

July 23, 2013

City of West Linn
Mr. Tom Soppe
Associate Planner
22500 Salamo Road
West Linn, OR 97068

**SUBJECT: SUB-13-02/VAR-13-05/VAR-13-06/VAR-13-07/VAR-13-08/VAR-13-09
11 LOT SUBDIVISION WITH LOT DIMENSION VARIANCES AT 23150 BLAND CIRCLE**

Dear Tom,

I am writing on behalf of JT Smith Companies to request that the application for the Subdivision of the Sunbreak property (SUB-13-02) the accompanying variances be deemed complete upon receipt of this correspondence. We have prepared this correspondence as well as a revised preliminary development plan set (dated July 23, 2013) and we believe that the revised plans adequately address the comments provided by the City in the July 9, 2013 notification letter. We believe that all issues have been satisfactorily resolved within our resubmission to allow for the initiation of the City's formal project review.

The following has been provided to document our response to each of the requests listed within your July 9, 2013 incompleteness notification. Code Sections and Staff comments have been listed to the left, and the Applicant's responses have been provided to the right:

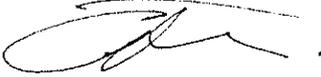
Planning Comments		
Code Section	Staff Comment	Applicant's Response
Section 85.160(A)	Provide City Wide Map	The Applicant has provided a perfectly adequate vicinity map on the cover page of the project plan set.
Section 85.160(B)	Provide stamp and signature of engineer on the tentative plat.	The Applicant's engineer will not stamp and sign a preliminary plan set as preliminary plans should never be confused for construction ready plans. Final construction plans will be stamped and signed. The Applicant has provided an engineer's stamp on the preliminary plans with a "preliminary" watermark over the stamp. The final approved drawings will be signed.
85.160(E)(1)	Show easements on and around the surrounding lots that border the subdivision.	The Applicant has added the location of all known easements on adjoining properties to the preliminary plat.
85.200(C)(1,3,6)	Provide narrative responses that address whether the paths meet the ADA, grade, and defensible space criteria	85.200(C)(1) - No future or existing trails are shown on the project site. Streets which run parallel to one another within the development have been provided with a connective trail system. The trail system has not been

		<p>constructed to ADA requirements as grades across the entire site are in excess of the maximum allowable ADA standards. This practice is consistent and commonplace on sites with excessive existing grades.</p> <p>85.200(C)(3) - The Applicant will provide fencing upon the edges of the 10 foot pedestrian trail corridors. Fencing will likely consist of standard six foot wooden fencing.</p> <p>85.200(C)(6) - The proposed trail has been designed to avoid 15 percent grades in stretches longer than 50 feet. Were possible, grades have been reduced to below 12 percent and stairs have been incorporated.</p>
85.200(E)(7)(a)	Provide responses to this section documenting the satisfaction of the required criteria.	The Applicant's Plan contains limited areas of grading within three feet of the adjoining properties. Within these locations, a combination of temporary grading and the limited installation of retaining walls have been proposed to connect pre-existing streets and sidewalks. In any areas where grading along the property line has been proposed, a temporary construction grading permit will be obtained from the neighboring property owners. Emphasis is added that the proposed grading near to adjacent lots is the minimum necessary to facilitate the connection of the surrounding street networks. The street networks in place were previously evaluated and approved by the City.
75.070(B)(2)(b)	Show the lots subject to a variance on the tentative plat	The following symbol "v" has been added to lots 3,4,8,10, and 11 on the preliminary plat.
99.038(E)(2)	Provide the neighborhood meeting mailing list	A copy of the addresses which received our neighborhood invitation have been attached hereto.
99.038(E)(4)	Provide meeting minutes for the neighborhood meeting	A copy of the summary of the neighborhood meeting has been provided.

Engineering Comments	
<p>I would recommend to have the Developer provided a concept plan showing full developed intersection at Tannler and Bland.</p>	<p>The Applicant has provided a preliminary intersection plan within the revised plan set.</p>
<p>Developer needs to provide half street improvements with radius curb at this intersection including the street connecting to Sunbreak.</p>	<p>The developer has provided the City with the assurances that the roadway from Sunbreak to Bland Circle will not be constructed as part of this development. Instead of construction of the road, the Applicant dedicate 1/2 of the required 48 foot local street section along the City's preferred future alignment of the northbound extension of Tannler Drive. The Applicant will:</p> <ul style="list-style-type: none"> • Install break-away bollards at the terminus of Sunbreak to allow TVFRD access from the adjacent easement to Sunbreak. • Construct a sidewalk and planter strip and will pay a fee in lieu for the Applicant's half of the street pavement. • Construct a Drainage System along the anticipated extension of Tannler Drive. • Prepare a construction estimate for the City's Review to allow for the determination of the fee in lieu amount. <p>This approach was discussed and agreed to with the City's Engineer and Planning Director during a special meeting held at the City's offices on July 17, 2013.</p>
<p>No connection to water transmission line will be permitted.</p>	<p>The proposed connection to the Tannler Water transmission line has been removed from the plan. The revised plan now shows a blow-off</p>
<p>Proposed utilities will need to be placed closer to the sidewalk.</p>	<p>The Applicant has revised the utility plan to move all utilities closer to the eastern edge of the proposed Tannler right-of-way.</p>

We trust that these responses and materials will assist in the City's favorable evaluation of our proposed development plans. Please feel free to contact us with any questions that you may have. We will be ready to respond to any questions or requests for any further clarification.

Sincerely,



Andrew Tull
Senior Planner
3J Consulting, Inc.

Attachments:

Revised Preliminary Plans
Mailing Listing
Neighborhood Meeting Summary

copy: Mr. John Wyland, JT Smith Companies
Mr. Mike Robinson, Perkins Coie
Mr. Brian Feeney, 3J Consulting, Inc.
File



LAND USE DOCUMENTS

FOR SUNBREAK SUBDIVISION

PREPARED FOR
LF 3, LLC

PROJECT TEAM

OWNER/APPLICANT
JT SMITH COMPANIES
5285 MEADOWS ROAD, SUITE #171
LAKE OSWEGO, OR 97035
CONTACT: JOHN WYLAND
jwyland@jtsmithco.com

CIVIL ENGINEER
3J CONSULTING, INC.
10445 SW CANYON ROAD, SUITE 245
BEAVERTON, OR 97005
CONTACT: BRIAN FEENEY
PHONE: (503) 946-9385
brian.feeneey@3j-consulting.com

PLANNING CONSULTANT
3J CONSULTING, INC.
10445 SW CANYON ROAD, SUITE 245
BEAVERTON, OR 97005
CONTACT: ANDREW TULL
PHONE: 503-946-9385
EMAIL: andrew.tull@3j-consulting.com

GEOTECHNICAL CONSULTANT
GEOPACIFIC ENGINEERING, INC.
14835 SW 72ND AVENUE
PORTLAND, OR 97224
CONTACT: SCOTT HARDMAN
PHONE: (503) 825-4455
shardman@geopacificeng.com

LAND SURVEYOR
COMPASS SURVEYING
4107 SE INTERNATIONAL WAY, SUITE 705
MILWAUKIE, OR 97222
CONTACT: DON DEVLAMINCK, PLS
PHONE: 503-653-9093
dond@compass-engineering.com

SITE INFORMATION

SITE ADDRESS
23150 BLAND CIRCLE
WEST LINN, OR 97068

TAX LOT(S)
251E35A 1300

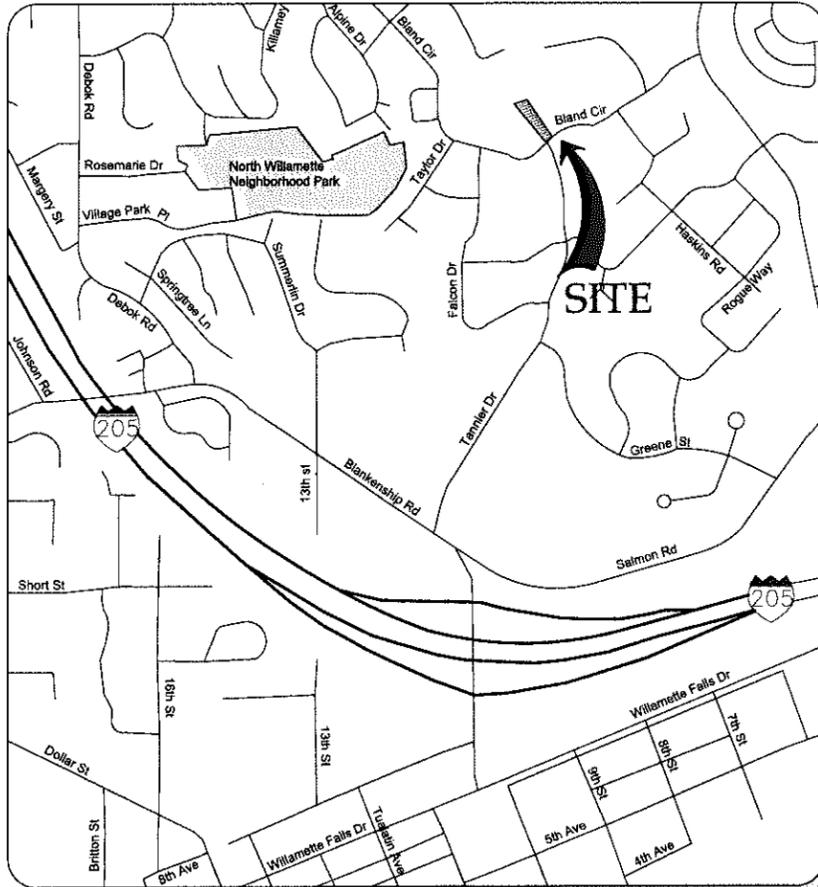
FLOOD HAZARD
MAP NUMBER: 41005C0257D ZONE X (UNSHADED)

JURISDICTION
CITY OF WEST LINN

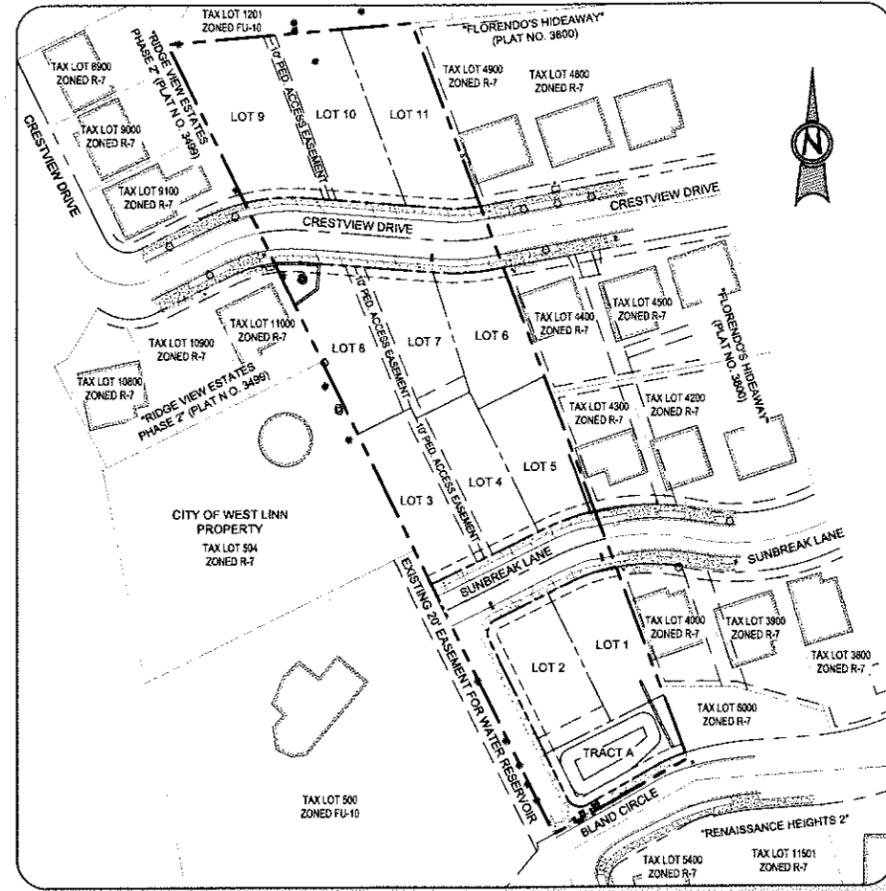
ZONING
R-7

SHEET INDEX

NO.	DESCRIPTION
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS PLAN
C1.1	DEMOLITION PLAN
C1.2	TREE PROTECTION AND REMOVAL PLAN
C1.3	SLOPE ANALYSIS PLAN
C2.0	TENTATIVE SUBDIVISION PLAT
C2.1	SUNBREAK LANE PLAN & PROFILE
C2.2	CRESTVIEW DRIVE PLAN & PROFILE
C2.3	BLAND CIRCLE STREET IMPROVEMENT PLAN
C2.4	GRADING AND EROSION CONTROL PLAN
C2.5	COMPOSITE UTILITY PLAN
C2.6	STREET LIGHTING PLAN
C2.7	TANNLER DRIVE FUTURE EXTENSION
L1.0	MITIGATION PLANTING PLAN



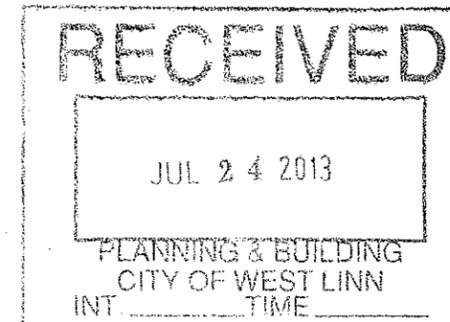
VICINITY MAP
NOT TO SCALE



SITE MAP

Scale: 1 inch = 80 feet

A PORTION OF LOT 28, "BLAND ACRES"
LOCATED IN THE NW & NE 1/4 OF SECTION 35, T.2S., R.1E., W.M.
CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON



6/21/13
DATE
BY
REVISION SUMMARY

COVER SHEET
SUNBREAK
SUBDIVISION
LF 3, LLC
WEST LINN, OR

3J CONSULTING, INC.
CIVIL ENGINEERING
WATER RESOURCES
LAND USE PLANNING
10445 SW CANYON ROAD SUITE 245, BEAVERTON, OR 97005
PHONE & FAX: (503) 946-9385

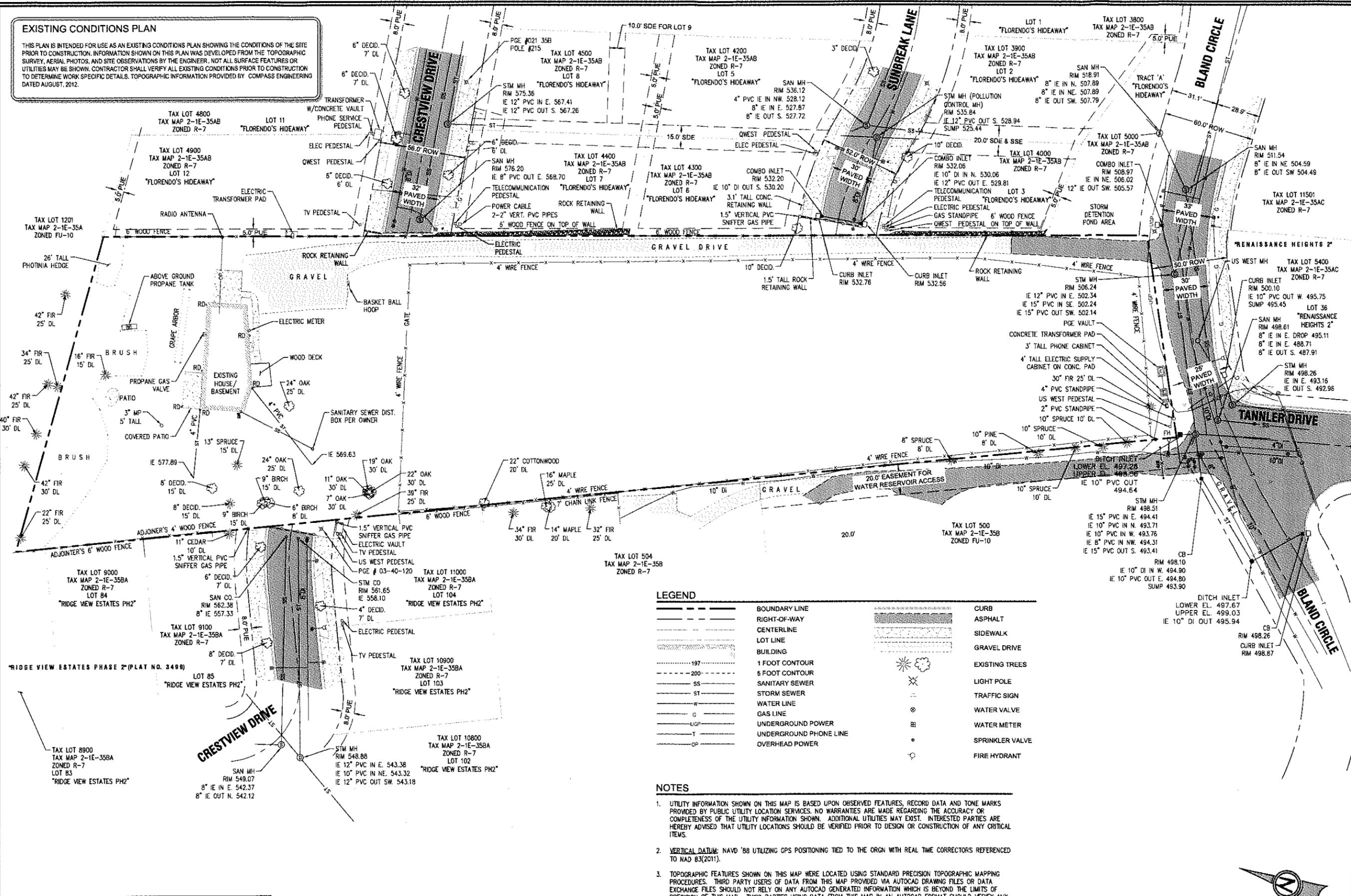
JOB ID # | 13113
LAND USE # |
TAX LOT # | 251E35A01300
DESIGNED BY | CLFUTE
CHECKED BY | BKF

SHEET TITLE
COVER SHEET
SHEET NUMBER

C0.0

EXISTING CONDITIONS PLAN

THIS PLAN IS INTENDED FOR USE AS AN EXISTING CONDITIONS PLAN SHOWING THE CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION. INFORMATION SHOWN ON THIS PLAN WAS DEVELOPED FROM THE TOPOGRAPHIC SURVEY, AERIAL PHOTOS, AND SITE OBSERVATIONS BY THE ENGINEER. NOT ALL SURFACE FEATURES OR UTILITIES MAY BE SHOWN. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION TO DETERMINE WORK SPECIFIC DETAILS. TOPOGRAPHIC INFORMATION PROVIDED BY COMPASS ENGINEERING DATED AUGUST, 2012.

