



CITY OF
West Linn
 PLANNING AND DEVELOPMENT

STAFF REPORT

CLACKAMAS COUNTY HISTORIC REVIEW BOARD

DATE: August 12, 2010 (hearing date)
 FILE NO.: DR 10-11
 SUBJECT: 1883 6th Avenue, Dormer Addition
 PLANNER: Sara Javoronok, Associate Planner


Planning Director 

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SPECIFIC DATA

APPLICANT: Dean Mackeson, 25450 Swiftshore Drive, West Linn, OR 97068

OWNER: Dave Becker, 1883 6th Avenue, West Linn, OR 97068

LOCATION: 1883 6th Avenue

LEGAL DESCRIPTION: Assessor’s Map 31E-02BA, Tax Lot 6401

ZONING: R-5

APPROVAL CRITERIA: CDC Sections 25.070 and 25.080

PUBLIC NOTICE: This is a Type B land use application. All property owners within 100 feet of the subject property, the Willamette Neighborhood Association and the applicant were mailed notices on July 29, 2010.

EXECUTIVE SUMMARY

The applicant and owner are seeking approval for a side gabled dormer addition to the property at 1883 6th Avenue, which is located in the locally designated Willamette Historic District and the Willamette Falls National Register Historic District.

This subject property is a 1 ½ story residence located on the south side of 6th Avenue and is the second lot west of the intersection of 6th Avenue and 12th Street. The lot is 5,000 square feet, which is typical of many of the lots in the historic district. The adjacent residences are generally 1½ stories with some single story residences.

The property was included in the 1984 Clackamas County Cultural Resources Inventory and the 2008 Reconnaissance Level Survey of the Willamette Falls Neighborhood Historic District. Per the surveys, the residence was constructed c. 1900 and is in the Queen Anne style. Elements of this style include the truncated hip roof with multiple gables, the cutaway bay window with brackets, and the turned porch posts. The majority of the house is sided with cement asbestos siding. On the rear façade, this siding has been removed to expose the historic wood siding. The owner’s long-term plan is to remove the remainder of the cement asbestos siding and restore the historic wood siding. There are extensions on the house, including one on the east side that extends to the rear and a small extension on the west that is below the proposed dormer. The house appears on the 1900 Sanborn map with a footprint that is the same as its current footprint.

The applicant is proposing to add a gabled dormer to the west façade of the house. The proposed dormer will be located above the existing west side extension. It will be visible from the public right-of-way. The applicant is proposing to use wood siding that will match the profile of the existing wood siding visible on the rear of the house. The applicant is also proposing a wood window that will match the existing historic windows as closely as possible and meet egress requirements. The roofing materials will be architectural composition shingles that will match the existing roof.



Front (north) Façade



Side (west) Façade



Front (north) and Side (east) Façade



Rear (south) Façade



Rear (south) Façade of subject property and adjacent property

PUBLIC COMMENTS

Staff has received no comments from the public to date.

RECOMMENDATION

Based upon staff's findings and the applicant's findings (Exhibit C), hereby incorporated, staff recommends that the Historic Review Board approve the proposed side gabled dormer addition with the following condition of approval:

1. The window trim shall match the existing window trim on the rear façade of the house.

APPROVAL CRITERIA AND STAFF FINDINGS

25.070 APPROVAL CRITERIA FOR REMODELS, NEW HOME AND ACCESSORY STRUCTURE CONSTRUCTION

*D. **Building height.** (Note: Buildings in Willamette Town vary in height; most evident are one and one-half story Victorians and bungalows. Some buildings reach two stories, and there are several single-story structures as well.)*

1. No building shall exceed the height of 28 feet to the dominant gable or roof ridgeline as measured per Chapter 2 CDC. This restriction shall apply regardless of the existing or finished grade of the site.

2. In order to transition in scale, new houses that are taller than homes adjacent to them must have the predominant roof ridgeline extending perpendicular to the front property line so that the roof slopes down on the sides to effect that transition. Dormers are allowed on that sloping roof area facing the adjacent home(s) but cannot constitute more than 25 percent of the roof as measured lineally or horizontally (e.g., if roof is 50 feet long the dormer(s) cannot be more than 25 percent of that distance or 12.5 feet long in total). Also, the dormer height must be at least two feet below the gable ridgeline height.

3. Cupolas and towers are not excluded from the aforementioned height limitation.

4. Alteration of roof pitches or raising or lowering a structure's permanent elevation, when constructing a foundation, shall be avoided.

5. The original height of the structure's front elevation shall be preserved. Additions to the rear portion of the house shall be allowed where those additions do not compromise the character of the front elevation or the scale or significantly modify the mass of the house as seen from the right-of-way.

Finding No. 1:

The building height of subject property is not increasing. The side gabled dormer addition, while visible from the right-of-way, will be set back over 20 feet from the front façade and will not compromise the character of the front elevation, its scale, or significantly modify the mass of the house as seen from the right-of-way. The criterion is met.

G. *Horizontal additions.*

1. The scale and proportion of building additions, including the relationship of windows to walls, shall be visually compatible with the traditional architectural character of the historic building.

2. Contemporary construction for alterations and additions are acceptable if the design respects the building's original design and is compatible with the original scale, materials, window and door opening proportions of the structure.

Finding No. 2:

The scale and proportions of the proposed side gabled dormer addition are visually compatible with the traditional architectural character of the historic building. The existing house has a hip roof with multiple gables. While the existing gables are

perpendicular to the proposed gable, the side gabled dormer addition is compatible with the existing structure. The criterion is met.

*H. **Windows.** Window sizes vary considerably in the district. Windows on the primary and secondary structures are wood sash, usually a double hung type. Victorian styled structures typically have narrower, vertically-oriented windows. Bungalow styled structures from the "Craftsman" era (1905 – 1930) may have wider windows with mullions across the top of larger paned areas. Most windows have fairly wide trim boards, usually five inches.*

Standards:

1. Historic window sashes and frames shall be repaired rather than replaced unless the approval authority determines that repair is not possible. In that case, the replacement shall match the old window sash and frame in design, texture, materials, and other visual qualities. Existing replacement windows shall be replaced with windows that match the original window in design, texture, and other visual qualities, and, where possible, materials, as determined by the approval authority. Windows in new construction and additions shall be compatible with the massing, size, scale, and architectural features of the structure. Wood windows are preferred.

2. Aluminum windows are prohibited unless they were the original materials and meet dimensional standards.

3. Windows shall be surrounded by exterior trim on the top and sides; window trim shall be at least four and one-half inches minimum width unless the original window was less.

4. Window replacements shall match the visual qualities of original windows.

5. Storm windows should follow the standards for windows and shall have a mullion that matches the divide between the upper and lower window sashes. The color should match underlying trim.

Finding No. 3:

The proposed window in the side gabled dormer addition will have similar proportions and be compatible with the existing windows. Staff recommends that the applicant match the width of the window trim with the window trim on the rear façade of the house. Staff notes that it appears the proposed window may be opposite, or close to opposite, of the window on the adjacent Cape Cod residence located to the west at 1865 6th Avenue. The criterion is met.

*J. **Siding and exterior finish.** Standards:*

1. Horizontal wood siding shall be the primary exterior finish.

2. Shingles should only be used in conjunction with horizontal wood siding.

3. Single color exteriors are discouraged. Stained exteriors are not recommended.

Finding No. 4:

The applicant is proposing wood siding on the side gabled dormer addition with a profile to match the historic wood siding on the rear of the house. The siding will be painted to match the existing siding. The criterion is met.

*K. **Roofscape.** Standards:*

1. *Roofs shall have a pitch of at least 8/12 to maintain the pattern of steep roof pitches. The Historic Review Board will consider deviations from the 8/12 to 12/12 standard for additions to the main body of the house so long as it is consistent with a particular architectural style.*

2. *Roofing materials should be asphalt composite shingles. Milled cedar shingles may only be used if they are replacing milled cedar shingles or if they were the original material. Cedar shakes were not used in period construction.*

3. *Alternating or checkerboard shingles are not permitted.*

Finding No. 5:

The applicant is proposing a 10/12 roof pitch for the side gabled dormer addition to match the existing roof pitch. The proposed roofing material is architectural composition shingles. Any gutters that are installed will match the existing gutters. The criterion is met.

25.080 ADDITIONAL ARCHITECTURAL SPECIFICS FOR NEW CONSTRUCTION AND REMODELING

Many houses in Willamette are rich in architectural detail. Certain architectural components are used in fairly specific ways. Standards:

A. *Distinguishing original qualities defining a structure's character shall not be destroyed. Removal or alteration of historic (i.e., original) materials or distinctive architectural features should be avoided when possible.*

B. *Houses and other structures shall be recognized as products of their own time. Alterations that have no historical basis or which seek to create an earlier appearance shall be avoided.*

C. *Distinctive stylistic features, or examples of skilled craftsmanship which characterize a structure, shall be maintained or restored, if possible.*

D. *Deteriorated architectural features shall be repaired rather than replaced, whenever possible.*

E. *In the event replacement is necessary, new materials should match the material being replaced in composition, design, color, texture, and other visual qualities.*

F. *Alterations to the rear of a house, or to other portions not visible from the public right-of-way (exclusive of alleys), need not adhere to the design standards contained herein.*

G. *Contemporary designs for alterations and additions would be acceptable if the design respects the building's original design, and it is compatible with the original scale, materials, window and door opening proportions of the structure.*

H. *Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original structure could be restored.*

Finding No. 6:

The proposed side gabled dormer addition could be removed in the future and the essential form and integrity of the historic structure restored. The criterion is met.



City of West Linn GIS (Geographic Information System), SnapMap Date: 7/23/2010

Scale: 116 Feet

MAP DISCLAIMER:

This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information.

