

DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT	PROJECT NO(S). MI-12-01	
NON-REFUNDABLE FEE(S) \$ 280-	REFUNDABLE DEPOSIT(S)	TOTAL 280-

Type of Review (Please check all that apply):

- | | | |
|--|--|--|
| <input type="checkbox"/> Annexation (ANX)
<input type="checkbox"/> Appeal and Review (AP) *
<input type="checkbox"/> Conditional Use (CUP)
<input type="checkbox"/> Design Review (DR)
<input type="checkbox"/> Easement Vacation
<input type="checkbox"/> Extraterritorial Ext. of Utilities
<input type="checkbox"/> Final Plat or Plan (FP)
<input type="checkbox"/> Flood Management Area
<input type="checkbox"/> Hillside Protection & Erosion Control | <input type="checkbox"/> Historic Review
<input type="checkbox"/> Legislative Plan or Change
<input type="checkbox"/> Lot Line Adjustment (LLA) */**
<input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan)
<input type="checkbox"/> Non-Conforming Lots, Uses & Structures
<input type="checkbox"/> Planned Unit Development (PUD)
<input type="checkbox"/> Pre-Application Conference (PA) */**
<input type="checkbox"/> Street Vacation | <input type="checkbox"/> Subdivision (SUB)
<input checked="" type="checkbox"/> Temporary Uses * ADMINISTRATIVE
<input type="checkbox"/> Time Extension *
<input type="checkbox"/> Variance (VAR)
<input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP)
<input type="checkbox"/> Water Resource Area Protection/Wetland (WAP)
<input type="checkbox"/> Willamette & Tualatin River Greenway (WRG)
<input type="checkbox"/> Zone Change |
|--|--|--|

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

Site Location/Address: <div style="font-size: 1.2em; font-family: cursive;">3138 Coeur D'Alene Dr.</div>	Assessor's Map No.: <hr/> Tax Lot(s): <hr/> Total Land Area:
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Brief Description of Proposal:

Temp. Construction Trailer

Applicant Name: (please print) J.T. Smith Companies Address: 5285 Meadows Rd. Suite 171 City State Zip: Lake Oswego, OR 97035	Phone: 503-308-7324 Email: cbricker@jtsmithco.com
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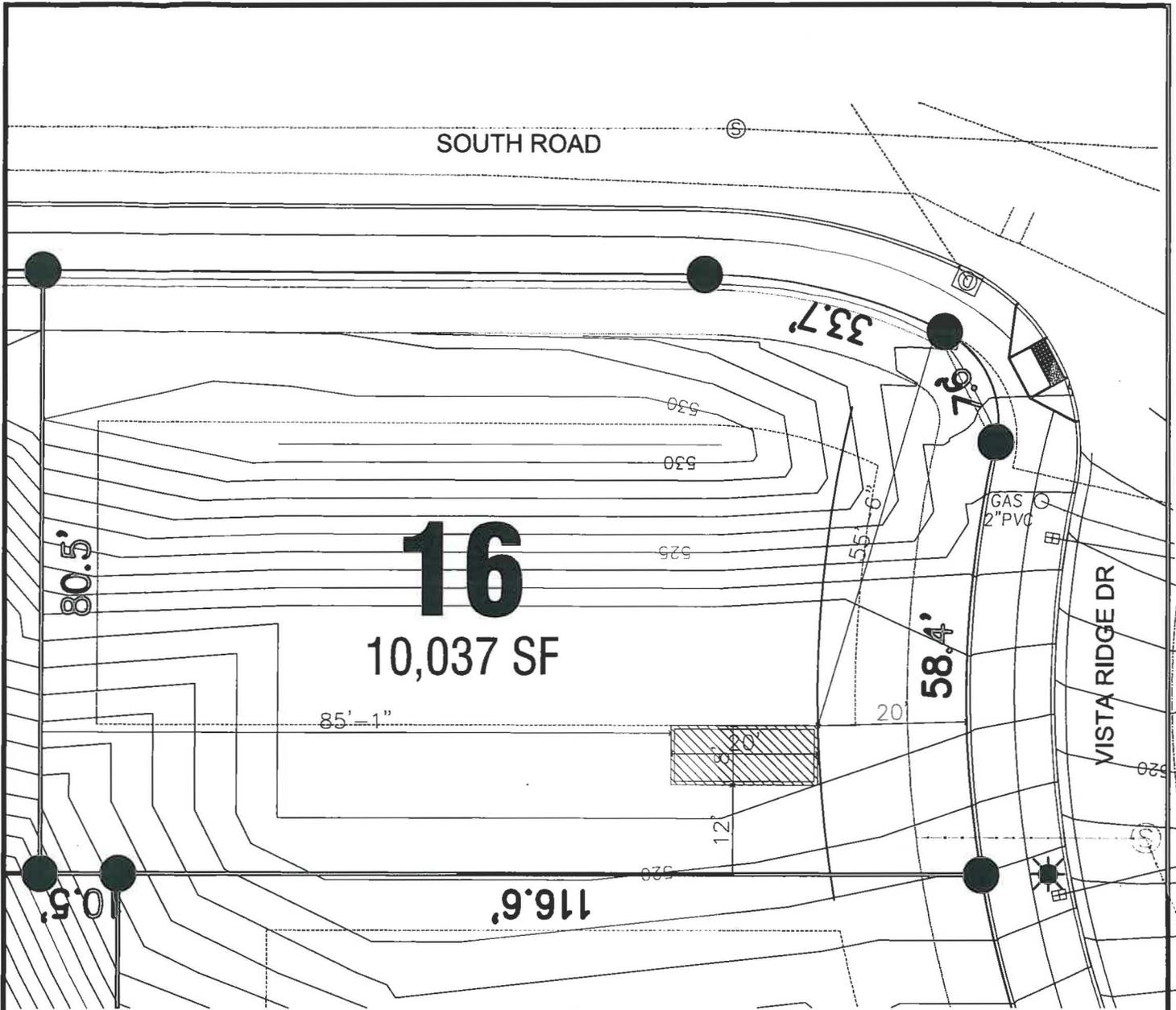
Owner Name (required): (please print) Address: SAME City State Zip:	Phone: Email:
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Consultant Name: (please print) Address: Applicant Asking for full 60 days, confirmed on phone City State Zip:	Phone: Email: Shope
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1. All application fees are non-refundable (excluding deposit). **Any overruns to deposit will result in additional billing.**
 2. The owner/applicant or their representative should be present at all public hearings.
 3. A denial or approval may be reversed on appeal. No permit will be in effect until the appeal period has expired.
 4. **Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application.**
One (1) complete set of digital application materials must also be submitted on CD in PDF format.
If large sets of plans are required in application please submit only two sets.
- * No CD required / ** Only one hard-copy set needed

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

<div style="font-size: 1.5em; font-family: cursive;">[Signature]</div> <hr/> Applicant's signature	1/10/12 <hr/> Date	<div style="font-size: 1.5em; font-family: cursive;">[Signature]</div> <hr/> Owner's signature (required)	1/10/12 <hr/> Date
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SETBACKS:

- GARAGE = 20'
- BUILDING = 15'
- SIDE YARD = 7'6"
- STREET SIDE YARD = 10'
- REAR = 20'



Siteplan



STREET TREE

SCALE : 1"=20'

PLAN NAME:

-

DRAWN: BKE

PLOT: 1/13/12

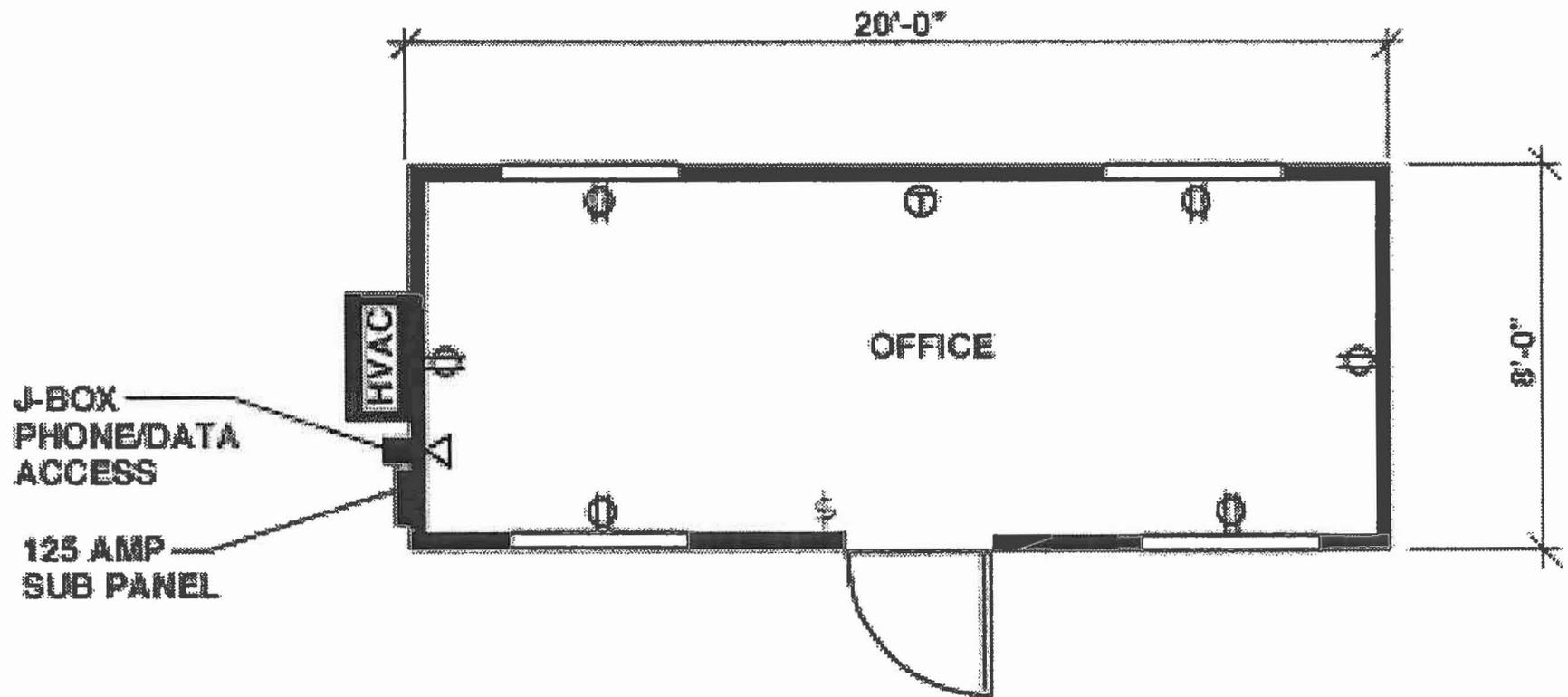
SCALE:

1" = 20'-0"

Teresa's Vineyard
LOT 16



J.T. SMITH
companies



3138 Coeur D'Alene Dr.

Soppe, Tom

From: Soppe, Tom
Sent: Tuesday, January 17, 2012 9:44 AM
To: 'cbricker@jtsmithco.com'
Subject: Temporary construction trailer application (file MIS-12-01)

Charles,

I received your application for the temp construction trailer at Teresa's Vineyard. Could you email me back how many days the trailer is planned to be there?

I know that you applied for administrative review, which means a maximum of 60 days for the temporary use, which can be renewed administratively for another 60 days towards the end of the first 60 days.

Should I assume that you are applying for your initial 60 days at this point?

Thanks,

Tom Soppe

Soppe, Tom

From: Soppe, Tom
Sent: Friday, January 20, 2012 11:53 AM
To: 'cbricker@jtsmithco.com'
Subject: Temporary Construction Trailer application

Charlie,

Would you be able to resend the site plan to me with an off-street parking area shown. This can be gravel or paved when built, and on the site plan it can be sketched on informally.

Thanks
Tom

Soppe, Tom

From: Soppe, Tom
Sent: Friday, January 20, 2012 12:24 PM
To: Kerr, Chris
Subject: FW: Temporary Construction Trailer application

This is the applicant's response to the request for showing a parking area.

I guess we could just condition it so the parking associated with the temp use is on CDA within the newly platted subdivision, so it is not in the existing subdivision adjacent to this lot. What do you think?

