

Client

CITY OF WEST LINN
 22500 SALAMO ROAD
 WEST LINN, OR 97068



Project

WEST LINN POLICE DEPARTMENT
 1800 8TH AVENUE
 WEST LINN, OR 97068

LEGEND

- 01-00 KEYNOTE
- 2 GRIDLINE
- TYPICAL CONCRETE WALL W/ FURRING - SEE STRUCTURAL
- TYPICAL MASONRY UNIT WALL W/ FURRING - SEE STRUCTURAL
- TYPICAL CONCRETE MASONRY UNIT WALL W/FURRING - SEE STRUCTURAL
- TYPICAL INTERIOR WALL
- PLUMBING WALL, SEE P2/A1.0
- FLOOR DRAIN, SEE PLUMBING
- PIA WALL TYPE, SEE A1.0
- F/MAS FACE OF MASONRY
- F/CONC FACE OF CONCRETE
- DS DOWNSPOUT - SEE PLUMBING AND CIVIL
- FUTURE BASEMENT ALTERNATE
- FE FIRE EXTINGUISHER - SEE DETAIL ---
- CJ MASONRY CONTROL JOINT - SEE DETAIL ---

GENERAL NOTES

- A. SEE ELEVATIONS FOR EXTERIOR WINDOW TYPE DESIGNATION
- B. SEE FURNITURE AND EQUIPMENT PLANS FOR ADDITIONAL INFORMATION
- C. DIMENSIONS REFLECT FACE OF STUD / STRUCTURE UNLESS NOTED OTHERWISE
- D. WALL THICKNESSES ARE ACTUAL UNLESS NOTED OTHERWISE
- J. SEE SHEET A1.0 FOR WALL TYPE DEFINITION AND STANDARD DETAILS
- K. ELEVATION 100'-0" = 151.50 FINISH FLOOR ELEVATION MAIN FLOOR INDICATED IN CIVIL DRAWINGS
- M. SEE FINISH PLAN FOR CASEWORK AND FINISH RELATED INFORMATION
- P. CONTRACTOR SHALL VERIFY AND CONFIRM ALL DIMENSIONS AND LAYOUT INFORMATION, NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS
- Q. REFER TO ENLARGED PLANS WHERE INDICATED FOR ADDITIONAL INFORMATION. ENLARGED PLANS TAKE PRECEDENCE OVER PLANS OF SMALLER SCALE.
- S. DOORS NOT DIMENSIONED ARE TO BE LOCATED 4" FROM FACE OF WALL TO OUTSIDE EDGE OF JAMB, TYPICAL
- T. CONTRACTOR TO PROVIDE ADEQUATE GYPSUM BOARD CONTROL JOINTS AS REQUIRED THROUGHOUT ENTIRE BUILDING, INTERIOR AND EXTERIOR

