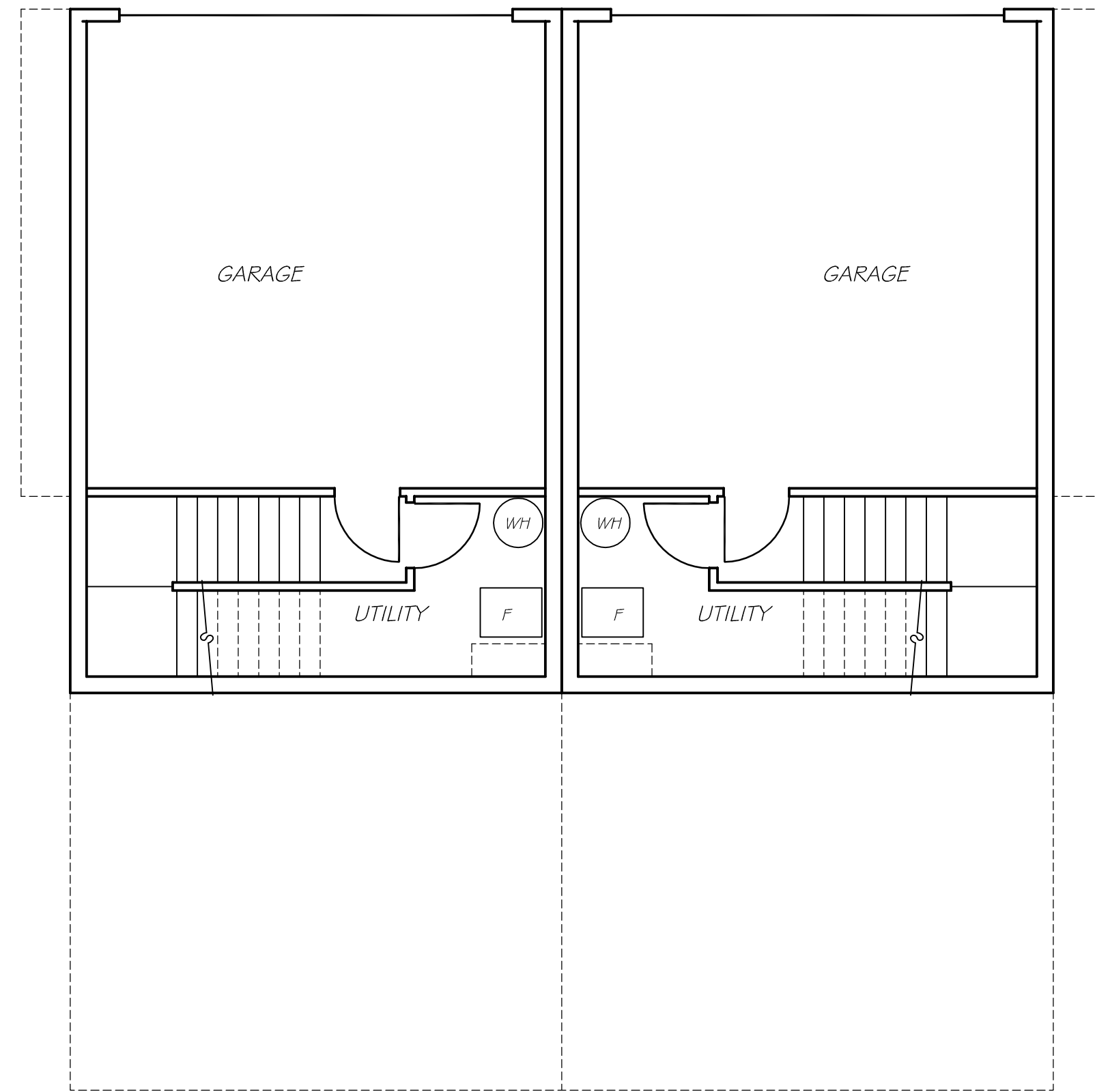
DES REV	12 MAR 2014	SGS
	21 APR 2014	SGS