Thanks
Tom

From: Charlie Bricker [<mailto:cbricker@jtsmithco.com>]
Sent: Friday, January 20, 2012 12:26 PM
To: Soppe, Tom
Subject: RE: Temporary Construction Trailer application

Tom, what is the reason for off street parking? We will not be occupying the space full time or all day. This will be a part time location for our superintendent who also has a site in Beaverton. So he will be splitting his time between the 2 sites.

Charlie Bricker
Purchasing Manager
5285 Meadows Road, Suite 171
Lake Oswego, OR 97035
Office: 503-308-7324
Cell: 503-975-7639



2012 NW Natural Street of Dreams Builder



From: Soppe, Tom [<mailto:tsoppe@westlinnoregon.gov>]
Sent: Friday, January 20, 2012 11:53 AM
To: cbricker@jtsmithco.com
Subject: Temporary Construction Trailer application

Charlie,

Would you be able to resend the site plan to me with an off-street parking area shown. This can be gravel or paved when built, and on the site plan it can be sketched on informally.

Soppe, Tom

From: Soppe, Tom
Sent: Friday, January 20, 2012 12:25 PM
To: 'cbricker@jtsmithco.com'
Subject: RE: Temporary Construction Trailer application

With that in mind, let me get back to you.

Thanks

From: Charlie Bricker [<mailto:cbricker@jtsmithco.com>]
Sent: Friday, January 20, 2012 12:26 PM
To: Soppe, Tom
Subject: RE: Temporary Construction Trailer application

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Thanks
Tom

Soppe, Tom

From: Soppe, Tom
Sent: Friday, January 20, 2012 3:38 PM
To: 'cbricker@jtsmithco.com'
Subject: RE: Temporary Construction Trailer application

Charlie,

These are the criteria from the temp uses chapter (35)

B. Temporary uses described in subsection A of this section may be approved if they:

1. Are located on property that is appropriate for the proposed use as determined by the Planning Director;
2. Have a paved or graveled surface to minimize dust generation or mud tracking;
3. Have adequate parking and circulation space;
4. Are in an area that will allow safe ingress and egress including adequate line of sight and vision clearance;
5. Have the property owner's signed permission

So this is really about 2 and 3 above; both having a paved or graveled area so it is not just set down in dirt and vegetation that gets tracked away. As well as the surface being able to act as space for a couple of vehicles off-street, since in the City's experience it is common for the trailers to get visited by workers, contractors, or off-site parties seeing the supervisor.

Tom

From: Charlie Bricker [<mailto:cbricker@jtsmithco.com>]
Sent: Friday, January 20, 2012 12:26 PM
To: Soppe, Tom
Subject: RE: Temporary Construction Trailer application

Tom, what is the reason for off street parking? We will not be occupying the space full time or all day. This will be a part time location for our superintendent who also has a site in Beaverton. So he will be splitting his time between the 2 sites.

Charlie Bricker
Purchasing Manager
5285 Meadows Road, Suite 171
Lake Oswego, OR 97035
Office: 503-308-7324
Cell: 503-975-7639



Soppe, Tom

From: Kerr, Chris
Sent: Friday, January 20, 2012 2:19 PM
To: Soppe, Tom
Subject: RE: Temporary Construction Trailer application

You can leave this to JS next week, but I think he going to need parking – and let him know that there are only five criteria (below) to be reviewed under and if he doesn't provide parking he won't meet two of them and won't be approved.

B. Temporary uses described in subsection A of this section may be approved if they:

1. Are located on property that is appropriate for the proposed use as determined by the Planning Director;
2. Have a paved or graveled surface to minimize dust generation or mud tracking;
3. Have adequate parking and circulation space;
4. Are in an area that will allow safe ingress and egress including adequate line of sight and vision clearance;
5. Have the property owner's signed permission

CK

Chris Kerr, Interim Assistant City Manager
Administration, #1538

West Linn Sustainability Please consider the impact on the environment before printing a paper copy of this email.

Public Records Law Disclosure This e-mail is subject to the State Retention Schedule and may be made available to the public.

From: Soppe, Tom
Sent: Friday, January 20, 2012 12:24 PM
To: Kerr, Chris
Subject: FW: Temporary Construction Trailer application

This is the applicant's response to the request for showing a parking area.