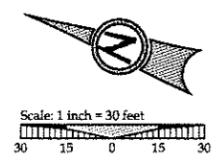


LEGEND

	BOUNDARY LINE		CURB
	RIGHT-OF-WAY		ASPHALT
	CENTERLINE		SIDEWALK
	LOT LINE		GRAVEL DRIVE
	BUILDING		EXISTING TREES
	1 FOOT CONTOUR		LIGHT POLE
	5 FOOT CONTOUR		TRAFFIC SIGN
	SANITARY SEWER		WATER VALVE
	STORM SEWER		WATER METER
	WATER LINE		SPRINKLER VALVE
	GAS LINE		FIRE HYDRANT
	UNDERGROUND POWER		
	UNDERGROUND PHONE LINE		
	OVERHEAD POWER		

- NOTES**
- UTILITY INFORMATION SHOWN ON THIS MAP IS BASED UPON OBSERVED FEATURES, RECORD DATA AND TONE MARKS PROVIDED BY PUBLIC UTILITY LOCATION SERVICES. NO WARRANTIES ARE MADE REGARDING THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. INTERESTED PARTIES ARE HEREBY ADVISED THAT UTILITY LOCATIONS SHOULD BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION OF ANY CRITICAL ITEMS.
 - VERTICAL DATUM: NAVD '88 UTILIZING GPS POSITIONING TIED TO THE ORGN WITH REAL TIME CORRECTORS REFERENCED TO NAD 83(2011).
 - TOPOGRAPHIC FEATURES SHOWN ON THIS MAP WERE LOCATED USING STANDARD PRECISION TOPOGRAPHIC MAPPING PROCEDURES. THIRD PARTY USERS OF DATA FROM THIS MAP PROVIDED VIA AUTOCAD DRAWING FILES OR DATA EXCHANGE FILES SHOULD NOT RELY ON ANY AUTOCAD GENERATED INFORMATION WHICH IS BEYOND THE LIMITS OF PRECISION OF THIS MAP. THIRD PARTIES USING DATA FROM THIS MAP IN AN AUTOCAD FORMAT SHOULD VERIFY ANY ELEMENTS REQUIRING PRECISE LOCATIONS PRIOR TO COMMENCEMENT OF ANY CRITICAL DESIGN OR CONSTRUCTION. CONTACT COMPASS ENGINEERING FOR FURTHER INFORMATION. FURTHERMORE, COMPASS ENGINEERING WILL NOT BE RESPONSIBLE NOR HELD LIABLE FOR ANY DESIGN OR CONSTRUCTION RELATED PROBLEMS THAT ARISE OUT OF THIRD PARTY USAGE OF THIS MAP (IN AUTOCAD OR OTHER FORMAT) FOR ANY PURPOSE OTHER THAN SPECIFICALLY STATED HEREIN. THIS STATEMENT IS AN OFFICIAL PART OF THIS MAP.

A PORTION OF LOT 28, "BLAND ACRES"
 TAX LOT 1300, LOCATED IN THE NW & NE
 1/4 OF SECTION 35, T.2S., R.1E., W.M.
 CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON



7/23/13
DATE

REVISION SUMMARY

**EXISTING CONDITIONS
 SUNBREAK
 SUBDIVISION**

LF 3, LLC
 WEST LINN, OR

3J CONSULTING, INC

CIVIL ENGINEERING
 WATER RESOURCES
 LAND USE PLANNING

10445 SW CANYON ROAD SUITE 245, BEAVERTON, OR 97005
 PHONE & FAX: (503) 948-8885

3J JOB ID # | 13115
 LAND USE # |
 TAX LOT # | 281E35A01300
 DESIGNED BY | C.FJITE
 CHECKED BY | BKF

SHEET TITLE
EXISTING

SHEET NUMBER
C1.0

A PORTION OF LOT 28, "BLAND ACRES"
 TAX LOT 1300, LOCATED IN THE NW & NE
 1/4 OF SECTION 35, T.2S., R.1E., W.M.
 CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON

TAX LOT 4800
 TAX MAP 2-1E-35AB
 ZONED R-7
 LOT 11
 "FLORENDO'S HIDEAWAY"

TAX LOT 4500
 TAX MAP 2-1E-35AB
 ZONED R-7
 LOT 8
 "FLORENDO'S HIDEAWAY"

TAX LOT 4200
 TAX MAP 2-1E-35AB
 ZONED R-7
 LOT 5
 "FLORENDO'S HIDEAWAY"

TAX LOT 3900
 TAX MAP 2-1E-35AB
 ZONED R-7
 LOT 2
 "FLORENDO'S HIDEAWAY"

TAX LOT 4900
 TAX MAP 2-1E-35AB
 ZONED R-7
 LOT 12
 "FLORENDO'S HIDEAWAY"

TAX LOT 4400
 TAX MAP 2-1E-35AB
 ZONED R-7
 LOT 7
 "FLORENDO'S HIDEAWAY"

TAX LOT 4300
 TAX MAP 2-1E-35AB
 ZONED R-7
 LOT 6
 "FLORENDO'S HIDEAWAY"

TAX LOT 4000
 TAX MAP 2-1E-35AB
 ZONED R-7
 LOT 3
 "FLORENDO'S HIDEAWAY"

TRACT 'A'
 "FLORENDO'S HIDEAWAY"

TAX LOT 11501
 TAX MAP 2-1E-35AC
 ZONED R-7

TAX LOT 1201
 TAX MAP 2-1E-35A
 ZONED FU-10

TAX LOT 4900
 TAX MAP 2-1E-35AB
 ZONED R-7
 LOT 12
 "FLORENDO'S HIDEAWAY"

TAX LOT 4400
 TAX MAP 2-1E-35AB
 ZONED R-7
 LOT 7
 "FLORENDO'S HIDEAWAY"

TAX LOT 4300
 TAX MAP 2-1E-35AB
 ZONED R-7
 LOT 6
 "FLORENDO'S HIDEAWAY"

TAX LOT 4000
 TAX MAP 2-1E-35AB
 ZONED R-7
 LOT 3
 "FLORENDO'S HIDEAWAY"

TRACT 'A'
 "FLORENDO'S HIDEAWAY"

TAX LOT 5400
 TAX MAP 2-1E-35AC
 ZONED R-7
 LOT 36
 "RENAISSANCE HEIGHTS 2"

TAX LOT 1201
 TAX MAP 2-1E-35A
 ZONED FU-10

TAX LOT 4900
 TAX MAP 2-1E-35AB
 ZONED R-7
 LOT 12
 "FLORENDO'S HIDEAWAY"

TAX LOT 4400
 TAX MAP 2-1E-35AB
 ZONED R-7
 LOT 7
 "FLORENDO'S HIDEAWAY"

TAX LOT 4300
 TAX MAP 2-1E-35AB
 ZONED R-7
 LOT 6
 "FLORENDO'S HIDEAWAY"

TAX LOT 4000
 TAX MAP 2-1E-35AB
 ZONED R-7
 LOT 3
 "FLORENDO'S HIDEAWAY"

TRACT 'A'
 "FLORENDO'S HIDEAWAY"

TAX LOT 5400
 TAX MAP 2-1E-35AC
 ZONED R-7
 LOT 36
 "RENAISSANCE HEIGHTS 2"

TAX LOT 1201
 TAX MAP 2-1E-35A
 ZONED FU-10

TAX LOT 9100
 TAX MAP 2-1E-35BA
 ZONED R-7
 LOT 85
 "RIDGE VIEW ESTATES PH2"

TAX LOT 11000
 TAX MAP 2-1E-35BA
 ZONED R-7
 LOT 104
 "RIDGE VIEW ESTATES PH2"

TAX LOT 504
 TAX MAP 2-1E-35B
 ZONED R-7

TAX LOT 500
 TAX MAP 2-1E-35B
 ZONED FU-10

TAX LOT 9000
 TAX MAP 2-1E-35BA
 ZONED R-7
 LOT 84
 "RIDGE VIEW ESTATES PH2"

TAX LOT 9100
 TAX MAP 2-1E-35BA
 ZONED R-7
 LOT 85
 "RIDGE VIEW ESTATES PH2"

TAX LOT 10900
 TAX MAP 2-1E-35BA
 ZONED R-7
 LOT 103
 "RIDGE VIEW ESTATES PH2"

TAX LOT 10800
 TAX MAP 2-1E-35BA
 ZONED R-7
 LOT 102
 "RIDGE VIEW ESTATES PH2"

TAX LOT 8900
 TAX MAP 2-1E-35BA
 ZONED R-7
 LOT 83
 "RIDGE VIEW ESTATES PH2"

"RIDGE VIEW ESTATES PHASE 2" (PLAT NO. 3499)

LEGEND

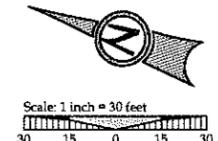
	BOUNDARY LINE		CURB
	RIGHT-OF-WAY		ASPHALT TO REMAIN
	CENTERLINE		SIDEWALK
	LOT LINE		GRAVEL DRIVE
	BUILDING		EXISTING TREES
	SANITARY SEWER		LIGHT POLE
	STORM SEWER		TRAFFIC SIGN
	WATER LINE		WATER VALVE
	GAS LINE		WATER METER
	UNDERGROUND POWER		SPRINKLER VALVE
	UNDERGROUND PHONE LINE		FIRE HYDRANT
	OVERHEAD POWER		

DEMOLITION KEY

	EXISTING BUILDING AND FOUNDATION TO BE DEMOLISHED. DEBRIS AND REFUSE TO BE DISPOSED OFF SITE AT AN APPROVED LOCATION.		REMOVE EXISTING TREE/LANDSCAPING.
	EXISTING POWER METER TO BE DISCONNECTED AND RETURNED TO POWER COMPANY. CAP SERVICE LINES AND REMOVE ALL CONDUITS AND WIRING WITHIN PROPERTY.		PROTECT EXISTING PAVEMENT/SIDEWALK TO REMAIN. SEE SHEET C2.0.
	REMOVE EXISTING CONCRETE AND BASE ROCK. DISPOSE OF RUBBLE AND REFUSE OFF SITE.		PROTECT EXISTING UTILITIES TO REMAIN.
	REMOVE EXISTING GRAVEL DRIVEWAY. DISPOSE OF RUBBLE AND REFUSE OFF SITE.		REMOVE EXISTING STORM AND SEWER LINES AND STRUCTURES (TYPICAL FOR ALL).
	SAWCUT EXISTING ASPHALT PAVEMENT.		REMOVE EXISTING TRANSFORMER AND ELECTRICAL LINE TO EXISTING RESIDENCE. CONTRACTOR TO COORDINATE WITH PORTLAND GENERAL ELECTRIC.
	REMOVE EXISTING ASPHALT SURFACING AND BASE ROCK. DISPOSE OF RUBBLE AND REFUSE OFF SITE.		REMOVE EXISTING PROPANE TANK AND GAS LINE. CONTRACTOR TO COORDINATE WITH NW NATURAL GAS.
	REMOVE EXISTING FENCING AND DISPOSE OF OFF SITE.		DEMOLISH EXISTING CONCRETE/SIDEWALK TO NEAREST JOINT. SAWCUT NEW JOINT IF PROPOSED IMPROVEMENTS ARE TO MATCH EXISTING. SEE SHEET C2.0.
	PROTECT EXISTING FENCING TO REMAIN.		REMOVE AND REPLACE STOP SIGN. SEE SITE PLAN, SHEET C2.0.
	REMOVE AND RELOCATE EXISTING FIRE HYDRANT, SEE SHEET C2.5.		PROTECT EXISTING COMMUNICATIONS PEDESTAL.
	REMOVE EXISTING DITCH INLET AND PIPING AND DISPOSE OF OFF-SITE.		PROTECT EXISTING TRANSFORMER AND PRIMARY CABLE.
	PROVIDE TEMPORARY SHORING AND REMOVE RETAINING WALL IN AREA OF IMPROVEMENTS.		PROTECT EXISTING STREET LIGHT CABINET.

GENERAL DEMOLITION NOTES

- DEMOLITION NOTES ARE FOR CLARIFICATION ONLY AND ARE SHOWN FOR THE CONTRACTOR'S BENEFIT. THESE NOTES ARE NOT INTENDED TO BE COMPREHENSIVE. THE CONTRACTOR SHALL REMOVE OR RELOCATE ALL EXISTING ON-SITE IMPROVEMENTS NECESSARY TO ACCOMMODATE THE PROPOSED CONSTRUCTION.
- ALL EXISTING PROPERTY UTILITY SERVICES TO BE TERMINATED AND CAPPED AT THE RIGHT OF WAY PRIOR TO DEMOLISHING ANY EXISTING BUILDINGS.
- CONTRACTOR IS TO REMOVE ALL EXISTING SURFACE IMPROVEMENTS AND DEBRIS WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED. ALL DEBRIS FOUND ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE CODES.
- CONTRACTOR TO PROTECT EXISTING FEATURES WHICH ARE TO REMAIN.
- CONTRACTOR SHALL ADJUST ALL EXISTING MANHOLE RIMS, DRAINAGE STRUCTURES, VALVE BOXES, VAULT LIDS AND UTILITY ACCESS STRUCTURES TO FINISH GRADE WITHIN AREAS AFFECTED BY PROPOSED CONSTRUCTION.
- CONSTRUCTION AND DEMOLITION ACTIVITIES SHALL BE PHASED IN SUCH A MANNER AS TO ENSURE THAT PUBLIC ACCESS ROADS ARE NOT BLOCKED AND REMAIN OPERATIONAL.
- SEE TREE PROTECTION AND REMOVAL PLAN (SHEET C1.1) FOR ALL TREE REMOVAL INFORMATION.



