

DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT <i>Tom Soppe</i>	PROJECT NO(S). <i>DR-13-02</i>	
NON-REFUNDABLE FEE(S) <i>200</i>	REFUNDABLE DEPOSIT(S) <i>8000</i>	TOTAL <i>8200</i>

Type of Review (Please check all that apply):

- | | | |
|--|---|--|
| <input type="checkbox"/> Annexation (ANX) | <input type="checkbox"/> Historic Review | <input type="checkbox"/> Subdivision (SUB) |
| <input type="checkbox"/> Appeal and Review (AP) * | <input type="checkbox"/> Legislative Plan or Change | <input type="checkbox"/> Temporary Uses * |
| <input type="checkbox"/> Conditional Use (CUP) | <input type="checkbox"/> Lot Line Adjustment (LLA) */** | <input type="checkbox"/> Time Extension * |
| <input checked="" type="checkbox"/> Design Review (DR) | <input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan) | <input type="checkbox"/> Variance (VAR) |
| <input type="checkbox"/> Easement Vacation | <input type="checkbox"/> Non-Conforming Lots, Uses & Structures | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Extraterritorial Ext. of Utilities | <input type="checkbox"/> Planned Unit Development (PUD) | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP) |
| <input type="checkbox"/> Final Plat or Plan (FP) | <input type="checkbox"/> Pre-Application Conference (PA) */** | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG) |
| <input type="checkbox"/> Flood Management Area | <input type="checkbox"/> Street Vacation | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Hillside Protection & Erosion Control | | |

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

Site Location/Address: <i>22250 Willamette Dr West Linn, OR 97068</i>	Assessor's Map No.: <i>T25R2E530</i>
	Tax Lot(s): <i>06700</i>
	Total Land Area: <i>25019 SF 0.57 AC</i>

Brief Description of Proposal: *SEE Narrative*

Applicant Name: <i>Dave Kimmel - PDG</i> (please print)	Phone: <i>503-329-5399</i>
Address: <i>1335 SW 66TH Ave, Ste 201</i>	Email: <i>pdgplanning@comcast.net</i>
City State Zip: <i>Portland OR 97225</i>	

Owner Name (required): <i>Cliff Forbes</i> (please print)	Phone: <i>503-329-5399</i>
Address: <i>50 NW 1110</i>	Email: <i>cliff@forbes.com</i>
City State Zip: <i>Portland OR 97210</i>	
Consultant Name: (please print)	Phone: MAY 17 2013
Address:	Email:
City State Zip:	PLANNING & BUILDING CITY OF WEST LINN INT. TIME

- All application fees are non-refundable (excluding deposit). Any overruns to deposit will result in additional billing.
- The owner/applicant or their representative should be present at all public hearings.
- A denial or approval may be reversed on appeal. No permit will be in effect until the appeal period has expired.
- Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application. One (1) complete set of digital application materials must also be submitted on CD in PDF format. If large sets of plans are required in application please submit only two sets.

* No CD required / ** Only one hard-copy set needed

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

<u><i>Dave Kimmel</i></u>	<u><i>4-3-13</i></u>	<u><i>[Signature]</i></u>	<u><i>4-18-13</i></u>
Applicant's signature	Date	Owner's signature (required)	Date

**PDG Planning Design Group
1335 SW 66th Ave. #201
Portland, Oregon 97225
PH: 503-329-5399
Fax: 503-327-8456
Email: pdgplanning@comcast.net**

May 15, 2013

City of West Linn
Planning Department
22500 Salamo Rd.
West Linn, OR 97068

Class II Design Review

Site Information:

22250 Willamette Dr,
West Linn, OR
Zoning: GC General Commercial
Convert existing service bay to convenience store
Tax Map: 2S2E30C TL6700
PA-13-04 March 7, 2013
The site is located at the NE intersection of Willamette Dr. and Hollowell St.
Neighborhood Association: Bolton

Background

The applicant for the proposed project is WSCO stations. The applicant leases the property from the owner Cliff Forbes, whose signature is on the application. PDG is WSCO stations agent for the application and materials needed to be submitted to the City and the associated processing, including public hearings.

The existing service bay building is 1,494 square feet with an attached storage building of 252 square feet for a total of 1,746 square feet. The applicant is proposing to remove the existing storage building and remodel the existing service bay building to a convenience store. The applicant will also adding a new cooler to the north wall and a cooler/storage building to the east wall for a total of 2,521 square feet. Total expansion of the building footprint is 775 square feet. Additionally, the applicant will be adding 3,753 square feet of new landscaping and upgrading much of the existing landscaping. The applicant is not proposing any changes to the existing fuel sales, islands, dispensers, canopy or tanks and piping.

The applicant has attempted to address all applicable criteria in this narrative.

CDC Chapter 19.030 Permitted Uses and 19.060 Conditional Uses in the GC zone.

19.030 provides for a convenience store as a permitted use under either 19.030 (9) Convenience sales and personal services or 19.030 (13) Food and beverage retail sales.

19.060 (9) Vehicle fuel sales is a conditional use. However, the applicant is not proposing any changes to the existing fueling facilities and therefore a conditional use application is not necessary.

19.070 Dimensional Requirements

Minimum Front Lot Line Length - 35'. Actual front lot line 170.78'

The average minimum lot width of 50' is exceeded.

Average Minimum Lot depth of 90' is exceeded as the lot depth is 135'.

Maximum lot coverage is 50%. The applicant is proposing 10% building coverage.

Maximum building height is 35'. The applicant is proposing 14.5'

The existing canopy is setback approximately 5' from the front property line.

Rear yard setback. The subject property is zoned GC and the property to the rear is zoned residential. This requires a 7.5' setback and the applicant is proposing that the rear addition be setback at least 15'.

Chapter 34 Accessory Structures, Accessory Dwelling Units, and Accessory Uses.

Chapter 34 does not apply to this application as no accessory structures or uses are proposed.

Chapter 35 Temporary Structures and Uses

Chapter 35 does not apply to this application as no temporary structures or uses are proposed.

Chapter 38 Additional Yard are required.

38.020 The applicant is proposing to meet the yard areas as required by the underlying zone.

38.030 The existing right-of-way is adequate and exceeds 50', so an additional setback from the centerline is not required.

38.040 No exceptions to the yard requirements are necessary.

38.050 The applicant is not proposing any storage in the front yard.

38.060 The applicant is not proposing any projections into the front yard or other required yards.

Chapter 42 Clear Vision Areas

The subject property is located at the intersection of Willamette Dr. and Hollowell St. As such the clear vision area applies to the property. The subject property is landscaped in the clear vision area and the landscaping does not exceed three feet in height, hence meeting this requirement.

46.030 The applicant has submitted the required parking and design requirements along with the other plans for the Class II Design Review approval.

46.050 Joint Parking does not apply as there is no shared parking.

46.060 No storage in the parking and loading areas is proposed.

46.070 Maximum distance to any parking stall is less than 200' from the front entrance, and the ADA stall is the closest to the front entry.

46.090 Minimum parking requirements. A general retail store requires one space for every 240 square feet of gross floor area. The applicant is proposing a 2,521 square foot retail store, therefore the minimum parking requirements are 10.45 spaces. The applicant is proposing to re-stripe the lot along with the landscape modifications and will have a total of 13 spaces including one ADA accessible stall. The new parking stalls will all be 9' X 18' to accommodate customer and employee parking.

48 Access, Egress and Circulation

This property is located adjacent to state highway 43 and as such access permits are issued by ODOT. The applicant has submitted access permits to ODOT to retain the existing driveways as needed to maintain the vehicle fueling aspect of the development.

In addition the applicant is responding to the City criteria as appropriate.

48.025 Access Control (7) Access points shall be minimized to protect the safety and operation of the streets and sidewalks. The site has two existing access points and must retain both access points to provide adequate customer circulation and to provide access for the fuel delivery truck. The adjacent street Hollowell has a significant grade change from the existing property rendering it unsuitable for vehicular access. Shared access with adjacent properties are also unsuitable due to grade changes and existing development on those parcels.

48.080 Bicycle and Pedestrian Circulation

A Pedestrian/bicycle path from the sidewalk to the building front has been provided. This path is located on the existing pavement and will be striped to clearly identify the path from vehicular areas.

Chapter 52 Signs

The applicant is not proposing any new signage with this application, so these items were not addressed.

Chapter 54 Landscaping

The existing development has 7,430 square feet of landscaping or 29.6% of the site in landscaped areas. The applicant is proposing to add additional landscaping area in the amount of 3,753 square feet for a total of 44.6% of the site area. Existing landscaped areas will be improved as a part of the project and will also reduce the amount of impervious area on the site by 2,375 square feet. New landscape plans are provided as a part of the Design Review submittal

Chapter 55 Design Review

55.100 (B) Relationship to the natural and physical environment. There are no heritage trees located on the site, but as shown on the applicants landscape plan no trees are proposed to be removed.

55.100 (3) The topography and natural drainage of this site will be preserved as everything is already fully developed. A portion of the additional landscaped area will be used to absorb storm run-off and act as a partial storm water treatment area.

55.100 (4) The proposed additions are not located in an area subject to slumping or in areas shown on the Hazard Map.

55.100 (5) The existing development and the proposed modifications provide adequate distance between on-site and off-site buildings to provide adequate light and air circulation and for fire protection.

55.100 (6) Architecture

The existing structure is a steel building with service bay doors and a metal fascia. The applicant is proposing to modify the existing steel building by replacing the roll up doors and building front with store front windows and add a stucco finish to the walls. The fascia will be replaced with painted flat metal panels.

The proposed modifications will be compatible with the existing canopy and the size and contextual design will remain essentially the same. The addition of the stucco

finish will modernize this 1960's - 70's building design to be more in conformance with current West Linn architecture in the area.

This remodel does not constitute a transition in terms of massing and bulking and is not contrasting architecture. Human scale is met to the extent possible by a single story building with a full store front that provides visual interaction between the inside and the outside patrons.

55.100 (6) (f) This section provides that the main front of a commercial building be at least 60% windows. It also requires that at least one side have at least 30% transparency and any other side with a street view also have 30% transparency. The proposed modifications will meet this requirement by exceeding the 60% on the front of the building and the south side of the building. The north side which is cooler will be less than the 30%, but as provided for in this section the applicant is transferring the excess square footage from the West and South elevations to meet this requirement.