KEY NOTES

- 00-02 LINE OF CANOPY ABOVE - SEE ROOF PLANS
- 00-03 PARTIAL HEIGHT WALL - SEE DETAIL 12/A1.1
- 03-23 CONCRETE RETAINING WALL - SEE STRUCTURAL
- 03-30 8" CONCRETE CURB, SEE DETAIL XXXX
- 05-01 STRUCTURAL STEEL FRAMING, PAINT P-x WHERE EXPOSED - SEE STRUCTURAL
- 05-09 VERTICAL ROOF ACCESS LADDER - SEE DETAIL ---
- 07-14 STANDING SEAM METAL ROOF ASSEMBLY
- 07-20 METAL SCUPPER, FINISH TO MATCH - SEE DETAIL ---
- 07-32 4 GALVANIZED STEEL DOWNSPOUT - COORDINATE CONNECTION WITH PLUMBING AND CIVIL
- 07-33 4 INTEGRAL GALVANIZED STEEL GUTTER W/ MIN. 1/8 PER FOOT SLOPE. COORDINATE CONNECTION W/ PLUMBING
- 08-21 INTERIOR WINDOW - SEE GLAZING SCHEDULE
- 10-06 RECESSED FIRE EXTINGUISHER CABINET - SEE ---
- 11-06 COPY MACHINES - COORDINATE EXACT ELECTRICAL PLACEMENT W/ OWNER PRIOR TO INSTALLATION, TYPICAL
- 11-07 REFRIGERATOR, CFCI
- 11-09 COOKTOP AND RANGE HOOD, CFCI - SEE MECHANICAL
- 11-11 DISHWASHER, CFCI
- 11-15 COMPACT SHELVING - CONTRACTOR TO COORDINATE W/ VENDOR AND PROVIDE 1/2 RECESSED SLAB FOR ROLLING SHELVING W/ 1/4 MAXIMUM CUMULATIVE SLOPE OVER 10'-0" WHERE SET IN CONCRETE. CONTRACTOR TO VERIFY RECESSED SLAB DIMENSIONS W/ VENDOR PRIOR TO CONSTRUCTION. FILL RECESSED BLOCKOUT W/ NON-SHRINK GROUT AND COORDINATE WITH VENDOR FOR FLUSH TRACK INSTALLATION. CONTRACTOR RESPONSIBLE FOR CORRECTING ANY TRACK ELEVATIONS EXCEEDING 1/8" ABOVE ADJACENT FINISH FLOOR AS REQUIRED BY ARCHITECT.
- 11-19 2'X2' PERSONAL LOCKERS
- 13-05 BULLET RESISTANT BAFTEL SYSTEM ASSEMBLY - SEE INTERIOR DETAIL XXXX
- 22-09 TRENCH DRAIN - SEE PLUMBING AND STRUCT
- 22-16 INTERNAL ROOF DRAIN ASSEMBLY W/ OVERFLOW DEVICE - SEE PLUMBING
- 22-24 SINK - SEE PLUMBING

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Revision Schedule	
Revision Delta	Issue Date

SHEET TITLE:
BASEMENT AND MAIN FLOOR PLANS

DRAWN BY: CPC/JRM

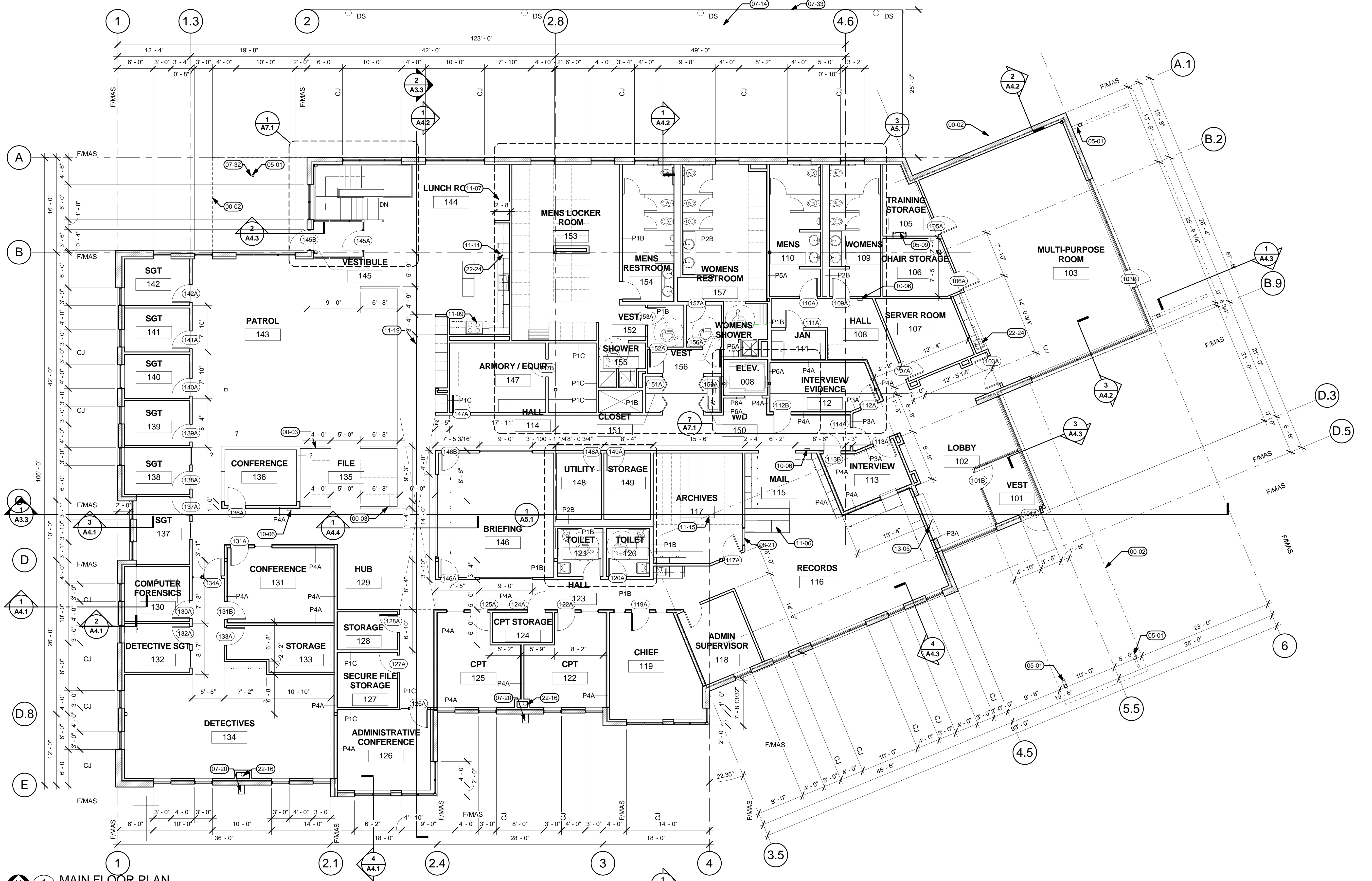
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SHEET

