

FINAL  
APPROVAL 12/11/12  
PS.



**PLANNING AND DEVELOPMENT**

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**STAFF REPORT**

**PLANNING DIRECTOR DECISION**

DATE: December 5, 2012

FILE NO.: MISC-12-17

REQUEST: Request for Expansion/Alteration of a Non-Conforming Structure (deck) at  
2337 Taylor Drive

PLANNER: Peter Spir, Associate Planner

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## **SPECIFIC DATA**

**OWNER/  
APPLICANT:** Richard Hunter

**SITE LOCATION:** 2337 Taylor Drive, West Linn, OR 97068

**SITE SIZE:** 8,160 square feet

**LEGAL  
DESCRIPTION:** Assessor's Map 2 1E 35 BD Tax Lot 4700

**COMP PLAN  
DESIGNATION:** Low-Density Residential

**ZONING:** R-7, Single-Family Residential Detached (7,000 square foot minimum lot size)

**APPROVAL  
CRITERIA:** Community Development Code (CDC) Chapter 66, Non-conforming Structures

**ADDITIONAL  
APPLICABLE  
CHAPTERS:** CDC Chapter 12, Single-Family Residential Detached, R-7; Chapter 38, Additional yard area required; exceptions to yard requirements; storage in yards; projections into yards

**120-DAY RULE:** The application was deemed complete on November 15, 2012. The 120-day period therefore ends on March 15, 2013.

**PUBLIC NOTICE:** Notice was mailed to property owners within 100 feet of the subject property and all neighborhood associations on November 20, 2012. The notice was also posted on the City's website. Therefore, public notice requirements of CDC Chapter 99 have been met.

## **BACKGROUND**

The subject property is an R-7 (single family residential-7,000 square foot minimum lot size) zoned parcel in the Willamette neighborhood. The property is occupied by a single family home.

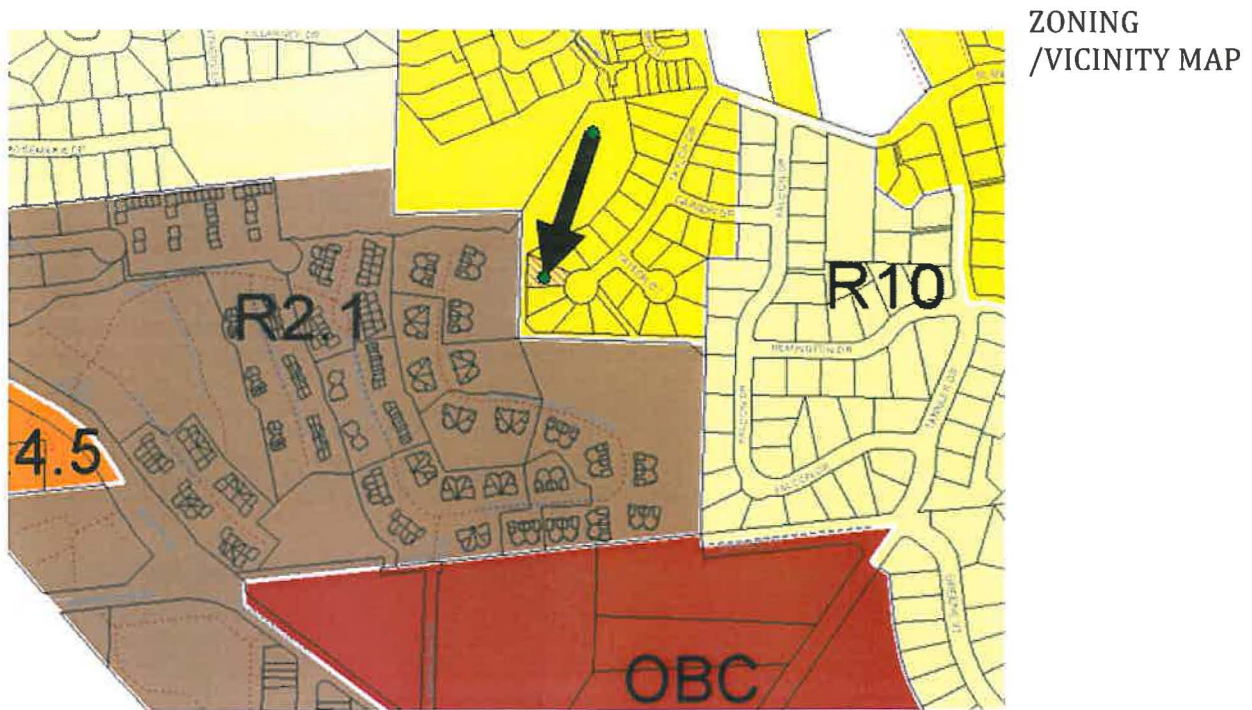


Figure 1

Table 1

DIRECTION FROM SITE	LAND USE	ZONING
North	Vacant lot	R-7
East	Public right of way/Cul-de-sac	R-7
South	Vacant lot	R-7
West	Madison Heights Condominium project, 150 feet west and 70 feet below applicant's property	R-2.1

The house was built, circa 1999, with a deck at the rear that stands 25-30 feet above grade. The deck has been in this location for 13 years at no apparent detriment to the adjoining properties or neighborhood. The nearest housing west of the deck is 150 feet away in the Madison Heights Condominiums which are also 75 feet in elevation below the applicant's property and separated by a year round buffer of mature coniferous trees. The residential lots to the north and south are unoccupied.





