



CITY OF
**West
Linn**

LAND USE PRE-APPLICATION CONFERENCE

Thursday, April 15, 2010

City Hall
22500 Salamo Road

Willamette Conference Room

10:00am Extension and complete subdivision (6 lots)

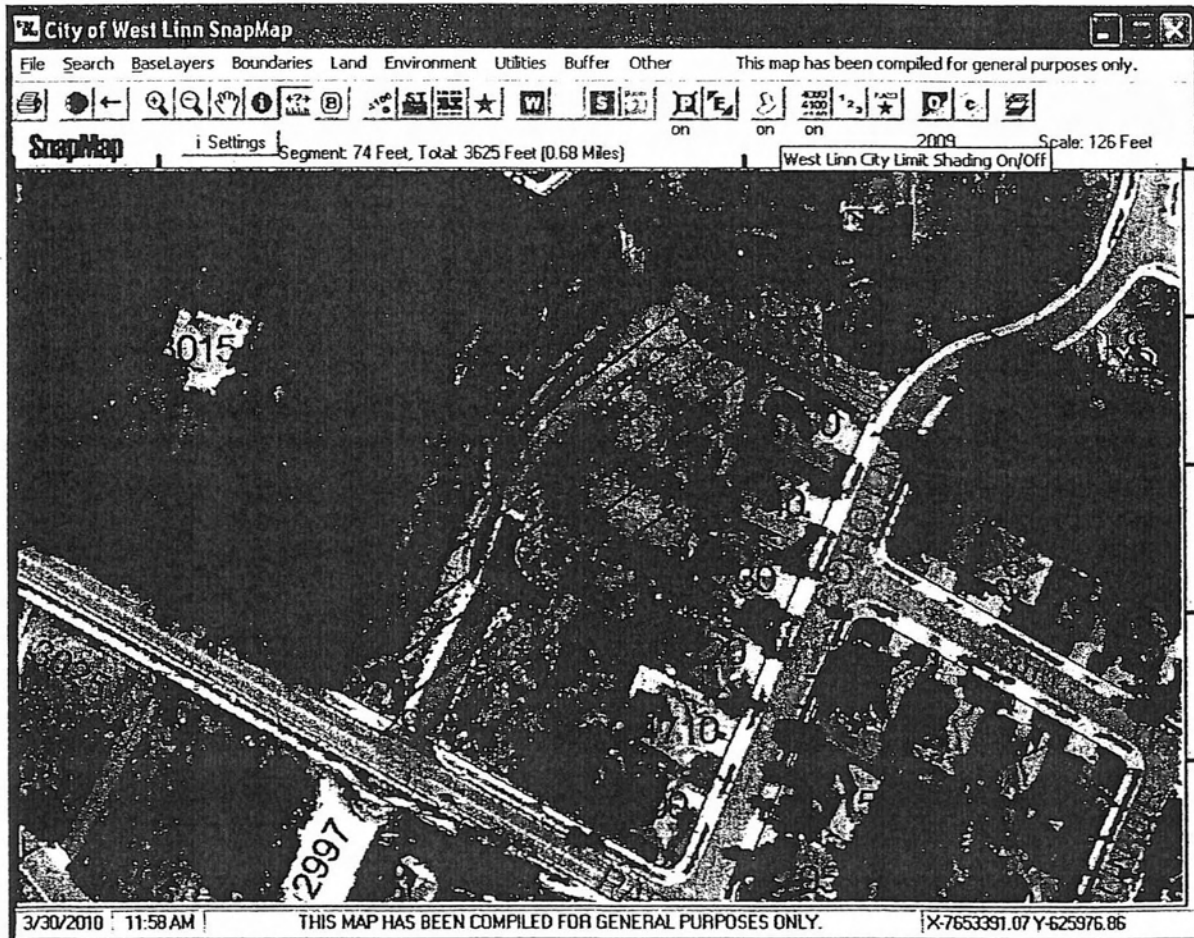
Applicant: Mel Lee

Address: 2929 Parker Rd.