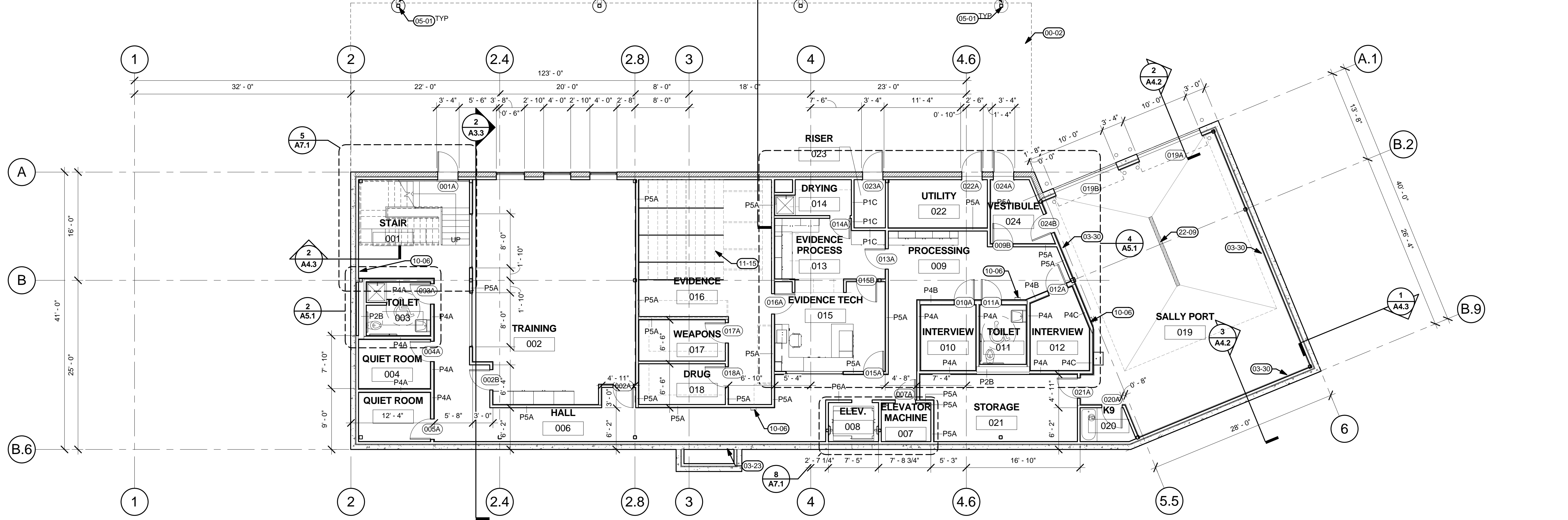
A2.1

JOB NO. 2120180.00

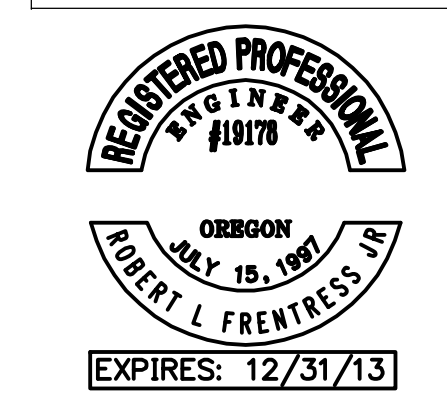
REVISED 02/07/2013
LAND-USE: 12/07/2013



1 MAIN FLOOR PLAN
 1/8" = 1'-0"



2 BASEMENT FLOOR PLAN
 1/8" = 1'-0"



REVISIONS:

REVISION	DATE	REVISION DELTA	REVISION DESCRIPTION

SHEET TITLE:
SITE PLAN

DRAWN BY: MH

CHECKED BY: RLF

SHEET

C21

JOB NO. 2120180.00

KEYNOTES

- PROPOSED CONCRETE VERTICAL CURB
- PROPOSED VERTICAL CURB AND GUTTER
- 4" WHITE PARKING STRIPE, 2 COATS TYP.
- PROPERTY LINE
- ADA COMPLIANT PARKING STALL
- ADA COMPLIANT CURB RAMP
- ADA 12:1 CURB RAMP
- ADA COMPLIANT PARKING SIGN WITH VAN-ACCESSIBLE SIGN W/ WHEEL CHAIR ONLY SIGN.
- CONSTRUCT PRIVATE SIDEWALK, SEE PLANS FOR WIDTH
- NOT USED
- LANDSCAPE AREA
- MATCH EXISTING CURB
- EDGE OF ASPHALT PAVEMENT
- GENERATOR PAD (REFER TO ARCHITECTURAL PLANS)
- CONCRETE DRIVEWAY
- CANOPY SUPPORT (REFER TO ARCHITECTURAL PLANS)
- CURB BREAK
- TAPER CURB
- CONSTRUCT 6' PUBLIC SIDEWALK (MATCH EXISTING). NOTE: SIDEWALK WIDTHS VARIABLE ON SITE, REFER TO PLANS
- 33" WALNUT TREE TO REMAIN
- 8' HIGH DOUBLE-LEAF BLACK VINYL CHAIN LINK ACCESS GATE W/ BLACK SLATS.
- NOT USED
- CONCRETE STAIR ON GRADE
- PRECAST CONCRETE CURB STOP