7/23/13
 DATE
 LAND USE REVISION SUMMARY

**DEMOLITION PLAN
 SUNBREAK
 SUBDIVISION**
 LF 3, LLC
 WEST LINN, OR

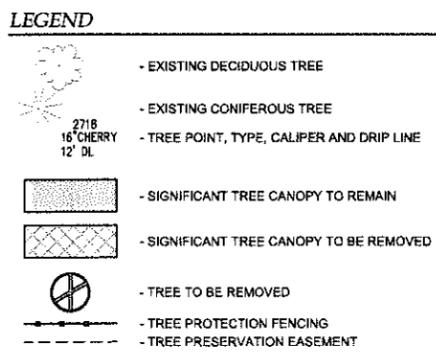
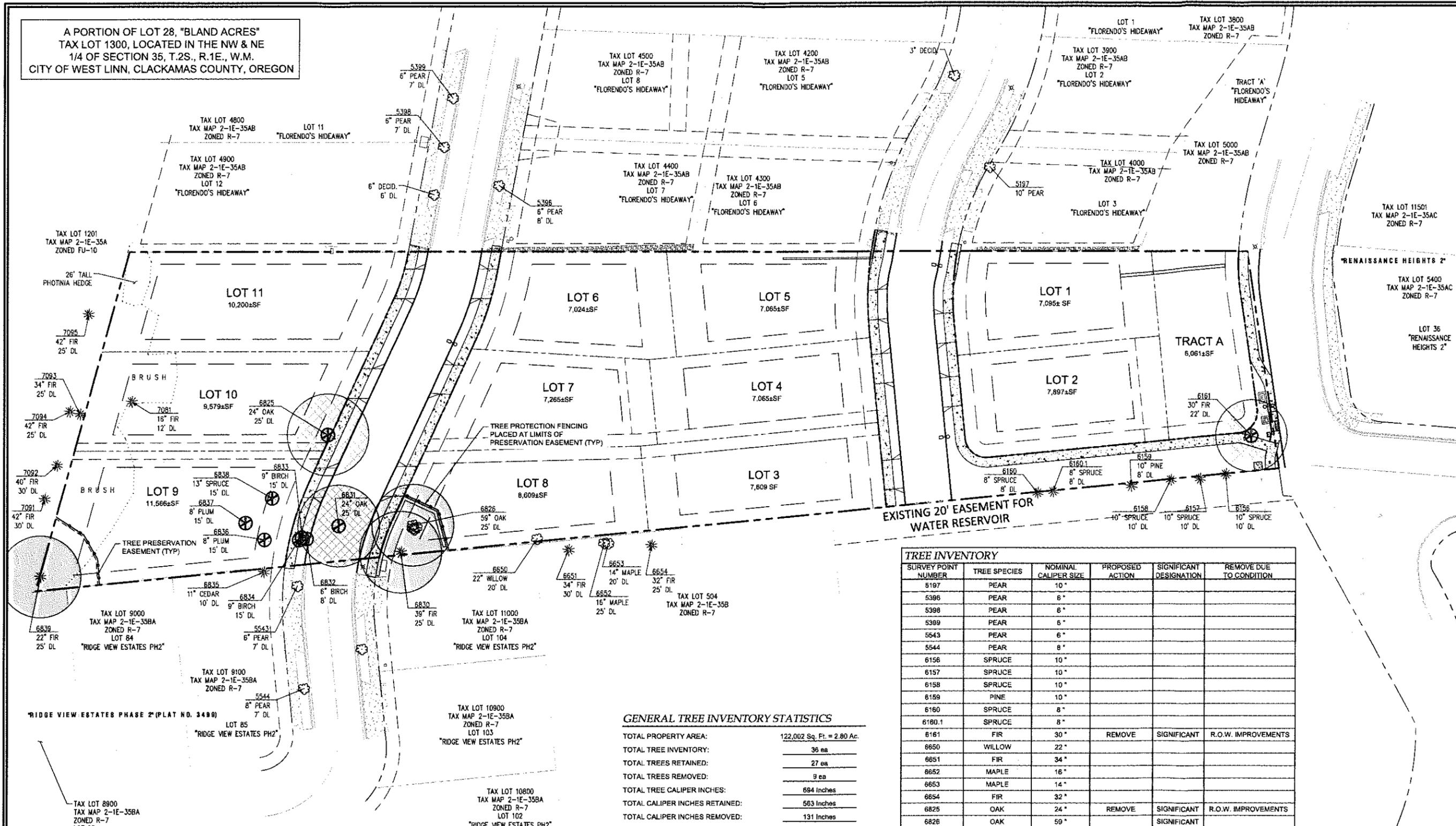
3J CONSULTING, INC
 CIVIL ENGINEERING
 WATER RESOURCES
 LAND USE PLANNING
 10445 SW CANYON ROAD SUITE 245 BEAVERTON, OR 97005
 PHONE & FAX: (503) 946-9385

3J JOB ID # | 13113
 LAND USE # |
 TAX LOT # | 281E35A01300
 DESIGNED BY | CLFJTE
 CHECKED BY | BKF

SHEET TITLE
DEMOLITION

SHEET NUMBER
C1.1

A PORTION OF LOT 28, "BLAND ACRES"
 TAX LOT 1300, LOCATED IN THE NW & NE
 1/4 OF SECTION 35, T.2S., R.1E., W.M.
 CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON



GENERAL TREE INVENTORY STATISTICS

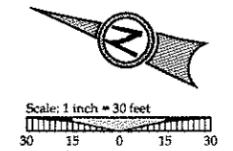
TOTAL PROPERTY AREA:	122,002 Sq. Ft. = 2.80 Ac.
TOTAL TREE INVENTORY:	36 ea
TOTAL TREES RETAINED:	27 ea
TOTAL TREES REMOVED:	9 ea
TOTAL TREE CALIPER INCHES:	694 inches
TOTAL CALIPER INCHES RETAINED:	563 inches
TOTAL CALIPER INCHES REMOVED:	131 inches

SIGNIFICANT TREE STATISTICS

SIGNIFICANT TREE INVENTORY:	6 ea
SIGNIFICANT TREES RETAINED:	3 ea
SIGNIFICANT TREES REMOVED:	3 ea
SIGNIFICANT TREE CALIPER INCHES:	198 inches
SIGNIFICANT CALIPER INCHES RETAINED:	120 inches
SIGNIFICANT CALIPER INCHES REMOVED:	78 inches
SIGNIFICANT TREE CANOPY COVERAGE:	12,232 Sq. Ft.
SIGNIFICANT TREE CANOPY RETAINED:	4,346 Sq. Ft.
SIGNIFICANT TREE CANOPY REMOVED:	8,940 Sq. Ft.
SIGNIFICANT TREE CANOPY REMOVED DUE TO R.O.W. IMPROVEMENTS:	8,940 Sq. Ft.
PRESERVATION EASEMENT AREA PROVIDED:	2,070 Sq. Ft.

TREE INVENTORY

SURVEY POINT NUMBER	TREE SPECIES	NOMINAL CALIPER SIZE	PROPOSED ACTION	SIGNIFICANT DESIGNATION	REMOVE DUE TO CONDITION
5197	PEAR	10"			
5396	PEAR	6"			
5398	PEAR	8"			
5399	PEAR	6"			
5543	PEAR	6"			
5544	PEAR	8"			
6156	SPRUCE	10"			
6157	SPRUCE	10"			
6158	SPRUCE	10"			
6159	PINE	10"			
6160	SPRUCE	8"			
6160.1	SPRUCE	8"			
6161	FIR	30"	REMOVE	SIGNIFICANT	R.O.W. IMPROVEMENTS
6650	WILLOW	22"			
6651	FIR	34"			
6652	MAPLE	16"			
6653	MAPLE	14"			
6654	FIR	32"			
6825	OAK	24"	REMOVE	SIGNIFICANT	R.O.W. IMPROVEMENTS
6826	OAK	59"		SIGNIFICANT	
6830	FIR	39"		SIGNIFICANT	
6831	OAK	24"	REMOVE	SIGNIFICANT	R.O.W. IMPROVEMENTS
6832	BIRCH	6"	REMOVE		R.O.W. IMPROVEMENTS
6833	BIRCH	9"	REMOVE		R.O.W. IMPROVEMENTS
6834	BIRCH	9"	REMOVE		R.O.W. IMPROVEMENTS
6835	CEDAR	11"			
6836	PLUM	8"	REMOVE		PRIVATE IMPROVEMENTS
6837	PLUM	8"	REMOVE		PRIVATE IMPROVEMENTS
6838	SPRUCE	13"	REMOVE		PRIVATE IMPROVEMENTS
6839	FIR	22"		SIGNIFICANT	
7081	FIR	16"			
7091	FIR	42"			
7092	FIR	40"			
7093	FIR	34"			
7094	FIR	42"			
7095	FIR	42"			



7/23/13
 DATE
 BY
 REVISION SUMMARY

TREE PROTECTION AND REMOVAL PLAN
SUNBREAK
SUBDIVISION

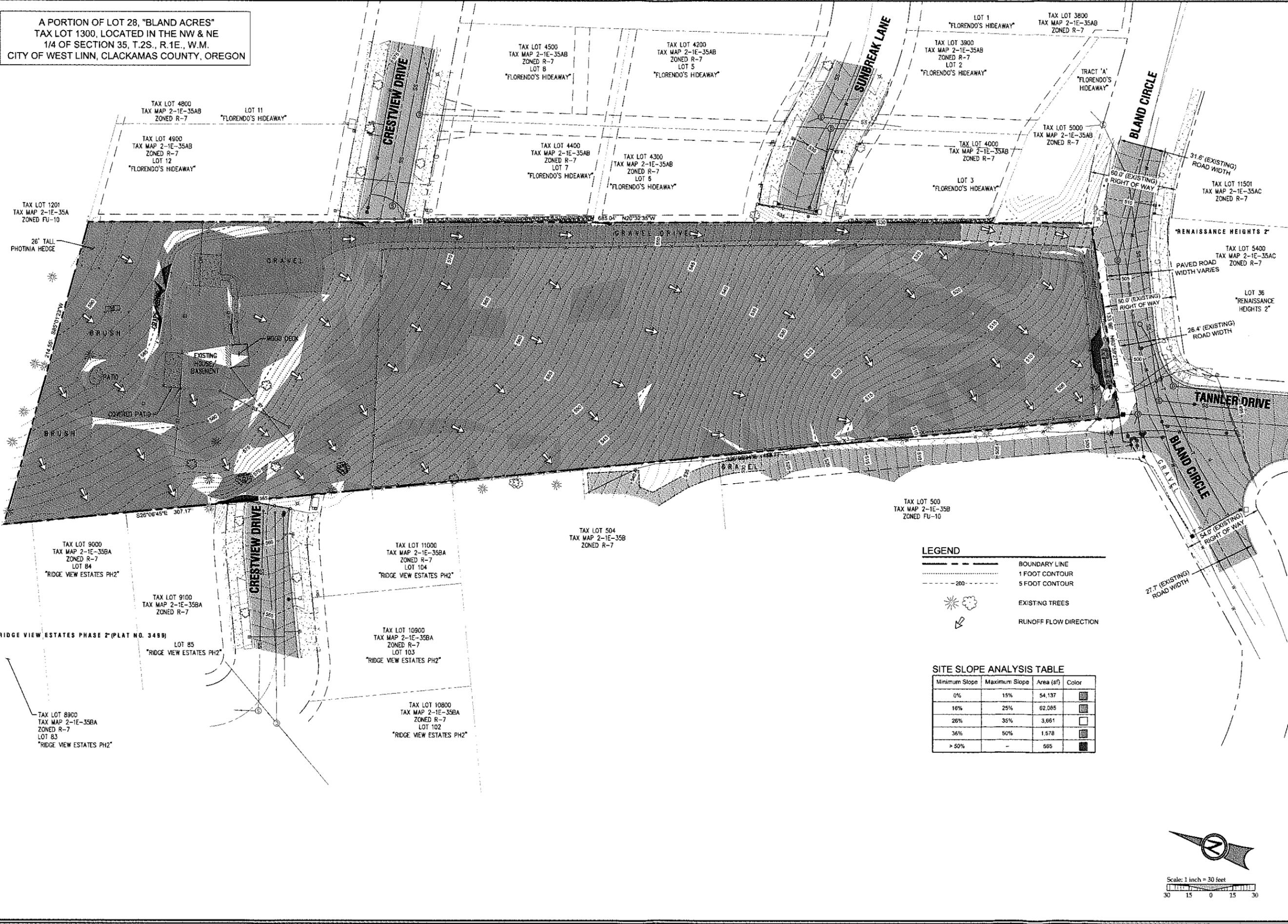
LF 3, LLC
 WEST LINN, OR

CIVIL ENGINEERING
 WATER RESOURCES
 LAND USE PLANNING
 10445 SW CANYON ROAD SUITE 205, BEAVERTON, OR 97005
 PHONE & FAX: (503) 946-5065

3J CONSULTING, INC

SJ JOB ID # | 13113
 LAND USE # |
 TAX LOT # | 251E35A01300
 DESIGNED BY | CLF/ITE
 CHECKED BY | SKF
 SHEET TITLE
TREE PLAN
 SHEET NUMBER
C1.2

A PORTION OF LOT 28, "BLAND ACRES"
 TAX LOT 1300, LOCATED IN THE NW & NE
 1/4 OF SECTION 35, T.2S., R.1E., W.M.
 CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON

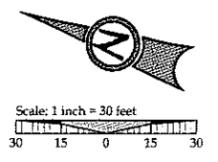


LEGEND

- BOUNDARY LINE
- - - 1 FOOT CONTOUR
- - - 5 FOOT CONTOUR
- ☀️ EXISTING TREES
- ➔ RUNOFF FLOW DIRECTION

SITE SLOPE ANALYSIS TABLE

Minimum Slope	Maximum Slope	Area (sf)	Color
0%	15%	54,137	[Lightest Shaded Box]
16%	25%	82,085	[Light Shaded Box]
26%	35%	3,681	[Medium Shaded Box]
36%	50%	1,578	[Dark Shaded Box]
> 50%	-	665	[Darkest Shaded Box]



7/23/13
 BY DATE
 REVISION SUMMARY

SLOPE ANALYSIS PLAN
**SUNBREAK
 SUBDIVISION**
 LF 3, LLC
 WEST LINN, OR

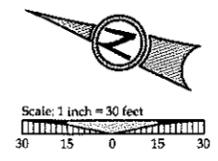
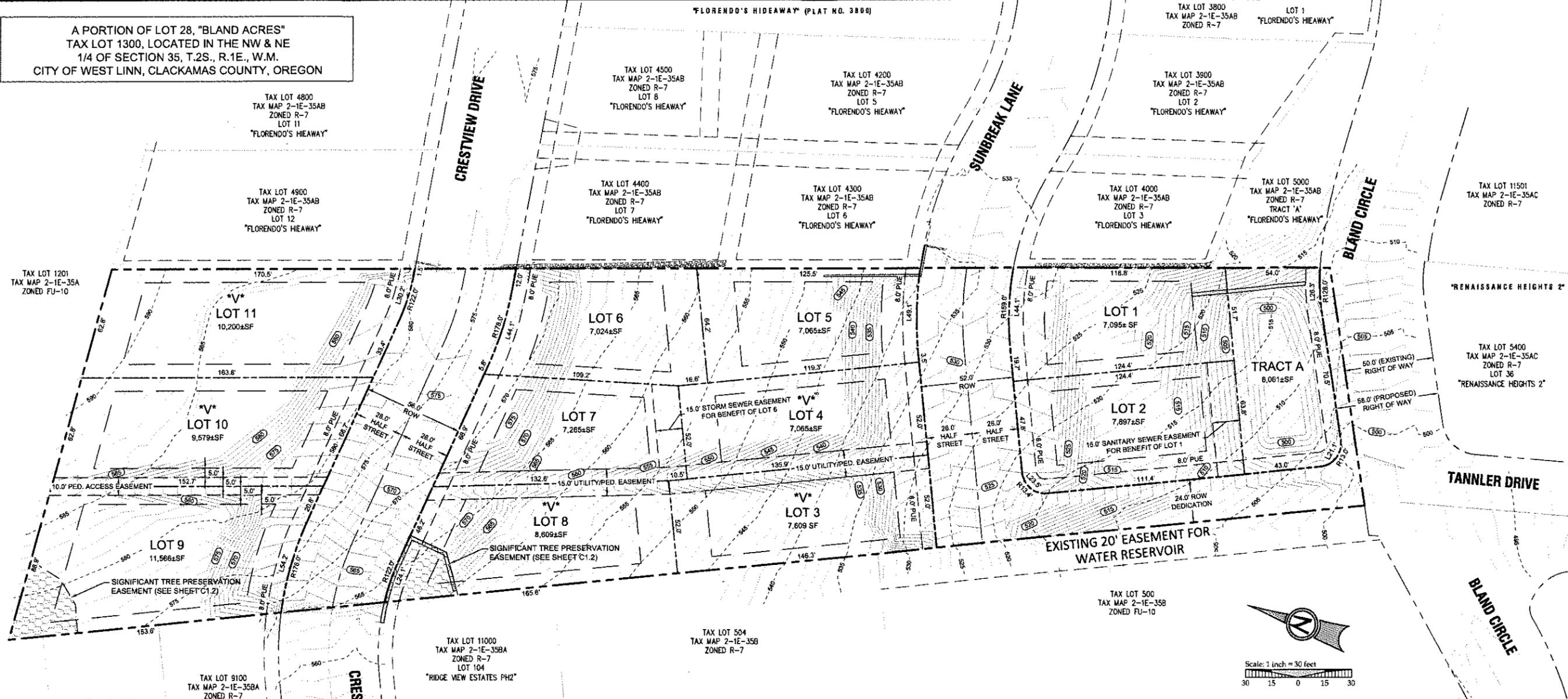
3J CONSULTING, INC