Building Front (west side) 67.25 lineal feet. Glazing proposed 46.25 SF. or 69%.
South Side of building 27.0 lineal feet. Glazing proposed 16.25 SF or 60%
North side of building 35.66 lineal feet is visible from the public right-of-way, which would require 11 lineal feet of glazing a minimum of 3' in height. The applicant is proposing to install 7.0 lineal feet of glazing and transfer the additional required glazing from the East and South Elevations.

The majority of this section of the code is more related to new buildings or redevelopment of an existing property. This application is a remodel of an existing facility and a change of use of the primary building from repair service, to retail and upgrades to meet the elevations and other standards as relevant.

Public facilities are currently provided to the subject property including water, sanitary sewer, storm sewer, electrical, natural gas and access from a public street. Solid waste and recycling storage has been upgraded to the facility with a new screened enclosure meeting Metro standards.

The applicant believes that this proposed modification meets the intent of the West Linn Community Development Code and that as demonstrated by the plans submitted should be approved.

Chapter 32 Water Resource Area Protection.

During the pre-application process the City identified this property as being in a Water Resource protection zone and that drainage along the north property line is designated as a significant riparian corridor. The applicant has obtained a copy of the research conducted on the adjacent properties to the north that finds there is not a stream or significant riparian corridor in this area. A copy of this report is included with the application materials. A site visit and view of the adjacent properties indicate this

report applies to all of the surrounding properties. The only indication of a stream corridor (McLean Creek) is located where Hollowell dead ends, which is over 200' from the subject property, therefore the site would not be located in a significant riparian area. The applicant believes that this is an area that needs to be corrected on the City maps as all of the surrounding properties are fully developed and the stream and riparian corridor does not exist as shown. However, the applicant is responding to all relevant criteria in the event that City needs the response to approve the proposed modifications.

The existing development was filled during the original construction phase and the rear of the property is contained by a significant retaining wall. If the riparian area ever existed, this retaining wall and the adjacent developments have removed any stream corridor. Additionally, because of the retaining wall all work as proposed would have limited to no impact on any existing drainage area. The applicant is proposing to landscape this area with native plants, reducing existing impacts to this area.

32.050 Approval Criteria

- A. The applicant is requesting that the City Engineer field verify the existence of any stream adjacent to the subject property. Looking at the existing City maps a stream is delineated as running across the adjacent properties to the north and east of the subject site. However a field investigation by the applicant cannot identify any stream either at the surface or underground.
- B. The proposed alterations have been designed to maintain the existing drainage ways. The existing site is fully developed with no natural drainage ways identifiable on the site. The applicant is proposing to remove some of the asphalt along the east and south property lines and add native vegetated landscaped areas.
- C. Because the existing site is fully developed and all work is in areas that have existing paving, the development will have minimal adverse impact on any water resource area that may exist.
- D. The water resource area cannot not be identified by the applicant and if it exists it would be located on adjacent properties. Therefore, neither a dedication nor easement would be appropriate.
- E. The applicant cannot identify a stream, and prior research indicates the stream may never have existed. A starting point for the riparian corridor is edge of bankful flow or 2-year storm level. The only stream near the property is McLean Creek and it is over 100' from the closest edge of the property line. The applicant is not proposing any development in this area.
- F. No roads, driveways, utilities or passive use recreation facilities are proposed. This item does not apply.
- G. Prior to construction the water resource area is to be protected from construction run-off. As stated earlier the site has a significant retaining wall along the east side of the property that does protect the area identified on the map.

- H. No paving is proposed in any of the areas mapped out as a water resource area.
- I. This proposal will not have any downstream impacts.
- J. Appropriate erosion control measures will be installed during construction, regardless of the area under review.
- K. The vegetative improvements within the area under question will be native plant materials. The applicant will maintain these landscaped beds in a appropriate manner to sustain them and remove invasive species that may attempt to get established.
- L. As stated previously the applicant does not believe that a water resource area exists as shown on the map and therefore does not believe that a setback would be required.
- M. The proposed storm water treatment area does not encroach into the water resource area.
- N. No covered or piped drainage ways appear to exist.
- O. The applicant is not proposing a reduction in front or side yard setbacks.
- P. No new storm drainage channels have been identified.

The applicant does not believe any of the other requirements of this section apply, because a waterway cannot be identified as shown on the current City maps that would impact this property or the proposed project. Furthermore the applicant believes that once the City Engineer reviews the documentation submitted and approved for the adjacent property, and conducts a field investigation the City will determine that a stream does not exist as shown on the current map.

The applicant respectfully requests that the City review the plans and all accompanying material and approve the project as proposed.

Sincerely,

David P. Kimmel

Robert D. Miller Consulting

Environmental Services • Project Management

May 10, 2013

Robert Montgomery
Montgomery Development Co
PO Box 1315
Boring, OR 97009

Re: Purported Drainage way commencing from Tax Lot 6600, City of West Linn, OR

In response to your question of whether or not the referenced drainage way actually exists, I offer the following information.

1. Our ownership of pertinent properties:

- My wife and I purchased tax lot 6400 and 6500 on July 2, 1999 through her company, Blondie's Investment, LLC with the intent of raising the house and building a commercial building. We subsequently purchased adjacent tax lot 6300 on May 24, 2000.
- In the summer of 1999, we demolished the house and cleared the land at tax lots 6400 and 6500. See attached photos.
- We also purchased 10 feet of tax lot 6600 on or about Dec, 1999. This allowed for increased lower level parking and a larger building to be built on tax lots 6400 and 6500.
- We sold all the properties on or about April of 2003, after having finished the City of West Linn Site Development review process. We had not completed Building Code review, nor started construction of the commercial building (It was built the following year by others and became Foundation Lending's office).

Throughout our ownership I never witnessed any surface water flowing across any of the referenced properties. I even bored a shallow hole (about 3 ft deep) in the lowest part of the valley of the purported drainage way on tax lot 6300, to inspect potential water flow throughout the winter months of 1999-2000. I never observed any surface water flow and the shallow hole never filled with water, even during storm events. I asked the neighbor of tax lot 6200 if he had ever seen rain water migrating across the back of his property. He said "No". I think he said that he had lived there between 6 and 10 years, but I don't remember exactly.

2. Geotechnical investigation of tax lots 6400 and 6500:

I have attached copies of the four borings which I personally logged the soil lithology and measured depth to groundwater. These holes were drilled in September of 1999

and the reports were filed with State of Oregon, Water Resources Department. The map shows their locations. Of particular interest is HS1, which was located very close to the purported drainage way. I measured groundwater at 19.9 feet below ground surface after 23 hours of open hole. Also, note that the underlying soil is silty loam (ML) which drains fairly well. I observed no hydric soils anywhere across tax lots 6500 and 6400, after we cleared the site and drilled these borings.

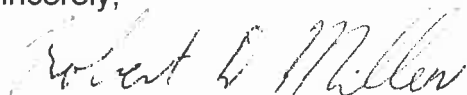
3. City review of our application to build the commercial building:

The City staff raised the issue of the purported drainage way, during the design review process. At first it seemed reasonable and I expected to see a catch basin on the side of Highway 43. However, no catch basin exists on Hwy 43 anywhere near this drainage way, and there is no outfall into the drainage way. We stripped the vegetation at time of clearing the lots, so I know for sure that there was no outfall. The City map was obviously an old (undated) hand drawn map with the drainage way shown. It may have been created before Hwy 43 was built or widened. I vaguely recall a phone call to ODOT wherein they stated that the intermittent springs beneath the highway had been intercepted and piped toward the I-205 Bridge.

In conclusion, the City staff and I agreed that there was no observed surface water flow within the drainage way (at least at this location), no existing hydric soils, no existing hydric vegetation and no observed spring water or stormwater outfalls. The City approved the building of the commercial building as close to the purported drainage way without any setbacks. Hence, we obtained 10 feet of tax lot 6600 and the building was eventually built abutting the south and east property lines of the extended tax lot 6400. See attached survey map, dated Dec 7, 1999.

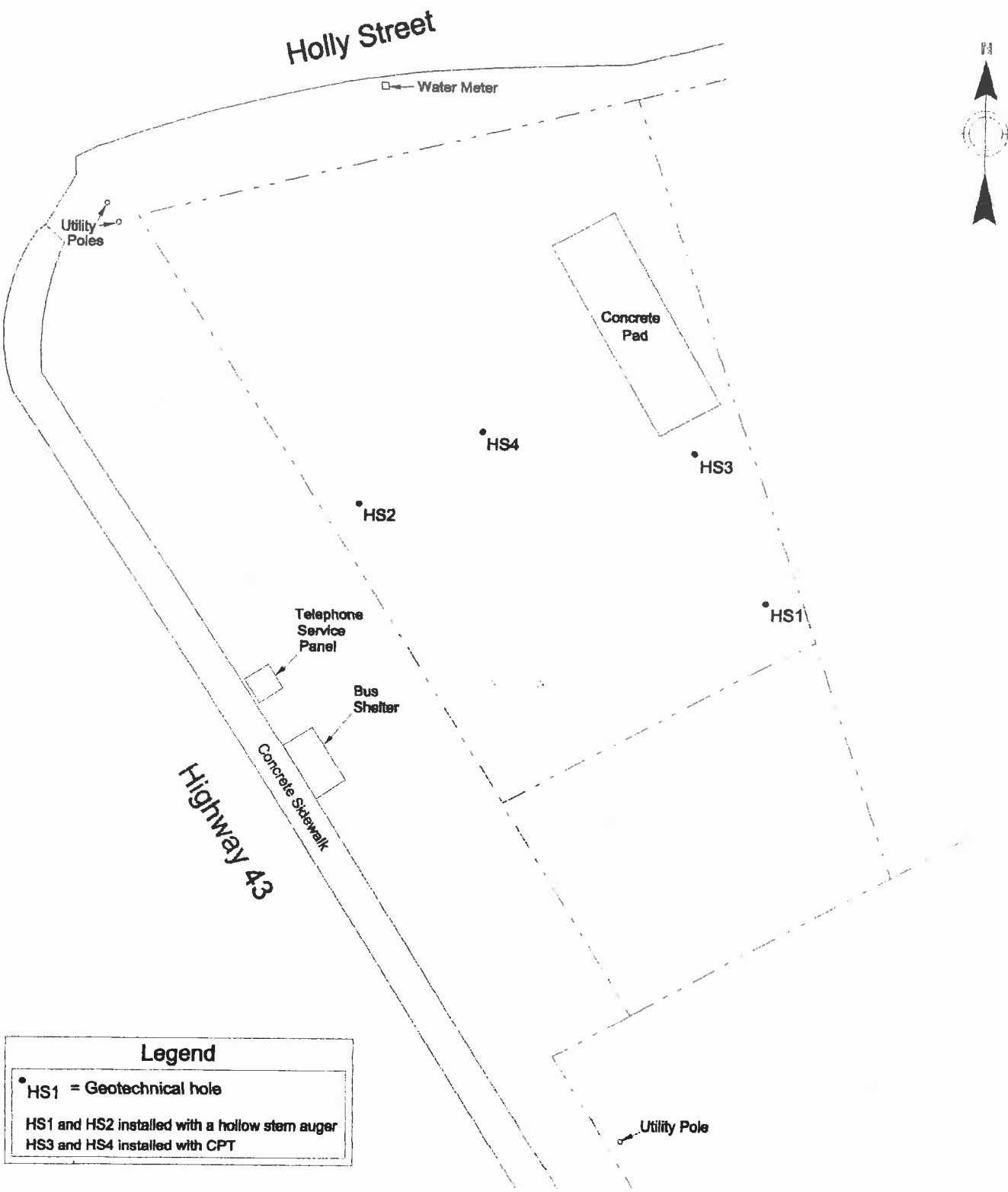
I hope this information helps the decision making process. For any further questions, I may be contacted at 503-523-8836.