I guess we could just condition it so the parking associated with the temp use is on CDA within the newly platted subdivision, so it is not in the existing subdivision adjacent to this lot. What do you think?

Thanks
Tom

Tom Soppe, Associate Planner
Planning, #1521

West Linn Sustainability Please consider the impact on the environment before printing a paper copy of this email.

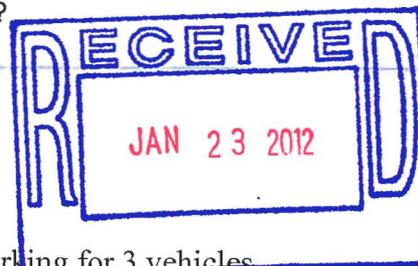
Public Records Law Disclosure This e-mail is subject to the State Retention Schedule and may be made available to the public.

Soppe, Tom

From: Soppe, Tom
Sent: Monday, January 23, 2012 8:29 AM
To: 'Charlie'
Subject: RE: Temporary Construction Trailer application

Great. I can draw an approximation on the site plan, or you can send a copy of the site plan with this drawn on. I assume it would stretch north and east of the trailer, coming off of Coeur D'Alene?

From: Charlie [<mailto:cbricker@jtsmithco.com>]
Sent: Friday, January 20, 2012 4:47 PM
To: Soppe, Tom
Subject: Re: Temporary Construction Trailer application



Tom we have a gravel pad that the trailer will sit on and enough off street parking for 3 vehicles.

Sent from my HTC on the Now Network from Sprint!

----- Reply message -----

From: "Soppe, Tom" <tsoppe@westlinnoregon.gov>
Date: Fri, Jan 20, 2012 3:38 pm
Subject: Temporary Construction Trailer application
To: "cbricker@jtsmithco.com" <cbricker@jtsmithco.com>



Charlie,

These are the criteria from the temp uses chapter (35)

B. Temporary uses described in subsection A of this section may be approved if they:

1. Are located on property that is appropriate for the proposed use as determined by the Planning Director;
2. Have a paved or graveled surface to minimize dust generation or mud tracking;
3. Have adequate parking and circulation space;
4. Are in an area that will allow safe ingress and egress including adequate line of sight and vision clearance;
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So this is really about 2 and 3 above; both having a paved or graveled area so it is not just set down in dirt and vegetation that gets tracked away. As well as the surface being able to act as space for a couple of vehicles off-street, since in the City's experience it is common for the trailers to get visited by workers, contractors, or off-site parties seeing the supervisor.

Tom

Soppe, Tom

From: Soppe, Tom
Sent: Monday, January 23, 2012 1:58 PM
To: 'cbricker@jtsmithco.com'
Subject: RE: Temporary Construction Trailer application

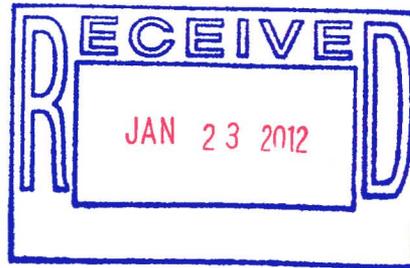
Thank you

From: Charlie Bricker [<mailto:cbricker@jtsmithco.com>]
Sent: Monday, January 23, 2012 1:22 PM
To: Soppe, Tom
Subject: RE: Temporary Construction Trailer application

Here is the most current drawing I have for the site.

Thank you,

Charlie Bricker
Purchasing Manager
5285 Meadows Road, Suite 171
Lake Oswego, OR 97035
Office: 503-308-7324
Cell: 503-975-7639