 CIVIL ENGINEERING
 WATER RESOURCES
 LAND USE PLANNING
 10445 SW CANYON ROAD SUITE 245, BEAVERTON, OR 97005
 PHONE & FAX: (503) 946-8965

3J JOB ID # | 13113
 LAND USE # |
 TAX LOT # | 281E35A01300
 DESIGNED BY | CLFUTE
 CHECKED BY | BKF
 SHEET TITLE
SLOPE ANALYSIS
 SHEET NUMBER
C1.3

A PORTION OF LOT 28, "BLAND ACRES"
 TAX LOT 1300, LOCATED IN THE NW & NE
 1/4 OF SECTION 35, T.2S., R.1E., W.M.
 CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON

"FLORENDO'S HIDEAWAY" (PLAT NO. 3889)



PROJECT TEAM

OWNER/APPLICANT
 JT SMITH COMPANIES
 5285 MEADOWS ROAD, SUITE #171
 LAKE OSWEGO, OR 97035
 CONTACT: JOHN WYLAND
 jwyland@jtsmithco.com

CIVIL ENGINEER
 3J CONSULTING, INC.
 10445 SW CANYON ROAD, SUITE 245
 BEAVERTON, OR 97005
 CONTACT: BRIAN FEENEY
 PHONE: (503) 946-9385
 brian.feeneey@3j-consulting.com

PLANNING CONSULTANT
 3J CONSULTING, INC.
 10445 SW CANYON ROAD, SUITE 245
 BEAVERTON, OR 97005
 CONTACT: ANDREW TULL
 PHONE: 503-946-9385
 EMAIL: andrew.tull@3j-consulting.com

GEOTECHNICAL CONSULTANT
 GEOPACIFIC ENGINEERING, INC.
 14835 SW 72ND AVENUE
 PORTLAND, OR 97224
 CONTACT: SCOTT HARDMAN
 PHONE: (503) 625-4455
 shardman@geopacificeng.com

LAND SURVEYOR
 COMPASS SURVEYING
 4107 SE INTERNATIONAL WAY, SUITE 705
 MILWAUKIE, OR 97222
 CONTACT: DON DEVLAMINCK, PLS
 PHONE: 503-653-9090
 dond@compass-engineering.com

SITE STATISTICS

SITE ADDRESS	23150 BLAND CIRCLE WEST LINN, OR 97068
TAX LOT	2S1E35A 01300
JURISDICTION	CITY OF WEST LINN
GROSS SITE AREA	2.80 ACRES
PROPERTY ZONING	R-7
FLOOD HAZARD MAP NUMBER	4100SC0257D ZONE X (UNSHADED)

SUBDIVISION STATISTICS

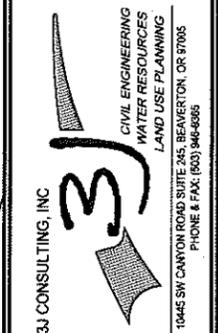
RIGHT OF WAY DEDICATION	0.52 ACRES
MINIMUM ALLOWABLE EFFECTIVE LOT SIZE	7,000 SF
MINIMUM LOT DENSITY	9.8 UNITS
MAXIMUM LOT DENSITY	14.0 UNITS
PROPOSED LOT DENSITY	4.6 UNITS/ACRE
MINIMUM LOT DENSITY (PER R-7 ZONING)	4.3 UNITS/ACRE
MAXIMUM LOT DENSITY (PER R-7 ZONING)	6.2 UNITS/ACRE
SETBACKS:	
FRONT	20 FEET
SIDE	7.5 FEET
REAR	20 FEET
STREET SIDE	15 FEET
MAX. HEIGHT	35 FEET

LEGEND

- BOUNDARY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING CENTERLINE
- EXISTING LOT LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- PROPOSED CENTERLINE
- PROPOSED SETBACK LINE
- PROPOSED EASEMENT, AS DESCRIBED
- PROPOSED TREE PRESERVATION EASEMENT
- INDICATES THAT A LOT WIDTH-TO-DEPTH RATIO VARIANCE IS BEING REQUESTED (i.e. LOTS 3, 4, 8, 10, 11)

7/23/13
 REVISION SUMMARY
 BY DATE

TENTATIVE SUBDIVISION PLAT
SUNBREAK
 SUBDIVISION
 LF 3, LLC
 WEST LINN, OR

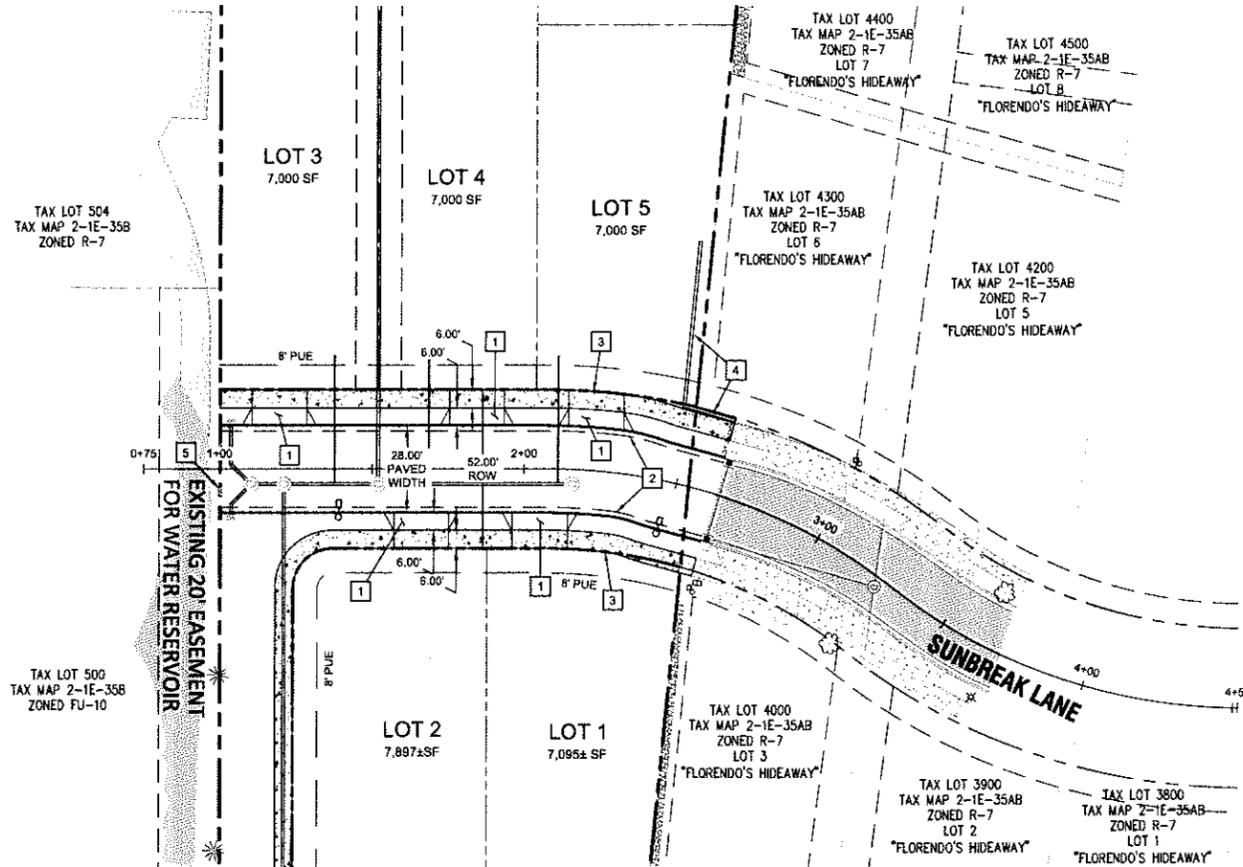


3J JOB ID # | 13113
 LAND USE # |
 TAX LOT # | 2S1E35A01300
 DESIGNED BY | CLP/ITE
 CHECKED BY | BKf

SHEET TITLE
SUBDIVISION PLAT
 SHEET NUMBER

C2.0

A PORTION OF LOT 28, "BLAND ACRES"
 TAX LOT 1300, LOCATED IN THE NW & NE
 1/4 OF SECTION 35, T.2S., R.1E., W.M.
 CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON

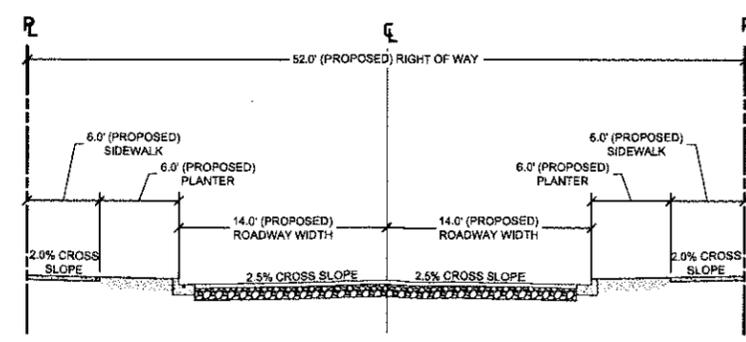
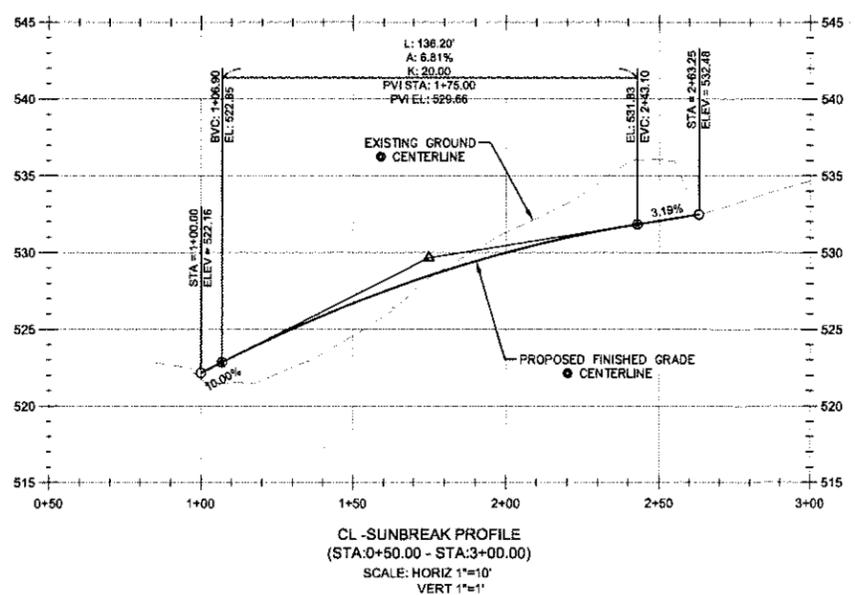


LEGEND

	BOUNDARY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING CENTERLINE
	EXISTING LOT LINE
	EXISTING CURB
	EXISTING ASPHALT
	EXISTING SIDEWALK
	EXISTING GRAVEL DRIVE
	EXISTING LIGHT POLE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PROPOSED CENTERLINE
	PROPOSED CURB
	PROPOSED SIDEWALK
	STORM DRAIN LINE AND MANHOLE
	STORM SEWER CURB INLET
	PROPOSED STREET LIGHT
	PROPOSED RETAINING WALL

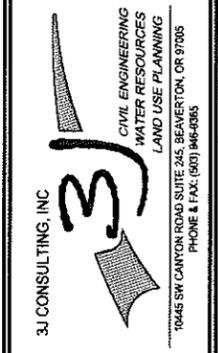
PROPOSED DEVELOPMENT KEY NOTES

1	PROPOSED LOT ACCESS LOCATION
2	CONSTRUCT STANDARD CURBS AND GUTTER.
3	CONSTRUCT 6-FT WIDE SIDEWALK.
4	CONSTRUCT RETAINING WALL.
5	INSTALL REMOVABLE BOLLARDS (THREE (3) EACH).



7/23/13
 DATE
 BY
 REVISION SUMMARY
 LAND USE

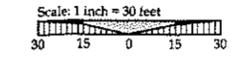
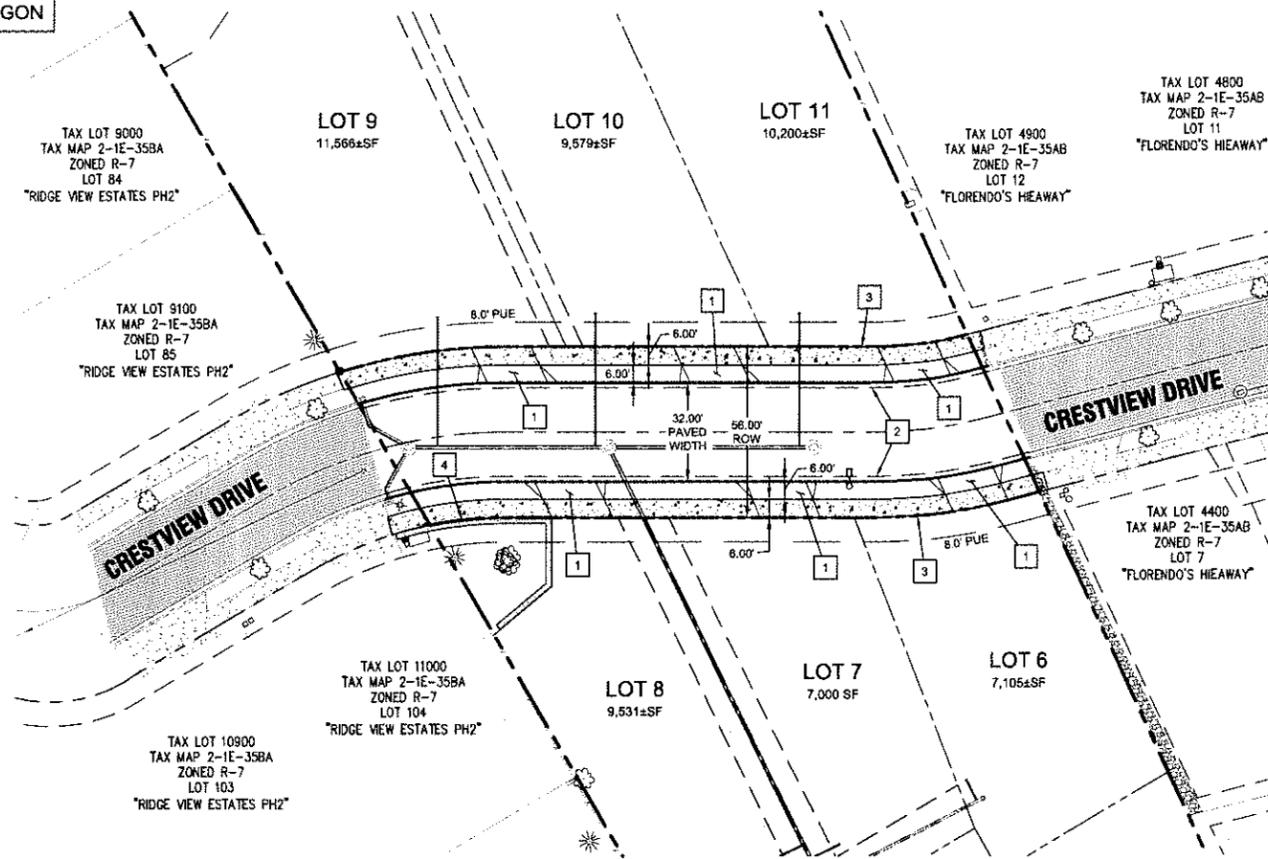
SUNBREAK LANE PLAN AND PROFILE
SUNBREAK
 SUBDIVISION
 LF 3, LLC
 WEST LINN, OR



3J JOB ID # | 13113
 LAND USE # |
 TAX LOT # | 251E35A01300
 DESIGNED BY | CLF/ITE
 CHECKED BY | BKF

SHEET TITLE
SUNBREAK PLAN
 SHEET NUMBER
C2.1

A PORTION OF LOT 28, "BLAND ACRES"
 TAX LOT 1300, LOCATED IN THE NW & NE
 1/4 OF SECTION 35, T.2S., R.1E., W.M.
 CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON

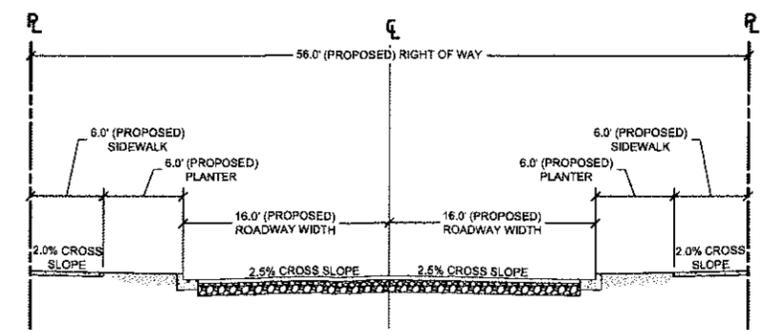
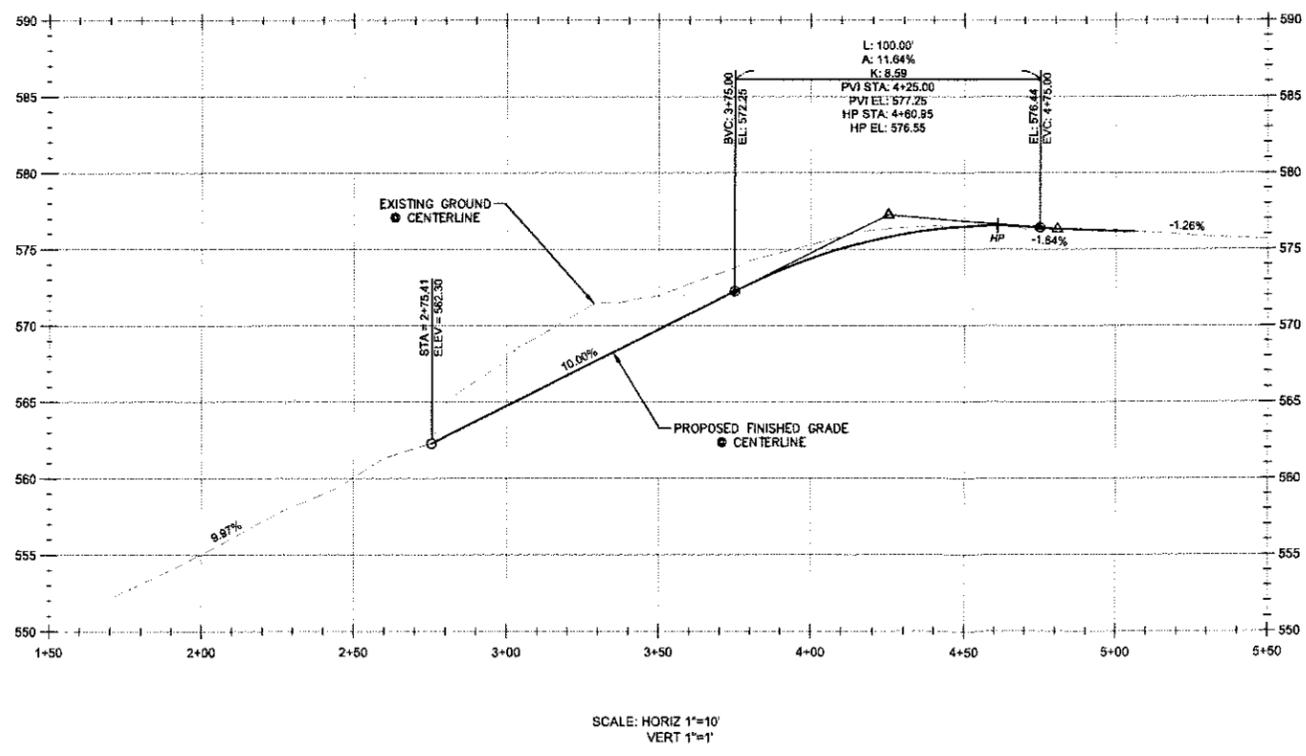


LEGEND

	BOUNDARY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING CENTERLINE
	EXISTING LOT LINE
	EXISTING CURB
	EXISTING ASPHALT
	EXISTING SIDEWALK
	EXISTING LIGHT POLE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PROPOSED CENTERLINE
	PROPOSED CURB
	PROPOSED SIDEWALK
	STORM DRAIN LINE AND MANHOLE
	STORM SEWER CURB INLET
	PROPOSED STREET LIGHT
	PROPOSED RETAINING WALL

PROPOSED DEVELOPMENT KEY NOTES

1	PROPOSED LOT ACCESS LOCATION
2	CONSTRUCT STANDARD CURB AND GUTTER.
3	CONSTRUCT 6-FT WIDE SIDEWALK.
4	CONSTRUCT RETAINING WALL ALONG BACK OF WALK TO PRESERVE UTILITIES AND TREES.



TYPICAL SECTION - CRESTVIEW DRIVE IMPROVEMENTS
 SCALE: N.T.S.

LAND USE
 REVISION SUMMARY
 DATE
 BY

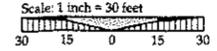
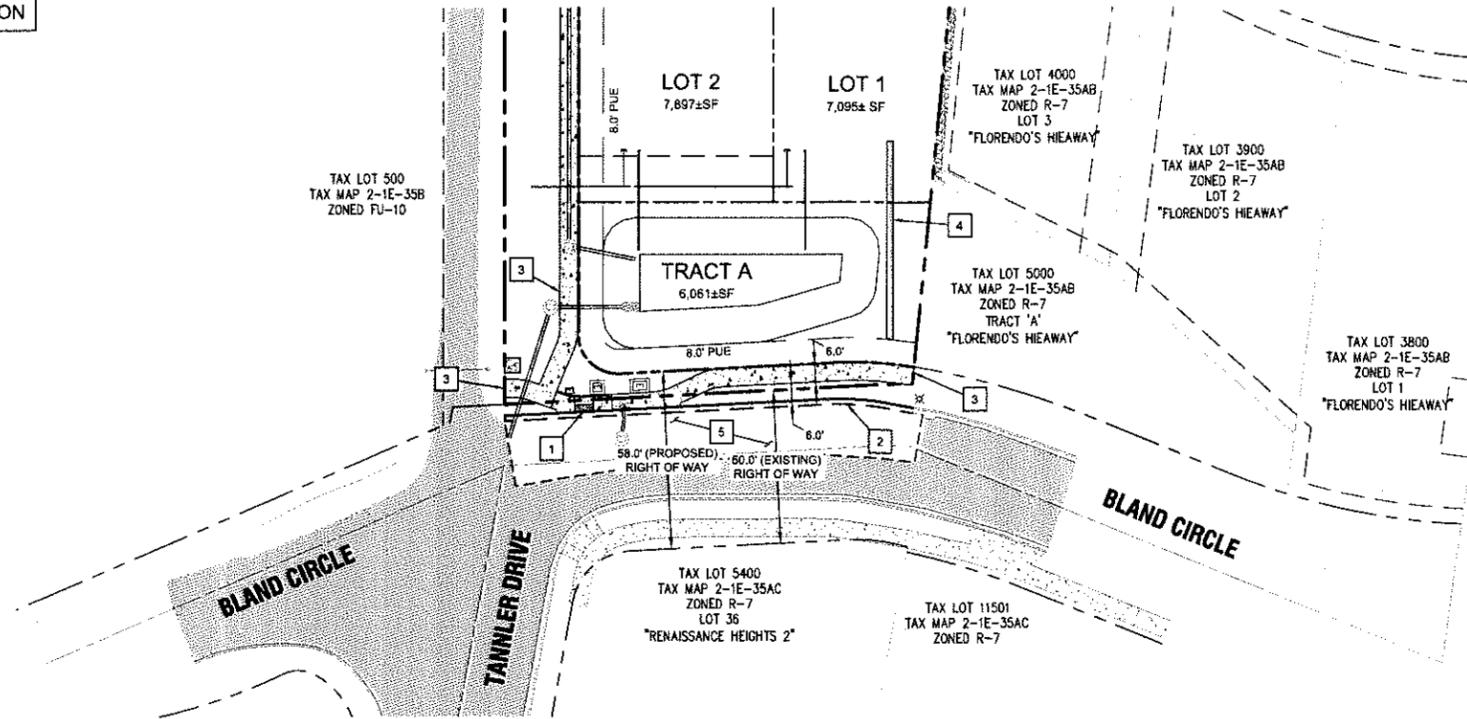
CRESTVIEW DRIVE PLAN & PROFILE
SUNBREAK
 SUBDIVISION
 LF 3, LLC
 WEST LINN, OR

3J CONSULTING, INC.
 CIVIL ENGINEERING
 WATER RESOURCES
 LAND USE PLANNING
 10445 SW CANTON ROAD SUITE 245, BEAVERTON, OR 97005
 PHONE & FAX: (503) 948-9385

3J JOB ID # | 13113
 LAND USE # |
 TAX LOT # | 281E35A01300
 DESIGNED BY | CLF/JTE
 CHECKED BY | BKF

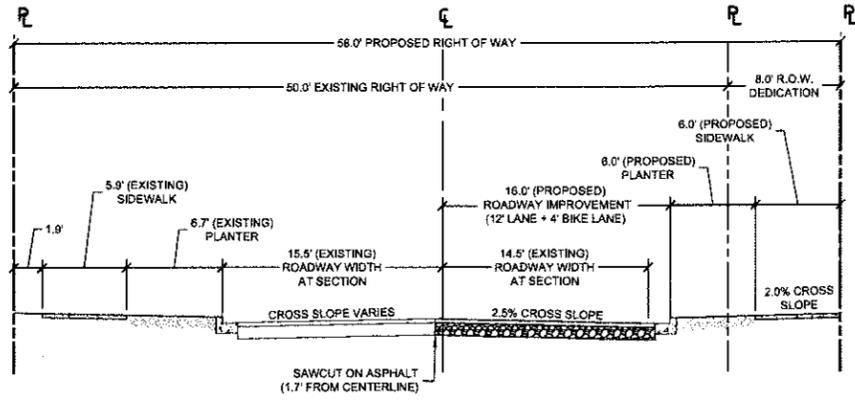
SHEET TITLE
CRESTVIEW P&P
 SHEET NUMBER
C2.2

A PORTION OF LOT 28, "BLAND ACRES"
 TAX LOT 1300, LOCATED IN THE NW & NE
 1/4 OF SECTION 35, T.2S., R.1E., W.M.
 CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON



LEGEND

	BOUNDARY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING CENTERLINE
	EXISTING LOT LINE
	EXISTING CURB
	EXISTING ASPHALT
	EXISTING SIDEWALK
	EXISTING LIGHT POLE
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PROPOSED CENTERLINE
	PROPOSED CURB
	PROPOSED SIDEWALK
	STORM DRAIN LINE AND MANHOLE
	STORM SEWER CURB INLET
	PROPOSED STREET LIGHT
	PROPOSED RETAINING WALL



SECTION 'A' - BLAND CIRCLE IMPROVEMENTS
 SCALE: N.T.S.



PROPOSED DEVELOPMENT KEY NOTES

1	PROPOSED ADA ACCESS RAMP.
2	CONSTRUCT STANDARD CURB AND GUTTER.
3	CONSTRUCT 6-FT WIDE SIDEWALK.
4	CONSTRUCT RETAINING WALL.
5	INSTALL NEW PAVEMENT.

7/23/13
 LAND USE REVISION SUMMARY
 BY DATE

BLAND CIRCLE STREET IMPROVEMENT PLAN
SUNBREAK
 SUBDIVISION
 LF3, LLC
 WEST LINN, OR

SJ CONSULTING, INC.

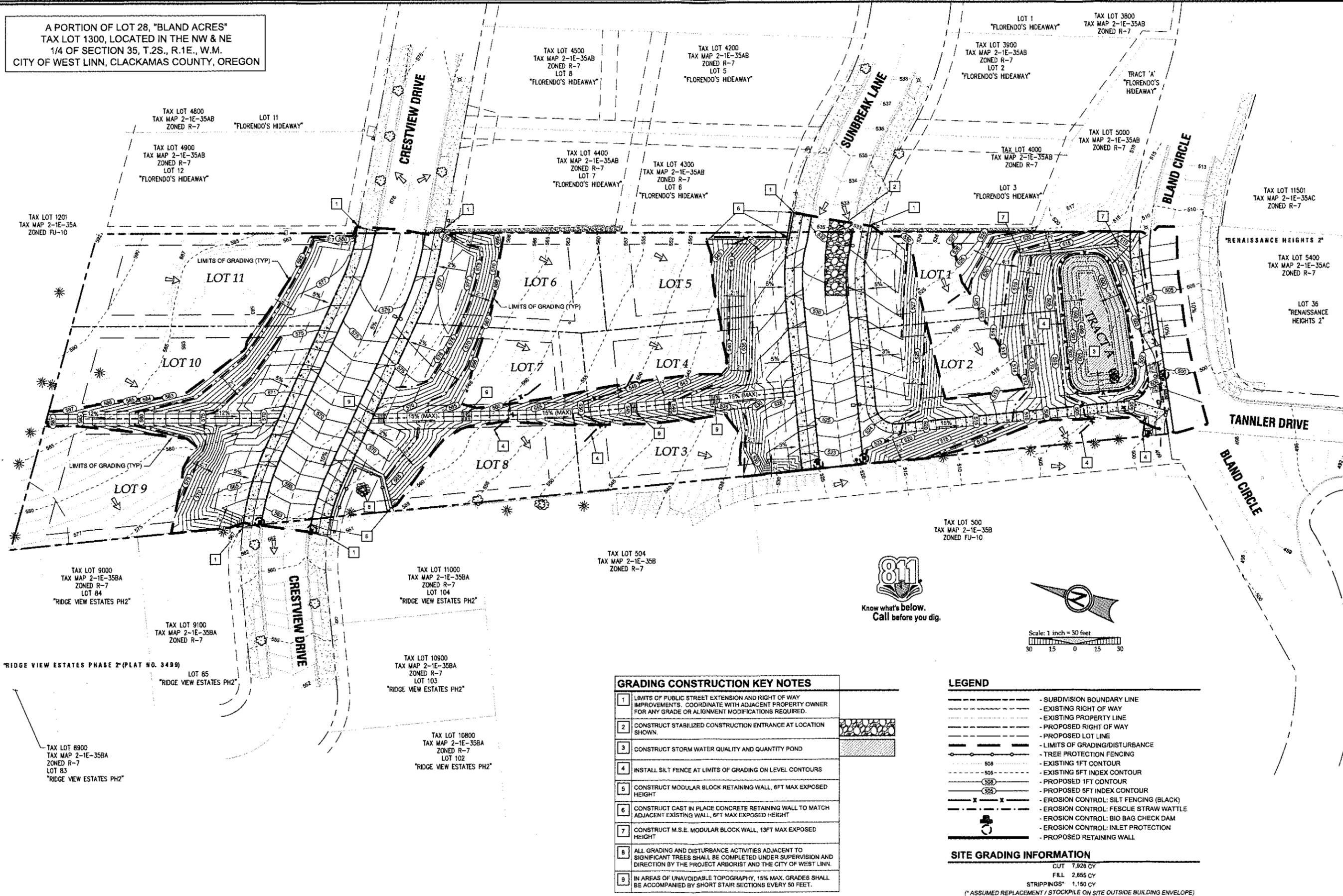
CIVIL ENGINEERING
 WATER RESOURCES
 LAND USE PLANNING

10445 SW CANYON ROAD SUITE 245, BEAVERTON, OR 97005
 PHONE & FAX: (503) 940-8885

SJ JOB ID # | 13113
 LAND USE # |
 TAX LOT # | 251E35A01300
 DESIGNED BY | CLFJTE
 CHECKED BY | BKJF

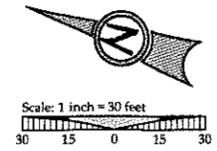
SHEET TITLE
BLAND CIRC. PLAN
 SHEET NUMBER
C2.3

A PORTION OF LOT 28, "BLAND ACRES"
 TAX LOT 1300, LOCATED IN THE NW & NE
 1/4 OF SECTION 35, T.2S., R.1E., W.M.
 CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON



LAND USE REVISION SUMMARY BY DATE
 7/23/13

GRADING AND EROSION CONTROL PLAN
SUNBREAK SUBDIVISION
 LF 3, LLC
 WEST LINN, OR



GRADING CONSTRUCTION KEY NOTES

- 1 LIMITS OF PUBLIC STREET EXTENSION AND RIGHT OF WAY IMPROVEMENTS. COORDINATE WITH ADJACENT PROPERTY OWNER FOR ANY GRADE OR ALIGNMENT MODIFICATIONS REQUIRED.
- 2 CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AT LOCATION SHOWN.
- 3 CONSTRUCT STORM WATER QUALITY AND QUANTITY POND
- 4 INSTALL SILT FENCE AT LIMITS OF GRADING ON LEVEL CONTOURS
- 5 CONSTRUCT MODULAR BLOCK RETAINING WALL, 6FT MAX EXPOSED HEIGHT
- 6 CONSTRUCT CAST IN PLACE CONCRETE RETAINING WALL TO MATCH ADJACENT EXISTING WALL, 6FT MAX EXPOSED HEIGHT
- 7 CONSTRUCT M.S.E. MODULAR BLOCK WALL, 13FT MAX EXPOSED HEIGHT
- 8 ALL GRADING AND DISTURBANCE ACTIVITIES ADJACENT TO SIGNIFICANT TREES SHALL BE COMPLETED UNDER SUPERVISION AND DIRECTION BY THE PROJECT ARBORIST AND THE CITY OF WEST LINN.
- 9 IN AREAS OF UNAVOIDABLE TOPOGRAPHY, 15% MAX. GRADES SHALL BE ACCOMPANIED BY SHORT STAIR SECTIONS EVERY 50 FEET.