Sincerely,

A handwritten signature in cursive script that reads "Robert D. Miller".

Robert D Miller, RG, LHG
Environmental Consultant
Former Property Owner





Legend

- HS1 = Geotechnical hole
- HS1 and HS2 installed with a hollow stem auger
- HS3 and HS4 installed with CPT

Scale: 1' = 20'
 Date: 09/08 & 09/10/99

Geotechnical Hole Locations
 Holly Street Property
 1584 Holly Street
 West Linn, Oregon 97068

STATE OF OREGON
GEOTECHNICAL HOLE REPORT
 (as required by OAR 690-240-035)

SE corner of lot

(1) OWNER/PROJECT: Hole Number HS1
 Name Blandies Investments
 Address PO Box 514
 City West Linn State OR Zip 97068

(2) TYPE OF WORK
 New Deepening Alteration (repair/recondition) Abandonment

(3) CONSTRUCTION:
 Rotary Air Hand Auger Hollow Stem Auger
 Rotary Mud Cable Tool Push Probe Other

(4) TYPE OF HOLE:
 Uncased Temporary Cased Permanent
 Uncased Permanent Slope Stability Other

(5) USE OF HOLE:
Geotech

(6) BORE HOLE CONSTRUCTION:
 Special Construction approval Yes No Depth of Completed Hole 25 1/2 ft.

HOLE			SEAL			Sacks or pounds
Diameter	From	To	Material	From	To	
	0'	25 1/2'	none			

Backfill placed from _____ ft. to _____ ft. Material _____
 Filter Pack placed from _____ ft. to _____ ft. Size of pack _____

(7) CASING/SCREEN: N/A

	Diameter	From	To	Gauge	Material			
					Steel	Plastic	Welded	Threaded
Casing:					<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Screen:					<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Slot size _____

(8) WELL TEST: N/A
 Pump Bailer Air Flowing Artesian
 Permeability _____ Yield _____ GPM _____
 Conductivity _____ PH _____
 Temperature of water _____ °F/C Depth artesian flow found _____ ft.
 Was water analysis done? Yes No
 By whom? _____
 Depth of strata analyzed. From _____ ft. to _____ ft.
 Remarks: _____

(9) LOCATION OF HOLE by legal description:
 County Clatsop Latitude 46° 21' 51" Longitude 122° 36' 36"
 Township 2 N or S Range 2 E or W. WM.
 Section 30 NE 1/4 of SW 1/4
 Tax Lot 6410 Lot _____ Block _____ Subdivision _____
 Street Address of Well (or nearest address) _____
1584 Holly St. West Linn, OR

Map with location identified must be attached

(10) STATIC WATER LEVEL:
19.9 ft. below land surface. (23 hrs) Date 9/9/99
 Artesian pressure _____ lb. per square inch. Date _____

(11) SUBSURFACE LOG:
 Ground Elevation 110

Material Description	From	To	SWL
<u>ML - Brown silty loam (soft)</u>	<u>0</u>	<u>23 1/2</u>	
<u>Block-weathered basalt</u>	<u>23 1/2</u>	<u>25 1/2</u>	
<u>Auger refusal @ 25 1/2' depth</u>			

Date Started 9/8/99 Date Completed 9/8/99

(12) ABANDONMENT LOG:

Material Description	From	To	Sacks or Pounds
<u>Bentonite</u>	<u>0</u>	<u>25 1/2</u>	<u>200 lbs</u>

Date started 9/9/99 Date Completed 9/9/99

Professional Certification
 (to be signed by a licensed water supply or monitoring well constructor, or Oregon registered geologist or civil engineer).
 I accept responsibility for the construction, alteration, or abandonment work performed during the construction dates reported above. All work performed during this time is in compliance with Oregon's geotechnical hole construction standards. This report is true to the best of my knowledge and belief.

License or Registration Number 10230
 Signed Robert A Miller Date 9/9/99
 Affiliation _____

STATE OF OREGON
GEOTECHNICAL HOLE REPORT
 (as required by OAR 690-240-035)

(1) OWNER/PROJECT: Blondies Investments Hole Number HSZ
 Name Blondies Investments
 Address PO Box 514
 City West Linn State OR Zip 97138

(2) TYPE OF WORK
 New Deepening Alteration (repair/recondition) Abandonment

(3) CONSTRUCTION:
 Rotary Air Hand Auger Hollow Stem Auger
 Rotary Mud Cable Tool Push Probe Other

(4) TYPE OF HOLE:
 Uncased Temporary Cased Permanent
 Uncased Permanent Slope Stability Other

(5) USE OF HOLE:
Geotech

(6) BORE HOLE CONSTRUCTION:
 Special Construction approval Yes No Depth of Completed Hole 26 ft.

HOLE			SEAL			Sacks or pounds
Diameter	From	To	Material	From	To	
	0	26	none			

Backfill placed from _____ ft. to _____ ft. Material _____
 Filter Pack placed from _____ ft. to _____ ft. Size of pack _____

(7) CASING/SCREEN: N/A

	Diameter	From	To	Gauge	Steel	Plastic	Welded	Threaded
					<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Casing:					<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
					<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
					<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Screen:					<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
					<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Slot size _____

(8) WELL TEST: N/A
 Pump Bailer Air Flowing Artesian
 Permeability _____ Yield _____ GPM _____
 Conductivity _____ PH _____
 Temperature of water _____ °F/C Depth artesian flow found _____ ft.
 Was water analysis done? Yes No
 By whom? _____
 Depth of strata analyzed. From _____ ft. to _____ ft.
 Remarks: _____

middle west property line
 (9) LOCATION OF HOLE by legal description:
 County Clatsop Latitude 45° 21' 54" Longitude 122° 36' 36"
 Township 2 N or (S) Range 2 (E) or W. WM.
 Section 30 NE 1/4 of SW 1/4
 Tax Lot 6400 Lot _____ Block _____ Subdivision _____
 Street Address of Well (or nearest address) 1584 Holly St, West Linn, OR
 Map with location identified must be attached

(10) STATIC WATER LEVEL: not recorded
 _____ ft. below land surface. Date _____
 Artesian pressure _____ lb. per square inch. Date _____

(11) SUBSURFACE LOG:
 Ground Elevation 1141'

Material Description	From	To	SWL
ML - V. loose fill - silt	0	1'	
ML - Brown silty loam (soft)	1'	11 1/2'	
weathered rock layer	11 1/2'	17 1/2'	
SM - Brown silty f. sand	17 1/2'	25'	
SM - D. silty weathered sand	25'	26'	

Date Started 9/8/99 Date Completed 9/8/99

(12) ABANDONMENT LOG:

Material Description	From	To	Sacks or Pounds
Bentonite	0'	26'	200 lbs.

Date started 9/8/99 Date Completed 9/8/99

Professional Certification
 (to be signed by a licensed water supply or monitoring well constructor, or Oregon registered geologist or civil engineer).
 I accept responsibility for the construction, alteration, or abandonment work performed during the construction dates reported above. All work performed during this time is in compliance with Oregon's geotechnical hole construction standards. This report is true to the best of my knowledge and belief.
 License or Registration Number 10230
 Signed Robert D. Miller Date 9/9/99
 Affiliation _____

STATE OF OREGON
GEOTECHNICAL HOLE REPORT
(as required by OAR 690-240-035)

(1) OWNER/PROJECT: Hole Number HS 3

Name FLORIAN'S INVESTMENTS
 Address PO Box 519
 City WEST LINN State OR Zip 97148

(2) TYPE OF WORK
 New Deepening Alteration (repair/recondition) Abandonment

(3) CONSTRUCTION:
 Rotary Air Hand Auger Hollow Stem Auger
 Rotary Mud Cable Tool Push Probe Other

(4) TYPE OF HOLE:
 Uncased Temporary Cased Permanent
 Uncased Permanent Slope Stability Other

(5) USE OF HOLE:
Geotech

(6) BORE HOLE CONSTRUCTION:
 Special Construction approval Yes No Depth of Completed Hole 25 ft.