Oregon Historic Site Form

Kinney House
1883 6th Ave
West Linn, Clackamas County

LOCATION AND PROPERTY NAME

address: 1883 SE 6th Ave apprx. addr

West Linn vcnt Clackamas County

Optional Information
assoc addresses:
(former addresses, intersections, etc.)

location descr:
(remote sites)

historic name: Kinney House

current/
other names:

block nbr: _____ lot nbr: 640 tax lot nbr: _____

township: 03S range: 01E section: 02 1/4: BA

zip: _____

PROPERTY CHARACTERISTICS

resource type: Building height (# stories): 2

elig. evaluation: eligible/contributing

primary constr date: 1900 (c.) secondary date: _____ (c.)
(optional--use for major addns)

primary orig use: Single Dwelling

secondary orig use: _____

primary style: Queen Anne

secondary style: Vernacular

primary siding: Cement Fiber Siding

secondary siding: Shingle

plan type: Crosswing

total # eligible resources: _____ total # ineligible resources: _____

NR status: Listed in Historic District

NR date listed: _____ (indiv listed only; see Grouping for hist dist)

orig use comments: _____

prim style comments: _____

sec style comments: _____

siding comments: Rake Board

architect: _____

builder: _____

comments/notes:

GROUPINGS / ASSOCIATIONS

survey project name or other grouping name	<u>West Linn Survey- Willamette Conservation District, 2006</u>	<u>Survey & Inventory Project</u>
	<u>West Linn, Willamette Falls Neighborhood, RLS 2008, 2008</u>	<u>Survey & Inventory Project</u>
	<u>Willamette Falls Neighborhood Historic District, 2008</u>	<u>Listed Historic District</u>

farmstead/cluster name: _____ external site #: WL-2-620
(ID# used in city/agency database)

SHPO INFO FOR THIS PROPERTY

NR date listed: _____ NHD

ILS survey date: _____

RLS survey date: 3/17/2006

Gen File date: _____

106 Project(s)

Oregon Historic Site Form

Kinney House
1883 6th Ave
West Linn, Clackamas County

ARCHITECTURAL / PROPERTY DESCRIPTION

(Include expanded description of the building/property, setting, significant landscape features, outbuildings, and alterations)

Main Entrance: Hip roof supported by turned post.

Notes: Extensions to the rear of the house. Polygonal bay with large, decorative brackets. Rectangular bay on west elevation.

A former owner and possible original owner was George C. Kinney (1901).

HISTORY

(Chronological, descriptive history of the property from its construction through at least the historic period [preferably to the present])

RESEARCH INFORMATION

(Check all of the basic sources consulted and cite specific important sources)

- | | | | |
|---|---|---|---|
| <input type="checkbox"/> Title Records | <input type="checkbox"/> Census Records | <input type="checkbox"/> Property Tax Records | <input type="checkbox"/> Local Histories |
| <input type="checkbox"/> Sanborn Maps | <input type="checkbox"/> Biographical Sources | <input type="checkbox"/> SHPO Files | <input type="checkbox"/> Interviews |
| <input type="checkbox"/> Obituaries | <input type="checkbox"/> Newspapers | <input type="checkbox"/> State Archives | <input type="checkbox"/> Historic Photographs |
| <input type="checkbox"/> City Directories | <input type="checkbox"/> Building Permits | <input type="checkbox"/> State Library | |

Local Library: _____

University Library: _____

Historical Society: _____

Other Repository: _____

Bibliography:

Cultural Resource Survey Form

CLACKAMAS COUNTY

T. D. NUMBER WL-2-620

PHOTO INFORMATION:

ROLL: XXXI
FRAME: 11

STUDY AREA: WEST LINN
LEGAL: T. 3S R. 1E SEC. 2BA
TAX (LOTS): 6400
ZONE _____ SIZE .23

WF B 12 L 1,2

IDENTIFICATION:

COMMON/HISTORICAL NAME: KINNEY RESIDENCE
ADDRESS: 1883 S. E. 6th Avenue AREA: West Linn
CURRENT OWNER: JERALD A. GRANQUIST USE: Residence
OWNER'S ADDRESS: Same West Linn 97068
ORIGINAL OWNER: George C. Kinney USE: Residence
AREA OF SIGNIFICANCE: TOWN: X COUNTY: _____ CITY: _____ NATION: _____

HISTORIC INTEREST:

THEME: Architecture - 19th Century DATE: c 1895
DESCRIPTION: A former owner and possible original owner was George C. Kinney (1901).

ARCHITECTURAL INTEREST:

STYLE: Queen Anne Vernacular STORIES: 1½
DATE: c.1895 CONDITION: Good ARCHITECT: _____
SIDING: Covered with asbestos shingles. Rake board.
ROOF: Truncated hip roof with multiple gables.
DOORS: _____
WINDOWS: Original are 1/1 double-hung windows.

MAIN ENTRANCE: Hip roof supported by turned post.

NOTES: Extensions to the rear of the house. Polygonal bay with large, decorative brackets. Rectangular bay on west elevation.



BIBLIOGRAPHY:
47 Bk. 3, p. 173

DATE: 1/16/84
RECORDER: BORGE/ALTIER
457



DEVELOPMENT REVIEW APPLICATION

TYPE OF REVIEW (Please check all boxes that apply):

- | | |
|---|---|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Non-Conforming Lots, Uses & Structures |
| <input type="checkbox"/> Appeal and Review * | <input type="checkbox"/> One-Year Extension * |
| <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Planned Unit Development |
| <input type="checkbox"/> Design Review | <input type="checkbox"/> <u>Pre-Application Meeting</u> * |
| <input type="checkbox"/> Easement Vacation | <input type="checkbox"/> Quasi-Judicial Plan or Zone Change |
| <input type="checkbox"/> Extraterritorial Ext. of Utilities | <input type="checkbox"/> Street Vacation |
| <input type="checkbox"/> Final Plat or Plan | <input type="checkbox"/> Subdivision |
| <input type="checkbox"/> Flood Plain Construction | <input type="checkbox"/> Temporary Uses * |
| <input type="checkbox"/> Hillside Protection and Erosion Control | <input type="checkbox"/> Tualatin River Greenway |
| <input checked="" type="checkbox"/> Historic District Review | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Legislative Plan or Change | <input type="checkbox"/> Water Resource Area Protection/Wetland |
| <input type="checkbox"/> Lot Line Adjustment * / ** | <input type="checkbox"/> Willamette River Greenway |
| <input type="checkbox"/> Minor Partition (Preliminary Plat or Plan) | <input type="checkbox"/> Other/Misc |

Home Occupation / Pre-Application / Sidewalk Use Application * / Permanent Sign Review * / Temporary Sign Application require individual application forms available in the forms and application section of the City Website or at City Hall.

TOTAL FEES/DEPOSIT

0

* No CD required / ** Only one copy needed

DAVE BECKER 1883 6th AVE WEST LINN ORE 97068

OWNER'S	ADDRESS	CITY	ZIP	PHONE(res. & bus.)
<u>DEAN MACKESON</u>	<u>25450 SWISSCREE DR.</u>	<u>W. LINN</u>	<u>97068</u>	<u>(503) 515-1584</u>

APPLICANT'S	ADDRESS	CITY	ZIP	PHONE(res. & bus.)
-------------	---------	------	-----	--------------------

CONSULTANT	ADDRESS	CITY	ZIP	PHONE
------------	---------	------	-----	-------

SITE LOCATION 1883 6th AVE WEST LINN ORE 97068

Assessor's Map No.: 31E 02BA Tax Lot(s): 6401 Total Land Area: 50x100'

- All application fees are non-refundable (excluding deposit).
- The owner/applicant or their representative should be present at all public hearings.
- A denial or grant may be reversed on appeal. No permit will be in effect until the appeal period has expired.

4. **Four (4) complete hard-copy sets (single sided) of application materials must be submitted with this application. One (1) complete set of digital application materials must also be submitted on CD in PDF format.**

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application.

SIGNATURE OF PROPERTY OWNER(S)

X _____ Date _____

SIGNATURE OF APPLICANT(S)

X Dean Mackeson Const. Inc. Date 7/7/10

BY SIGNING THIS APPLICATION, THE CITY IS AUTHORIZED REASONABLE ACCESS TO THE PROPERTY. ACCEPTANCE OF THIS APPLICATION DOES NOT INFER A COMPLETE SUBMITTAL. COMPLETENESS WILL BE DETERMINED WITHIN 30 DAYS OF SUBMITTAL.

PLANNING AND BUILDING; 22500 SALAMO RD #1000; WEST LINN, OR 97068;

PHONE: 656-4211, FAX: 656-4106

7/7/10

TO WHOM IT MAY CONCERN:

APPLICATION IS BEING MADE FOR A DORMER ADDITION TO THE RESIDENCE AT 1883 SIXTH AVE. WEST LINN. THE SECOND STORY ADDITION IS ROUGHLY 9' WIDE AND 7' DEEP. THE PLOTE LINE OF THE ADDITION IS APPX 16' 8" ABOVE THE MAIN FLOOR WHICH IS TYPICAL FOR THE STYLE AND ERA IN THIS AREA FOR HISTORIC VICTORIAN HOMES. THE ROOFING WILL MATCH IN COLOR AND TEXTURE THE EXISTING ARCHITECTURAL GRADE COMPOSITE MATERIALS CURRENTLY ON THE HOME WHICH IS ROUGHLY 6 YEARS INTO THE 35 YEAR PRODUCT LIFESPAN. THE SIDING WE INTEND TO USE IS AN EIGHT INCH VERTICAL GRAIN CLAPBOARD SIDING APPLIED HORIZONTALLY WHICH WILL MATCH AS CLOSE AS POSSIBLE THE ORIGINAL AND EXISTING SIDING. THIS SIDING PATTERN (#105) IS AVAILABLE FROM LAKEVIEW LUMBER COMPANY IN TULALIP OR. THE WINDOW FOR THE DORMER IS TO BE A FULLY WOOD TRIMMED (5" TOP & SILL / 4" STYLES) WOOD WINDOW OF VERTICAL ORIENTATION DOUBLE HUNG TO MATCH THE ORIGINAL WOOD WINDOWS APPEARANCE AS CLOSE AS POSSIBLE WHILE MAINTAINING EGRESS CODE REQUIREMENTS AS NECESSARY. IF GUTTERS ARE TO BE USED THEY WILL MATCH THE EXISTING GUTTERS ON THE HOUSE. PAINT COLOR AND SCHEME IS TO MATCH THE EXISTING HOUSE COLOR & TRIM COLOR.