Figure 2



Figure 3

According to the applicant, the deck's angled columns were either not properly engineered or constructed to support the deck load. Consequently, the deck beams, which extend back into the house, are causing uplifts of the living room floor when people are standing on the deck.

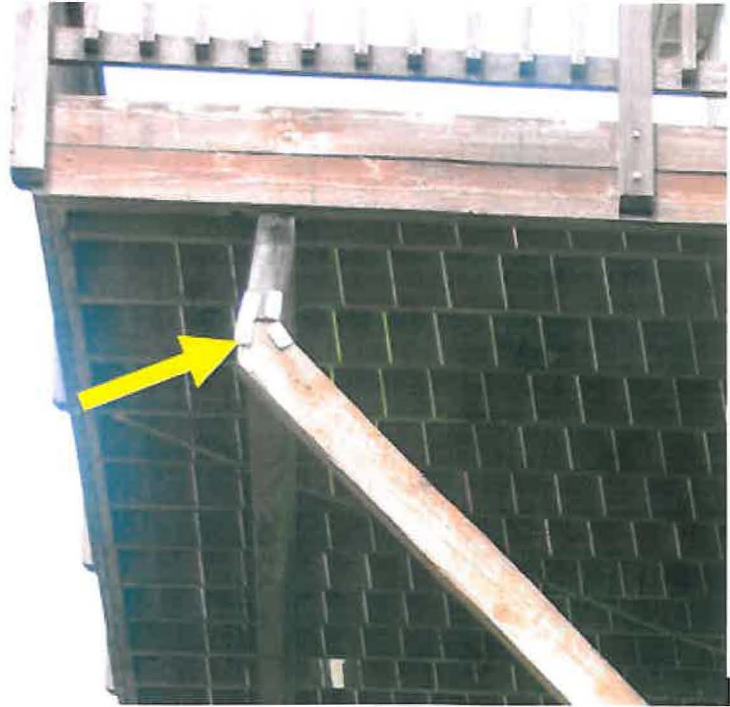


Figure 4 (L) and Figure 5 (R)



Figure 6



The applicant wants to rebuild the deck so that:

- 1) it is structurally sound, with particular attention paid to the angled columns
- 2) it does not cause uplifts of the flooring in the house
- 3) dry rotted sections of decking are removed and replaced

To accomplish that, the applicant has submitted an engineered and stamped set of plans to the Building Department for plan review.

For the Planning Department, there is the concern, relative to the CDC: the deck is within the 20-foot rear yard setback and is above a 20-foot wide sanitary sewer easement. No decks over 30-inches high are allowed in the rear setback and no structures (with exceptions) are allowed to be built on or over easements. For these reasons the deck is classified as a Non-Conforming Structure. In order for the deck to be repaired, a CDC Chapter 66 permit must be obtained to allow continued encroachment into the rear setback.

#### **PUBLIC COMMENTS**

Staff has received no public comments as of December 5, 2012

#### **DECISION**

Based on findings contained in the applicant's submittal in the City record and the staff findings, there are sufficient grounds to **approve** this application (MIS-12-17) subject to the following condition of approval:

1. The final deck shall conform to the plans approved by the Building Department.

I declare to have no interest in the outcome of this decision due to some past or present involvement with the applicant, the subject property, or surrounding properties, and therefore, can render an impartial decision. The provisions of the Community Development Code Chapter 99 have been met.

  
\_\_\_\_\_  
JOHN SONNEN, Planning Director

  
\_\_\_\_\_  
DATE

Appeals to this decision must be filed with the West Linn Planning Department within 14 days of mailing date. Cost is \$400. The appeal must be filed by an individual who has established standing by submitting comments prior to, or on, December 19, 2012.

Approval will lapse 3 years from effective approval date.

Mailed this 11 day of DECEMBER, 2012.

Therefore, the 14-day appeal period ends at 5 p.m., on

DECEMBER 25, 2012

p:/devrvw/projects folder/projects 2012/MIS-12-07/staff report taylor deck

## **ADDENDUM**

### **APPROVAL CRITERIA AND STAFF DETERMINATION**

#### **MISC-12-17**

Staff recommends adoption of the findings for approval contained within the applicant's submittal, with the following additions:

The following standards of the R-7 zone (Chapter 12) apply:

#### **12.070 DIMENSIONAL REQUIREMENTS, USES PERMITTED OUTRIGHT AND USES PERMITTED UNDER PRESCRIBED CONDITIONS**

**E. The minimum yard dimensions or minimum building setback areas from the lot line shall be:**

- 1. For the front yard, 20 feet, except for steeply sloped lots where the provisions of CDC 41.010 shall apply.**
- 2. For an interior side yard, seven and one-half feet.**
- 3. For a side yard abutting a street, 15 feet.**
- 4. For a rear yard, 20 feet.**

**F. The maximum building height shall be 35 feet, except for steeply sloped lots in which case the provisions of CDC 41.010 shall apply.**

**G. The maximum lot coverage shall be 35 percent.**

**H. The minimum width of an accessway to a lot which does not abut a street or a flag lot shall be 15 feet.**

**I. The floor area ratio shall be 0.45. Type I and II lands shall not be counted toward lot area when determining allowable floor area ratio, except that a minimum floor area ratio of 0.30 shall be allowed regardless of the classification of lands within the property. That 30 percent shall be based upon the entire property including Type I and II lands. Existing residences in excess of this standard may be replaced to their prior dimensions when damaged without the requirement that the homeowner obtain a non-conforming structures permit under Chapter 66 CDC.**