LEGEND

- - - - - SUBDIVISION BOUNDARY LINE
- - - - - EXISTING RIGHT OF WAY
- - - - - EXISTING PROPERTY LINE
- - - - - PROPOSED RIGHT OF WAY
- - - - - PROPOSED LOT LINE
- - - - - LIMITS OF GRADING/DISTURBANCE
- - - - - TREE PROTECTION FENCING
- 508 - - - - - EXISTING 1FT CONTOUR
- 505 - - - - - EXISTING 5FT INDEX CONTOUR
- 508 - - - - - PROPOSED 1FT CONTOUR
- 505 - - - - - PROPOSED 5FT INDEX CONTOUR
- - - - - EROSION CONTROL: SILT FENCING (BLACK)
- - - - - EROSION CONTROL: FESCUE STRAW WATTLE
- - - - - EROSION CONTROL: BIO BAG CHECK DAM
- - - - - EROSION CONTROL: INLET PROTECTION
- - - - - PROPOSED RETAINING WALL

SITE GRADING INFORMATION

CUT	7,928 CY
FILL	2,855 CY
STRIPPINGS*	1,150 CY
(* ASSUMED REPLACEMENT / STOCKPILE ON SITE OUTSIDE BUILDING ENVELOPE)	
MAXIMUM CUT DEPTH	17.5 FT
MAXIMUM FILL DEPTH	10.7 FT
MAXIMUM PROPOSED SLOPE	2:1 (H:V)
TOTAL AREA OF DISTURBANCE	1.89 ACRES

GRADING GENERAL NOTES:

1. ALL GRADING ACTIVITIES SHALL CONFORM TO THE UNIFORM BUILDING CODE AND THE OREGON SPECIALTY CODE AMENDMENTS, INCLUDING APPENDIX J.

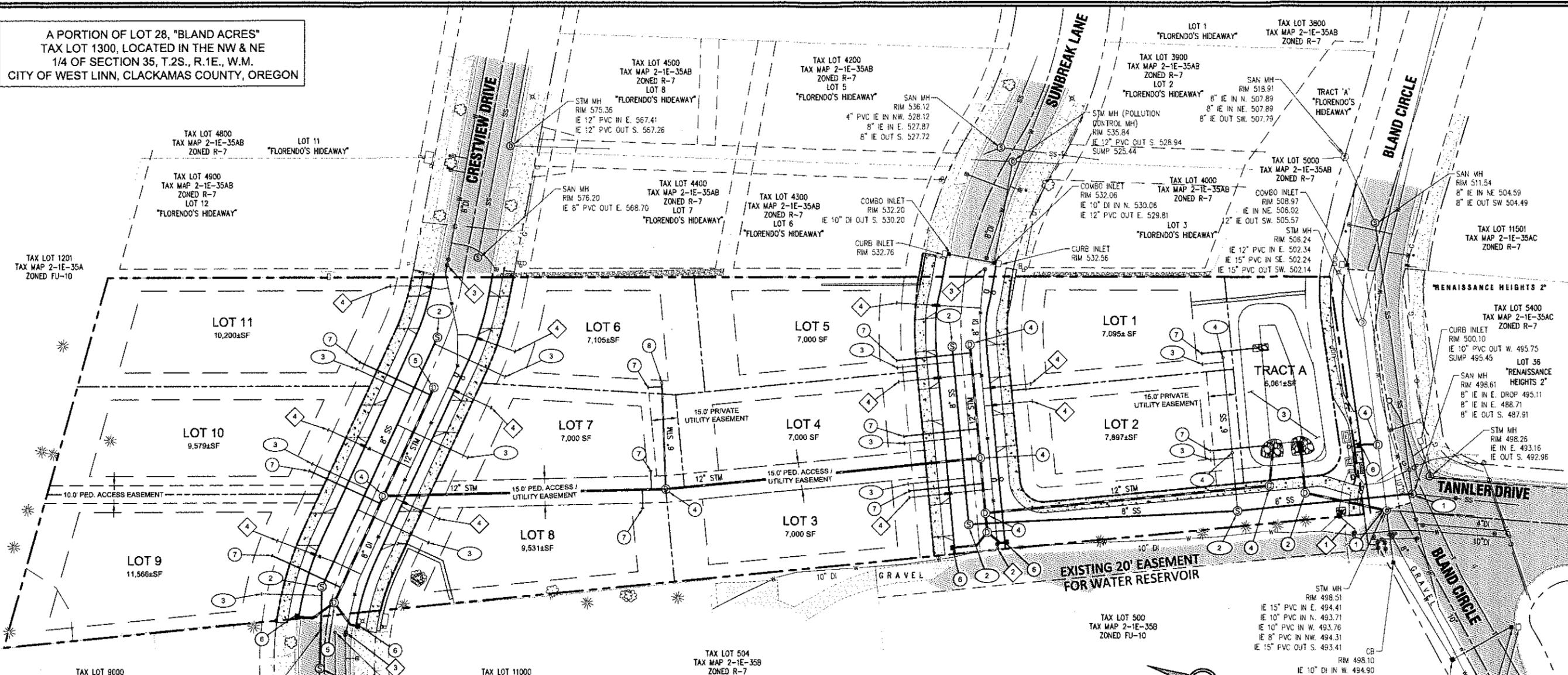
SJ CONSULTING, INC.
 CIVIL ENGINEERING
 WATER RESOURCES
 LAND USE PLANNING
 10445 SW CANYON ROAD SUITE 245, BEAVERTON, OR 97005
 PHONE & FAX: (503) 946-6985

SJ JOB ID # | 13113
 LAND USE # |
 TAX LOT # | 281E35A01300
 DESIGNED BY | CLF/JTE
 CHECKED BY | BKF

SHEET TITLE
GRADING / ESCP
 SHEET NUMBER

C2.4

A PORTION OF LOT 28, "BLAND ACRES"
 TAX LOT 1300, LOCATED IN THE NW & NE
 1/4 OF SECTION 35, T.2S., R.1E., W.M.
 CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON



STORM SEWER CONSTRUCTION NOTES

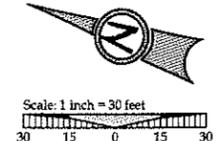
1. CONNECT PROPOSED 12" STORM LINE TO EXISTING MANHOLE USING EXISTING KNOCK OUT.
2. CONSTRUCT FLOW CONTROL STRUCTURE FOR POND OUTLET.
3. CONSTRUCT WET DETENTION POND (PER APPENDIX D; CGSD #1 STANDARD SURFACE WATER SPECIFICATIONS). MAX POND STAGE: 307.0'; POND BOTTOM: 304.25'.
4. CONSTRUCT STANDARD 48" STORM SEWER MANHOLE.
5. CONSTRUCT SHALLOW 48" STORM SEWER MANHOLE.
6. CONSTRUCT CURB INLET WITH 10" STORM LINE.
7. PROVIDE 6" PRIVATE STORM DRAIN LATERAL CONNECTION FOR INDIVIDUAL LOT SERVICE. EXTEND SERVICE LATERAL 3' BEYOND PUE.
8. INSTALL 8" CLEAN OUT.

SANITARY SEWER CONSTRUCTION NOTES

1. CONNECT PROPOSED 8" SEWER LINE TO EXISTING MANHOLE.
2. CONSTRUCT STANDARD 48" SANITARY SEWER MANHOLE.
3. PROVIDE NEW 4" SANITARY SEWER LATERAL FOR INDIVIDUAL LOT SERVICE. EXTEND SERVICE LATERAL 3' BEYOND PUE.
4. INSTALL 4" CLEAN OUT.

WATER CONSTRUCTION NOTES

1. RELOCATE EXISTING FIRE HYDRANT.
2. INSTALL 2" BLOW-OFF ASSEMBLY.
3. REMOVE EXISTING BLOW-OFF AND CONNECT TO EXISTING WATER MAIN.
4. INSTALL SINGLE WATER METER FOR INDIVIDUAL LOT SERVICE. EXTEND 1' SERVICE LATERAL 3' BEYOND PUE.



LEGEND

- BOUNDARY LINE
- - - - EXISTING RIGHT-OF-WAY
- - - - EXISTING CENTERLINE
- - - - EXISTING LOT LINE
- - - - EXISTING CURB
- - - - EXISTING ASPHALT
- - - - EXISTING SIDEWALK
- - - - EXISTING GRAVEL DRIVE
- - - - EXISTING LIGHT POLE
- - - - EXISTING TRAFFIC SIGN
- - - - PROPOSED RIGHT-OF-WAY
- - - - PROPOSED LOT LINE
- - - - PROPOSED CENTERLINE
- - - - PROPOSED CURB
- - - - PROPOSED SIDEWALK
- - - - PROPOSED SETBACK LINE
- - - - SANITARY SEWER LINE AND MANHOLE
- - - - STORM DRAIN LINE AND MANHOLE
- - - - DOMESTIC WATER SERVICE & METER
- - - - STORM SEWER LATERAL AS NOTED
- - - - SANITARY SEWER LATERAL AS NOTED
- - - - STORM SEWER CURB INLET
- - - - PROPOSED STREET LIGHT
- - - - PROPOSED RETAINING WALL



Know what's below.
 Call before you dig.

LAND USE REVISION SUMMARY
 7/23/13
 BY DATE

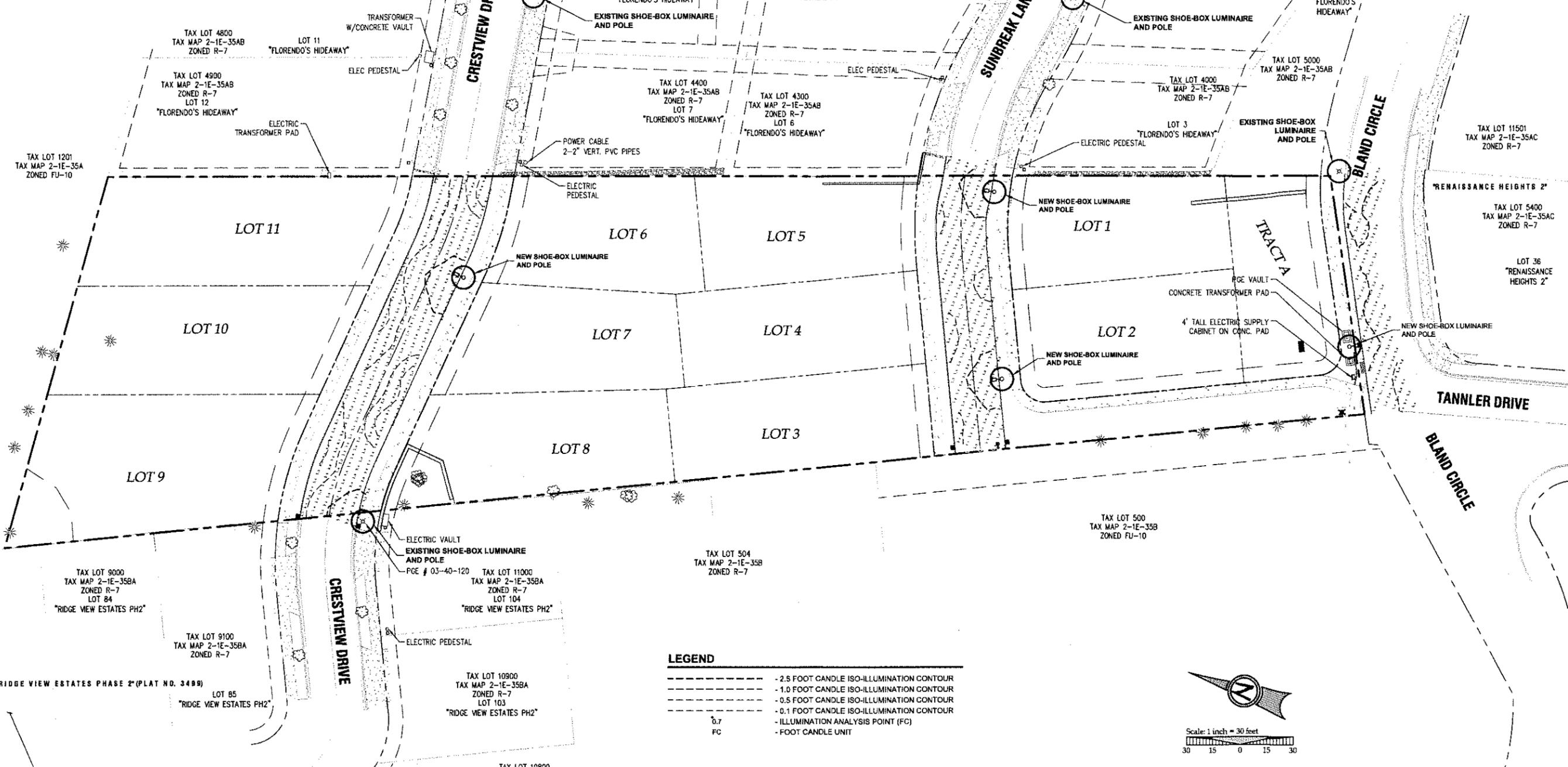
COMPOSITE UTILITY PLAN
SUNBREAK SUBDIVISION
 LF 3, LLC
 WEST LINN, OR

3J CONSULTING, INC.
 CIVIL ENGINEERING
 WATER RESOURCES
 LAND USE PLANNING
 10445 SW CANYON ROAD SUITE 245, BEAVERTON, OR 97005
 PHONE & FAX: (503) 946-8585

3J JOB ID # | 13113
 LAND USE # |
 TAX LOT # | 281E35A01300
 DESIGNED BY | CLF/ITE
 CHECKED BY | BKJ
 SHEET TITLE
UTILITY PLAN
 SHEET NUMBER

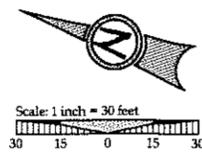
C2.5

A PORTION OF LOT 28, "BLAND ACRES"
 TAX LOT 1300, LOCATED IN THE NW & NE
 1/4 OF SECTION 35, T.2S., R.1E., W.M.
 CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON



LEGEND

- 2.5 FOOT CANDLE ISO-ILLUMINATION CONTOUR
- 1.0 FOOT CANDLE ISO-ILLUMINATION CONTOUR
- 0.5 FOOT CANDLE ISO-ILLUMINATION CONTOUR
- 0.1 FOOT CANDLE ISO-ILLUMINATION CONTOUR
- - - - - ILLUMINATION ANALYSIS POINT (FC)
- FC - FOOT CANDLE UNIT



ROADWAY SURFACE LIGHTING STATISTICS

CRESTVIEW DRIVE		SUNBREAK LANE		BLAND CIRCLE	
EXISTING LIGHT(S) INCLUDED	1 EA	EXISTING LIGHT(S) INCLUDED	0	EXISTING LIGHT(S) INCLUDED	1 EA
NEW LIGHTS PROPOSED	1 EA	NEW LIGHTS PROPOSED	2 EA	NEW LIGHTS PROPOSED	1 EA
MAX. ILLUMINATION	4.8 FC	MAX. ILLUMINATION	4.6 FC	MAX. ILLUMINATION	4.7 FC
MIN. ILLUMINATION	0.2 FC	MIN. ILLUMINATION	0.5 FC	MIN. ILLUMINATION	0.5 FC
AVERAGE ILLUMINATION	1.4 FC	AVERAGE ILLUMINATION	1.9 FC	AVERAGE ILLUMINATION	2.2 FC
UNIFORMITY (AVG/MIN)	7.1	UNIFORMITY (AVG/MIN)	3.8	UNIFORMITY (AVG/MIN)	4.5