THANK YOU, DEAN MACKESON

CITY OF WEST LINN
 22500 Salamo Rd.
 West Linn, OR. 97068
 (503) 656-4211

PLANNING RECEIPT
 Receipt: # 935860
 Date : 07/07/2010
 Project: #DR-10-11
 BY: SR

 NAME : DEAN MACKESON
 ADDRESS : 25450 SWIFTSHORE DR
 CITY/STATE/ZIP: WEST LINN OR 97068
 PHONE # : 503-515-1584
 SITE ADD. : 1883 6TH AVE

 TYPE I HOME OCCUPATIONS HO \$
 PRE-APPLICATIONS Level I (), Level II () DR \$
 HISTORIC REVIEW Residential Major (), Minor (X), New () DR \$ 0.00
 Commercial Major (), Minor (), New ()
 SIGN PERMIT Face (), Temporary (), Permanent () DR \$
 SIDEWALK USE PERMIT DR \$
 APPEALS Plan. Dir. Dec. (), Subdivsion (), DR \$
 Plan Comm./City Coun. (), Nbhd ()
 LOT LINE ADJUSTMENT LA \$
 CITY/METRO BUSINESS LICENSE BL \$

 The following items are paid by billing against the up-front deposit estimate.
 If the amount of time billed to your project exceeds the amount covered by the
 deposit, additional payment may be required.

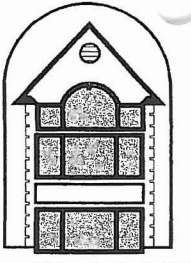
DESIGN REVIEW Class I (), Class II () RD \$
 VARIANCE Class I (), Class II () RD \$
 SUBDIVISION Standard (), Expedited () RD \$
 ANNEXATION "Does Not Include Election Cost" RD \$
 CONDITIONAL USE RD \$
 ZONE CHANGE RD \$
 MINOR PARTITION RD \$
 MISCELLANEOUS PLANNING RD \$
 Boundry Adjustments ()
 Modification to approval () Water Resource
 Code Amendments () Area Protection ()
 Comp. Plan Amendments () Street Vacations ()
 Temporary Permit Admin. () Easement Vacations ()
 Temporary Permit Council () Will. River Greenway ()
 Flood Management () Tualatin River Grwy. ()
 Inter-Gov. Agreements N/C () Street Name Change ()
 Alter Non-Conforming Res. () Code Interpretations ()
 Alter Non-Conforming Comm. () Type II Home Occ. ()
 Measure 37 Claims () Planned Unit Dev. PUD ()

TOTAL REFUNDABLE DEPOSIT RD \$ 0.00
 GENERAL MISCELLANEOUS Type: PM \$

 TOTAL Check # Credit Card () Cash () \$ 0.00

NOTE:

ALL GRADES SHOWN ARE APPROXIMATE.
CONTRACTOR TO VERIFY ALL EXISTING
AND FINISH GRADES.



J. KRAUSE
ARCHITECT P.C.

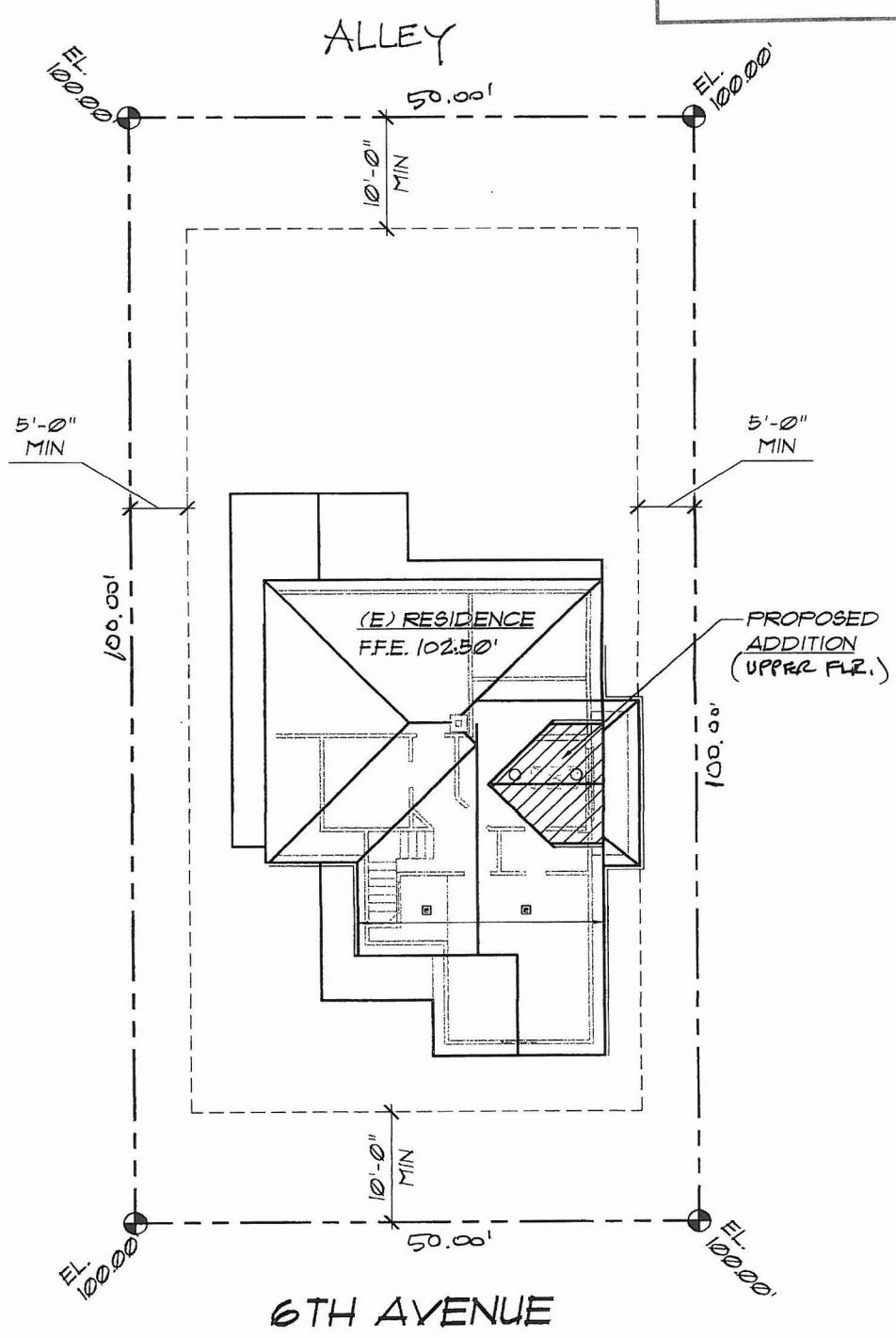
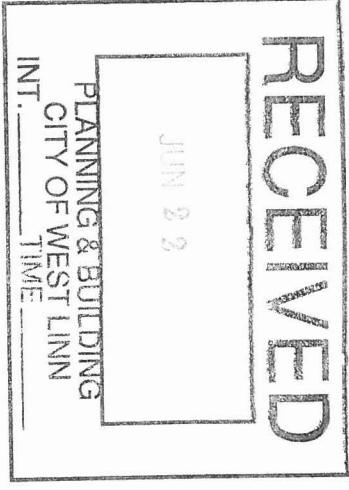
(503) 656-4111
Fax (503) 656-6257
15259 S.E. 82 Dr.
Suite 202
Clackamas, Oregon 97015

THESE PLANS ARE FOR THE
CONSTRUCTION OF ONE BUILDING
ONLY, AND ARE NOT TO BE
REPRODUCED IN ANY WAY
WITHOUT THE EXPRESSED WRITTEN
PERMISSION OF THE ARCHITECT.
THE CONTRACTOR IS TO CHECK AND
VERIFY ALL DIMENSIONS AND CONDITIONS
AND REPORT ANY ERRORS OR OMISSIONS TO THIS
OFFICE PRIOR TO THE START OF
CONSTRUCTION. WRITTEN DIMENSIONS
ALWAYS HAVE PRECEDENCE
OVER SCALED DIMENSIONS.
COPYRIGHT © 2009

1883 6TH AVENUE
WEST LINN, OR 97068

TITLE: **SITE PLAN**
PROJECT: **BECKER REMODEL**
OWNER: **DAVID**

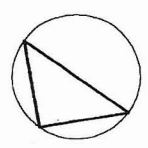
DATE:
JUNE 2, 2010
PROJECT NO.:
10025
REVISIONS:



SITE PLAN

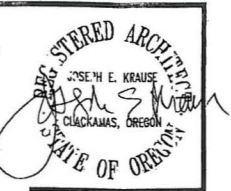
SCALE: 1" = 10'-0"

TAX LOT 0401
31E 02BA map NO.
CITY OF WEST LINN
COUNTY OF CLACKAMAS
STATE OF OREGON



NO:
S
OF ONE

GENERAL NOTES



KRAUSE ARCHITECT P.C.
 5031 655-4111
 Fax 5031 656-6297
 1529 SE 82 St.
 Suite 202
 Clackamas, Oregon 97015

THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE REPRODUCED IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND REPORT ANY ERRORS OR DISCREPANCIES TO THIS OFFICE PRIOR TO THE START OF CONSTRUCTION. WRITTEN DIMENSIONS ALWAYS HAVE PRECEDENCE OVER SCALED DIMENSIONS.
 COPYRIGHT © 2010

EXTERIOR ELEVATIONS, BUILDING SECTIONS
 PROJECT: **BECKER REMODEL**
 OWNER: **DAVID**
 1893 - 6TH AVENUE
 WEST LINN, OR 97068

DATE: **JUNE 2, 2010**
 PROJECT NO.: **10025**
 REVISIONS:

NO. **1**
 OF THREE

NOTICE

ALL CONSTRUCTION TO COMPLY WITH THE 2006 EDITION OF THE OREGON RESIDENTIAL SPECIALTY CODE / INTERNATIONAL RESIDENTIAL CODE WITH THE OREGON AMENDMENTS AND OREGON RESIDENTIAL ENERGY EFFICIENCY (CHAPTER 12). COORDINATE ALL APPLICABLE MODIFICATIONS TO THESE DRAWINGS AS REQUIRED.