**J. The sidewall provisions of Chapter 43 CDC shall apply.**



**Staff Response:**

*Staff has determined that all setback, height, dimensional and lot coverage provisions of this chapter are met with this deck except Subsection 12.070(E) (4) which requires a 20-foot rear yard setback in the R-7 zone. The deck intrudes to within five feet of the rear lot line which violates the required rear setback. Whereas a variance would be an appropriate solution if the applicant wanted to build a brand new deck in the rear setback, the applicant has the recourse of applying for a permit under Chapter 66 since this is a non-conforming (deck) structure. Therefore, by applying for and obtaining approval for the nonconforming deck under Chapter 66, the applicant is able to address the rear setback standards of section 12.070(E) (4).*

*In practical terms, the encroachment of the deck into the setback has no impact on any neighboring properties (see figures 2 and 3). The residential lots to the north and south have not been built upon while the Madison Heights Condominiums lie 150 feet to the west and are 75 feet in elevation below the applicant's property. In addition, there is a buffer of mature coniferous trees between the condominiums and the applicant's property which renders the deck invisible from that direction.*

*Staff notes that the deck has been in existence since 1999 at no known prejudice or harm to nearby properties or the neighborhood.*



Figure 7

Staff has also determined that there is a sanitary sewer easement across the rear of the property on a north to south axis.

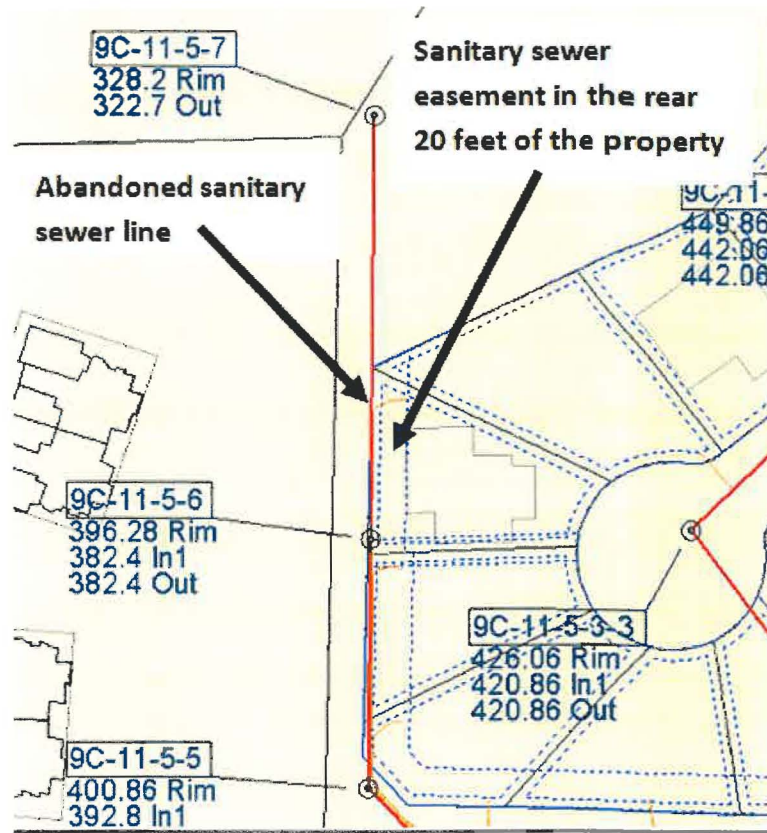


Figure 8

To address the issue of encroachment of the deck into the sanitary sewer utility easement there are two solutions. One is to vacate the easement. But based on discussions with the Engineering Department, staff found that it was unlikely that it would be vacated since a functional sewer line, albeit abandoned, exists in that easement. The second solution is to have the deck's angled columns at least 12 feet above grade per 38.060(A):

*"An open deck may extend into an existing utility easement, provided a minimum vertical clearance of 12 feet is maintained between the lowest point of the deck and the ground, and that no posts are installed within the easement. No other structures shall be allowed."*

Staff has reviewed the applicant's construction drawings which show the angled deck support columns connecting to the rear house wall at over 12 feet above grade. So long as the repairs are consistent with the construction drawings then the utility easement issue will have been satisfactorily addressed and 38.060(A) is met.

**66.080 ENLARGEMENT OF OR ALTERATION TO A NON-CONFORMING STRUCTURE:  
PROCESS AND APPROVAL STANDARDS**

**An enlargement or alteration to a non-conforming structure containing a conforming use may be permitted subject to the following:**

**(B)(1). If the enlargement, in and of itself, meets all provisions of this code, the enlargement will be permitted. This exception does not preclude design review or other applicable provisions of this code.**

**Staff Response:** *With this chapter, the applicant is given the option of meeting subsections (B) (1) or (B) (2). (B)(1) cannot be used since the proposed enlargement/alteration does not meet all the provisions of this code; specifically, it will not meet the rear 20-foot setback. Therefore the applicant must rely upon the criterion of (B) (2).*

**(B)(2). If the enlargement, in and of itself, does not meet all provisions of the code, review and approval by the Planning Director for single-family structures, and by the Planning Commission for non-single-family structures under the provisions of CDC 99.060 (B) is required subject to the following standards.**

- a. The enlargement or alteration will not change the non-conformity; and**
- b. All other applicable ordinance provisions will be met. (Ord. 1192, 1987)**