7/23/13
 DATE
 BY
 REVISION SUMMARY

ROADWAY ILLUMINATION PLAN
SUNBREAK SUBDIVISION
 LF 3, LLC
 WEST LINN, OR

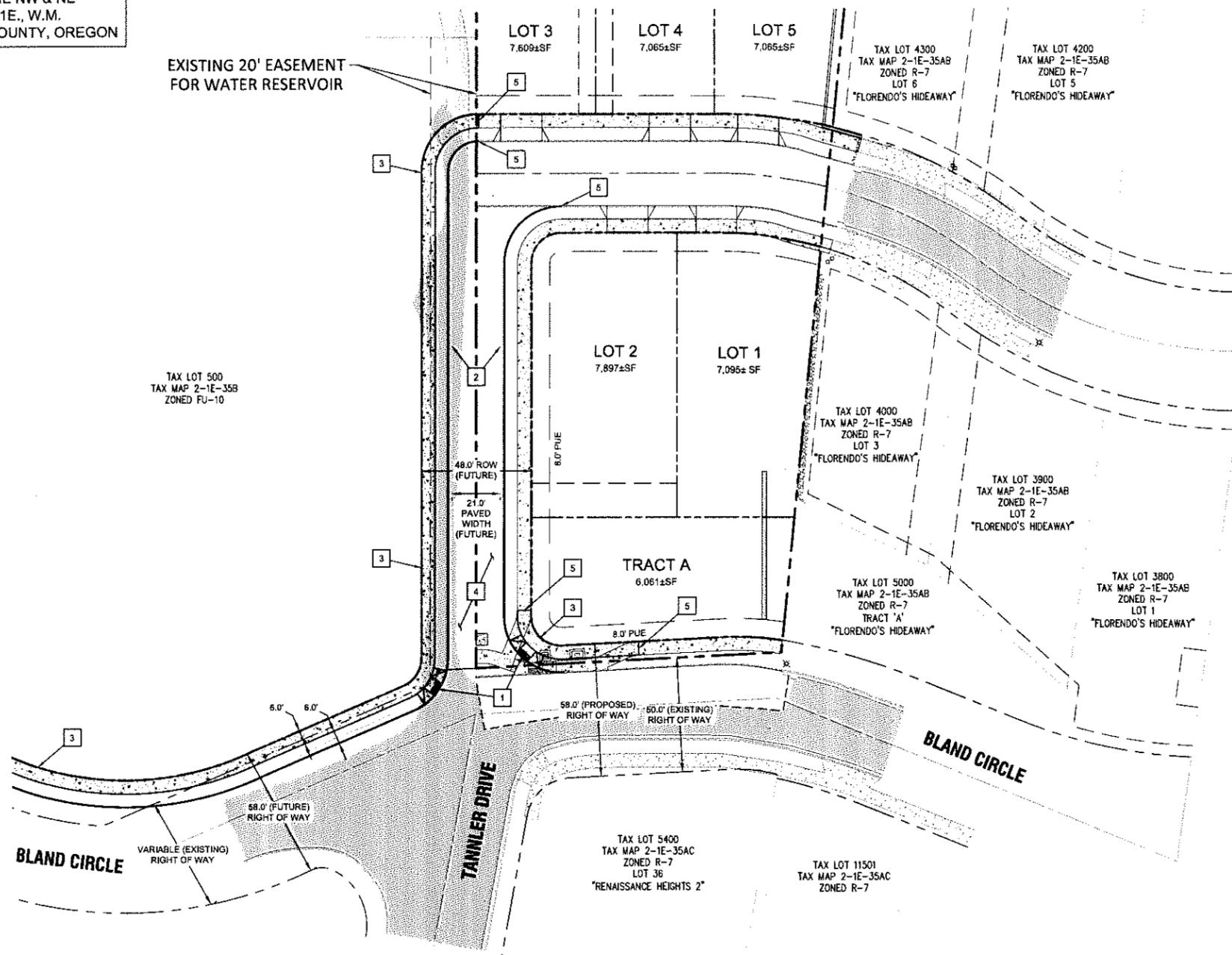
3J CONSULTING, INC.
 CIVIL ENGINEERING
 WATER RESOURCES
 LAND USE PLANNING

10445 SW CANYON ROAD SUITE 245, BEAVERTON, OR 97005
 PHONE & FAX: (503) 946-8865

3J JOB ID # | 13113
 LAND USE # |
 TAX LOT # | 281E35A01300
 DESIGNED BY | CLF/ITE
 CHECKED BY | BWF
 SHEET TITLE
LIGHTING PLAN
 SHEET NUMBER
C2.6



A PORTION OF LOT 28, "BLAND ACRES"
 TAX LOT 1300, LOCATED IN THE NW & NE
 1/4 OF SECTION 35, T.2S., R.1E., W.M.
 CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON



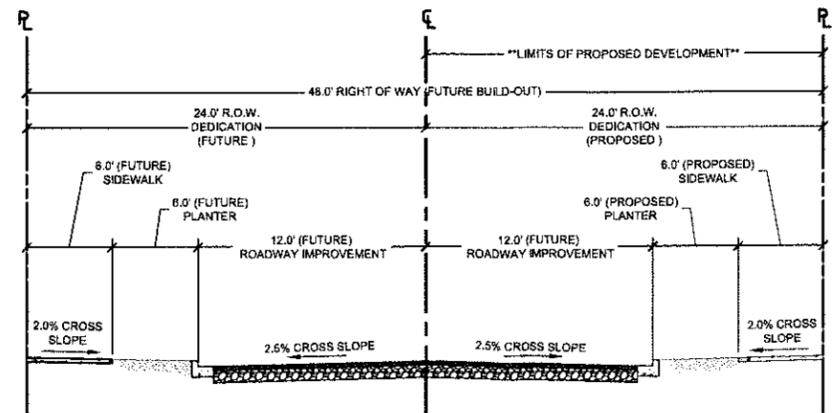
Scale: 1 inch = 30 feet

LEGEND

	BOUNDARY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING CENTERLINE
	EXISTING LOT LINE
	EXISTING CURB
	EXISTING ASPHALT
	EXISTING SIDEWALK
	PROPOSED CURB
	PROPOSED SIDEWALK
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PROPOSED CENTERLINE
	FUTURE CURB
	FUTURE SIDEWALK

FUTURE DEVELOPMENT KEY NOTES

1	FUTURE ADA ACCESS RAMP.
2	FUTURE STANDARD CURB AND GUTTER.
3	FUTURE 6-FT WIDE SIDEWALK.
4	FUTURE PAVEMENT.
5	FUTURE CONNECTION TO PROPOSED IMPROVEMENTS.



SECTION 'A' - TANNER DRIVE FUTURE EXTENSION
 SCALE: N.T.S.



7/23/13
 DATE
 BY
 REVISION SUMMARY

TANNER DRIVE FUTURE EXTENSION
SUNBREAK
 SUBDIVISION
 LF 3, LLC
 WEST LINN, OR

3J CONSULTING, INC

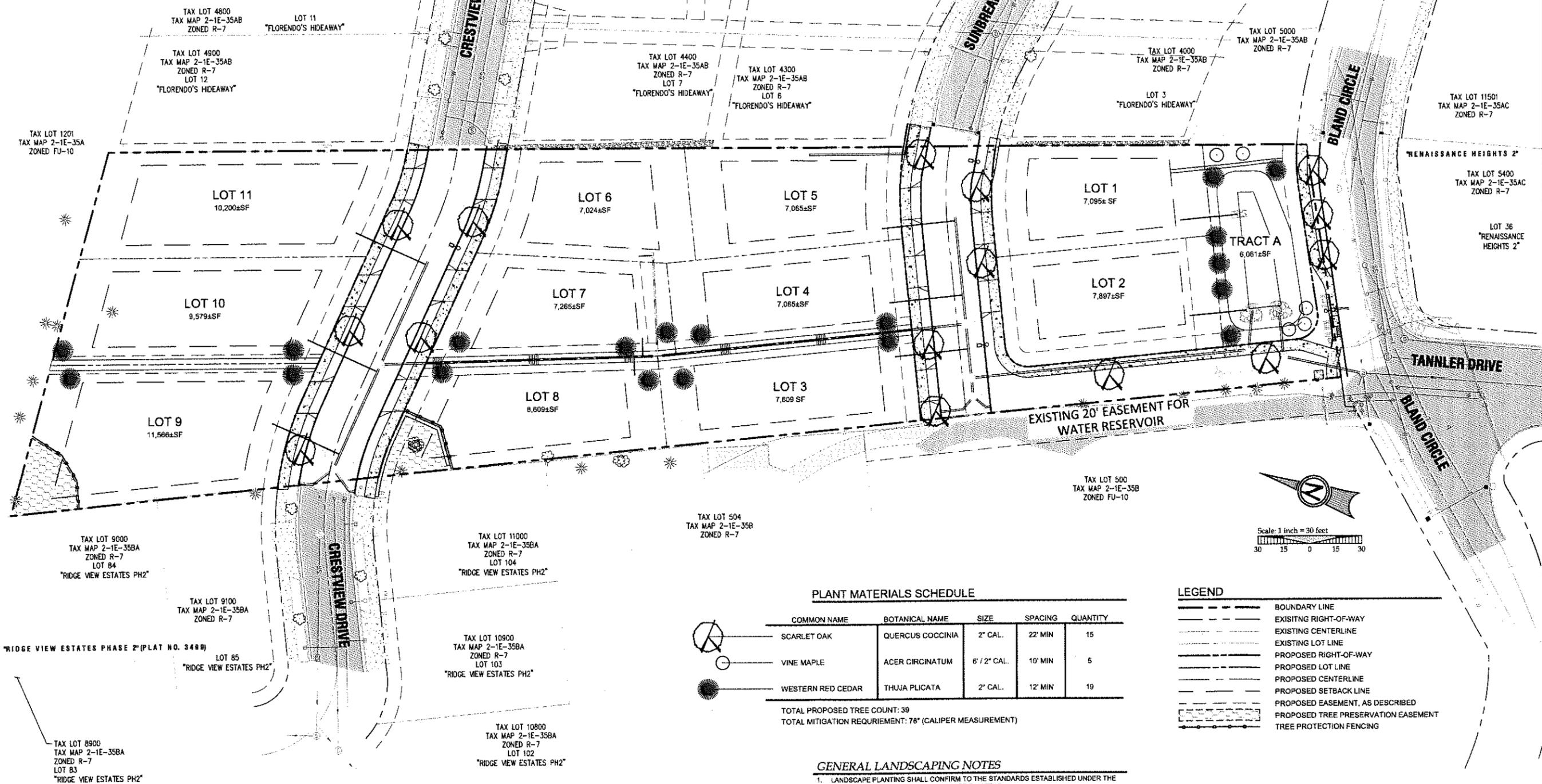
 CIVIL ENGINEERING
 WATER RESOURCES
 LAND USE PLANNING
 10445 SW CANYON ROAD SUITE 245, BEAVERTON, OR 97005
 PHONE & FAX: (503) 940-8065

3J JOB ID # | 13113
 LAND USE # |
 TAX LOT # | 251E35A01300
 DESIGNED BY | GJF/JTE
 CHECKED BY | BKJ

SHEET TITLE
BLAND CIRC. PLAN
 SHEET NUMBER

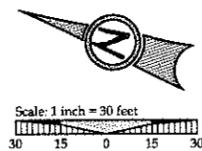
C2.7

A PORTION OF LOT 28, "BLAND ACRES"
 TAX LOT 1300, LOCATED IN THE NW & NE
 1/4 OF SECTION 35, T.2S., R.1E., W.M.
 CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON



TAX LOT 504
 TAX MAP 2-1E-35B
 ZONED R-7

TAX LOT 500
 TAX MAP 2-1E-35B
 ZONED FU-10



PLANT MATERIALS SCHEDULE

COMMON NAME	BOTANICAL NAME	SIZE	SPACING	QUANTITY
SCARLET OAK	QUERCUS COCCINIA	2" CAL.	22' MIN	15
VINE MAPLE	ACER CIRCINATUM	6" / 2" CAL.	10' MIN	5
WESTERN RED CEDAR	THUJA PLICATA	2" CAL.	12' MIN	19

TOTAL PROPOSED TREE COUNT: 39
 TOTAL MITIGATION REQUIREMENT: 78" (CALIPER MEASUREMENT)

GENERAL LANDSCAPING NOTES

- LANDSCAPE PLANTING SHALL CONFIRM TO THE STANDARDS ESTABLISHED UNDER THE WEST LINN STANDARDS FOR LANDSCAPE PLANTING
- ALL PLANT BEDS SHALL HAVE A 3" DEPTH OF BARK MULCH
- ALL PLANT MATERIAL DELIVERED TO THIS SITE SHALL MEET THE AMERICAN NURSERYMAN'S ASSOCIATION STANDARDS.
- CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE CIVIL ENGINEER PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AT NO COST TO THE OWNER. THESE ITEMS MAY BE REQUIRED TO BE REPLACED WITH PLANT MATERIALS THAT ARE IN COMPLIANCE WITH THESE DRAWINGS.

LEGEND

- BOUNDARY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING CENTERLINE
- EXISTING LOT LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- PROPOSED CENTERLINE
- PROPOSED SETBACK LINE
- PROPOSED EASEMENT, AS DESCRIBED
- PROPOSED TREE PRESERVATION EASEMENT
- TREE PROTECTION FENCING



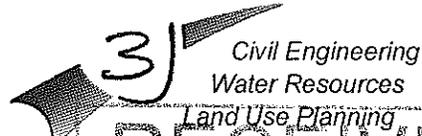
7/23/13
 BY DATE
 REVISION SUMMARY

MITIGATION PLANTING PLAN
SUNBREAK
 SUBDIVISION
 LF 3, LLC
 WEST LINN, OR

3J CONSULTING, INC

 CIVIL ENGINEERING
 WATER RESOURCES
 LAND USE PLANNING
 10445 SW CANYON ROAD SUITE 245, BEAVERTON, OR 97005
 PHONE & FAX: (503) 946-0265

3J JOB ID # | 13115
 LAND USE # |
 TAX LOT # | 251E35A01300
 DESIGNED BY | CLF/ITE
 CHECKED BY | BKF
 SHEET TITLE
PLANTING PLAN
 SHEET NUMBER
L1.0



RECEIVED

Meeting Minutes - Sunbreak Subdivision

Date: May 7 & May 8, 2012
 Meeting No: Neighborhood Meeting
 Project: Sunbreak Subdivision
 3J No.: 13113

JUL 24 2013

PLANNING & BUILDING
 CITY OF WEST LINN
 INT. TIME

Presenters	Company
Jeff Smith	JT Smith Companies
Andrew Tull	3J
John Wyland	JT Smith Companies
Mike Robinson	Perkins Coie

In preparation for the submission of a land use application for the subdivision, the applicant conducted a two neighborhood meetings. The first was with the Savannah Oaks Neighborhood Association, the Second was with the Willamette neighborhood association.

Both meetings began with a presentations by Andrew Tull, Mike Robison, and Jeff Smith. The project team started by explaining that the property would be subdivided in accordance with the City's development codes. A description of the development, the road access, and the proposed lots was provided. The general timeframe for the land use and construction process was described.

Following the introduction of the project, neighbors and attendees openly asked questions of the project team. The following is a record of the questions and the project teams' responses, from both meetings.

Item	Question	Response
1	Will the trees that were previously taken off the property counted for tree retention and preservation?	No, Trees on the property will be considered and of those, only the significant trees will be considered.
2	Will a pedestrian path be provided to the north?	Yes. A path will be provided
3	What will be the SF of the houses? Value?	Probably 3,000 sf to 3,500 sf. Homes will be valued at probably near \$700,000.
4	Construction Traffic will be routed onto Crestview or Bland?	A construction plan will be provided. Access will be as needed to construct the roads.
5	Are the widths of the lots consistent with the neighboring homes	The lots are somewhat narrow but deep but we've got home plans that will be consistent with the neighboring homes.
6	What are the timeframes before you start work	We will submit a land use application. Then the builder will start building. The intent is to start in the spring.
7	Will the tree along Bland be preserved?	The City has indicated that they would like frontage improvements. We're going to try to retain the tree along the frontage but it may not be possible.
8	The lower part of Tannler is starting to fail.	The developer will fix what they damage and

	Do you have money budgeted to fix these streets.	they will improve the frontages along the project.
9	Will a light come in along Salamo as a result of the development?	The light would be triggered by traffic counts. We do not believe that the City will require a signal.
10	Will the property next door develop?	That property needs to annex and recieve zoning. We have no interest in that property at the moment.
11	What are the next steps?	We will submit to the City a formal application for Land Use Approvals.
12	How can we make a difference?	Relate your arguments and concerns to the applicable approval criteria. We are all measured by the same standards.