SPECIFICATIONS:

BUILDING COMPONENTS	PATH I
Maximum Allowable Window Area	No Limit
Window Class	U-0.35
Doors, Other than Main Entry	U-0.22
Exterior Main Entry Door (Maximum 28 s.f.)	U-0.54
Exterior Wall Insulation	R-21
Underfloor Insulation	R-30
Flat Ceilings	R-38
Vaulted Ceilings	R-38
Skylight Glass	U-0.50
Skylight Area	< 2%
Basement Walls (that DO NOT extend more than 24" above grade)	R-15
Basement Walls (that extend more than 24" above grade)	R-21
Slab Floor Edge Insulation	R-15
Porcoid Air Duct Insulation	R-8

Taken from Table N1001 (1) of the 2006 ORSC.

NOTE:

EXTEND ALL FLUES A MIN. OF 2'-0" ABOVE ANY PART OF THE BLDG W/ IN A 10'-0" HORIZONTAL RADIUS

NOTE:

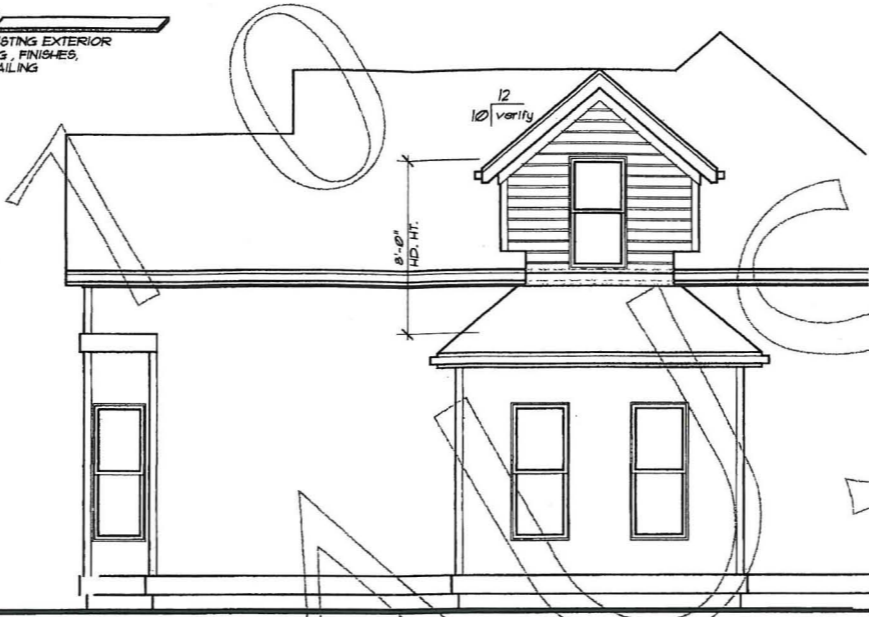
ALL GRADES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL EXISTING AND FINISH GRADES.

NOTE:

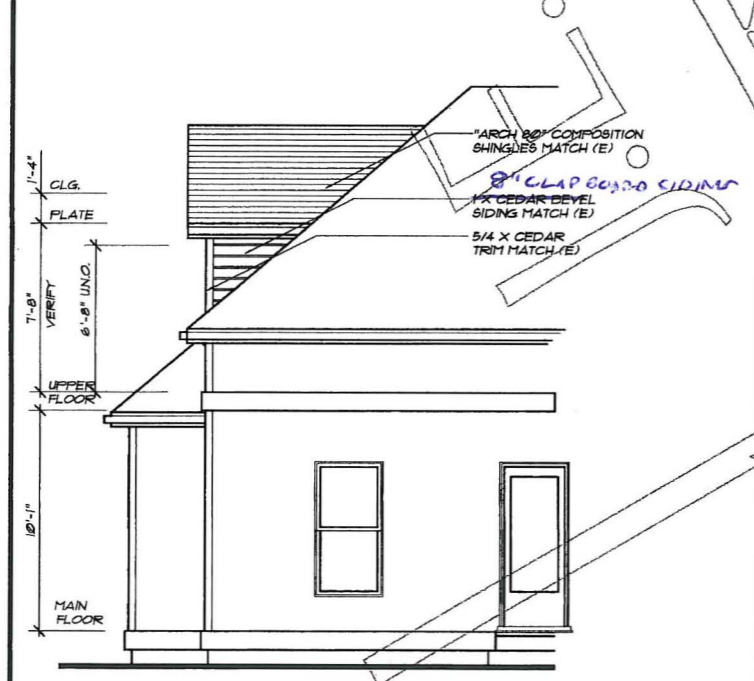
MATCH ALL EXISTING EXTERIOR ROOFING, SIDING, FINISHES, TRIM, AND DETAILING



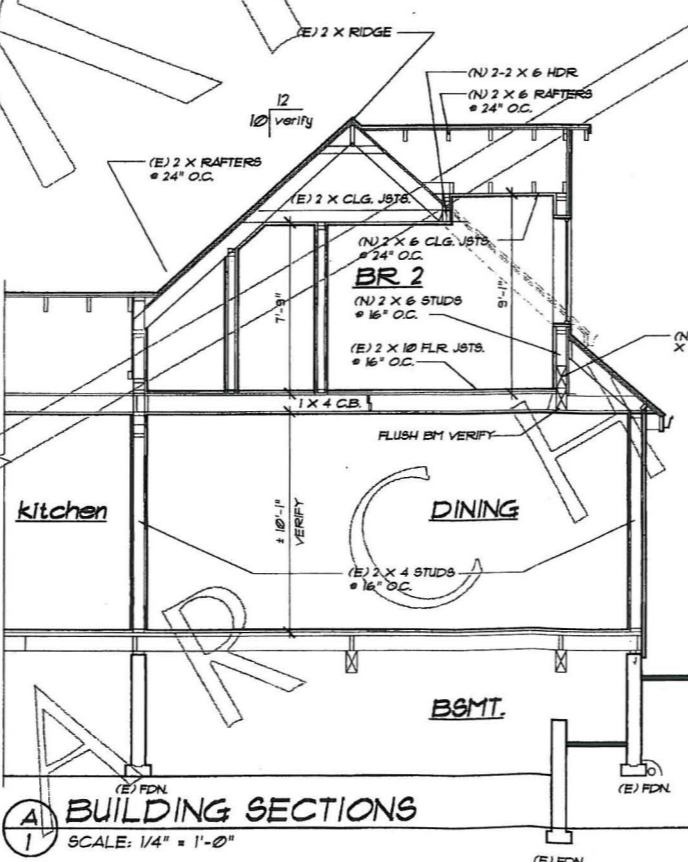
"PARTIAL" **FRONT ELEVATION**
 SCALE: 1/4" = 1'-0"



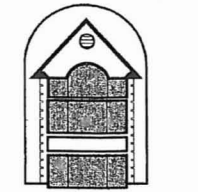
"PARTIAL" **RIGHT-SIDE ELEVATION**
 SCALE: 1/4" = 1'-0"



"PARTIAL" **REAR ELEVATION**
 SCALE: 1/4" = 1'-0"



BUILDING SECTIONS
 SCALE: 1/4" = 1'-0"



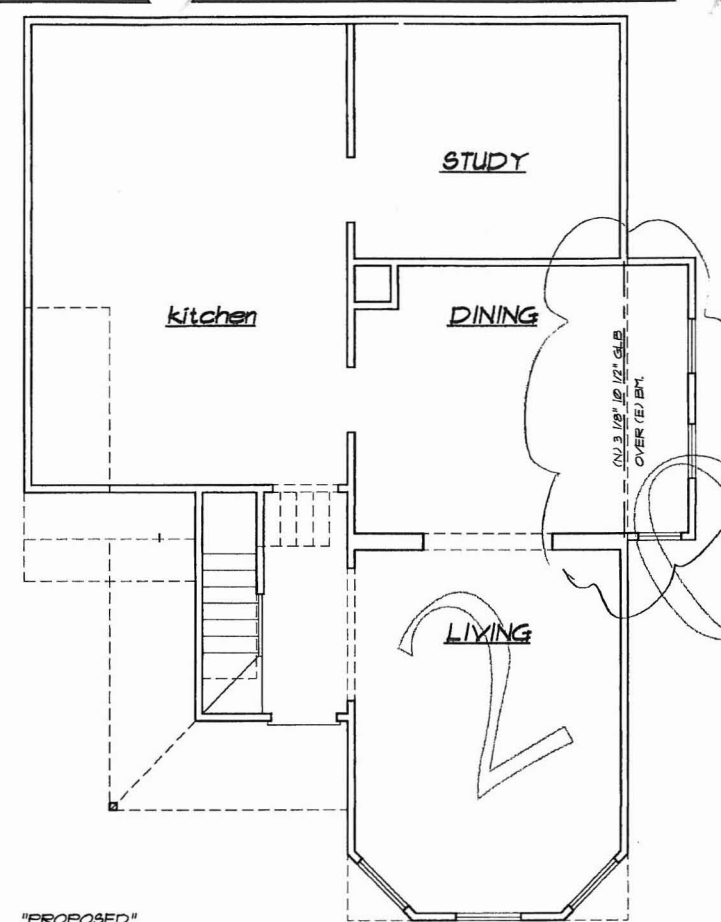
J. KRAUSE
ARCHITECT P.C.
6803 654-4111
Fax: 6803 654-4257
15239 SE. 81 St.
Salem, Oregon 97305

THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY, AND ARE NOT TO BE REPRODUCED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE ARCHITECT. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND REPORT ANY ERRORS OR OMISSIONS TO THIS OFFICE PRIOR TO THE START OF CONSTRUCTION. WRITTEN CONSENT ALWAYS HAVE PRECEDENCE OVER SCALED DIMENSIONS.
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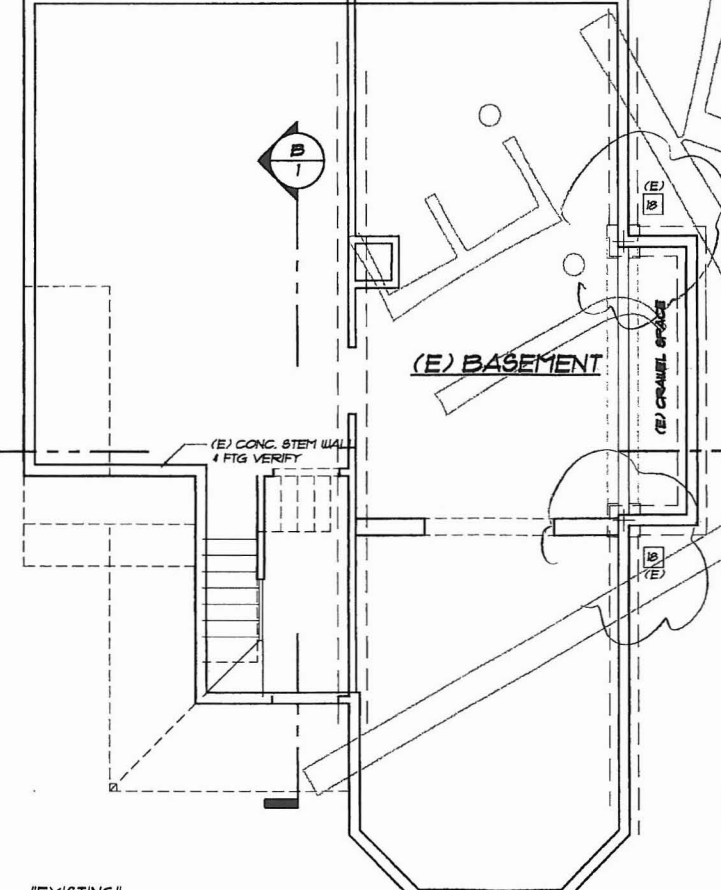
TITLE: MAIN, FOUNDATION, UPPER, ROOF/ROOF FRAMING PLAN
PROJECT: BECKER REMODEL
OWNER: DAVID
1263 - 6TH AVENUE
WEST LINN, OR 97148

DATE: JUNE 2, 2010
PROJECT NO.: 10035
REVISIONS:

NO: 2
OF THREE



"PROPOSED" MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"



"EXISTING" LOWER/FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

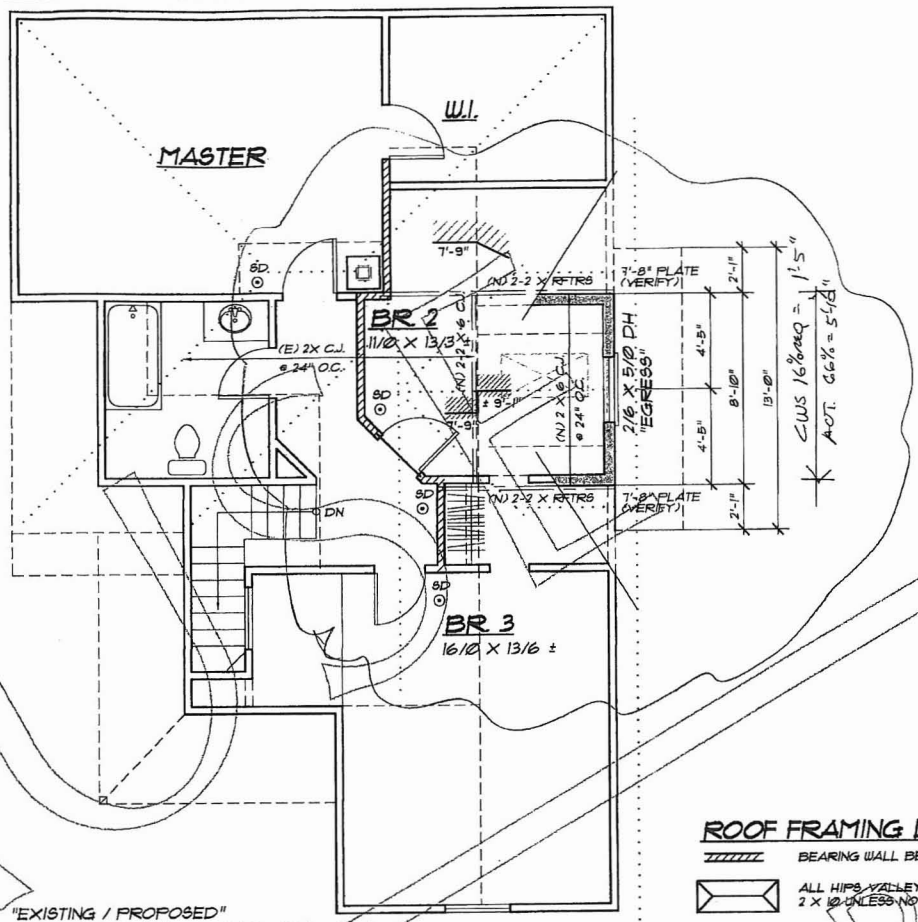
LEGEND:
 - - - - - DENOTES EXISTING WALLS.
 _____ DENOTES NEW WALLS.
 - - - - - DENOTES WALLS & OBJECTS TO BE REMOVED.

- GENERAL NOTES:**
- ALL EXTERIOR WALLS TO BE 2 X 6 STUDS AT 16" O.C. (TYP. UNO.)
 - ALL INTERIOR WALLS TO BE 2 X 4 STUDS AT 16" O.C. (TYP. UNO.)
 - ASSUME A MINIMUM OF (2) 2 X 4 STUDS AS BEAM SUPPORTS AT BEARING WALLS.
 - ALL WINDOWS AND SLIDING GLASS DOORS SHOWN ARE TO BE WOOD SASH (VERIFY ALL ROUGH OPENINGS). MATCH EXISTING.
 - DENOTES INTERIOR BEARING WALL(S).
 - PROVIDE OUTSIDE COMBUSTION AIR FOR ALL FIREPLACES AND FURNACE.
 - CONNECT ALL SMOKE DETECTORS TOGETHER AND TO HOUSE POWER SOURCE.
 - PROVIDE 5/8" TYPE "X" G.I.W.B. AT ALL ACCESSIBLE AREAS UNDER STAIRS.
 - PROVIDE UL LISTED FLUES AT ALL FURNACE AND METAL FIREPLACE LOCATIONS AS REQUIRED BY MANUFACTURER.
 - PROVIDE 18" HIGH NON-COMBUSTIBLE PLATFORM FOR ALL GAS FIRED APPLIANCES LOCATED IN GARAGE.
 - PROVIDE 3" DIA. X 5'-0" CONCRETE FILLED STEEL PIPE BOLLARD IN GARAGE FOR PROTECTION OF FURNACE AND WATER HEATER (EMBED IN 12" DIA. X 24" CONCRETE FOOTING).
 - PROVIDE WATER HEATER SEISMIC ATTACHMENT STRAPPING AS PER MECHANICAL CODE M 1307.2
 - STRUCTURES OVER 3600 SQUARE FEET SHALL BE SPRENKLED NFPA 13 SYSTEM OR EQUAL AS PER FIRE CODES.
 - FIRE BLOCKING REQUIRED AT CONSTRUCTION VOIDS AND WALL CAVITIES EXCEEDING 10'-0" IN HEIGHT AS PER 2009 ORSC R402.8.
 - MINIMUM 3" X 3" X 1/4" PLATE WASHERS ON FULL LENGTH OF BRACED WALL LINES PER ORSC 2009 R602.11.
 - ALL ROOMS CONTAINING BATHING OR SPA FACILITIES SHALL BE PROVIDED A MECHANICAL VENTILATION SYSTEM CONTROLLED BY A DEHUMIDISTAT, TIMER OR SIMILAR MEANS OF AUTOMATIC CONTROL AS PER 2009 ORSC M1601.4.

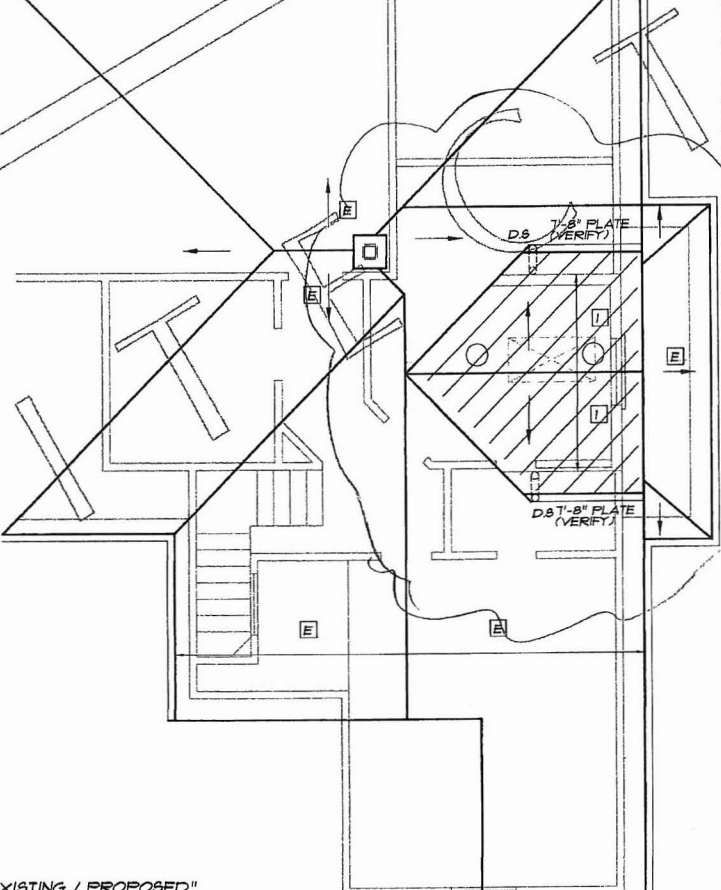
- FOUNDATION NOTES:**
- CONTRACTOR TO EXCAVATE AS TO MAINTAIN 10" MIN. GROUND TO GIRDER CLEARANCE
 - COVER ENTIRE GROUND AREA OF CRAWLSPACE W/6 MIL. "VISQUEEN", EXTEND A MIN. OF 1'-0" UP FOUNDATION WALL.
 - GIRDERS TO HAVE 3" MIN. BEARING ON ASPHALT COMPOSITE SHINGLE W/ 1/2" AIR SPACE AT ENDS AND SIDES OF GIRDER AND FOUNDATION WALL.
 - FOUNDATION VENTS TO 16" X 8" W/4 MESH CORR. RESIST. SCREEN (CLOSABLE) REQUIRED.
 - PROVIDE 18" X 24" CRAWLSPACE ACCESS AS PER 2009 ORSC R409.3 (22" X 30" RECOMMENDED).
 - PROVIDE CRAWLSPACE DRAIN AS PER 2009 ORSC R405, R406 & 509.5.
 - MIN. REBAR PER CODE, 1-4" TOP & BOTTOM (CONT.) W/ #4 @ 48" O.C. VERT. STANDARD FOOTING (TYP.)
 - MINIMUM 3" X 3" X 1/4" PLATE WASHERS ON FULL LENGTH OF BRACED WALL LINES PER ORSC 2009 R602.11.