**Staff Response:** *This is not an enlargement of the deck. Instead, it is a "replacement in kind" project which will replace dry rotted decking and poorly engineered deck supports. There will be no increase or further expansion of the deck into the rear yard setback. Consequently, the non-conformity will not change. That satisfies subsection (B) (2) (a).*

*Regarding the requirement of (B)(2)(b) that "all other applicable provisions are met" staff has already determined and discussed the fact that (a) all applicable provisions of the underlying R-7 zone are satisfied with the exception of the rear setback which is being addressed through this application; and, (b) the encroachment over the utility easement is allowed thanks to 12 feet or more of vertical clearance. Thus, (B)(2)(b) is met.*

# EXHIBITS

PD-1	COMPLETENESS LETTER.....	13
PD-2	AFFADAVIT OF NOTICE.....	14
PD-3	NOTICE MAILING PACKET.....	15-17
PD-4	APPLICANT'S SUBMITTAL.....	19-22





# West Linn

November 15, 2012

Richard Hunter  
2337 Taylor Drive  
West Linn, OR 97068

SUBJECT: MIS-12-17

Dear Mr. Hunter:

Staff has determined that your application is **complete**. The City has 120 days to exhaust all local review. Per ORS 227.178, that 120 day period will lapse March 15, 2013. Having said that, staff expects that the application will be noticed and a Planning Director decision rendered by December 5, 2012.

You will have a greater sense of the intended decision date when you receive the notice.

Please feel free to contact me at 503-723-2539, or by email at [pspir@westlinnoregon.gov](mailto:pspir@westlinnoregon.gov) if you have questions or comments regarding this application.

Best Regards,

*Peter Spir*

Peter Spir  
Associate Planner

P: development review\projects folder\projects 2012\MIS-12-17 taylor deck completeness

**AFFIDAVIT OF NOTICE**

We, the undersigned do hereby certify that, in the interest of the party (parties) initiating a proposed land use, the following took place on the dates indicated below:

**GENERAL**

File No. M151-12-17 Applicant's Name Richard Hunter  
Development Name \_\_\_\_\_  
Scheduled Meeting/Decision Date Dec. 4, 2012

**NOTICE:** Notices were sent at least 20 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check below)

**TYPE A**

- A. The applicant (date) \_\_\_\_\_ (signed) \_\_\_\_\_
- B. Affected property owners (date) \_\_\_\_\_ (signed) \_\_\_\_\_
- C. School District/ Board (date) \_\_\_\_\_ (signed) \_\_\_\_\_
- D. Other affected gov't. agencies (date) \_\_\_\_\_ (signed) \_\_\_\_\_
- E. Affected neighborhood assns. (date) \_\_\_\_\_ (signed) \_\_\_\_\_
- F. All parties to an appeal or review (date) \_\_\_\_\_ (signed) \_\_\_\_\_

At least 10 days prior to the scheduled hearing or meeting, notice was published/posted:

Tidings (published date) \_\_\_\_\_ (signed) \_\_\_\_\_  
City's website (posted date) \_\_\_\_\_ (signed) \_\_\_\_\_

**SIGN**

At least 10 days prior to the scheduled hearing, meeting or decision date, a sign was posted on the property per Section 99.080 of the Community Development Code.

(date) \_\_\_\_\_ (signed) \_\_\_\_\_

**NOTICE:** Notices were sent at least 14 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check below)

**TYPE B** ✓

- A. The applicant (date) 11-20-12 (signed) S. Shroyer
- B. Affected property owners (date) 11-20-12 (signed) S. Shroyer
- C. School District/ Board (date) \_\_\_\_\_ (signed) \_\_\_\_\_
- D. Other affected gov't. agencies (date) \_\_\_\_\_ (signed) \_\_\_\_\_
- E. Affected neighborhood assns. (date) 11-20-12 (signed) S. Shroyer  
ALL

Notice was posted on the City's website at least 10 days prior to the scheduled hearing or meeting.

Date: 11-20-12 (signed) S. Shroyer

**STAFF REPORT** mailed to applicant, City Council/Planning Commission and any other applicable parties 10 days prior to the scheduled hearing.

(date) \_\_\_\_\_ (signed) \_\_\_\_\_

**FINAL DECISION** notice mailed to applicant, all other parties with standing, and, if zone change, the County surveyor's office.

(date) 12-11-12 (signed) S. Shroyer

**CITY OF WEST LINN  
PLANNING DIRECTOR DECISION  
FILE NO. MISC-12-17**

The West Linn Planning Director is considering a request by Richard Hunter for the repair of a non-conforming structure at 2337 Taylor Drive. The non-conforming structure is an existing deck at the rear of the house which encroaches into the 20 foot rear yard setback and extends over a sanitary sewer utility easement. The applicant would like to replace dry rotted decking and replace angled columns which support the deck. The deck will not be increased in size beyond its current dimensions.

The decision will be based on the approval criteria in Chapter 66 of the Community Development Code (CDC). The approval criteria from the CDC are available for review at City Hall, at the City Library, and at <http://www.westlinnoregon.gov.cdc>.