Neighborhood Assn: *Parker Crest and Sunset*

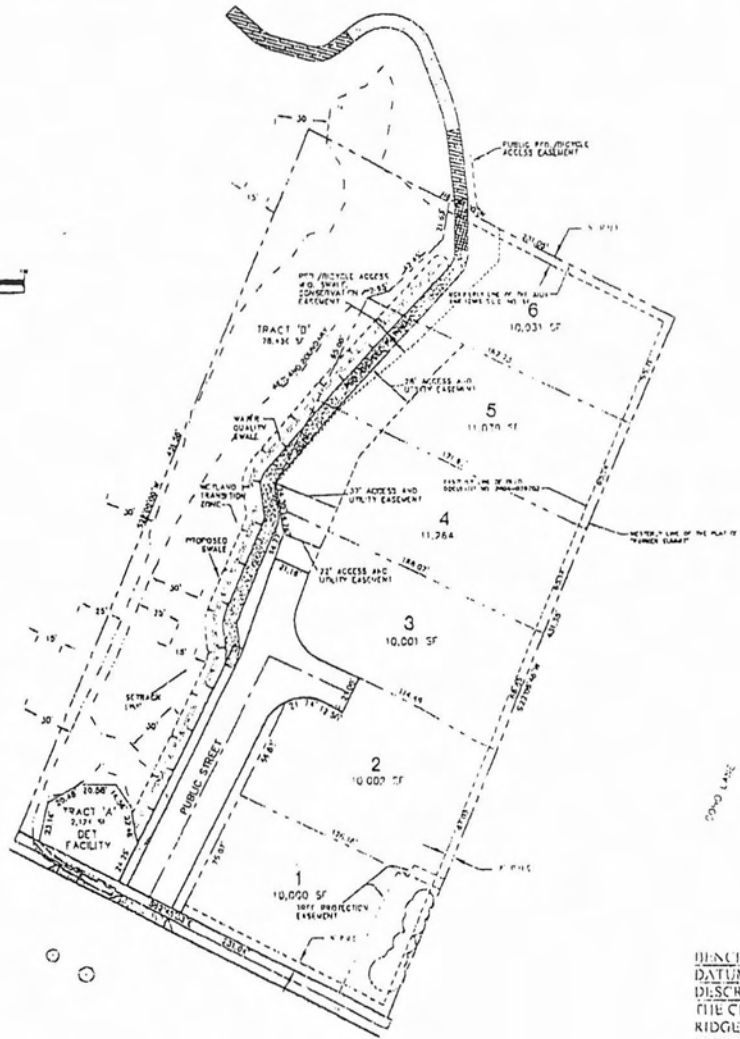
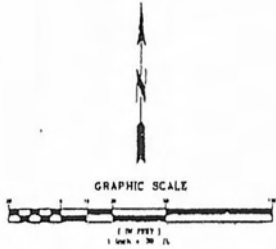
PA-10-07

Planner: Tom Soppe



PARKER ROAD

A 6-LOT SUBDIVISION OF TAX MAP 21E25CD, TAX LOT 3900



VICINITY MAP
N.T.S.

APPLICANT:
 RENAISSANCE HOMES, INC
 16771 BOONES FERRY ROAD
 LAKE OSWEGO, OR 97035
 PHONE: (503)636-5600 FAX: (503)635-8400
 CONTACT: JEFF STROTH

PLANNING / ENGINEERING:
 SFA DESIGN GROUP, LLC
 9920 SW WASHINGTON SQUARE DR, SUITE 350
 PORTLAND, OR 97223
 PHONE: (503)641-8311 FAX: (503)643-7905
 CONTACTS: MATTHEW SPRAGLE

SURVEYOR:
 G-L LAND SURVEYING, INC
 9255 SW NIMBUS AVE.
 BEAVERTON, OR 97008
 PHONE: (503)641-0308 FAX: (503)671-0877
 CONTACT: DARREN HARR

SITE INFORMATION:
 SITE AREA: 2.28 ACRES
 ZONING: R-10
 TAX MAP: T2 R1B SEC 25CD
 TAX LOTS: 3900
 NUMBER OF LOTS: 6

UTILITIES AND SERVICES:
 WATER: CITY OF WEST LINN
 STORM: CITY OF WEST LINN
 SEWER: CITY OF WEST LINN
 POWER: PGE
 GAS: NORTHWEST NATURAL
 CABLE: VERIZON
 FIRE: TVF&R
 POLICE: CITY OF WEST LINN
 SCHOOL: CITY OF WEST LINN
 ROADS: CITY OF WEST LINN
 PARKS: CITY OF WEST LINN

SHEET INDEX

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6	TENTATIVE MITIGATION AND CONSTRUCTION MANAGEMENT PLAN
7	SLOPE ANALYSIS
K	AERIAL AND CIRCULATION PLAN
L1	LANDSCAPE PLAN