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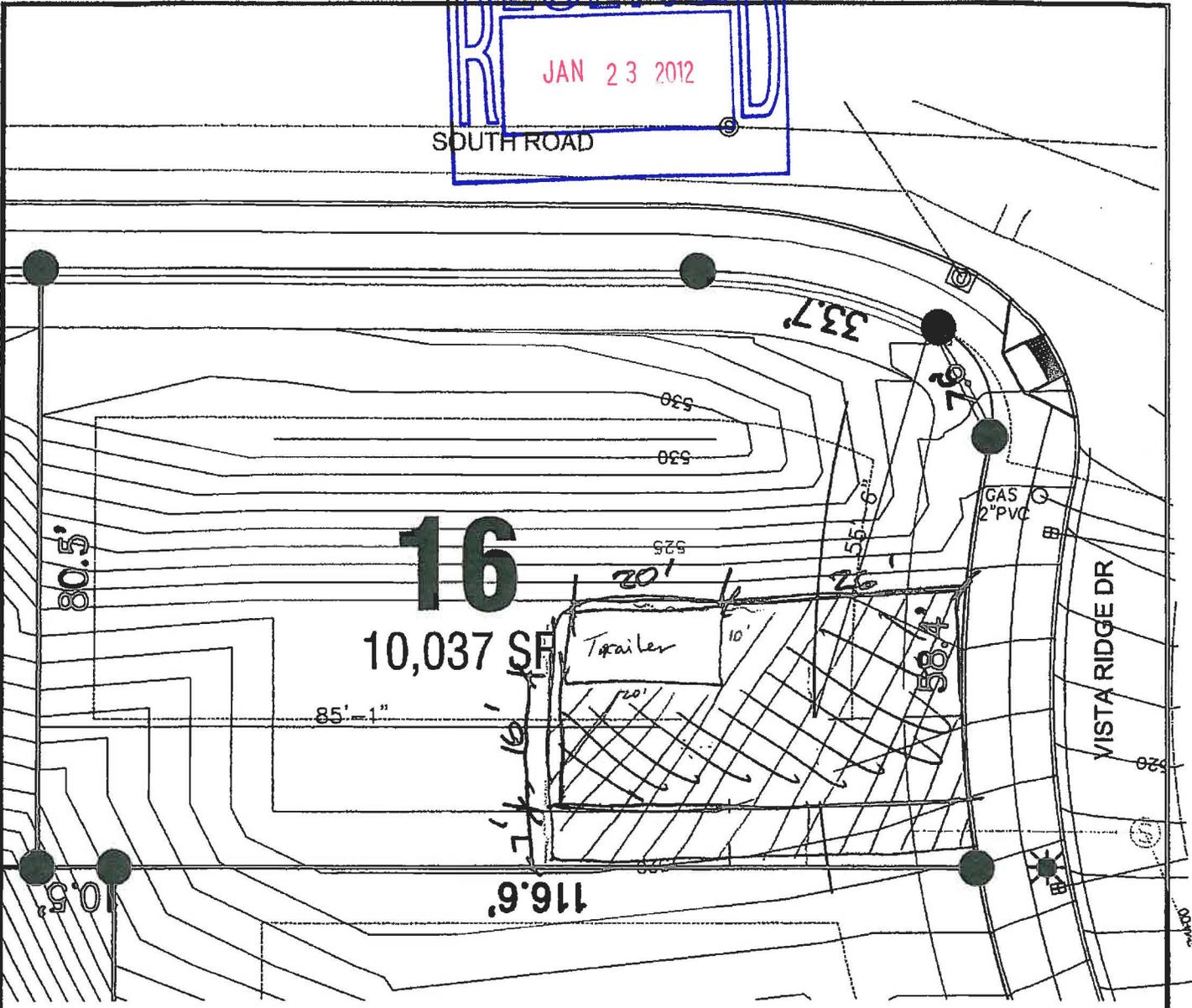
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To: cbricker@jtsmithco.com
Subject: RE: Temporary Construction Trailer application

Charlie,

These are the criteria from the temp uses chapter (35)

- B. Temporary uses described in subsection A of this section may be approved if they:
1. Are located on property that is appropriate for the proposed use as determined by the Planning Director;
 2. Have a paved or graveled surface to minimize dust generation or mud tracking;

RECEIVED
 JAN 23 2012



SETBACKS:

- GARAGE = 20'
- BUILDING = 15'
- SIDE YARD = 16'
- STREET SIDE YARD = 10'
- REAR = 20'

/// = gravelled area



STREET TREE



Siteplan

SCALE : 1"=20'

PLAN NAME:	-
DRAWN:	BKE
PLOT:	1/13/12
SCALE:	1"=20'-0"

Teresa's Vineyard
LOT 16



J.T. SMITH
 companies