CONCRETE FOOTINGS
(SOIL PRESSURE = 1500 psf)

L	X	W	X	THICKNESS
12	12	12	6	
14	14	14	7	
16	16	16	8	
18	18	18	9	
20	20	20	10	
22	22	22	11	
24	24	24	12	
26	26	26	13	
28	28	28	14	
30	30	30	15	
32	32	32	*	
34	34	34	*	
36	36	36	*	
38	38	38	*	
40	40	40	*	
42	42	42	*	
44	44	44	*	
46	46	46	*	
48	48	48	*	
12	12	IN. DIA.	6	
16	16	IN. DIA.	8	
18	18	IN. DIA.	9	
20	20	IN. DIA.	10	
24	24	IN. DIA.	12	
30	30	IN. DIA.	15	
*		16" THK. FTG. REINFORCED W/ #4 @ 12" O.C. EA. WAY		



"EXISTING / PROPOSED" UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"



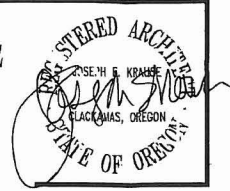
"EXISTING / PROPOSED" ROOF/ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

ROOF FRAMING LEGEND (COMP/SHAKE)
 - - - - - BEARING WALL BELOW 40 PSF = 15 PSF. (DL) + 25 PSF. (SL)
 - - - - - ALL HIPS, VALLEYS AND RIDGES TO BE 2 X 10 (LESS NOTED OTHERWISE)

- 2 X 6 RAFTERS @ 24" O.C. (12'-4" MAXIMUM SPAN)
- 2 X 8 RAFTERS @ 12" O.C. (11'-5" MAXIMUM SPAN)
- 2 X 10 RAFTERS @ 24" O.C. (15'-1" MAXIMUM SPAN)
- 2 X 12 RAFTERS @ 24" O.C. (17'-6" MAXIMUM SPAN)
- 2 X FURLINS @ 24" O.C. @ 45" MAX. FROM VERTICAL SUPPORT FROM BEARING TO RAFTERS
- OVERFRAME W/ 2 X 8 RAFTERS @ 24" O.C.
- POST UP FROM BEARING POINT BELOW
- AT ALL VAULTED 2 X 8 CEILINGS, USE 2 X 4 FURRING BELOW FOR INSULATION. REQ'TS. MANUF. TRUSSES @ 24" O.C.
- MANUF. "6" BISCOR" TRUSSES @ 24" O.C.
- MANUF. "8" BISCOR" TRUSSES @ 24" O.C.
- MANUF. "ATTIC" TRUSSES
- EXISTING ROOF SYSTEM

- ROOF PLAN NOTES:**
- ALL OVERHANGS TO BE 12" (TYP. UNO.) VERIFY
 - ALL RAKES TO BE 12" (TYP. UNO.) VERIFY
 - ROOFING TO BE "ARCH 80" COMP. SHINGLES
 - ROOF VENTS TO BE 50 SQ. IN. EA. (2 REQUIRED)
 - ALL ROOF SLOPES TO BE 10:12 PITCH (TYP. UNO.) VERIFY

J.E. KRAUSE ARCHITECT P.C. ASSUMES NO RESPONSIBILITY FOR THE ACCURACY / VALIDITY OF CONTRACTOR / OWNER SUPPLIED INFORMATION. THE CONTRACTOR / OWNER IS RESPONSIBLE TO CHECK THE PLANS, EXISTING SITE CONDITIONS, DIMENSIONS, AND TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION. DISCREPANCIES MAY RESULT IN ADDITIONAL COST TO THE OWNER.



J.E. KRAUSE
ARCHITECT P.C.
10025
CLATSOP COUNTY, OREGON 97130
CLATSOP COUNTY, OREGON 97130
CLATSOP COUNTY, OREGON 97130

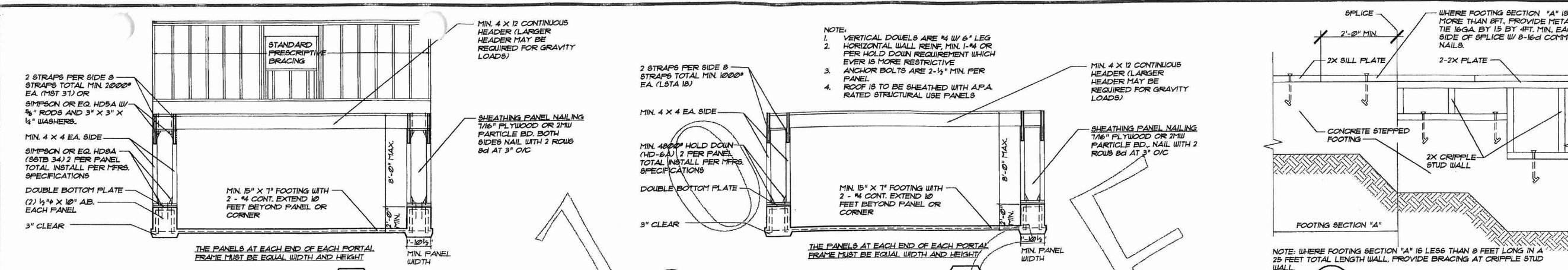
THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE REPRODUCED IN ANY MANNER WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE ARCHITECT. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND REPORT ANY ERRORS OR OMISSIONS TO THE OFFICE PRIOR TO THE START OF CONSTRUCTION. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
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1833 - 6TH AVENUE
WEST LINN, OR 97136

TITLE: LATERAL DETAILS / SHEAR WALLS
PROJECT: BECKER REMODEL
OWNER: DAVID

DATE: JUNE 2, 2010
PROJECT NO: 10025
REVISIONS:

NO: 3
OF THREE



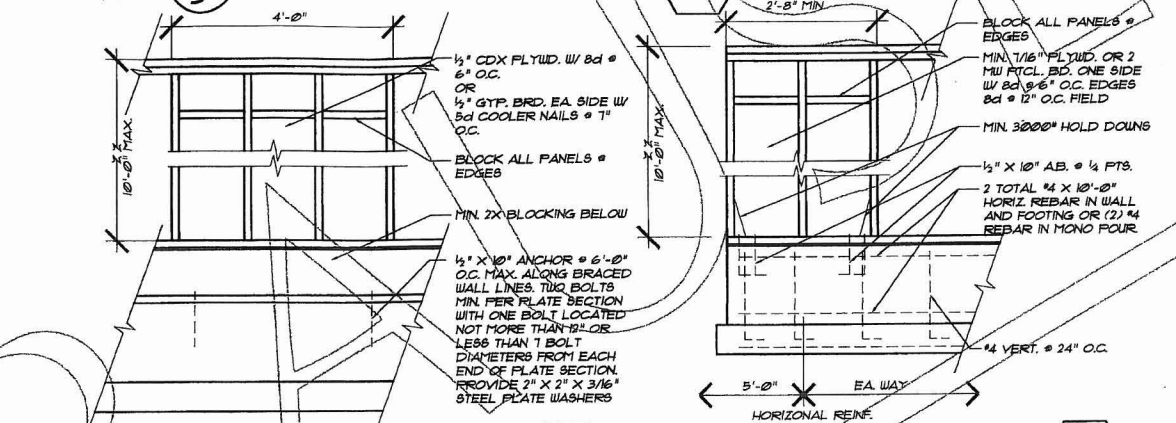
1 2 STORY STRUCTURE
3 PORTAL FRAME

2 1 STORY STRUCTURE
3 PORTAL FRAME

3 STEPPED FOUNDATION

TABLE R6-02.10.3(1) SEGMENTAL WALL BRACING

SEISMIC DESIGN CATEGORY OR WIND SPEED	CONDITION	AMOUNT OF BRACING (FULL HEIGHT PANEL LOCATED AT EACH END AND AT LEAST EVERY 25 FEET ON CENTER)	
		METHODS 2, 4, 5, 10, 8, 9, 10, 8, 9, 10	METHODS 3 a, b, c, d, a, b, c, d
100 MPH OR LESS	ONE STORY TOP STORY OF TWO OR THREE STORY	NOT LESS THAN 50% OF BRACED WALL LINE IN FULL HEIGHT PANELS	NOT LESS THAN 50% OF BRACED WALL LINE IN FULL HEIGHT PANELS
	FIRST STORY OF TWO STORY SECOND STORY OF THREE STORY	NOT LESS THAN 25% OF BRACED WALL LINE IN FULL HEIGHT PANELS	NOT LESS THAN 25% OF BRACED WALL LINE IN FULL HEIGHT PANELS
CATEGORY C OR 110 MPH OR LESS	ONE STORY TOP STORY OF TWO	NOT LESS THAN 25% OF BRACED WALL LINE IN FULL HEIGHT PANELS	NOT LESS THAN 25% OF BRACED WALL LINE IN FULL HEIGHT PANELS
	FIRST STORY OF TWO SECOND STORY OF THREE STORY	NOT LESS THAN 25% OF BRACED WALL LINE IN FULL HEIGHT PANELS	NOT LESS THAN 25% OF BRACED WALL LINE IN FULL HEIGHT PANELS
CATEGORY D ₁ OR 110 MPH OR LESS	ONE STORY TOP STORY OF TWO	NOT LESS THAN 25% OF BRACED WALL LINE IN FULL HEIGHT PANELS	NOT LESS THAN 25% OF BRACED WALL LINE IN FULL HEIGHT PANELS
	FIRST STORY OF TWO SECOND STORY OF THREE STORY	NOT LESS THAN 25% OF BRACED WALL LINE IN FULL HEIGHT PANELS	NOT LESS THAN 25% OF BRACED WALL LINE IN FULL HEIGHT PANELS
CATEGORY D ₂ OR 110 MPH OR LESS	ONE STORY TOP STORY OF TWO	NOT LESS THAN 25% OF BRACED WALL LINE IN FULL HEIGHT PANELS	NOT LESS THAN 25% OF BRACED WALL LINE IN FULL HEIGHT PANELS
	FIRST STORY OF TWO SECOND STORY	NOT LESS THAN 25% OF BRACED WALL LINE IN FULL HEIGHT PANELS	NOT LESS THAN 25% OF BRACED WALL LINE IN FULL HEIGHT PANELS