BENCHMARK: SALAMONCS GLOBE/C CONTROL MONUMENT
 DATUM: CITY OF WEST LINN (THIRD ORDER CLASS II VERTICAL NAVD88)
 DESCRIPTION: 2-1/2" BRONZE DISK IN CONCRETE INSIDE A MONUMENT BOX, LOCATED IN THE CENTERLINE OF SALAMON ROAD NEAR THE SOUTHEAST CORNER OF THE ROSEMONT RIDGE MIDDLE SCHOOL PROPERTY, 0.2 MILES NORTHERLY OF PARKER ROAD
 ELEVATION: 693.08'

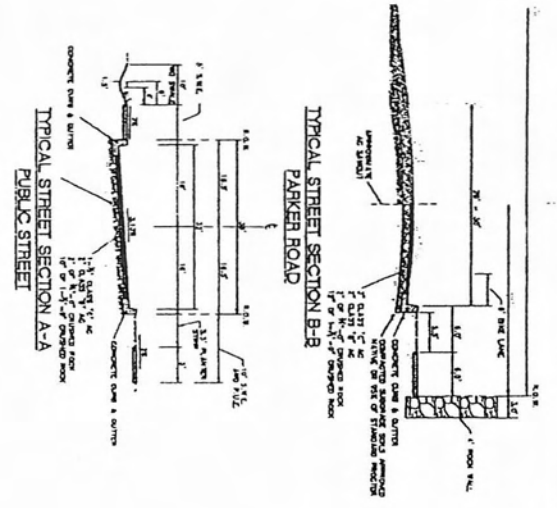
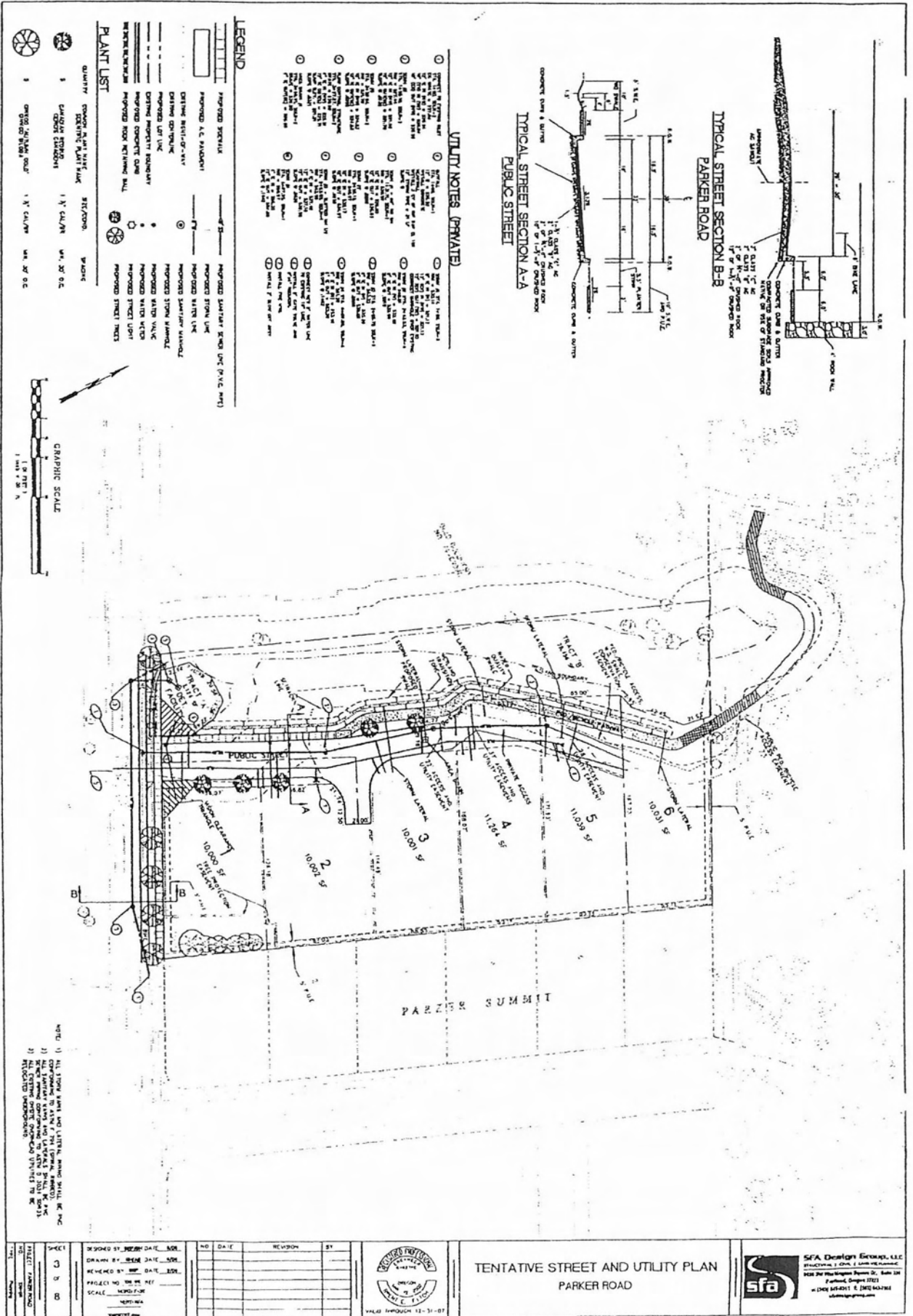
SFA Design Group, LLC
 9920 SW WASHINGTON SQUARE DR, SUITE 350
 PORTLAND, OR 97223
 PHONE: (503)641-8311 FAX: (503)643-7905
 CONTACT: MATTHEW SPRAGLE