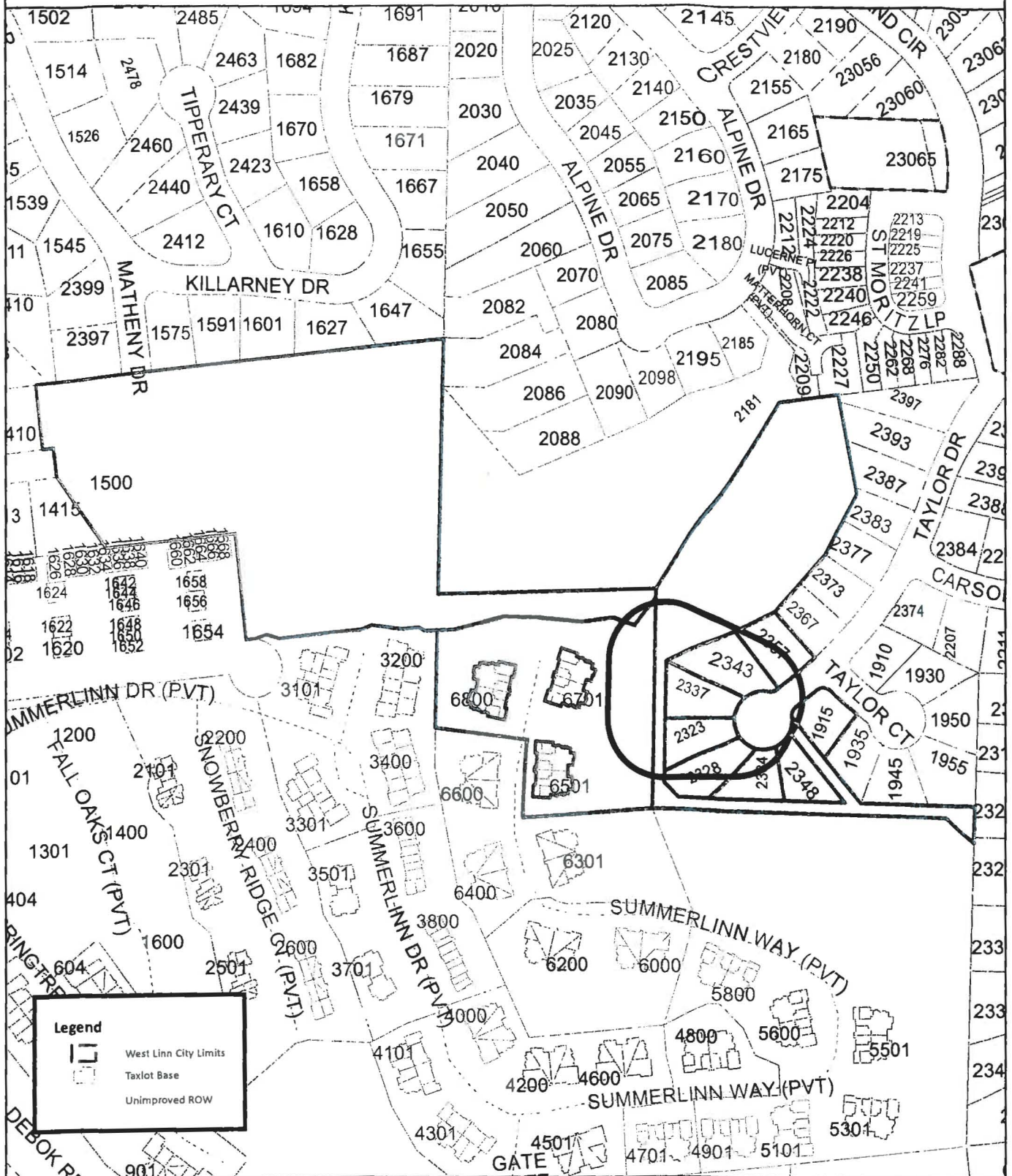
You have received this notice because County records indicate that you own property within 100 feet of this property (tax lots 4700 of Clackamas County Assessor's Map 2-1E-35BD) or as otherwise required by the CDC.

All relevant materials in the above noted file are available for inspection at no cost at City Hall, and on the city web site at <http://westlinnoregon.gov/planning/2337-taylor-drive-non-conforming-structure-replacement-existing-deck> or copies may be obtained for a minimal charge per page. Although there is no public hearing, your comments and ideas are invited and can definitely influence the final decision of the Planning Director. Planning staff looks forward to discussing the application with you. **The final decision is expected to be made on, and no earlier than, December 4, 2012**, so please contact us prior to that date. For further information, please contact Peter Spir, Associate Planner, City Hall, 22500 Salamo Rd., West Linn, OR 97068, (503) 723-2539, [pspir@westlinnoregon.gov](mailto:pspir@westlinnoregon.gov).

Any appeals to this decision must be filed within 14 days of the final decision date with the Planning Department. Failure to raise an issue in person or by letter, or failure to provide sufficient specificity to afford the decision-maker an opportunity to respond to the issue, precludes the raising of the issue at a subsequent time on appeal or before the Land Use Board of Appeals.

SHAUNA SHROYER  
Planning Administrative Assistant

# 2337 Taylor Drive 100' Buffer



**Legend**

- West Linn City Limits
- Taxlot Base
- Unimproved ROW

This product is for informational purposes and may not have been prepared for, or be suitable for, legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information.