HOLE			SEAL			Sacks or pounds
Diameter	From	To	Material	From	To	
2"	0	25	WATER BEST/CEMENT GROUT	250		141 #/GAL

Backfill placed from 25 ft. to 0 ft. Material BEST/CEMENT GROUT
 Filter Pack placed from _____ ft. to _____ ft. Size of pack _____

(7) CASING/SCREEN:

	Diameter	From	To	Gauge	Material			
					Steel	Plastic	Welded	Threaded
Casing:					<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Screen:					<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Slot size _____

(8) WELL TEST:
 Pump Bailer Air Flowing Artesian
 Permeability _____ Yield _____ GPM _____
 Conductivity _____ PH _____
 Temperature of water _____ °F/C Depth artesian flow found _____ ft.
 Was water analysis done? Yes No
 By whom? WJA
 Depth of strata analyzed. From _____ ft. to _____ ft.
 Remarks: _____

(9) LOCATION OF HOLE by legal description:
 County CLATSOP Latitude _____ Longitude _____
 Township 2 N or (S) Range 2 E or W. WM.
 Section 30 NE 1/4 SW 1/4
 Tax Lot 640 Lot _____ Block _____ Subdivision _____
 Street Address of Well (or nearest address) 1584 HOLLY ST WEST LINN OR

Map with location identified must be attached

(10) STATIC WATER LEVEL:
 _____ ft. below land surface A Date _____
 Artesian pressure _____ lb. per square inch. Date _____

(11) SUBSURFACE LOG:
 Ground Elevation _____

Material Description	From	To	SWL
SILTY SAND	0	16	
SAND SILT	16	25	

Date Started 9/10/99 Date Completed 9/10/99

(12) ABANDONMENT LOG:

Material Description	From	To	Sacks or Pounds
BEST/CEMENT GROUT	25	0	141 #/GAL

Date started 9/10/99 Date Completed 9/10/99

Professional Certification
 (to be signed by a licensed water supply or monitoring well constructor, or Oregon registered geologist or civil engineer).

I accept responsibility for the construction, alteration, or abandonment work performed during the construction dates reported above. All work performed during this time is in compliance with Oregon's geotechnical hole construction standards. This report is true to the best of my knowledge and belief.

License or Registration Number 10459

Signed William C. Mc Date 9/27/99

Affiliation WATERBURY SOIL EXPLORATION

THIS REPORT MUST BE SUBMITTED TO THE WATER RESOURCES DEPARTMENT WITHIN 30 DAYS OF COMPLETION OF WORK

STATE OF OREGON
GEOTECHNICAL HOLE REPORT
 (as required by OAR 690-240-035)

(1) OWNER/PROJECT: Hole Number H34
 Name BLONDES INVESTMENTS
 Address PO Box 514
 City WEST LINN State OR Zip 97143

(2) TYPE OF WORK
 New Deepening Alteration (repair/recondition) Abandonment

(3) CONSTRUCTION:
 Rotary Air Hand Auger Hollow Stem Auger
 Rotary Mud Cable Tool Push Probe Other

(4) TYPE OF HOLE:
 Uncased Temporary Cased Permanent
 Uncased Permanent Slope Stability Other

(5) USE OF HOLE: GEOTECH

(6) BORE HOLE CONSTRUCTION:
 Special Construction approval Yes No Depth of Completed Hole 25 ft.

HOLE			SEAL			Sacks or pounds
Diameter	From	To	Material	From	To	
2'	0	25	BEST/CEMENT GROUT	25	0	19.1*/GAL

Backfill placed from 25 ft. to 0 ft. Material BEST/CEMENT GROUT
 Filter Pack placed from _____ ft. to _____ ft. Size of pack _____

(7) CASING/SCREEN:

Diameter	From	To	Gauge	Material			
				Steel	Plastic	Welded	Threaded
Casing:				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Screen:				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Slot size _____

(8) WELL TEST:
 Pump Bailer Air Flowing Artesian
 Permeability _____ Yield _____ GPM
 Conductivity _____ PH _____
 Temperature of water _____ °F/C Depth artesian flow found _____ ft.
 Was water analysis done? Yes No
 By whom? PTP
 Depth of strata analyzed. From _____ ft. to _____ ft.
 Remarks: _____

(9) LOCATION OF HOLE by legal description:
 County CLATSOP Latitude _____ Longitude _____
 Township 2 N or (S) Range 2 (E) or W. WM.
 Section 30 NE 1/4 SW 1/4
 Tax Lot 6103 Lot _____ Block _____ Subdivision _____
 Street Address of Well (or nearest address) _____

Map with location identified must be attached

(10) STATIC WATER LEVEL:
 _____ ft. below land surface Date _____
 Artesian pressure _____ lb. per square inch. Date _____

(11) SUBSURFACE LOG:
 Ground Elevation _____

Material Description	From	To	SWL
Silty sand	0	16	
SAND SILT	16	25	

Date Started 9/10/99 Date Completed 9/10/99

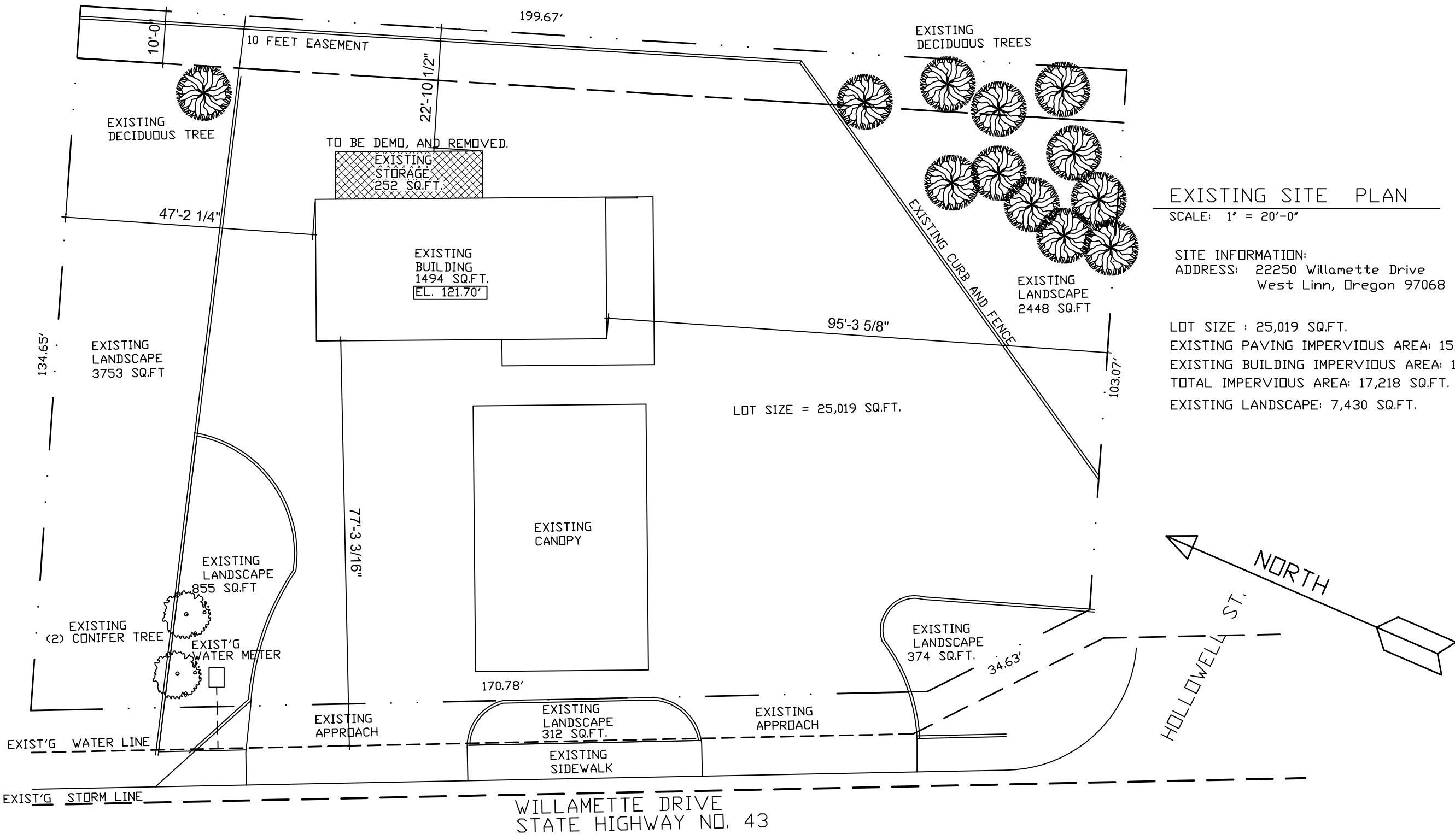
(12) ABANDONMENT LOG:

Material Description	From	To	Sacks or Pounds
BEST/CEMENT GROUT	25	0	19.1*/GAL

Date started 9/10/99 Date Completed 9/10/99

Professional Certification
 (to be signed by a licensed water supply or monitoring well constructor, or Oregon registered geologist or civil engineer).
 I accept responsibility for the construction, alteration, or abandonment work performed during the construction dates reported above. All work performed during this time is in compliance with Oregon's geotechnical hole construction standards. This report is true to the best of my knowledge and belief.
 License or Registration Number 10459
 Signed Walter C. New Date 9/29/99
 Affiliation WADSWORTH SOIL EXPLORATIONS

THIS REPORT MUST BE SUBMITTED TO THE WATER RESOURCES DEPARTMENT WITHIN 30 DAYS OF COMPLETION OF WORK



EXISTING SITE PLAN

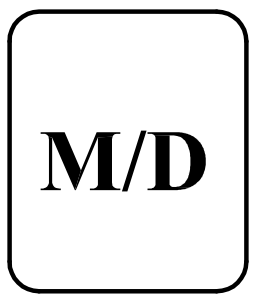
SCALE: 1" = 20'-0"

SITE INFORMATION:
 ADDRESS: 22250 Willamette Drive
 West Linn, Oregon 97068

LOT SIZE : 25,019 SQ.FT.
 EXISTING PAVING IMPERVIOUS AREA: 15,472 SQ.FT.
 EXISTING BUILDING IMPERVIOUS AREA: 1,746 SQ.FT.
 TOTAL IMPERVIOUS AREA: 17,218 SQ.FT.
 EXISTING LANDSCAPE: 7,430 SQ.FT.

DRAWING SCHEDULE

A1	EXISTING SITE PLAN
A2	PROPOSED SITE PLAN, GENERAL NOTES
A3	SITE PLAN WITH GRADES
A4	LANDSCAPE PLAN
A5	PROPOSED FLOOR PLAN
A6	ELEVATIONS
A7	ELEVATION, ADA DETAIL
A8	STORMWATER PLANTER DETAIL



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 P.O. BOX 1315
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 EMAIL: rgmontgomery@hotmail.com

West Linn WSCO
 22250 Willamette Drive
 West Linn, Oregon 97068

PROJECT #
0612
 DWG BY: JTC
 5/21/13

SHEET
A1



PROPOSED SITE PLAN

SCALE: 1" = 20'-0"

SITE INFORMATION:
ADDRESS: 22250 Willamette Drive
West Linn, Oregon 97068

LOT SIZE : 25,019 SQ.FT.
EXISTING LANDSCAPE: 1541 SQ.FT.
15% OF LANDSCAPE REQUIREMENT = 3753 SQ.FT.