sfa

TENTATIVE PLAT
 PARKER ROAD

DATE: 9/27/2024
 TIME: 2:28:01 PM

PROJECT: PARKER ROAD



UTILITY NOTES (PRIVATE)

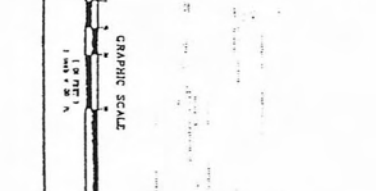
1. ALL UTILITY LINES SHALL BE DEPTH TO CENTER OF PIPE UNLESS OTHERWISE NOTED.
2. ALL UTILITY LINES SHALL BE 12\"/>

LEGEND

[Symbol]	PROPOSED SIDEWALK	[Symbol]	PROPOSED STREET LIGHT
[Symbol]	PROPOSED A.C. MAINLINE	[Symbol]	PROPOSED STORM DRAIN
[Symbol]	EXISTING SIDEWALK	[Symbol]	PROPOSED STREET LIGHT
[Symbol]	EXISTING SIDEWALK	[Symbol]	PROPOSED STREET LIGHT
[Symbol]	EXISTING SIDEWALK	[Symbol]	PROPOSED STREET LIGHT

PLANT LIST

QUANTITY	COMMON NAME	SIT/CORN.	GRADE
3	SHADY TREE	1/4\"/>	
3	ORANGE TREE	1/4\"/>	



PLAN

1. ALL TYPING & DIMENSIONS SHALL BE IN FEET & INCHES.
2. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE NOTED.

	<p style="text-align: center;">TENTATIVE STREET AND UTILITY PLAN PARKER ROAD</p>
<p>NO. DATE REVISION BY</p>	<p>PROJECT NO. 1106-01110-01</p> <p>SCALE: AS SHOWN</p>
<p>DATE</p>	<p style="text-align: right;">SFA Design Group, LLC 1106-01110-01 PARKER ROAD 1106-01110-01 1106-01110-01</p>

CITY OF WEST LINN
PRE-APPLICATION CONFERENCE

DATE OF CONFERENCE	<u>4-15-10</u>	TIME OF CONFERENCE	<u>10 AM</u>
FEE	<u>1000.00</u>	PROJECT #	<u>PA-10-07</u>
		STAFF CONTACT	<u>Tom Sappe</u>
(This section to be filled in by staff)			

Pre-application conferences occur on the first and third Thursdays of each month. In order to be scheduled for a conference, this form including property owner's signature, the pre-application fee, and accompanying materials must be submitted at least 14 days in advance of the conference date. Twenty-four-hour notice is required to reschedule.

Cell# 513-936-1492

APPLICANT'S NAME Mel Lee PHONE NO. 503-631-2459

ADDRESS (or map/tax lot) OF SUBJECT PROPERTY 2929 South Parker Road

APPLICANT'S MAILING ADDRESS 15746 South Hutton Road Oregon City, Oregon 97046

APPLICANT'S E-MAIL ADDRESS _____

BRIEF DESCRIPTION OF PROPOSAL: apply for extension and complete sub-division (6 lots)

Please attach additional materials relating to your proposal including a site plan on paper up to 11 x 17 inches in size depicting the following items:

- North arrow
- Scale
- Property dimensions
- Streets abutting the property
- Conceptual layout, design and/or building elevations
- Access to and from the site, if applicable
- General location of existing trees
- Location of creeks and/or wetlands
- Location of existing utilities (water, sewer, etc.)
- Easements (access, utility, all others)

Please list any questions or issues that you may have for city staff regarding your proposal:

By my signature below, I grant city staff right of entry onto the subject property in order to prepare for the pre-application conference.