4 BRACE PANEL
3 1 STORY OR TOP STORY

5 ALT. BRACE PANEL
3 1 STORY OR TOP STORY
SEE 2005 ORSC SECT. R6-02.10.6

6 OUTSIDE CORNER
3 SEE 2005 ORSC SECT. R6-02.10.11

TABLE R6-02.10.3(2) WALL BRACING CONTINUOUSLY SHEATHED WALLS WITH WOOD STRUCTURAL PANELS

SEISMIC DESIGN CATEGORY OR WIND SPEED	CONDITION	AMOUNT OF BRACING (FULL HEIGHT PANEL LOCATED AT EACH END AND AT LEAST EVERY 25 FEET ON CENTER)	
		Maximum Opening Height 67% of the Wall Height g	Maximum Opening Height 85% of the Wall Height h
CATEGORY C OR 110 MPH OR LESS	ONE STORY TOP STORY OF TWO	NOT LESS THAN 50% OF BRACED WALL LINE IN FULL HEIGHT PANELS	NOT LESS THAN 50% OF BRACED WALL LINE IN FULL HEIGHT PANELS
	FIRST STORY OF TWO SECOND STORY OF THREE STORY	NOT LESS THAN 25% (25% OF BRACED WALL LINE IN FULL HEIGHT PANELS)	NOT LESS THAN 25% (25% OF BRACED WALL LINE IN FULL HEIGHT PANELS)
CATEGORY D ₁ OR 110 MPH OR LESS	ONE STORY TOP STORY OF TWO OR THREE STORY	NOT LESS THAN 25% OF BRACED WALL LINE IN FULL HEIGHT PANELS	NOT LESS THAN 25% OF BRACED WALL LINE IN FULL HEIGHT PANELS
	FIRST STORY OF TWO SECOND STORY OF THREE STORY	NOT LESS THAN 25% (25% OF BRACED WALL LINE IN FULL HEIGHT PANELS)	NOT LESS THAN 25% (25% OF BRACED WALL LINE IN FULL HEIGHT PANELS)
CATEGORY D ₂ OR 110 MPH OR LESS	ONE STORY TOP STORY OF TWO	NOT LESS THAN 25% OF BRACED WALL LINE IN FULL HEIGHT PANELS	NOT LESS THAN 25% OF BRACED WALL LINE IN FULL HEIGHT PANELS
	FIRST STORY OF TWO SECOND STORY	NOT LESS THAN 25% (25% OF BRACED WALL LINE IN FULL HEIGHT PANELS)	NOT LESS THAN 25% (25% OF BRACED WALL LINE IN FULL HEIGHT PANELS)

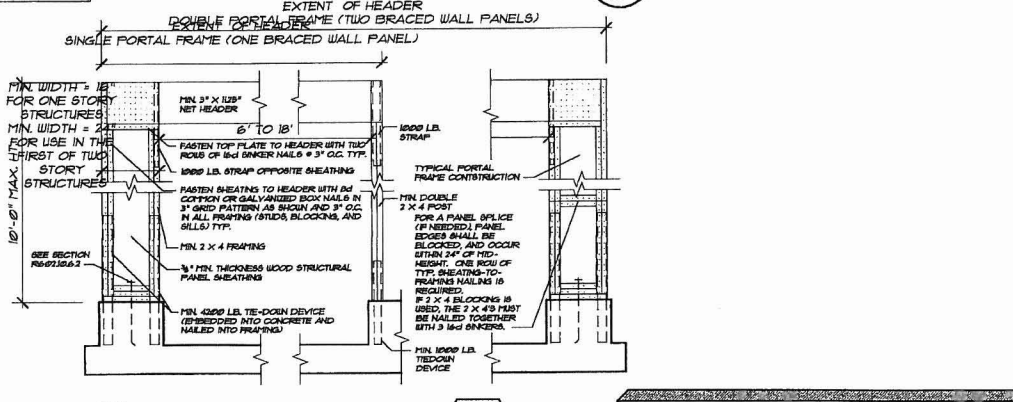
1. AN ALTERNATE BRACED PANEL SHALL BE CONSIDERED TO HAVE AN EFFECTIVE LENGTH OF 4 FEET FOR THE PURPOSE OF SATISFYING THE PERCENTAGE OF WALL LENGTH REQUIRED TO BE BRACED. 2. BRACED WALL PANELS SHALL NOT BE MORE THAN 12 FEET (3050 MM) IN HEIGHT AND CONSTRUCTED TO A HEIGHT HEIGHT TO BOTH SIDES OF 2-1/2" (63.5 MM) THE PERCENTAGE OF A BRACED PANEL SHALL BE 4 FEET EXCEPT AS PERMITTED FOR ALTERNATE BRACED PANELS. NO INCREASE IN HEIGHT SHALL BE ALLOWED FOR BRACED WALL PANELS SHEATHED ON BOTH SIDES OF THE WALL.

TABLE R6-02.10.1 - CONTINUED FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENER (include size)	SPACING OF FASTENERS (include spacing between members)
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND WALL SHEATHING TO FRAMING, AND PARTICLEBOARD WALL SHEATHING TO FRAMING	1/2" GALVANIZED ROOFING NAIL, 6d COPPER NAIL, 6d COPPER NAIL, 6d COPPER NAIL, 6d COPPER NAIL	6" @ 0' g
1/2" REGULAR CELLULOSIC FIBERBOARD SHEATHING	1/2" GALVANIZED ROOFING NAIL, 6d COPPER NAIL, STAPLE 1/2" GA, 1 1/2" LONG	3" @ 0' g
1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1/2" GALVANIZED ROOFING NAIL, 6d COPPER NAIL, STAPLE 1/2" GA, 1 1/2" LONG	3" @ 0' g
2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 3/4" GALVANIZED ROOFING NAIL, 6d COPPER NAIL, STAPLE 1/2" GA, 1 1/2" LONG	3" @ 0' g
1 1/2" GYPFRM SHEATHING	1 1/2" GALVANIZED ROOFING NAIL, 6d COPPER NAIL, STAPLE GALVANIZED, 1 1/2" LONG, 1 1/2" SPACING, TYPE 31 OR 3	4" @ 0' g
5/8" GYPFRM SHEATHING	1 3/4" GALVANIZED ROOFING NAIL, 6d COPPER NAIL, STAPLE GALVANIZED, 1 1/2" LONG, 1 1/2" SPACING, TYPE 31 OR 3	4" @ 0' g
3/4" AND LESS	6d DEFORMED NAIL OR 6d COPPER NAIL	6" @ 0' g
1/2" - 7"	6d COPPER NAIL OR 6d DEFORMED NAIL	6" @ 0' g
1 1/2" - 1 1/4"	16d COPPER NAIL OR 6d DEFORMED NAIL	6" @ 0' g

TABLE R6-02.10.5 LENGTH REQUIREMENTS FOR BRACED WALL PANELS IN A CONTINUOUSLY SHEATHED WALL, a, b, c

MINIMUM LENGTH OF BRACED WALL PANEL (feet)	1-FOOT WALL	2-FOOT WALL	3-FOOT WALL	4-FOOT WALL	5-FOOT WALL
a	33	36	40	44	48
b	24	27	30	33	36



8 ALT. BRACE PANEL
3 ALTERNATE BRACED WALL PANEL ADJACENT TO A DOOR OR WINDOW SEE 2005 ORSC SECT. R6-02.10.6.2

7 INSIDE CORNER
3 SEE 2005 ORSC SECT. R6-02.10.11

1. AN ALTERNATE BRACED PANEL SHALL BE CONSIDERED TO HAVE AN EFFECTIVE LENGTH OF 4 FEET FOR THE PURPOSE OF SATISFYING THE PERCENTAGE OF WALL LENGTH REQUIRED TO BE BRACED. 2. BRACED WALL PANELS SHALL NOT BE MORE THAN 12 FEET (3050 MM) IN HEIGHT AND CONSTRUCTED TO A HEIGHT HEIGHT TO BOTH SIDES OF 2-1/2" (63.5 MM) THE PERCENTAGE OF A BRACED PANEL SHALL BE 4 FEET EXCEPT AS PERMITTED FOR ALTERNATE BRACED PANELS. NO INCREASE IN HEIGHT SHALL BE ALLOWED FOR BRACED WALL PANELS SHEATHED ON BOTH SIDES OF THE WALL.

1. AN ALTERNATE BRACED PANEL SHALL BE CONSIDERED TO HAVE AN EFFECTIVE LENGTH OF 4 FEET FOR THE PURPOSE OF SATISFYING THE PERCENTAGE OF WALL LENGTH REQUIRED TO BE BRACED. 2. BRACED WALL PANELS SHALL NOT BE MORE THAN 12 FEET (3050 MM) IN HEIGHT AND CONSTRUCTED TO A HEIGHT HEIGHT TO BOTH SIDES OF 2-1/2" (63.5 MM) THE PERCENTAGE OF A BRACED PANEL SHALL BE 4 FEET EXCEPT AS PERMITTED FOR ALTERNATE BRACED PANELS. NO INCREASE IN HEIGHT SHALL BE ALLOWED FOR BRACED WALL PANELS SHEATHED ON BOTH SIDES OF THE WALL.