PERMIT		
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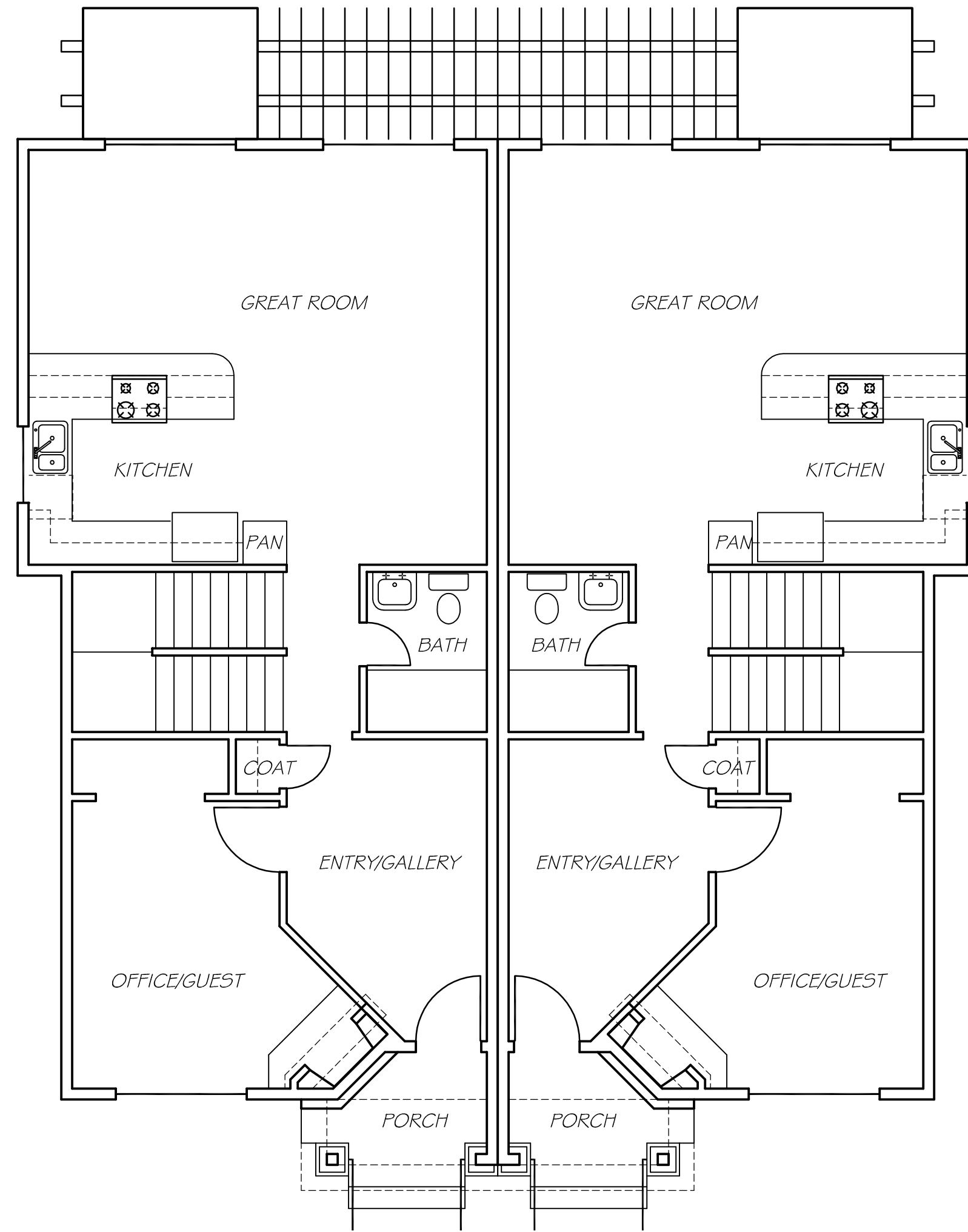
SHEET TITLE
UNIT TYPE 'C'
PLAN + ELEVATIONS