NEW LANDSCAPE REQUIRED = 1,556 SQ.FT.
PROPOSED NEW LANDSCAPE = 4,135 SQ.FT.

TOTAL EXISTING IMPERVIOUS AREA = 17,026 SQ.FT.

NEW PAVING IMPERVIOUS AREA: 11,911 SQ.FT.
NEW BUILDING IMPERVIOUS AREA: 2,521 SQ.FT.
NEW TOTAL IMPERVIOUS AREA: 14,432 SQ.FT.

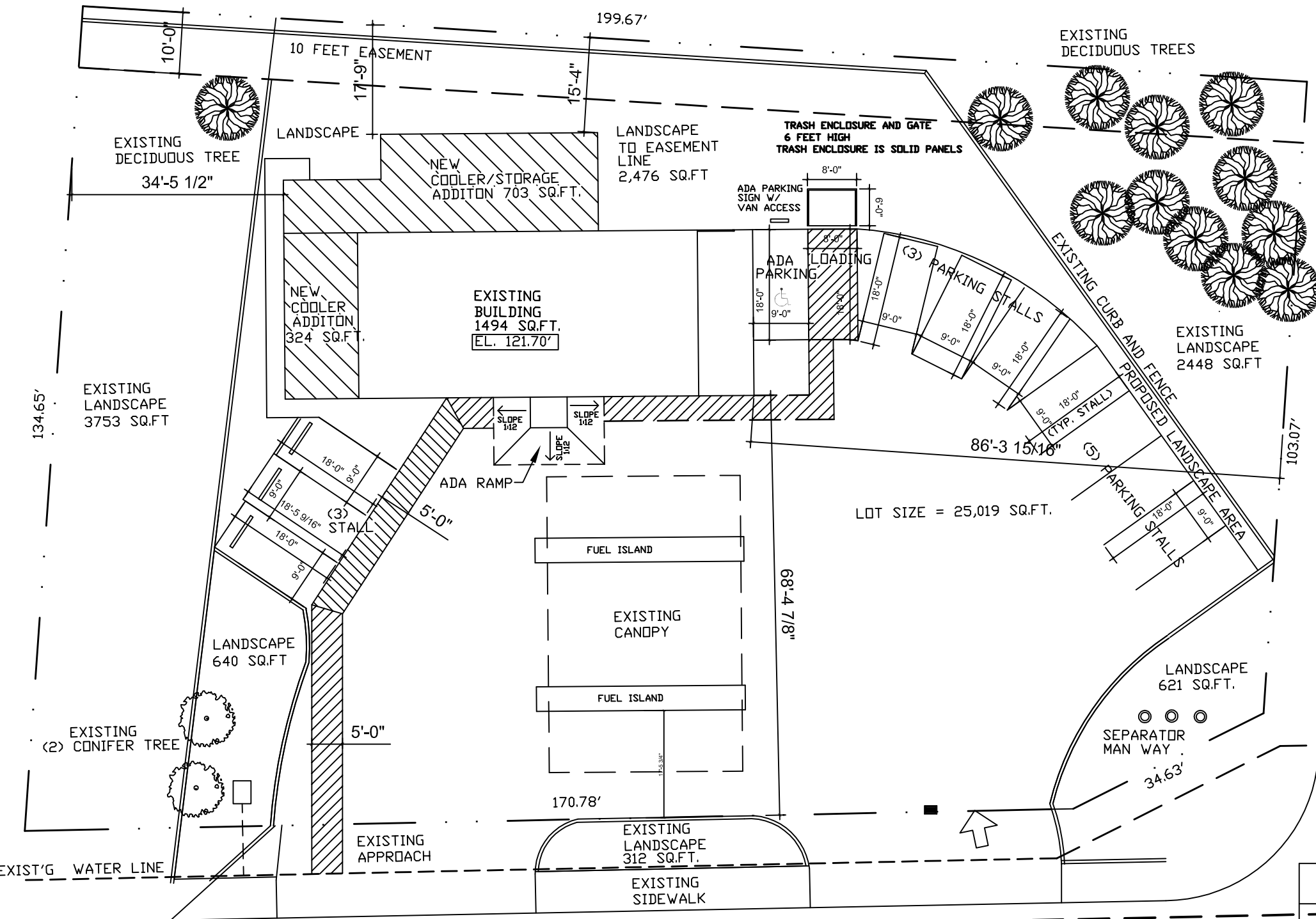
REDUCTION OF IMPERVIOUS AREA: 17,026 - 14,432 = 2,594

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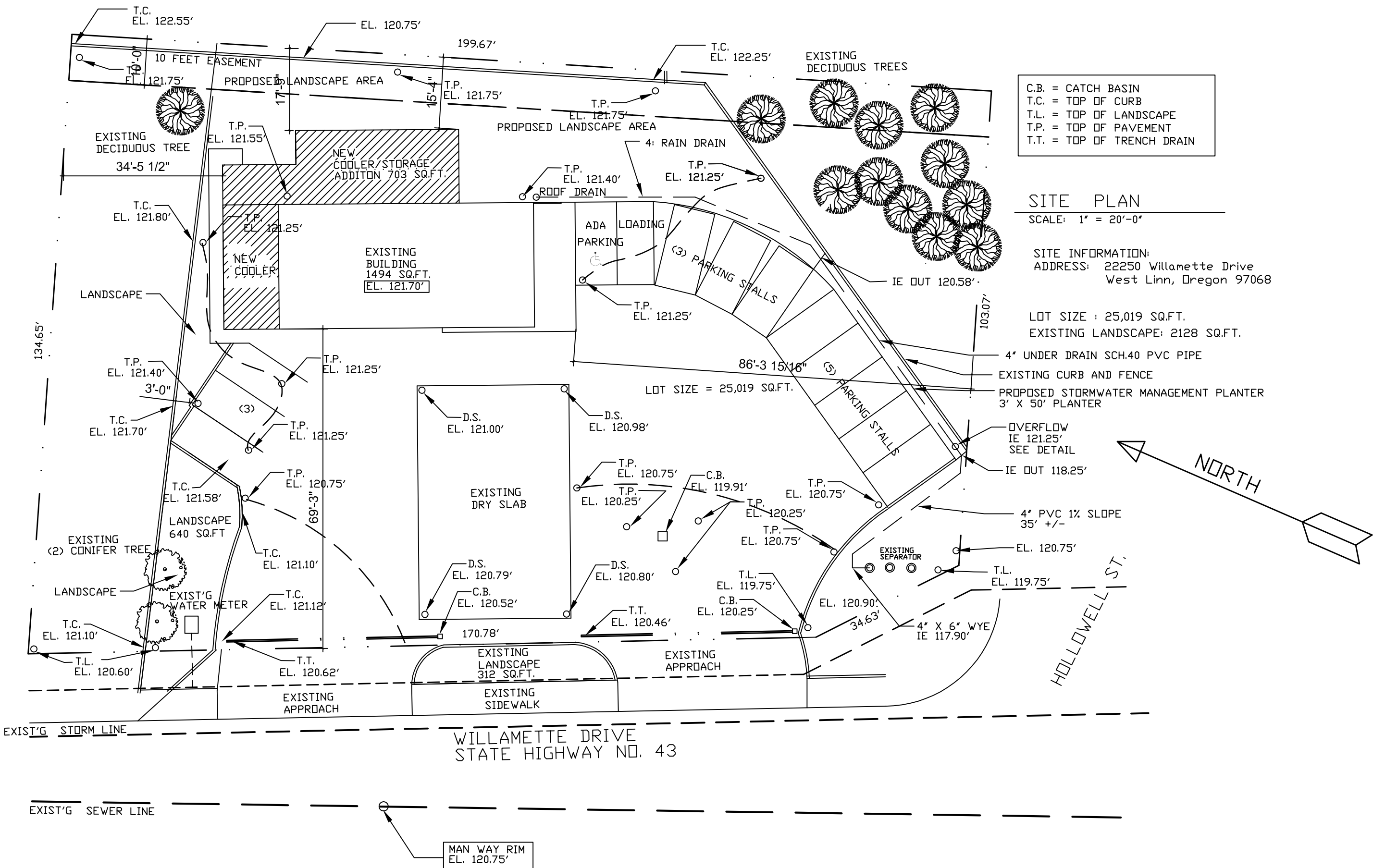
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5/21/13

SHEET
A2



- GENERAL NOTES:
1. ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF OSSC. CODE AND ANY APPLICABLE STATE, COUNTY OR LOCAL REGULATIONS.
 2. THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER/DOWNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
 3. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.
 4. ALL CONSTRUCTION, CARPENTRY AND FINISH WORK IS TO BE PERFORMED, CONSTRUCTED OR APPLIED IN A GOOD WORKMANLIKE MANNER.
 5. ALL NEW BUILDING MATERIALS TO BE OF STANDARD OR BETTER QUALITY FREE FROM DEFECTS.



C.B. = CATCH BASIN
 T.C. = TOP OF CURB
 T.L. = TOP OF LANDSCAPE
 T.P. = TOP OF PAVEMENT
 T.T. = TOP OF TRENCH DRAIN

SITE PLAN

SCALE: 1" = 20'-0"

SITE INFORMATION:
 ADDRESS: 22250 Willamette Drive
 West Linn, Oregon 97068

LOT SIZE : 25,019 SQ.FT.
 EXISTING LANDSCAPE: 2128 SQ.FT.