- STORMWATER DETENTION POND.
- ADA COMPLIANT PARKING SIGN
- MODULAR BLOCK (SEE 14/CB.1) WITH BLACK VINYL-COATED 4' CHAIN LINK FENCE
- BLACK VINYL-COATED 4' CHAIN LINK FENCE
- 6' PERSONNEL GATE (REFER TO ARCHITECTURAL PLANS)
- 8' CHAIN-LINK BLACK VINYL ROLLING ACCESS GATE W/ SLATS
- MATCH EXISTING CONCRETE WALK
- EXISTING LIGHT POLE AND LUMINAIRE TO BE REMOVED
- AREA DRAIN.
- DOWN SPOUT
- 18" WIDE 5" THICK CONCRETE STRIP FOR ROLLING GATE
- 4" WIDE STRIPE AT 2' O.C. FOR TURNAROUND
- LITTER RECEPTACLE
- CONCRETE SITE RETAINING WALL W/ 6' COMPOSITE SLAT FENCE
- CMU SITE WALL WITH BRICK ACCENT
- NOT USED
- NOT USED
- TRASH ENCLOSURE W/ MIN. 4" CONCRETE FLOOR PAD (SEE ARCH.)
- EIGHT BICYCLE SPACES (TOTAL)
- NOT USED
- DRIP LINE OF WALNUT TREE
- ADA RAMP
- FDC
- FIRE VAULT
- WATER METER
- END OF SIDEWALK SIGN
- FIRE TRUCK TURNING RADIUS
- EXTRUDED CURB
- MODULAR BLOCK WALL
- NOT USED
- REMAINING BICYCLE SPACES IN BLDG.
- 3'x3' CONCRETE PAD FOR FUTURE CAR CHARGING STATION
- INSTALL LOOP FOR GATE ACTIVATION, PAINT 4" WIDE WHITE STRIPE AROUND DETECTOR OUTLINE
- CARD READER BOX
- WATER QUALITY LID BASIN
- AUTOMATIC GATE CONTROLLER
- 2'x2' CONCRETE PAD TO ACCOMMODATE GATE CANE BOLT

