

DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT <i>Tom Soppe</i>	PROJECT No(s). <i>DR-12-05</i>	
NON-REFUNDABLE FEE(S)	REFUNDABLE DEPOSIT(S) <i>1050</i>	TOTAL <i>1050</i>

Type of Review (Please check all that apply):

- | | | |
|--|--|---|
| <input type="checkbox"/> Annexation (ANX)
<input type="checkbox"/> Appeal and Review (AP) *
<input type="checkbox"/> Conditional Use (CUP)
<input checked="" type="checkbox"/> Design Review (DR) <i>102,500</i>
<input type="checkbox"/> Easement Vacation
<input type="checkbox"/> Extraterritorial Ext. of Utilities
<input type="checkbox"/> Final Plat or Plan (FP)
<input type="checkbox"/> Flood Management Area
<input type="checkbox"/> Hillside Protection & Erosion Control | <input type="checkbox"/> Historic Review
<input type="checkbox"/> Legislative Plan or Change
<input type="checkbox"/> Lot Line Adjustment (LLA) */**
<input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan)
<input type="checkbox"/> Non-Conforming Lots, Uses & Structures
<input type="checkbox"/> Planned Unit Development (PUD)
<input type="checkbox"/> Pre-Application Conference (PA) */**
<input type="checkbox"/> Street Vacation | <input type="checkbox"/> Subdivision (SUB)
<input type="checkbox"/> Temporary Uses *
<input type="checkbox"/> Time Extension *
<input type="checkbox"/> Variance (VAR)
<input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP)
<input type="checkbox"/> Water Resource Area Protection/Wetland (WAP)
<input type="checkbox"/> Willamette & Tualatin River Greenway (WRG)
<input type="checkbox"/> Zone Change |
|--|--|---|

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

Site Location/Address:

**1906 WILLAMETTE DRIVE
WILLAMETTE VILLAGE CENTER**

Assessor's Map No.:
Tax Lot(s):
Total Land Area:

Brief Description of Proposal: PROPOSAL TO REPLACE SOME WINDOW AREA WITH AN ATM AND DROP BOX FOR NEW U.S. BANK BRANCH. INFILL WITH NEW WALL FINISH AND GLAZING TO MATCH EXISTING ADJACENT. SITE IS ZONED GENERAL COMMERCIAL.

Applicant Name: VINCE GALEA (ANKROM MOISAN ASSOCIATE ARCH.) Phone: (503) 245-7100
(please print)

Address: 6720 MACADAM, SUITE 100

Email: vinceg@amaa.com

City State Zip: PORTLAND, OR 97219

Owner Name (required): DOUG SEELY
(please print)

Phone: (503) 789-0018

Address: 1780 SW ADVANCE

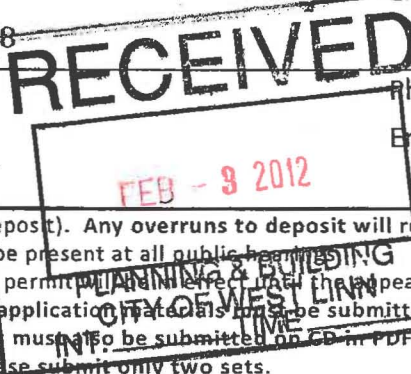
Email: Investseely@yahoo.com

City State Zip: WEST LINN, OR 97068

Consultant Name:
(please print)

Address:

City State Zip:



1. All application fees are non-refundable (excluding deposit). Any overruns to deposit will result in additional billing.
2. The owner/applicant or their representative should be present at all public hearings.
3. A denial or approval may be reversed on appeal. No permit will be issued until the appeal period has expired.
4. Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application. One (1) complete set of digital application materials must also be submitted on CD in PDF format. If large sets of plans are required in application please submit only two sets.

* No CD required / ** Only one hard-copy set needed

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

Applicant's signature

Vincent Galea

01.25.12

Date

Owner's signature (required)

Doug Seely

2/1/12

Date

ANKROM MOISAN

ARCHITECTURE | INTERIORS | URBAN DESIGN | SUSTAINABILITY | GRAPHIC DESIGN

01 January 26, 2012

West Linn Planning Department
22500 Salamo Rd. #1000
West Linn, Oregon 97068
(503)656-4211

Subject:

Class I Design Review for changes to exterior wall of commercial space at Willamette Village Shopping center, 19064 Willamette Drive.

Scope:

Remove approximately 9'-3" of 30"-0" total storefront glazing on the South elevation of building to accommodate new ATM and Drop box. Remainder of opening to be filled in with new stucco finish to match existing adjacent wall.

Per a previous design review for Willamette Village (DR-06-43) The South building elevation is considered the front of the building, and the West elevation (along Willamette drive) is considered the side of the building.