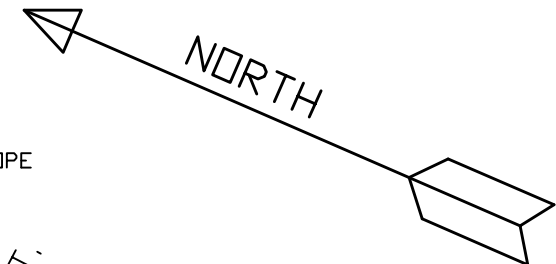
4" UNDER DRAIN SCH.40 PVC PIPE
 EXISTING CURB AND FENCE
 PROPOSED STORMWATER MANAGEMENT PLANTER
 3' X 50' PLANTER

OVERFLOW
 IE 121.25'
 SEE DETAIL
 IE OUT 118.25'

4" PVC 1% SLOPE
 35' +/-
 EL. 120.75'

T.L.
 EL. 119.75'
 C.B.
 EL. 120.25'

4" X 6" WYE
 IE 117.90'



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SHEET
A3

M/D

PROPOSED LANDSCAPE PLAN

SCALE: 1" = 20'-0"

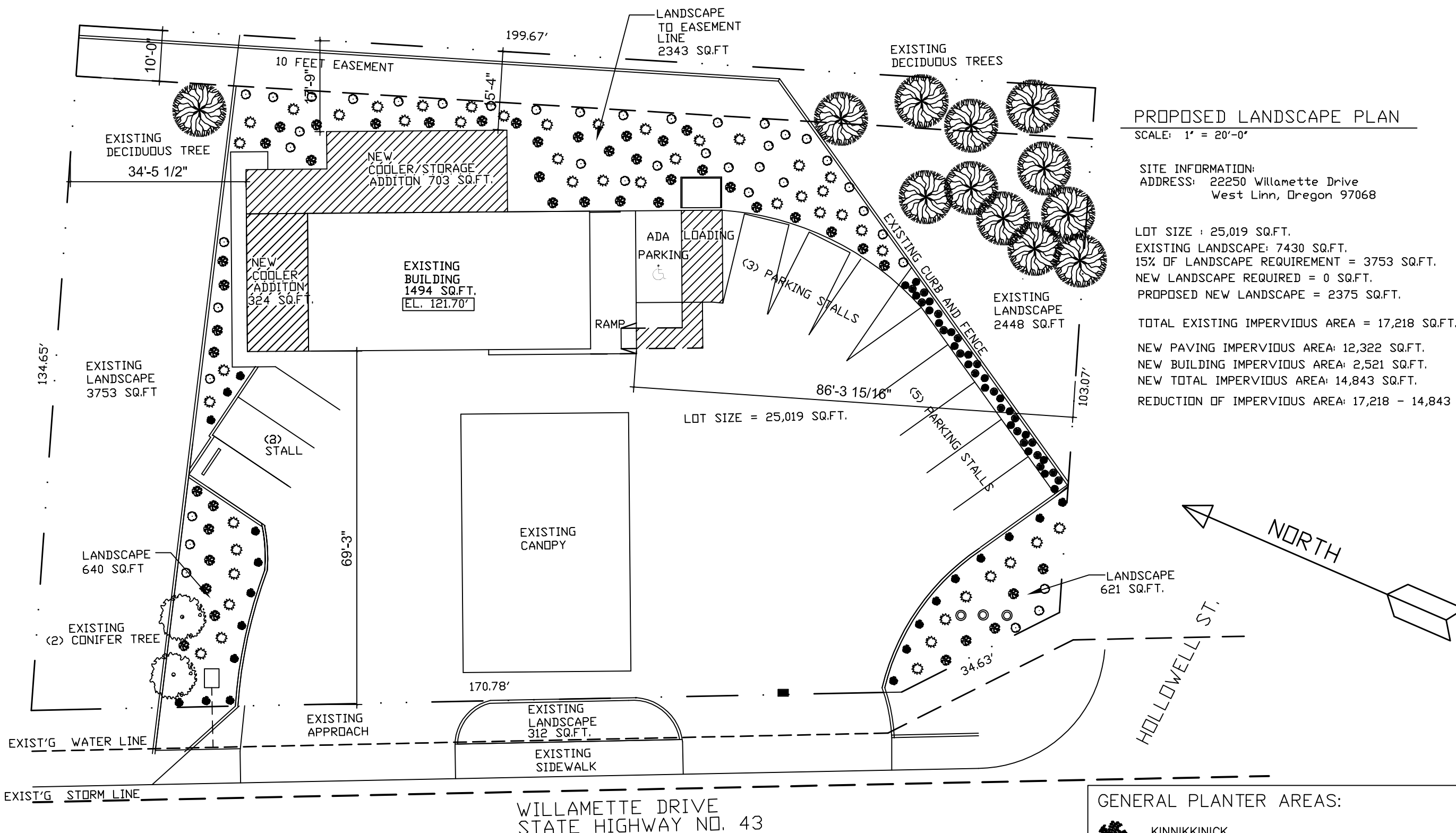
SITE INFORMATION:
 ADDRESS: 22250 Willamette Drive
 West Linn, Oregon 97068

LOT SIZE : 25,019 SQ.FT.
 EXISTING LANDSCAPE: 7430 SQ.FT.
 15% OF LANDSCAPE REQUIREMENT = 3753 SQ.FT.
 NEW LANDSCAPE REQUIRED = 0 SQ.FT.
 PROPOSED NEW LANDSCAPE = 2375 SQ.FT.



TOTAL EXISTING IMPERVIOUS AREA = 17,218 SQ.FT.

NEW PAVING IMPERVIOUS AREA: 12,322 SQ.FT.
 NEW BUILDING IMPERVIOUS AREA: 2,521 SQ.FT.
 NEW TOTAL IMPERVIOUS AREA: 14,843 SQ.FT.





REDUCTION OF IMPERVIOUS AREA: 17,218 - 14,843 = 2375 SQ.FT.



STORM WATER TREATMENT PLANTER:

	SLOUGH SEDGE CAREX OBNUPTA	1 - GALLON
	SLENDER RUSH JUNCUS TENUIS	1 - GALLON

GENERAL PLANTER AREAS:

	KINNIKINICK ARCHOSTAPHYLOS UVA LIRSI	1 - GALLON
	COAST STRAWBERRY FRAGARIA CHILOENSIS	4" POT
	SALAL GAULTHERIA SHALLON	4" POT
	CREEPING OREGON GRAPE MAHONIA REPENS	1 - GALLON

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SHEET
A4

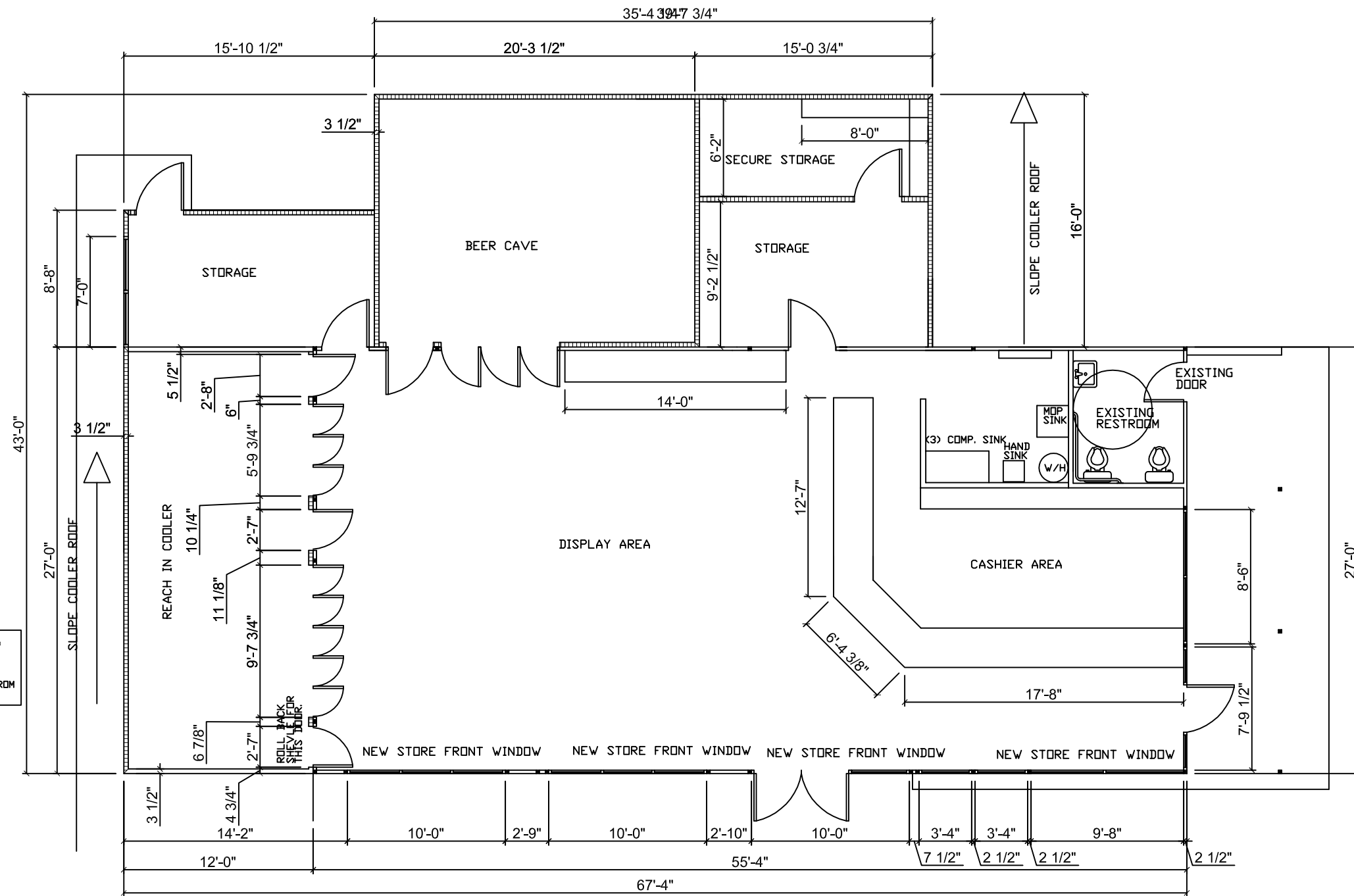


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A5



SOUTH/EAST ELEVATION GLAZING CALCULATION:
 ELEVATION = 27'-0" LNFT.
 ELEVATION = 27'-0" X 30% = 8.1'
 PROPOSED GLAZING = 16'-3.5' > 60% GLAZING

NORTH/WEST ELEVATION GLAZING CALCULATION:
 ELEVATION = 43'-0" LNFT.
 ELEVATION = 43'-0" X 30% = 12.9'
 PROPOSED GLAZING IS 7'-0" + 5.94' CREDIT FROM
 SOUTH/WEST WALL = 12.94' DF GLAZING.

EXISTING BUILDING SQ.FT. = 1494 SQ.FT.
 EXISTING COOLER SQ.FT. = 252 SQ.FT. TO BE REMOVED
 COOLER ADDITION SQ.FT. = 324 SQ.FT.
 BEER CAVE, DRY STORAGE ADDITION = 703 SQ. FT.
 TOTAL SQ.FT. = 2521 SQ.FT.