21E35A 01100
David & Drucilla Sloop
23190 Bland Cir
West Linn, OR 97068

21E35A 01200
Virginia Devries
22850 Weatherhill Rd
West Linn, OR 97068

21E35A 01201
Li Wei
22864 Weatherhill Rd
West Linn, OR 97068

21E35A 01202
Virginia Devries
22850 Weatherhill Rd
West Linn, OR 97068

21E35AB00100
Bialas
3059 Sunbreak Ln
West Linn, OR 97068

21E35AB00200
Jennifer & Ronald Talaga Jr.
3061 Sunbreak Ln
West Linn, OR 97068

21E35AB00300
Ronald Jackson
3073 Sunbreak Ln
West Linn, OR 97068

21E35AB00400
Heidi Barber
3085 Sunbreak Ln
West Linn, OR 97068

21E35AB00500
Daniel Haddad
3097 Sunbreak Ln
West Linn, OR 97068

21E35AB01000
Mark & Chandra Hatfield
2562 Crestview Dr
West Linn, OR 97068

21E35AB01100
Todd Drake
2550 Crestview Dr
West Linn, OR 97068

21E35AB01200
Tamara Tofte
2548 Crestview Dr
West Linn, OR 97068

21E35AB01300
Joshua & Stephanie Warren
2536 Crestview Dr
West Linn, OR 97068

21E35AB01400
Kendall & Kelli Woodworth
2524 Crestview Dr
West Linn, OR 97068

21E35AB01500
Christopher & Karin Hawk
2512 Crestview Dr
West Linn, OR 97068

21E35AB01600
Jennifer Pakula
2500 Crestview Dr
West Linn, OR 97068

21E35AB01700
David & Susan Roethe
2507 Crestview Dr
West Linn, OR 97068

21E35AB01800
W Erik Swanson
2511 Crestview Dr
West Linn, OR 97068

21E35AB01900
Michael & Jessica Moore
2531 Crestview Dr
West Linn, OR 97068

21E35AB02000
David & Valerie Feltman
2565 Crestview Dr
West Linn, OR 97068

21E35AB02100
John & Heidi Carr
3086 Sunbreak Ln
West Linn, OR 97068

21E35AB02200
Jeffrey & Tracey Barnett
3064 Sunbreak Ln
West Linn, OR 97068

21E35AB02300
Kevin & Julia Spellman
3062 Sunbreak Ln
West Linn, OR 97068

21E35AB02400
City Of West Linn
22500 Salamo Rd #600
West Linn, OR 97068

21E35AB02500
Donald & Janet Williams
2601 Umpqua Ln
West Linn, OR 97068

21E35AB02600
John Joseph Thomson
2605 Umpqua Ln
West Linn, OR 97068

21E35AB02700
Steven & Kathleen Kriesel
2607 Umpqua Ln
West Linn, OR 97068

21E35AB03800
Robert & Beverly Brossman
2997 Sunbreak Ln
West Linn, OR 97068

21E35AB03900
Jason & Julie Fewell
2985 Sunbreak Ln
West Linn, OR 97068

21E35AB04000
Kurt & Jennifer Hill
2973 Sunbreak Ln
West Linn, OR 97068

21E35AB04100
Joseph & Lisa Arnone
2990 Sunbreak Ln
West Linn, OR 97068

21E35AB04200
Brian & Christy Riehm
2984 Sunbreak Ln
West Linn, OR 97068

21E35AB04300
Eric Egland
2976 Sunbreak Ln
West Linn, OR 97068

21E35AB04400
Pierre Bossaert
145 Sonata Ln
Aptos, CA 95003

21E35AB04500
Steve & Ann Crawford
2483 Crestview Dr
West Linn, OR 97068

21E35AB04600
Daniel & Heathyr Nance
2495 Crestview Dr
West Linn, OR 97068

21E35AB04700
Robert & Cindy Conlin
2498 Crestview Dr
West Linn, OR 97068

21E35AB04800
Charles & Theresa Parker
2486 Crestview Dr
West Linn, OR 97068

21E35AB04900
C Briggs
2474 Crestview Dr
West Linn, OR 97068

21E35AB05000
City Of West Linn
22500 Salamo Rd #600
West Linn, OR 97068

21E35AC03800
Robert & Noelle Craddock
2590 Kensington Ct
West Linn, OR 97068

21E35AC03900
Robert & Dora Lee
2586 Kensington Ct
West Linn, OR 97068

21E35AC04000
Eric Finch
2584 Kensington Ct
West Linn, OR 97068

21E35AC04100
Hassan Gholi
2580 Kensington Ct
West Linn, OR 97068

21E35AC04200
Barbara Steinberg
2570 Kensington Ct
West Linn, OR 97068

21E35AC04300
Kenneth & Mary Virgin
2560 Kensington Ct
West Linn, OR 97068

21E35AC04400
Susan Kelly
2550 Kensington Ct
West Linn, OR 97068

21E35AC04700
Susan & Rian Flad
2285 Tannler Dr
West Linn, OR 97068

21E35AC04800
American Hm Mtg Inv
4875 Belfort Rd #130
Jacksonville, FL 32256

21E35AC04900
Michael & Lisa Noel
2265 Tannler Dr
West Linn, OR 97068

21E35AC05000
Jon & Barbara Udell
2255 Tannler Dr
West Linn, OR 97068

21E35AC05100
Jeffrey & Dawn Hudson
2235 Tannler Dr
West Linn, OR 97068

21E35AC05200
Rebecca Van Horn
2225 Tannler Dr
West Linn, OR 97068

21E35AC05300
Florentino & Collette Versoza
2215 Tannler Dr
West Linn, OR 97068

21E35AC05400
Vincent Morales
2205 Tannler Dr
West Linn, OR 97068

21E35AC10500
Kevin & Julie Rickett
2637 Umpqua Ln
West Linn, OR 97068

21E35AC10600
Steve & Misty Pene
2625 Umpqua Ln
West Linn, OR 97068

21E35AC10700
Robert & Kerry Bierman
2613 Umpqua Ln
West Linn, OR 97068

21E35AC10800
Kathleen Fattore Co-E Keller
2600 Umpqua Ln
West Linn, OR 97068

21E35AC10900
John Co-E Callahan
2612 Umpqua Ln
West Linn, OR 97068

21E35AC11000
Ronald & Theresa Winslow
Po Box 1339
Clackamas, OR 97015

21E35AC11100
Patrick & Jennifer Trank
2636 Umpqua Ln
West Linn, OR 97068

21E35AC11200
Mark & Carolyn Boyd
34250 NE Colorado Dr
Corvallis, OR 97333

21E35AC11300
City Of West Linn
22500 Salamo Rd #600
West Linn, OR 97068

21E35AC11500
Randy Moe
23162 Bland Cir
West Linn, OR 97068

21E35AC11501
Joseph Chan
23156 Bland Cir
West Linn, OR 97068

21E35B 00301
Joseph Monahan
19363 Willamette Dr #203
West Linn, OR 97068

21E35B 00401
Li Wei
22864 Weatherhill Rd
West Linn, OR 97068

21E35B 00402
Joseph Monahan
19363 Willamette Dr #203
West Linn, OR 97068

21E35B 00403
Li Wei
22864 Weatherhill Rd
West Linn, OR 97068

21E35B 00405
David & Diana Dean
22870 Weatherhill Rd
West Linn, OR 97068

21E35B 00493
Li Wei
22864 Weatherhill Rd
West Linn, OR 97068

21E35B 00500
Johnny & Laurie Coppedge
23128 Bland Cir
West Linn, OR 97068

21E35B 00501
Dana & Rosalee Patelzick
23096 Bland Cir
West Linn, OR 97068

21E35B 00502
Olh 14 LLC
5285 Meadows Rd #171
Lake Oswego, OR 97035

21E35B 00504
City Of West Linn
22500 Salamo Rd #600
West Linn, OR 97068

21E35BA00100
David & Nicolle Landau
23065 Bland Cir
West Linn, OR 97068

21E35BA00190
David & Nicolle Landau
23065 Bland Cir
West Linn, OR 97068

21E35BA04400
Daniel & Jennifer Kling
23056 Bland Cir
West Linn, OR 97068

21E35BA04500
Jay Hemmady
23060 Bland Cir
West Linn, OR 97068

21E35BA07200
Jiang Yu
2150 Fircrest Dr
West Linn, OR 97068

21E35BA07300
Genevieve Harris
2140 Fircrest Dr
West Linn, OR 97068

21E35BA08100
Theron Jensen
2215 Crestview Dr
West Linn, OR 97068

21E35BA08200
Donald & Kristi Gabel
2225 Crestview Dr
West Linn, OR 97068

21E35BA08300
Richard & Jeanne Glatt
12492 SE 155th Ave
Happy Valley, OR 97086

21E35BA08400
Avian Charles Newton
2245 Crestview Dr
West Linn, OR 97068

21E35BA08500
Le Hong
2160 Fircrest Dr
West Linn, OR 97068

21E35BA08600
Jessica Mehta
2255 Crestview Dr
West Linn, OR 97068

21E35BA08700
Darren & Leslie Karr
2265 Crestview Dr
West Linn, OR 97068

21E35BA08800
David & Sandra Quesnel
2275 Crestview Dr
West Linn, OR 97068

21E35BA08900
David & Jillian Smith
2285 Crestview Dr
West Linn, OR 97068

21E35BA09000
Tamara Butler
2295 Crestview Dr
West Linn, OR 97068

21E35BA09100
Charles & Roberta Mathews III
2305 Crestview Dr
West Linn, OR 97068

21E35BA09200
Wade Radcliffe
2300 Crestview Dr
West Linn, OR 97068

21E35BA09300
Brian Bell
2290 Crestview Dr
West Linn, OR 97068

21E35BA09400
Edison & Tamara Ghorbani-Elizeh
2280 Crestview Dr
West Linn, OR 97068

21E35BA09500
Heather Sobotta
2270 Crestview Dr
West Linn, OR 97068

21E35BA09600
Maria Xavier
2260 Crestview Dr
West Linn, OR 97068

21E35BA09700
John Chan
2250 Crestview Dr
West Linn, OR 97068

21E35BA09800
David & Julie Almodovar
2220 Crestview Dr
West Linn, OR 97068

21E35BA09900
David & Kari Ritter
23045 Bland Cir
West Linn, OR 97068

21E35BA10000
Richard Mreen
23049 Bland Cir
West Linn, OR 97068

21E35BA10100
Cory & Jodi Huot
23055 Bland Cir
West Linn, OR 97068

21E35BA10200
James & Jennifer Meagher
23063 Bland Cir
West Linn, OR 97068

21E35BA10300
Veena Bhatia
71 View St
Los Altos, CA 94022

21E35BA10400
Lorentz & Alison Bruun
23069 Bland Cir
West Linn, OR 97068

21E35BA10500
Terry & Sandra Griffith
23083 Bland Cir
West Linn, OR 97068

21E35BA10600
John Chaplen
23073 Bland Cir
West Linn, OR 97068

21E35BA10700
Troy Allen & Erin Pendergraft
23073 Bland Cir
West Linn, OR 97068

21E35BA10800
Sean & Stacey Driggers
2310 Crestview Dr
West Linn, OR 97068

21E35BA10900
Kaykel Investments LLC
15375 NW West Union Rd
Portland, OR 97229

21E35BA11000
Kaykel Investments LLC
15375 NW West Union Rd
Portland, OR 97229

21E35BA11100
City Of West Linn
22500 Salamo Rd #600
West Linn, OR 97068

21E35BA11200
City Of West Linn
22500 Salamo Rd #600
West Linn, OR 97068

21E35BA11300
City Of West Linn
22500 Salamo Rd #600
West Linn, OR 97068

21E35BA11400
Genevieve Harris
2140 Fircrest Dr
West Linn, OR 97068

21E35BD07100
Marilyn Devault
23121 Bland Cir
West Linn, OR 97068

21E35BD07201
April Browne
23130 Bland Cir
West Linn, OR 97068

21E35BD07202
Edward Schwarz Jr.
2206 Tannler Dr
West Linn, OR 97068

21E35BD07203
Ming Li
23136 Bland Cir
West Linn, OR 97068

21E35BD07204
Boncher LLC
286 SW Forest Cove Rd
West Linn, OR 97068

21E35BD07300
John Gunn
2264 Tannler Dr
West Linn, OR 97068

21E35BD07301
Mohammad Saleh
2242 Tannler Dr
West Linn, OR 97068

21E35BD07302
Cynthia Clunes
2218 Tannler Dr
West Linn, OR 97068

21E35BD07400
Lisa Shepard
2280 Tannler Dr
West Linn, OR 97068

21E35BD07600
Bradley & April Goehring
2309 Falcon Dr
West Linn, OR 97068

21E35BD07700
Michael & Kathleen Halicki
2307 Falcon Dr
West Linn, OR 97068

21E35BD07800
Richard & Kelly Mooney
2305 Falcon Dr
West Linn, OR 97068

21E35BD07900
James & Jennifer Geyer
2303 Falcon Dr
West Linn, OR 97068

21E35BD08000
David & Laurie Wallace
2304 Falcon Dr
West Linn, OR 97068

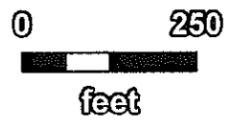
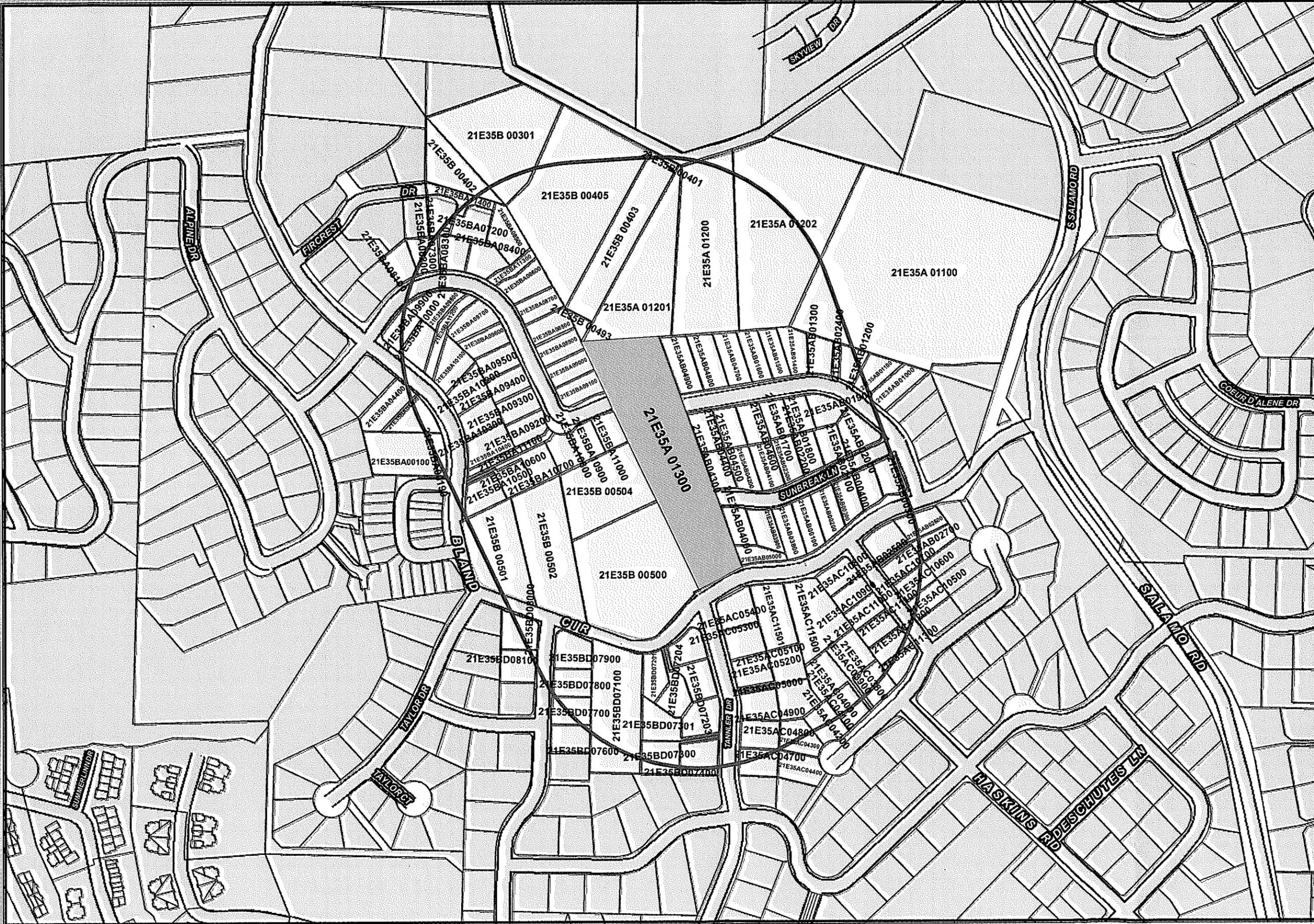
21E35BD08100
Bruce Petterson
2306 Falcon Dr
West Linn, OR 97068

Prepared By:



First American

Date: 04/16/2013



500 Foot Radius
23150 Bland Circle

	Subject Parcels
	Notification Area
	Radius
	Taxlots

This information is deemed reliable but is not guaranteed.