AFFIDAVIT OF NOTICE

We, the undersigned do hereby certify that, in the interest of the party (parties) initiating a proposed land use, the following took place on the dates indicated below:

GENERAL

File No. DR-10-11 Applicant's Name Dave Becker
Development Name Dormer Addition 1883 6th Ave. Historic District
Scheduled Meeting/Decision Date August 12, 2010

NOTICE: Notices were sent at least 20 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check below)

TYPE A _____

- A. ~~The applicant (date) _____ (signed) _____~~
- B. ~~Affected property owners (date) _____ (signed) _____~~
- C. ~~School District/ Board (date) _____ (signed) _____~~
- D. ~~Other affected gov't. agencies (date) _____ (signed) _____~~
- E. ~~Affected neighborhood assns. (date) _____ (signed) _____~~
- F. ~~All parties to an appeal or review (date) _____ (signed) _____~~

At least 10 days prior to the scheduled hearing or meeting, notice was published/posted:

~~Tidings (published date) _____ (signed) _____~~
~~City's website (posted date) _____ (signed) _____~~

SIGN

At least 10 days prior to the scheduled hearing, meeting or decision date, a sign was posted on the property per Section 99.080 of the Community Development Code.

(date) _____ (signed) _____

NOTICE: Notices were sent at least 14 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check below)

TYPE B

- A. The applicant (date) 7/29/10 (signed) SK
- B. Affected property owners (date) 7/29/10 (signed) SK
- C. School District/ Board (date) _____ (signed) _____
- D. Other affected gov't. agencies (date) _____ (signed) _____
- E. Affected neighborhood assns. (date) 7/29/10 (signed) SK
see

Notice was posted on the City's website at least 10 days prior to the scheduled hearing or meeting.
Date: 7/27/2010 (signed) [Signature]

STAFF REPORT mailed to applicant, City Council/Planning Commission and any other applicable parties 10 days prior to the scheduled hearing.

(date) _____ (signed) _____

FINAL DECISION notice mailed to applicant, all other parties with standing, and, if zone change, the County surveyor's office.

(date) _____ (signed) _____

**CITY OF WEST LINN
CLACKAMAS COUNTY HISTORIC REVIEW BOARD
PUBLIC HEARING NOTICE
FILE NO. DR 10-11**

The Clackamas County Historic Review Board (HRB) will hold a public hearing on the request of Dave Becker for a side gabled dormer addition to his house located at 1883 6th Avenue in the Willamette Historic District. The hearing is scheduled to be held on Thursday, August 12, 2010, at 7 p.m. in the Clackamas County Offices at 150 Beaver Creek Road, Oregon City OR 97045. When you arrive for the hearing, consult the information desk to determine which hearings room will be used. The hearing will be based upon the provisions of Chapter 25 of the West Linn Community Development Code. Approval or disapproval of the request by the HRB will be based upon these criteria and these criteria only. At the hearing, it is important that comments relate specifically to the applicable criteria listed.

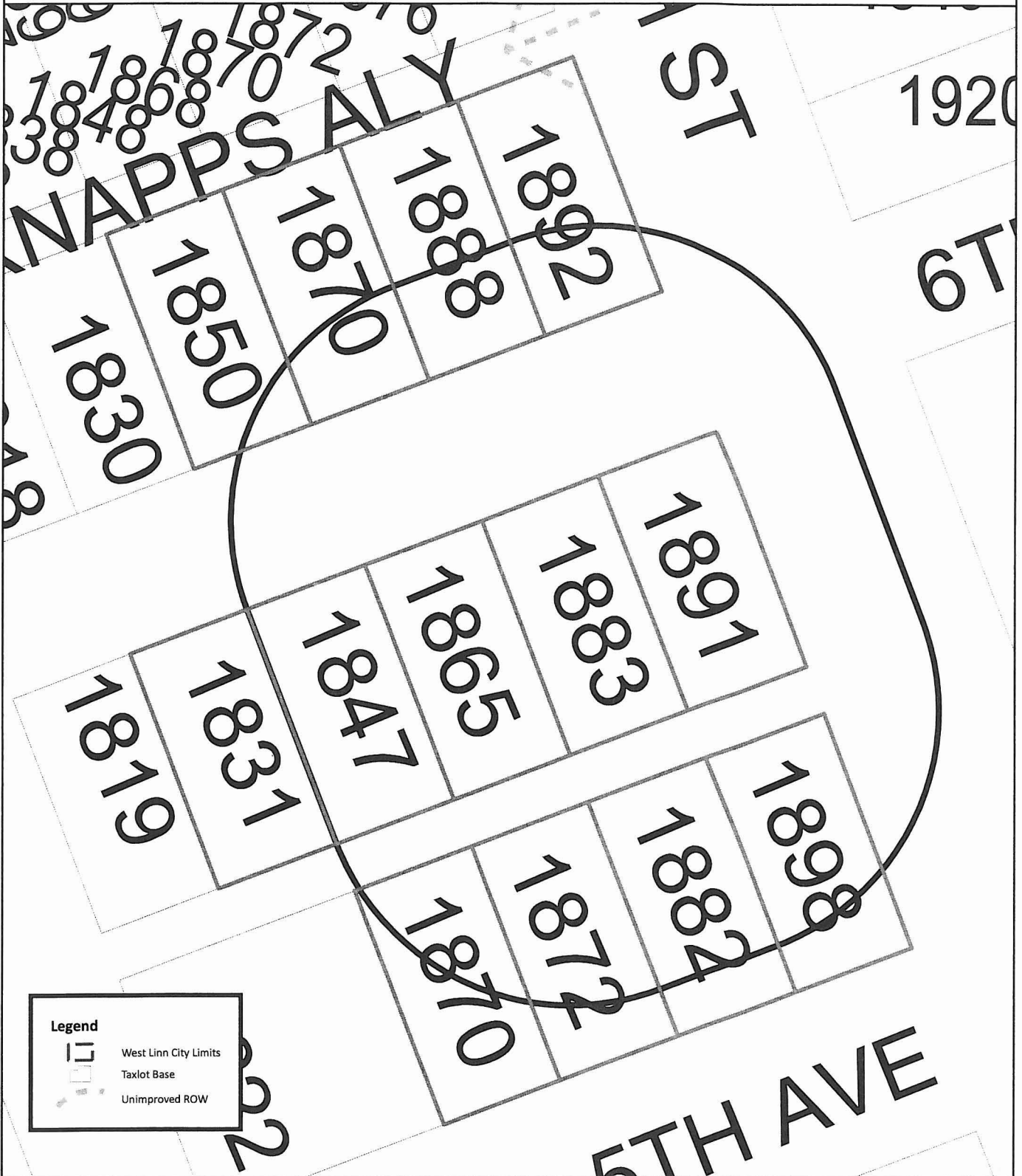
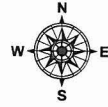
Proposed site also identified as Tax Lot 6401 of Assessor's Map 31E-02BA.

All documents and applicable criteria in the above-noted file are available for inspection at no cost and also via the City's web site at <http://westlinnoregon.gov/planning/1883-6th-avenue-historic-district-dormer-addition>, or copies can be obtained for a minimal charge per page. At least 10 days prior to the hearing, a copy of the staff report will be available for inspection. For further information, please contact Sara Javoronok, Associate Planner, at City Hall, 22500 Salamo Road, West Linn, OR (phone 722-5512). For fastest results please E-mail at sjavoronok@westlinnoregon.gov.

The hearing will be conducted in accordance with the rules of Section 99.170 of the Community Development Code, adopted December 14, 1987, Ordinance 1129. Anyone wishing to present written testimony on this proposed action may do so in writing prior to, or at the public hearing. Oral testimony may be presented at the public hearing. At the public hearing, the HRB will receive a staff report presentation from the City Planner, and invite both oral and written testimony. The HRB may continue the public hearing to another meeting to obtain additional information, or close the public hearing and take action on the application.

If a person submits evidence in support of the application, any party is entitled to request a continuance of the hearing. If there is no continuance granted at the hearing, any participant in the hearing may request that the record remain open for at least seven days after the hearing. Failure to raise an issue in person or by letter at some point prior to the close of the hearing, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes an appeal to the Land Use Board of Appeals based on that issue.

TERESA ZAK Administrative Assistant



Legend

- West Linn City Limits
- Taxlot Base
- Unimproved ROW

This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information.
Taxlot Base Source: Metro RLIS

NOT TO SCALE

SNAPNOTIFY.MXD / AHA APP 6-16-09
User Name: T Zak
Map Creation Date: Jul 27, 2010

A04TXPAYER	A05MAILADD	A06MAILCIT	A0 A08MAILZIP
BECKER DAVID C	1883 6TH AVE	WEST LINN	OF 97068
BECKER STEFANIE W	1898 5TH AVE	WEST LINN	OF 97068
BROWN RONALD G CO-TRUSTEE	14204 S MUELLER RD	OREGON CITY	OF 97045
FLOYD DANIEL T	1831 6TH AVE	WEST LINN	OF 97068
FORSETH DEANNA L	1865 6TH AVE	WEST LINN	OF 97068
MCFADDEN THOMAS A & SHARON L	1850 6TH AVE	WEST LINN	OF 97068
MEURER STEPHAN	1892 6TH AVE	WEST LINN	OF 97068
OFFER RUTH C	1870 5TH AVE	WEST LINN	OF 97068
PSALTIS ANDREW G & KIMBERLY	1891 6TH AVE	WEST LINN	OF 97068
SCHREIBER DANIEL & NICOLE M	1870 6TH AVE	WEST LINN	OF 97068
STELL INVESTMENTS LLC	1085 WILLAMETTE FALL DR	WEST LINN	OF 97068
VAIL HAROLD L JR	1980 WILLAMETTE FALLS DR STE 230	WEST LINN	OF 97068
WHITE PATRICK J & B J	1872 5TH AVE	WEST LINN	OF 97068