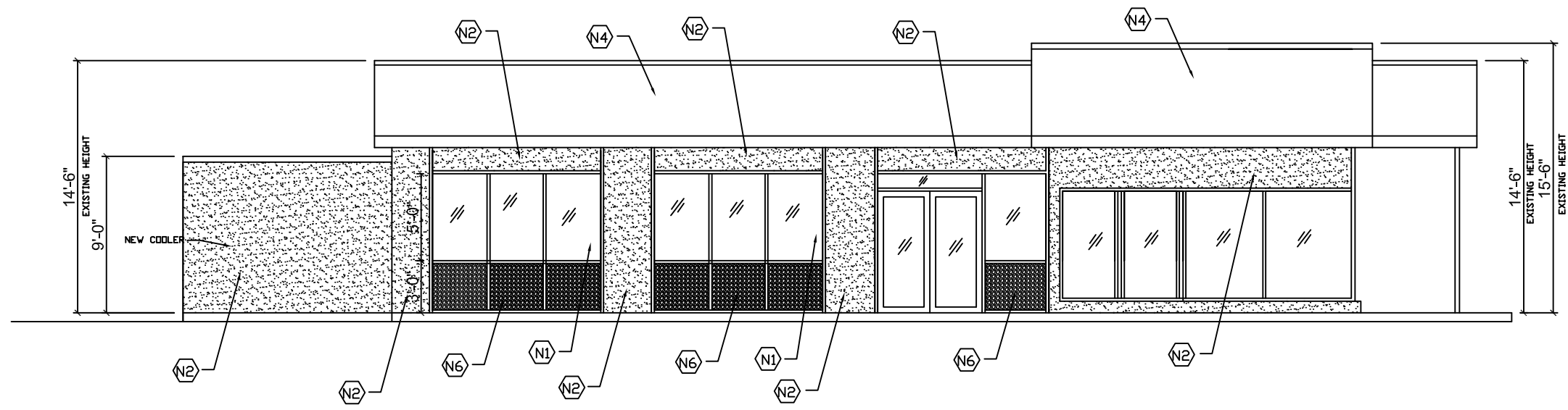
SOUTH/WEST ELEVATION GLAZING CALCULATION:
 ELEVATION = 67'-4" LNFT.
 ELEVATION = 67'-4" X 60% = 40.39'
 PROPOSED GLAZING = 46'-4" > 40.39'
 5.94' DF WINDOW TO BE CREDIT TO NORTH/WEST WALL.

WALL LEGEND

- EXISTING WALL
- 3-1/2" INSULATED COOLER WALLS

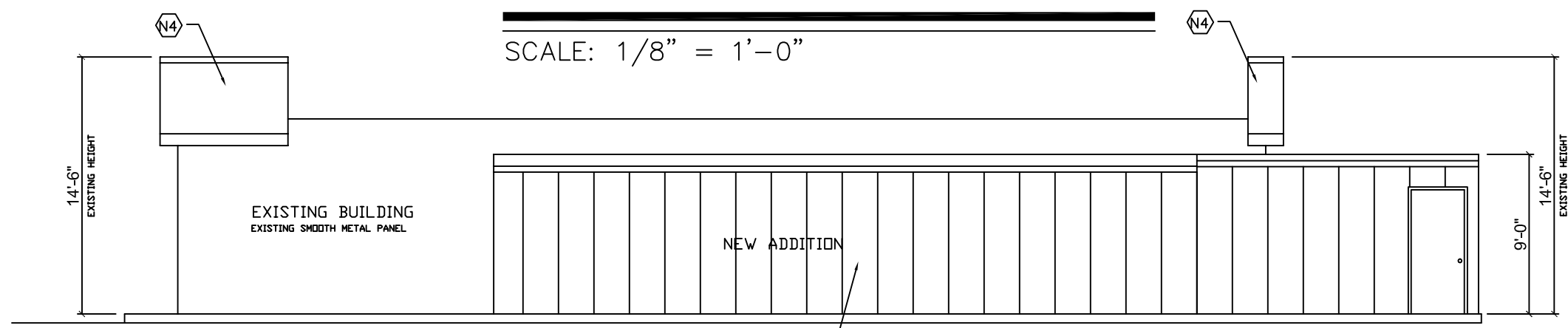
PROPOSED FLOOR PLAN

SCALE: 1/8" = 1'-0"



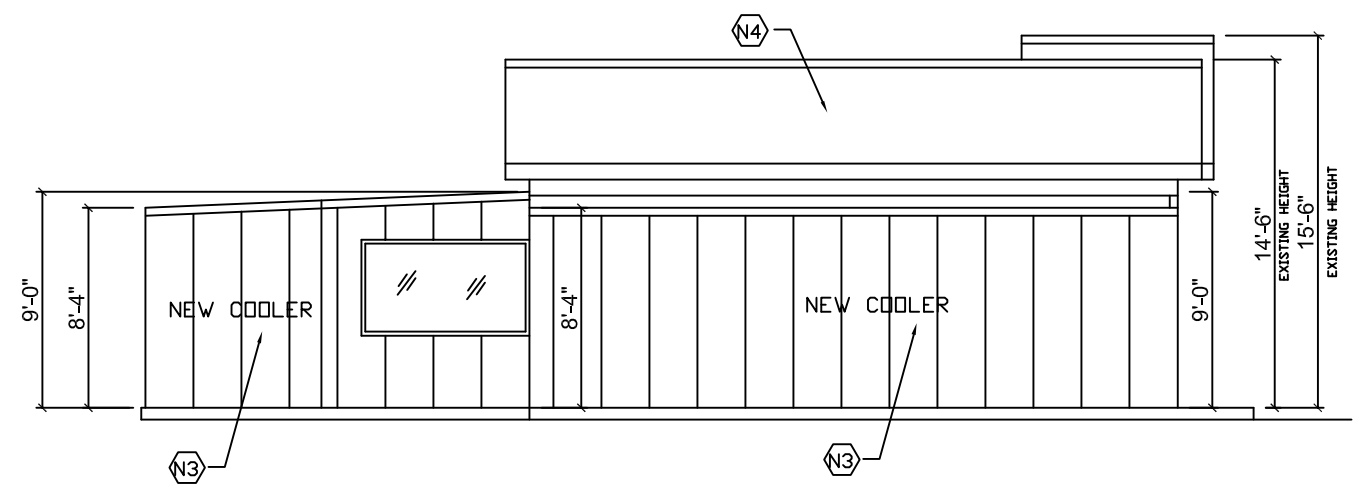
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



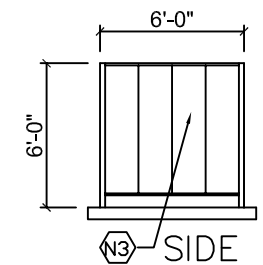
REAR ELEVATION

SCALE: 1/8" = 1'-0"

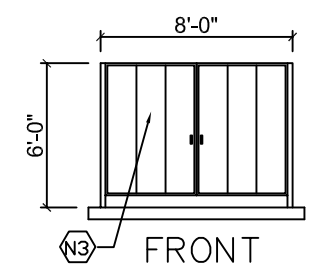


LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



SIDE



FRONT

TRASH ENCLOSURE ELEVATIONS

SCALE: 1/8" = 1'-0"

NOTES:

- N1 REPLACE GARAGE DOORS WITH STORE FRONT (DARK ANODIZED BROWN)
- N2 INSTALL SAND FLOAT FINISH STUCCO (SOUTHERN BREEZE BY PPG)
- N3 STIPPLED TEXTURE METAL (SOUTHERN BREEZE BY PPG)
- N4 SMOOTH METAL PANEL (SOUTHERN BREEZE BY PPG)
- N5 REPLACE STORE FRONT
- N6 TEXTURE PANELS (SOUTHERN BREEZE BY PPG)



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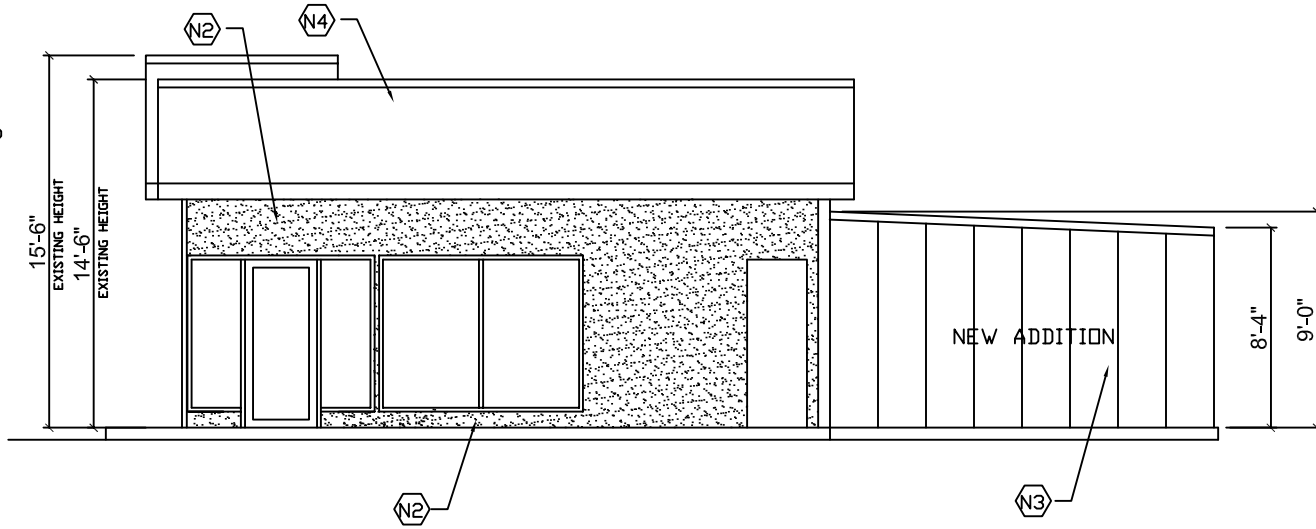
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SHEET
 A6