SHEET #

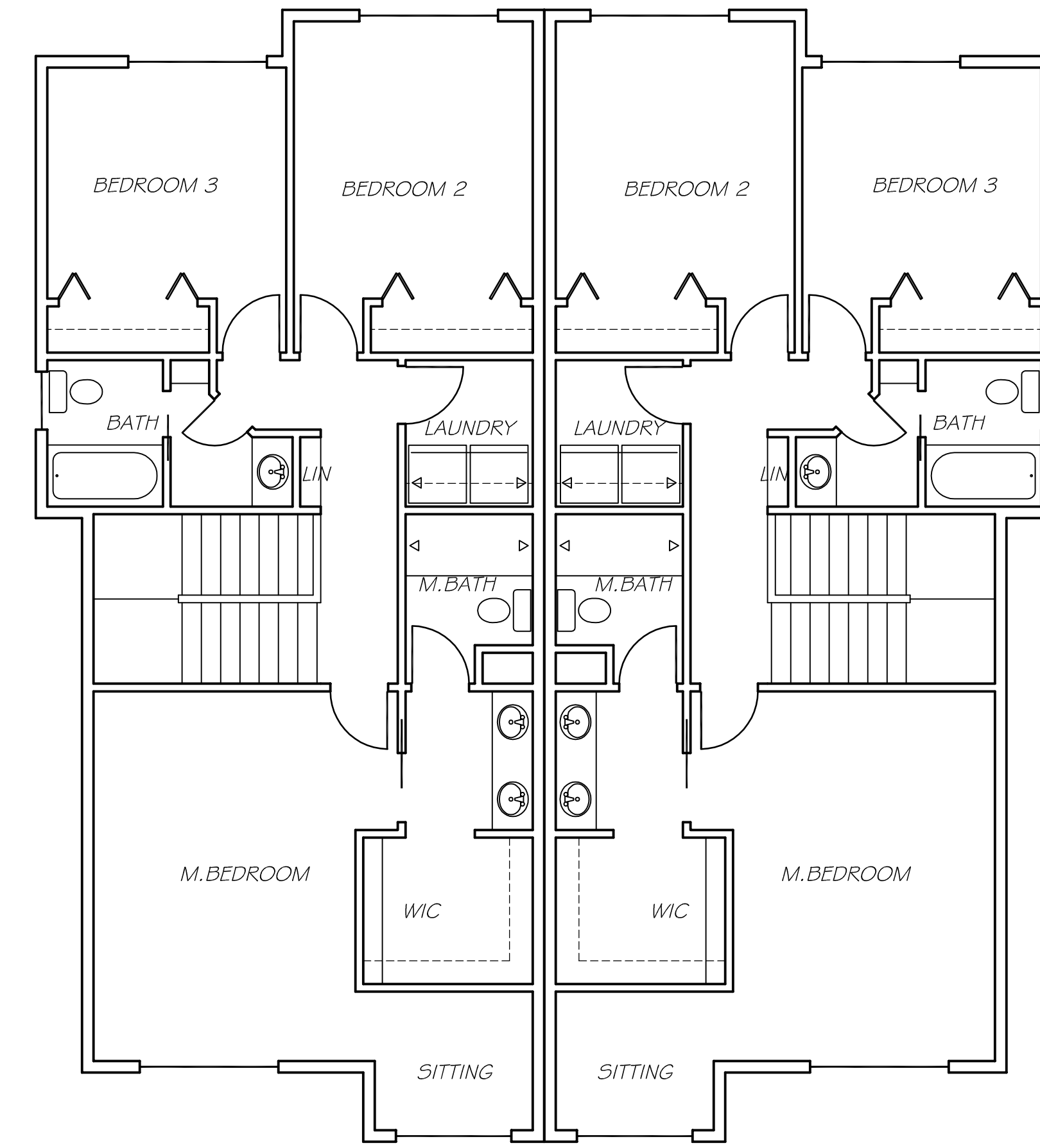
DRB-3



1 TYP. UNIT 'D' - BASEMENT PLAN
DRB4 3/16" = 1'-0"



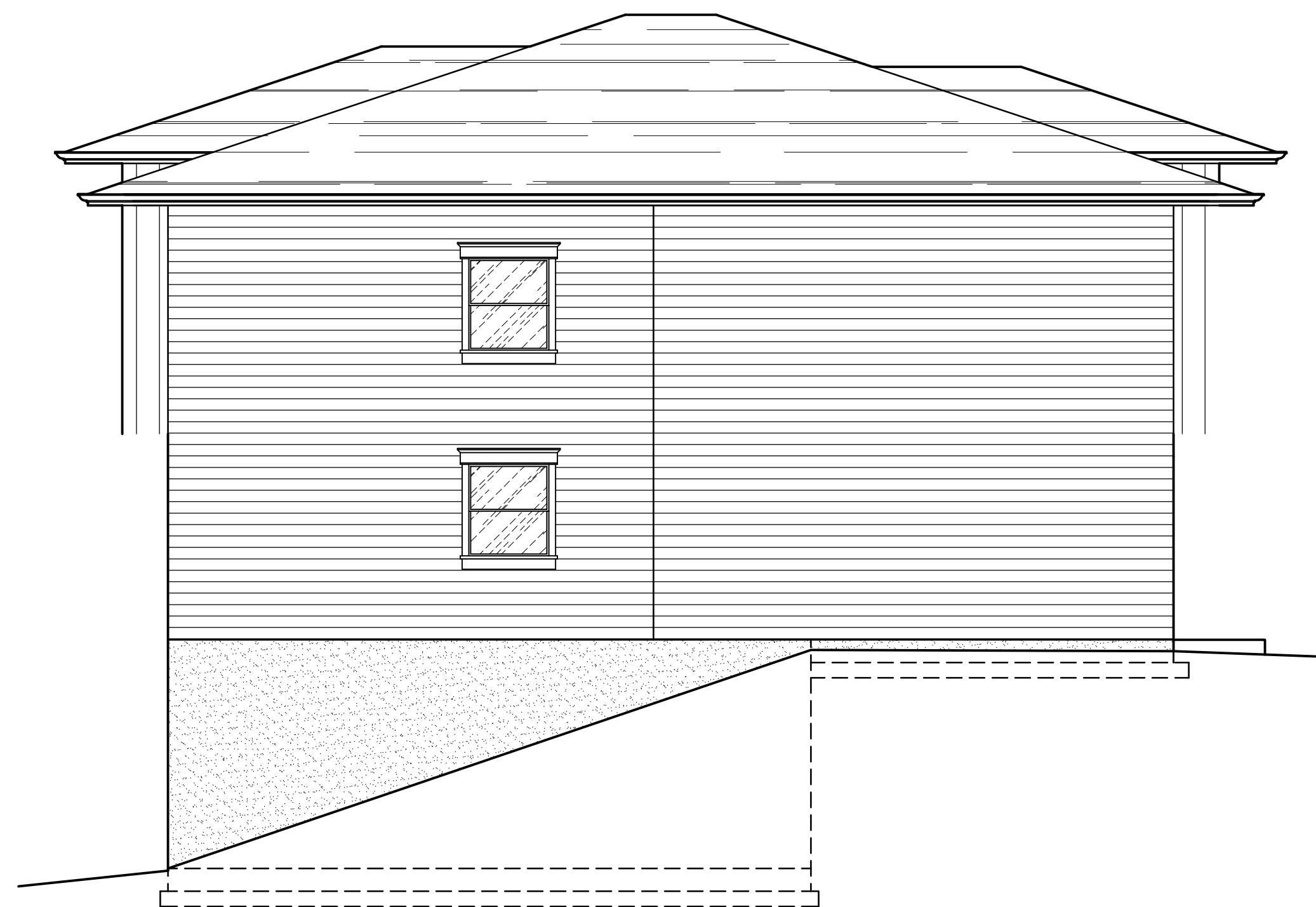
2 TYP. UNIT 'D' - LOWER LEVEL PLAN
DRB4 3/16" = 1'-0"



3 TYP. UNIT 'D' - UPPER LEVEL PLAN
DRB4 3/16" = 1'-0"



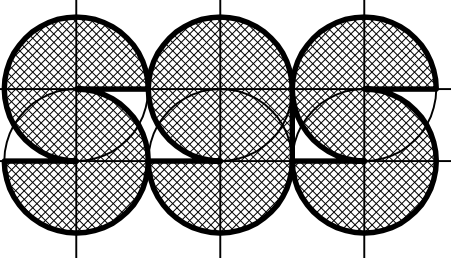
4 TYP. UNIT 'D' - REAR ELEVATION
DRB4 3/16" = 1'-0"



5 TYP. UNIT 'D' - SIDE ELEVATION
DRB4 3/16" = 1'-0"



6 TYP. UNIT 'D' - FRONT ELEVATION
DRB4 3/16" = 1'-0"



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SHADY HOLLOW VILLAGE
SHADY HOLLOW AND WILLAMETTE DRIVE
WEST LINN, OREGON

PROJECT NUMBER: 1335

DRAWING	DATE	BY
DESIGN	20 NOV 2013	SGS

NBRHD MTG	11 FEB 2014	SGS
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DES REV	12 MAR 2014	SGS
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PERMIT

SHEET TITLE
UNIT TYPE 'D'
PLAN + ELEVS

SHEET #

DRB-4