CDC 55.100(B)(6)(f) requires the main elevation of commercial building to provide at least 60 percent windows or transparency and that one side elevation shall provide at least 30 percent transparency. The changes to the existing main elevation would leave 20'-5" of transparency in 42'-2" of wall, or about 48 percent transparency. The side elevation is 50'-0" with two windows that total 26'-0" of transparency, or 52 percent. The illustration of CDC 55.100(B)(6)(f) states that windows may be transferred between elevations. This would be required to meet the 60 percent transparency requirement for the main elevation. Transfer of 5'-0" of window from the side elevation to the main elevation would leave 42 percent on the side and provide 60 percent on the main elevation, satisfying the requirements for both sides.

All infill materials shall match existing adjacent.

Attachments:

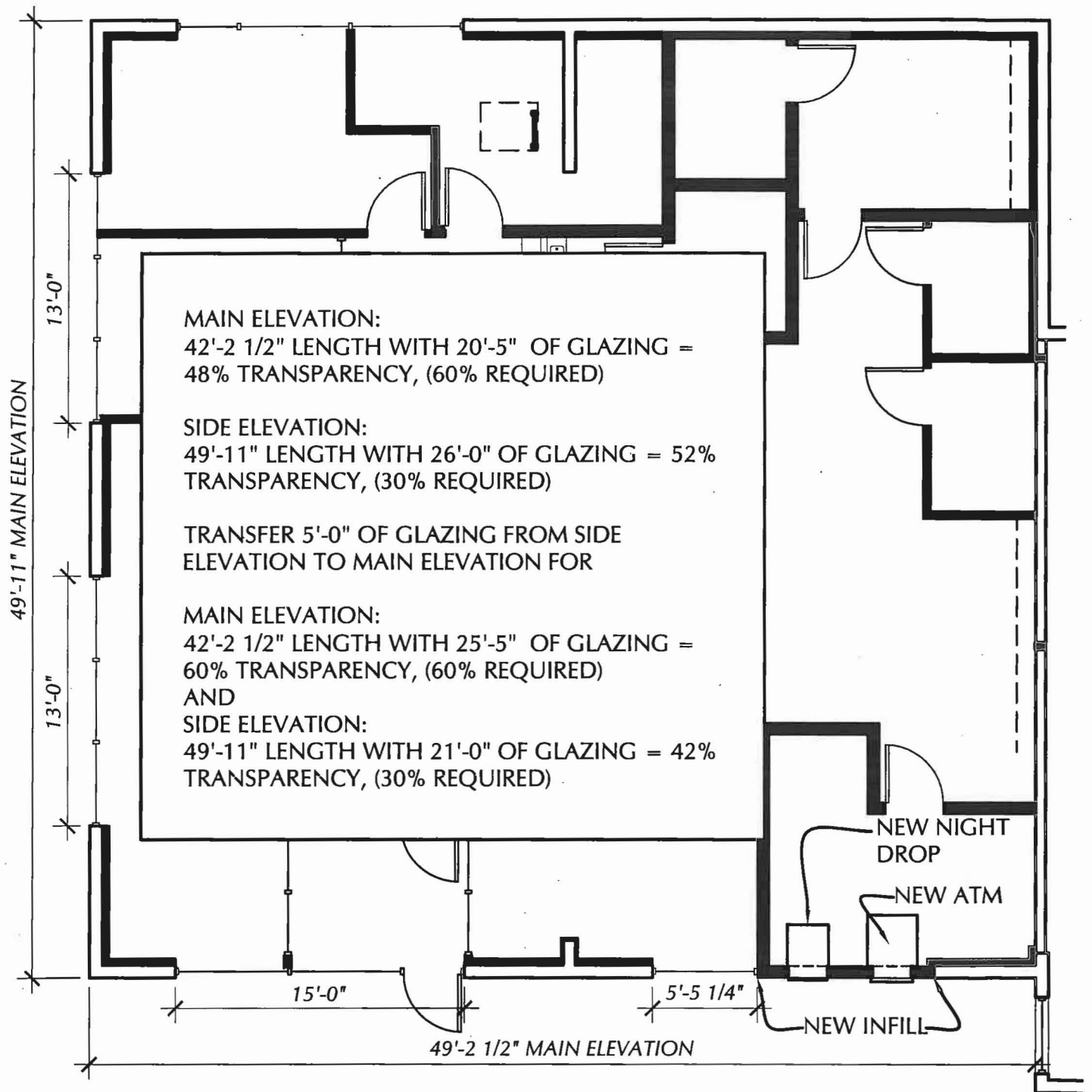
Existing Elevation Drawing
New Elevation Drawing
Plot Plan
Existing Elevation Photograph