Taxlot Base Source: Clackamas County GIS

NOT TO SCALE



SNAPNOTIFY.MXD / AHA APP 3-24-2011

User Name:  
Map Creation Date: Nov 19, 2012



MADISON HEIGHTS LLC  
12755 SW 69TH AVE STE 100  
PORTLAND, OR 97223

PAINTER ALLEN L & DEBORAH A  
BERGGREN  
2357 TAYLOR DR  
WEST LINN, OR 97068

PAHLISCH HOMES INC  
63088 NE 18TH ST #100  
BEND, OR 97701

HUNTER RICHARD L & JUDY A  
2337 TAYLOR DR  
WEST LINN, OR 97068

LANE SEAN ANDY  
1915 TAYLOR CT  
WEST LINN, OR 97068

WEST LINN CHAMBER OF COMMERCE  
1745 WILLAMETTE FALLS DR  
WEST LINN OR 97068

STEVE GARNER  
BHT NA PRESIDENT  
3525 RIVERKNOLL WAY  
WEST LINN OR 97068

SALLY MCLARTY  
BOLTON NA PRESIDENT  
19575 RIVER RD # 64  
GLADSTONE OR 97027

ALEX KACHIRISKY  
HIDDEN SPRINGS NA PRESIDENT  
6469 PALOMINO WAY  
WEST LINN OR 97068

JEF TREECE  
MARYLHURST NA PRESIDENT  
1880 HILLCREST DR  
WEST LINN OR 97068

BILL RELYEA  
PARKER CREST NA PRESIDENT  
3016 SABO LN  
WEST LINN OR 97068

ANTHONY BRACCO  
ROBINWOOD NA PRESIDENT  
2716 ROBINWOOD WAY  
WEST LINN OR 97068

KEN PRYOR  
SAVANNA OAKS NA VICE PRES  
2119 GREENE ST  
WEST LINN, OR 97068

ED SCHWARZ  
SAVANNA OAKS NA PRESIDENT  
2206 TANNER DR  
WEST LINN OR 97068

TRACY GILDAY  
SKYLINE RIDGE NA PRESIDENT  
1341 STONEHAVEN DR  
WEST LINN OR 97068

TROY BOWERS  
SUNSET NA PRESIDENT  
2790 LANCASTER ST  
WEST LINN OR 97068

BETH SMOLENS  
WILLAMETTE NA PRESIDENT  
1852 4TH AVE  
WEST LINN OR 97068

ALMA COSTON  
BOLTON NA DESIGNEE  
PO BOX 387  
WEST LINN OR 97068

SUSAN VAN DE WATER  
HIDDEN SPRINGS NA DESIGNEE  
6433 PALOMINO WAY  
WEST LINN OR 97068

KEVIN BRYCK  
ROBINWOOD NA DESIGNEE  
18840 NIXON AVE  
WEST LINN OR 97068

DOREEN VOKES  
SUNSET NA SEC/TREAS  
4972 PROSPECT ST  
WEST LINN OR 97068

MISC-12-17 2337 TAYLOR DR

MAILED: 11-20-12 SS



CITY OF

**West Linn**

**PLANNING AND DEVELOPMENT**

---

**Request for Expansion/Alteration of a  
Non-Conforming Structure (deck) at 2337 Taylor Drive**

## **APPLICANT'S SUBMITTAL**

**APPLICATION FOR ENLARGEMENT OF OR ALTERATION TO A NON-CONFORMING STRUCTURE (EXISTING DECK) AT 2337 TAYLOR DRIVE**

- B. An enlargement or alteration to a non-conforming structure containing a conforming use may be permitted subject to the following:
1. If the enlargement, in and of itself, meets all provisions of this code, the enlargement will be permitted. This exception does not preclude design review or other applicable provisions of this code.

**Response: (B) (1) cannot be used since the proposed enlargement/alteration will still not meet the rear 20 foot setback. Therefore the criterion of (B) (2) applies.**

2. If the enlargement, in and of itself, does not meet all provisions of the code, review and approval by the Planning Director for single-family structures, and by the Planning Commission for non-single-family structures under the provisions of CDC 99.060 (B) is required subject to the following standards.
  - a. The enlargement or alteration will not change the non-conformity; and
  - b. All other applicable ordinance provisions will be met. (Ord. 1192, 1987)

**Response: This is not an enlargement of the deck. Instead, it is a "replacement in kind" project which will replace dry rotted decking and replace poorly engineered deck supports. There will be no increase or further expansion of the deck into the rear yard setback. Consequently, the non-conformity will not change.**

Regarding the requirement that "all other applicable provisions are met" the applicant finds that all applicable provisions of the underlying R-10 zone are satisfied with the exception of the rear setback which is being addressed through this application. The deck has been in this location for 14 years at no apparent detriment to the adjoining properties or neighborhood. The nearest housing west of the deck is 150 feet away in the Madison Heights Condominiums which are also 75 feet in elevation below the applicant's property and separated by a year round buffer of mature coniferous trees. The residential lots to the north and south are unoccupied.

CDC section 38.060(A) allows an open deck to extend into an existing utility easement, provided a minimum vertical clearance of 12 feet is maintained between the lowest point of the deck and the ground, and that no posts are installed within the easement. The applicant has submitted plans showing the angled columns tying back into the house at over 12 feet above grade thus meeting the standards of 38.060(A).