SITE LEGEND

- SITE WALL, CMU WITH BRICK ACCENT
- SITE CONCRETE RETAINING WALL
- MODULAR BLOCK RETAINING WALL
- EXISTING PROPERTY LINE
- 6" VERTICAL CURB PER DETAIL 2/CB.1
- "NO PARKING" GRAY WITH WHITE LETTERING
- CATCH BASIN PER DETAIL 17/CB.1
- FIRE HYDRANT
- WATER METER
- DDCV
- FDC
- STANDARD COMPACT PARKING STALL
- FUEL EFFICIENT AND LOW EMISSION VEHICLES PARKING STALL
- ASPHALT CONCRETE PAVEMENT PER GEOTECHNICAL RECOMMENDATIONS
- RAIN GARDEN TO TREAT STREET WATER
- PROPOSED CONCRETE

LEGAL DESCRIPTION

- 21E35C 02200
- 21E35C 02100
- 21E35C 02000
- 21E35C 01900

TOTAL SITE PARKING

BUILDING AREA	20,024 SF		
PROPOSED STANDARD	46 SPACES	(74%)	
PROPOSED COMPACT	14 SPACES	(22%)	
PROPOSED HANDICAP	3 SPACES	(4%)	
TOTAL PARKING PROVIDED	63 SPACES	(3.15/1,000 SF)	
REQUIRED MIN. PARKING	58 SPACES		
REQUIRED MAX. PARKING	64 SPACES		
PARKING AREA	23,077 SF		
PARKING LANDSCAPE AREA	3,607 SF	(15.6%)	
BICYCLE SPACES REQ'D	33 SPACES		
BICYCLE SPACES PROVIDED	33 SPACES		

SITE INFORMATION

NET SITE AREA	68,497 SF	(1.57 AC) (100%)
R-10 LOT AREA	27,490 SF	(0.63 AC) (40.1%)
MU-CBD LOT AREA	41,007 SF	(0.94 AC) (59.9%)
R-10 BLDG FLOOR AREA	9,218 SF	(0.35 AC)
MU-CBD BLDG FLOOR AREA	10,806 SF	(0.15 AC)
GROSS FLOOR AREA	20,024 SF	(0.50 AC)

NET SITE AREA	68,497 SF	(100%)
BUILDING FOOT PRINT (R-10)	7,381 SF	(11.1%)
BUILDING FOOT PRINT (MU-CBD)	6,998 SF	(11.7%)
PARKING/SIDEWALK	33,236 SF	(47.5%)
LANDSCAPING	20,882 SF	(29.7%)