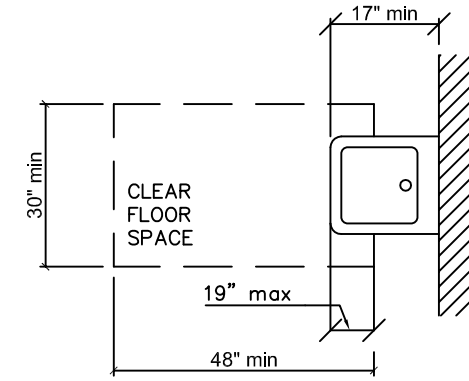
NOTES:

- N1 REPLACE GARAGE DOORS WITH STORE FRONT (DARK ANODIZED BROWN)
- N2 INSTALL SAND FLOAT FINISH STUCCO (SOUTHERN BREEZE BY PPG)
- N3 STIPPLED TEXTURE METAL (SOUTHERN BREEZE BY PPG)
- N4 SMOOTH METAL PANEL (SOUTHERN BREEZE BY PPG)
- N5 REPLACE STORE FRONT
- N6 TEXTURE PANELS (SOUTHERN BREEZE BY PPG)

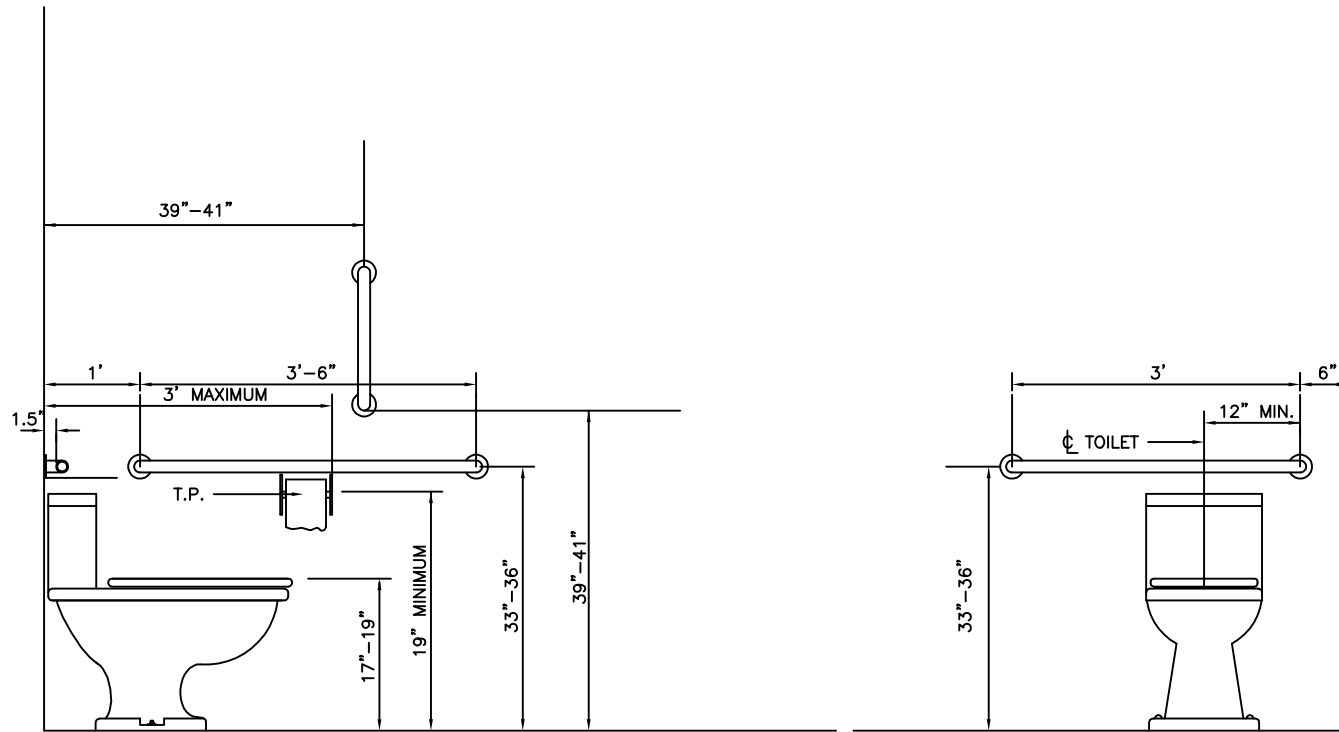


RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

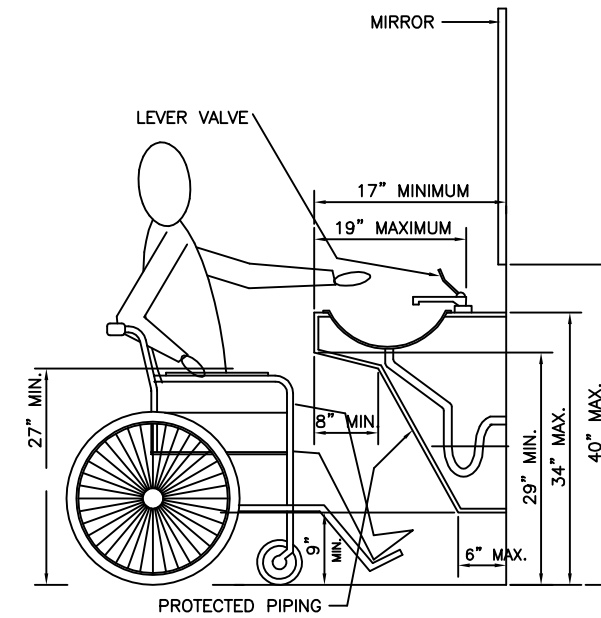


LAVATORY FLOOR CLEARANCE



SIDE WALL GRAB BAR.

END WALL GRAB BAR.



LAVATORY CLEARANCE

M/D

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 A7

M/D

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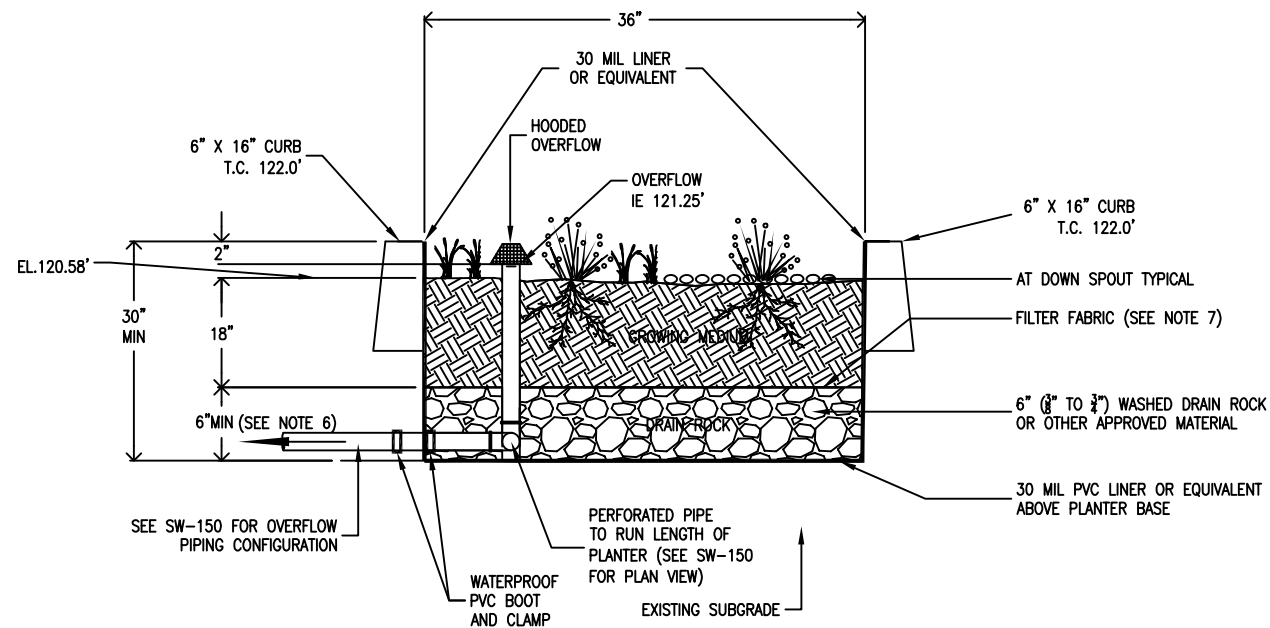
DWG BY: JTC

5/16/13

5/21/13

SHEET

A8



DRAWING NOT TO SCALE:

1. Provide protection from all vehicle traffic, equipment staging, and foot traffic in proposed infiltration areas prior to, during, and after construction.
2. Dimensions:
 - a. Width of flow-through planter: 3' minimum.
 - b. Depth of planter (from top of growing medium to overflow elevation). 6"
 - c. Slope of planter: 0.5% or less.
3. Setbacks (from centerline of facility):
 - a. Infiltration planters must be 10' from foundations and 5' from property lines.
 - b. Flow-through planters must be less than 30" in height above surrounding area if within 5 feet of property line.
4. Overflow:
 - a. Overflow required for Simplified Approach.
 - b. Inlet elevation must allow for 2" of freeboard, minimum.
 - c. Protect from debris and sediment with strainer or grate.
5. Piping: shall be ABS Sch.40, cast iron, or PVC Sch.40. 4" min. Piping must have 1% grade and follow the Uniform Plumbing Code.
6. Drain rock:
 - a. Size for flow-through planter: 3/4" washed
7. Separation between drain rock and growing medium: Use filter fabric (see SWMM Exhibit 2-4 Geotextile table) or a gravel lens (3/4 - 1/2 inch washed, crushed rock 2 to 3 inches deep).
8. Growing medium:
 - a. 18" minimum
 - b. See Appendix F.3 for specification or use sand/loam/compost 3-way mix.
9. Vegetation: Follow landscape plans otherwise refer to plant list in SWMM Appendix F. Minimum container size is 1 gallon.

of plantings per 100sf of facility area:
 - a. Zone A (wet) 115 herbaceous plants, OR
 - b. Zone A (wet) 100 herbaceous plants and 4 small shrubs.
10. Planter walls:
 - a. Material shall be stone, brick, concrete, wood, or other durable material (no chemically treated wood).
 - b. Concrete, brick, or stone walls shall be included on foundation plans.
11. Waterproof liner: Shall be 30 mil PVC or equivalent, for flow-through facilities.
12. Install washed pea gravel or river rock to transition from inlet or splash pad to growing medium.

STORMWATER PLANTER DETAIL