**MANION**  
 GENERAL CONTRACTORS, LLC  
 Partnership, Guaranteed™

503-841-3381  
 arlo@ManionGeneral.com  
 www.ManionGeneral.com

ARLO MANION  
 CC# 179545  
 WEST LINN, OREGON

WEST LINN  
 CITY OF WEST LINN  
 PLANNING DEPARTMENT

MAY 22 2012

RECEIVED

Manion.arlo@gmail

**MANION GENERAL CONTRACTORS, LLC**

ccb#179545

SCALE 1/2" = 10'-0"

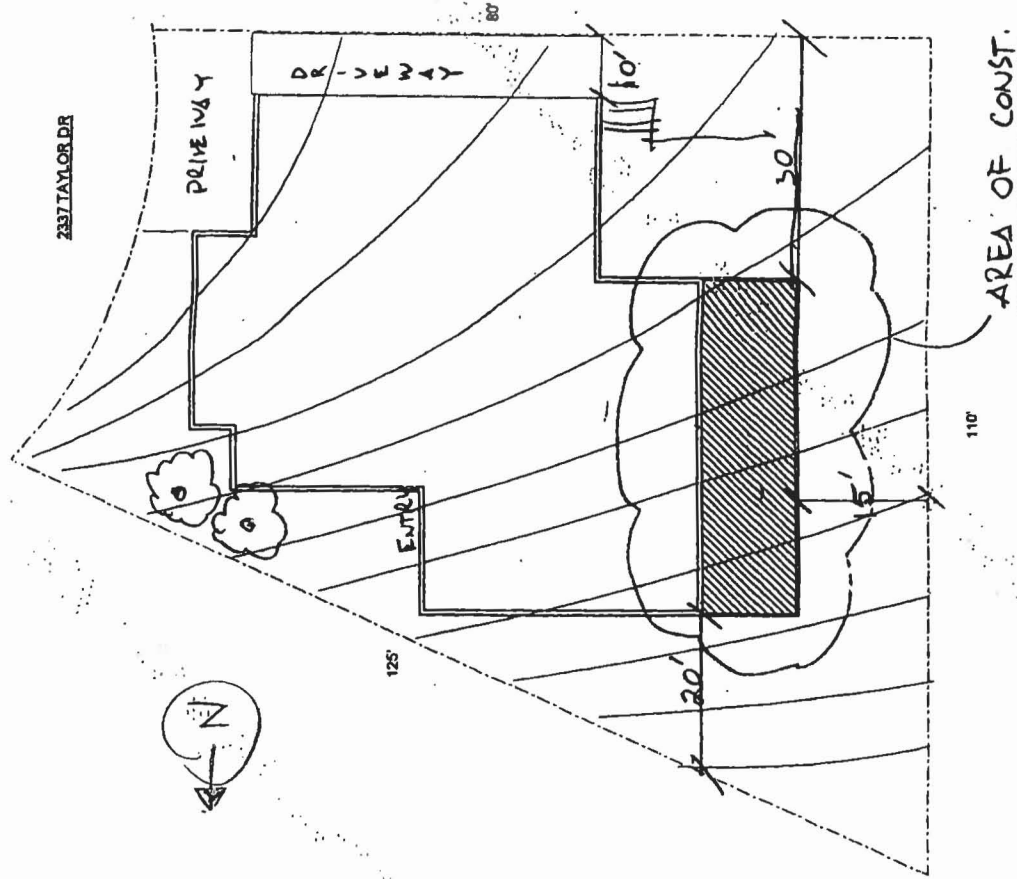
PROJECT NAME: HUNTER DECK

DATE 5/20/12

PROJECT LOCATION: 2337 TAYLOR DR. WEST LINN, OR 9797068

PLAN PLOT PLAN

DRAWING NUMBER  
 1 OF 4



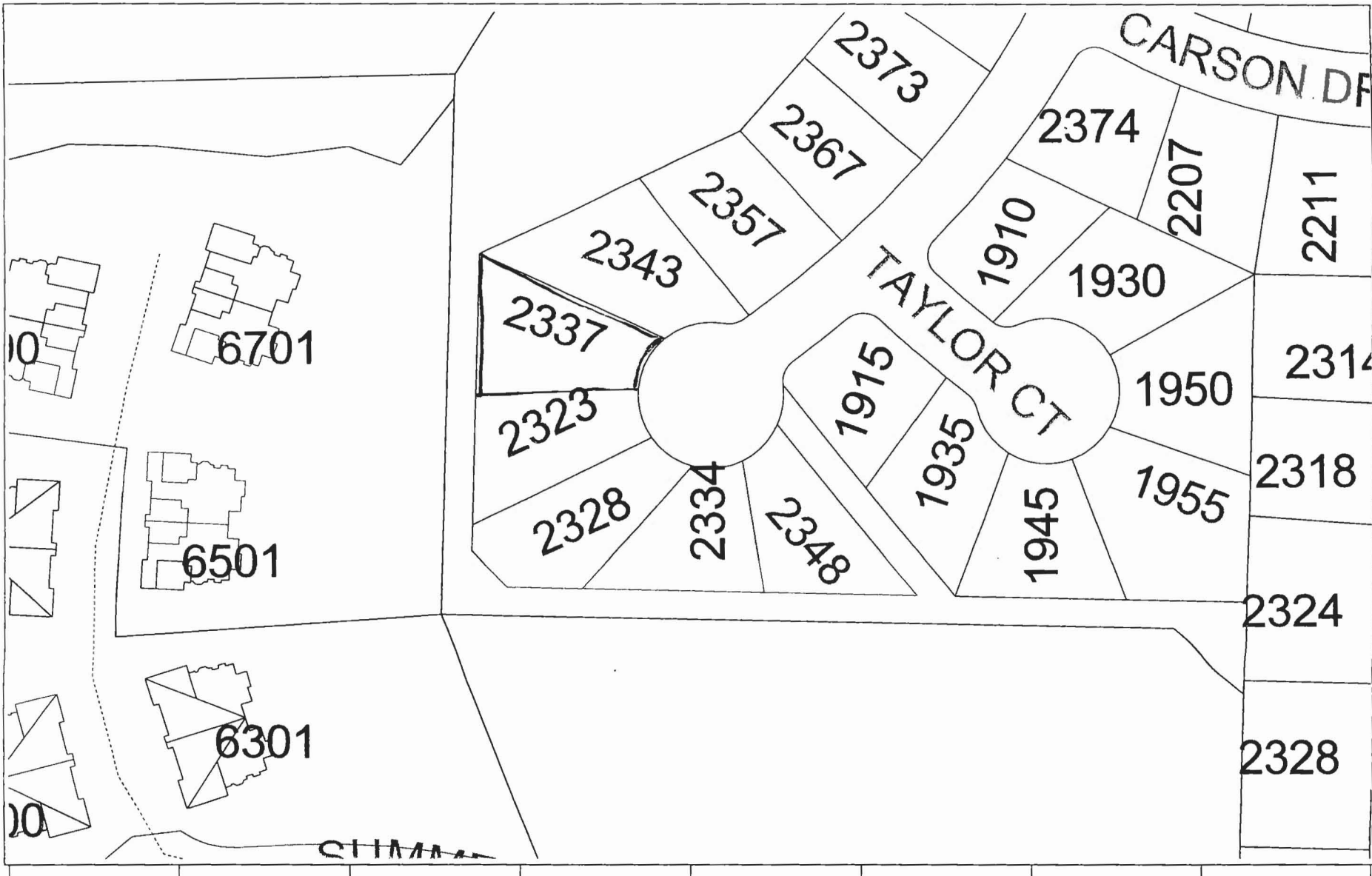
SCALE: 1/2" = 10'-0"