6720 SW Macadam, Suite 100, Portland, Oregon 97219
Phone: 503.245.7100 | Fax: 503.245.7710

117 South Main St., Suite 400, Seattle, Washington 98104
Phone: 206.576.1600 | Fax: 206.447.5514



www.AMAA.com



US BANK - WILLAMETTE VILLAGE -
 19064 WILLAMETTE DRIVE

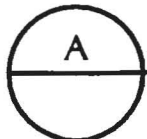
B

N.T.S

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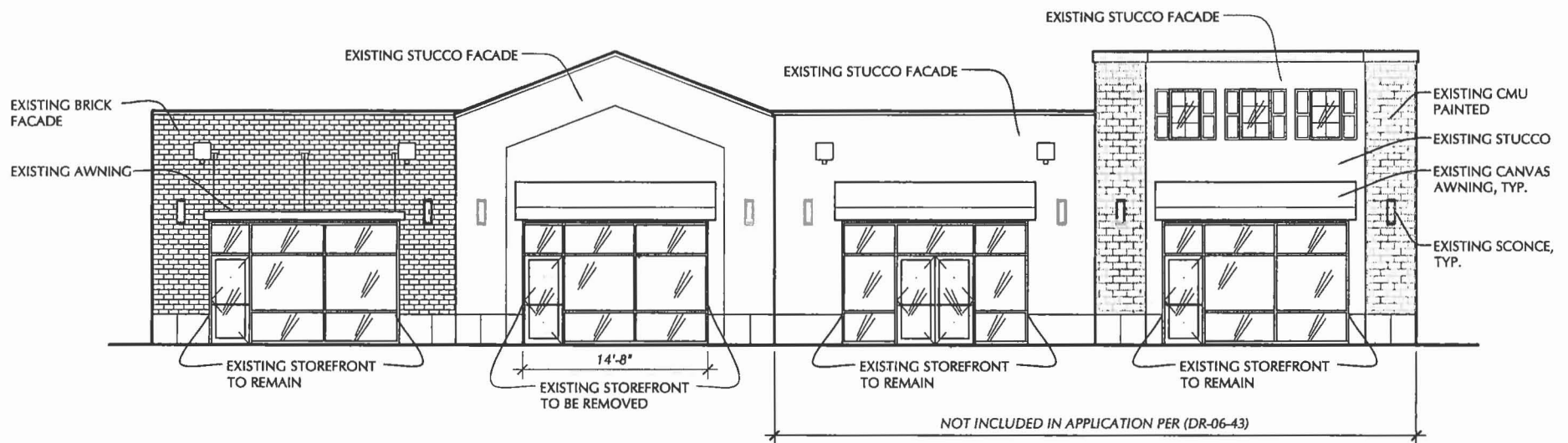


US BANK - WILLAMETTE VILLAGE -
19064 WILLAMETTE DRIVE



1/8" = 1'-0"

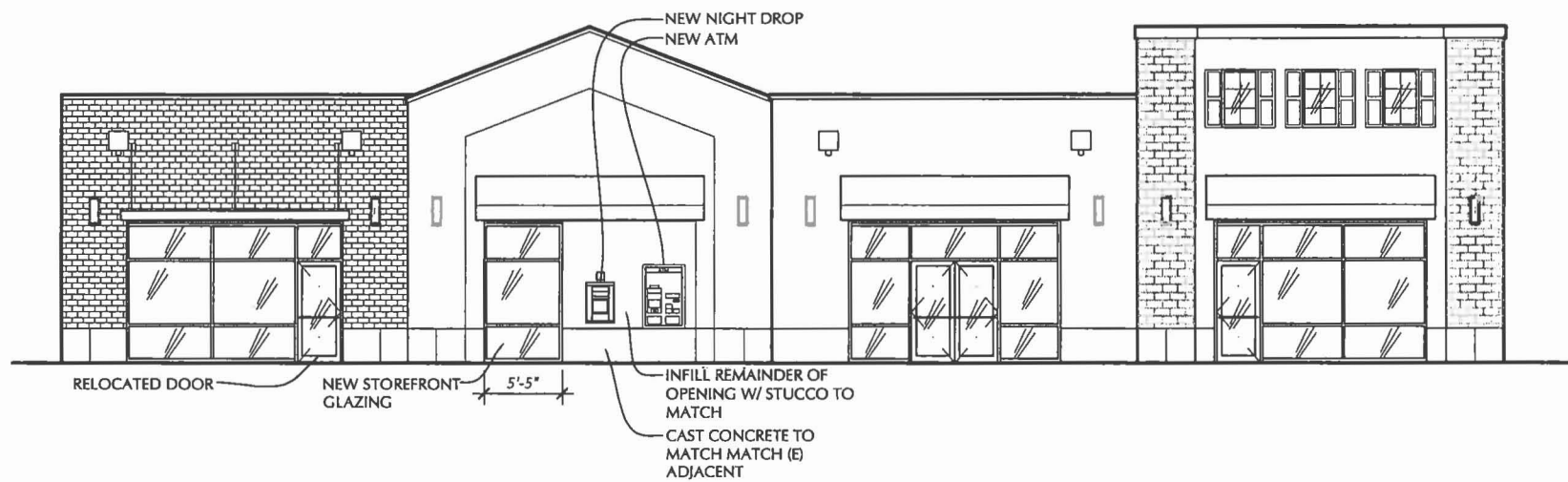




C-1

EXTERIOR ELEVATION - SOUTH - EXISTING

1/8" = 1'-0"



C-2 EXTERIOR ELEVATION - SOUTH - NEW

1/8" = 1'-0"

PROPOSED AREA
OF WORK



US BANK - WILLAMETTE VILLAGE -
19064 WILLAMETTE DRIVE

1/8" = 1'-0"