This Plan has been Reviewed & Complies w/

By	Date
DAWD	5-24-12
TS	5-28-12
Engineering: KL	5-24-12
Parks: AP	5-24-12



12



City of West Linn GIS (Geographic Information System), SnapMap Date: 10/23/2012

Scale: 117 Feet

MAP DISCLAIMER:

This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information.

## DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT <b>PETER SPIR</b>	PROJECT NO(S). <b>MI-12-17</b>	
NON-REFUNDABLE FEE(S)	REFUNDABLE DEPOSIT(S) <b>800-</b>	TOTAL <b>300-</b>

**Type of Review (Please check all that apply):**

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Annexation (ANX)<br><input type="checkbox"/> Appeal and Review (AP) *<br><input type="checkbox"/> Conditional Use (CUP)<br><input type="checkbox"/> Design Review (DR)<br><input type="checkbox"/> Easement Vacation<br><input type="checkbox"/> Extraterritorial Ext. of Utilities<br><input type="checkbox"/> Final Plat or Plan (FP)<br><input type="checkbox"/> Flood Management Area<br><input type="checkbox"/> Hillside Protection & Erosion Control | <input type="checkbox"/> Historic Review<br><input type="checkbox"/> Legislative Plan or Change<br><input type="checkbox"/> Lot Line Adjustment (LLA) */**<br><input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan)<br><input checked="" type="checkbox"/> Non-Conforming Lots, Uses & Structures<br><input type="checkbox"/> Planned Unit Development (PUD)<br><input type="checkbox"/> Pre-Application Conference (PA) */**<br><input type="checkbox"/> Street Vacation | <input type="checkbox"/> Subdivision (SUB)<br><input type="checkbox"/> Temporary Uses *<br><input type="checkbox"/> Time Extension *<br><input type="checkbox"/> Variance (VAR)<br><input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP)<br><input type="checkbox"/> Water Resource Area Protection/Wetland (WAP)<br><input type="checkbox"/> Willamette & Tualatin River Greenway (WRG)<br><input type="checkbox"/> Zone Change |
|--|---|---|

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

<b>Site Location/Address:</b> 2337 TAYLOR DRIVE	Assessor's Map No.: 21E 35 BD Tax Lot(s): 4700 Total Land Area: 8160 $\phi$
--	---

**Brief Description of Proposal:**  
 REPAIR EXISTING DECK

<b>Applicant Name:</b> RICHARD HUNTER <small>(please print)</small> <b>Address:</b> 2337 TAYLOR DR. <b>City State Zip:</b> WEST LINN, OR. 97068	<b>Phone:</b> 435-901-0540 <b>Email:</b> <del>XXXXXXXXXXXXXXXXXXXX</del> RJHUNTER2@AOL.COM
--	--


<b>Owner Name (required):</b> <small>(please print)</small> Address: 11 City State Zip:	<b>Phone:</b> <b>Email:</b>
--	--------------------------------

<b>Consultant Name:</b> <small>(please print)</small> Address: City State Zip:	<b>Phone:</b> <b>Email:</b>
---	--------------------------------

1. All application fees are non-refundable (excluding deposit). Any overruns to deposit will result in additional billing.
2. The owner/applicant or their representative should be present at all public hearings.
3. A denial or approval may be reversed on appeal. No permit will be in effect until the appeal period has expired.
4. **Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application.**  
 One (1) complete set of digital application materials must also be submitted on CD in PDF format.  
 If large sets of plans are required in application please submit only two sets.

\* No CD required / \*\* Only one hard-copy set needed

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

Applicant's signature	Date	 Owner's signature (required)	11-15-12 Date
-----------------------	------	--	------------------