Mel Lee
Property owner's signature

3-30-2010
Date

Property owner's mailing address (if different from above)

City of West Linn
PRE-APPLICATION CONFERENCE MEETING
Notes
April 15, 2010

SUBJECT: Extension of previous approval for subdivision and Wetlands Permit (Now Water Resource Area Permit) at 2929 Parker Road

ATTENDEES: Applicants: Mel Lee, Brent Fitch, Charlie Walker
Staff: Tom Soppe (Planning Department), Khoi Le (Engineering Department)
Tualatin Valley Fire and Rescue: Karen Mohling

The following is a summary of the meeting discussion provided to you from staff meeting notes. Additional information may be provided to address any "follow-up" items identified during the meeting. These comments are PRELIMINARY in nature. Please contact the Planning Department with any questions regarding approval criteria, submittal requirements, or any other planning-related items. Please note disclaimer statement below.

Project Details

On October 12, 2006, the Planning Commission approved the Renaissance Development's request for a 6-lot subdivision and Wetlands permit at 2929 Parker Road in the Parker Crest neighborhood. This was file number SUB-06-03/MIS-06-12. The decision became effective on November 8, 2006, and therefore the 3-year expiration date for the decision, as it has not been fulfilled by completion and recording of final plat, was November 8, 2009.

Community Development Code (CDC) 99.325(D)(1) states "Only those applications approved between July 1, 2006 and December 31, 2009 shall be eligible for an extension." The previous application therefore qualifies the applicant to be able to apply for an extension. CDC 99.325(D)(2) allows applicants with applications that expire before June 30, 2010 to apply for extensions by June 30, 2010 even if the application has already passed its 3-year expiration by this date. Therefore, despite the 3-year expiration date having occurred this past November, the applicant can still apply for the extension but must do so by June 30. The two-year extension itself, if approved, would be measured from the original expiration date. Therefore if the Extension application is approved, the expiration date would be November 8, 2011.

This is an unusual case among subdivisions qualifying for an extension application, in that the street and utilities are already in place for the subdivision but the subdivision has not completed the final platting process. There are outstanding engineering tasks that have not been completed which have kept the subdivision from being able to fulfill the final platting process at this time. The two-year extension would require the final plat to

be recorded by November 8, 2011. 85.090 states “The final plat map shall be submitted to the Planning Director and recorded with the County within three years from the date of approval of the tentative plan, or as approved under CDC Section 99.325. If the final plat is not recorded by that time, the approval expires.” Section 99.325 is the new section of the CDC regarding Extension applications.

Although much of the important infrastructure of the subdivision has been implemented as discussed above, the Extension application still must respond to all criteria that may have changed since the time of the original application, and comply with any necessary changes based on this.

Chapter 85 Land Division has not changed substantially since the original application. Chapter 30, which provided for the original Wetlands permit, no longer exists as it has been combined into Chapter 32 (which originally covered only natural drainageways) to form a chapter covering all water resources in the City (except for the two rivers). This combining of the chapters in 2007 included very substantial changes from previous drainageway-related and wetland-related provisions, particularly in regards to setbacks from these water resources.

For several reasons, the applicant should do a full new submittal for the provisions of Chapter 32. These reasons include (a) the criteria have changed substantially from the criteria in the previous Chapter 30 that provided for the original application; (b) the larger setbacks from wetlands and storm channels would affect the scope and nature of the revegetation and mitigation plans, and (c) the applicant may wish to propose (or the Planning Commission could require) site plan changes to accommodate these larger setbacks.

For responses to Chapter 85 criteria, the applicant needs to respond only to those that have changed due to code amendments since the original application. Some of these may not have changed in the context of what they require from this particular subdivision, in which case the applicant shall respond to the criteria by explaining this. For any that do necessitate changes in the site plan or other aspects of the subdivision proposal, in order for the proposal to meet current code, this should be explained in the narrative and plans should be altered accordingly for the submittal of the Extension application. The criteria of Chapter 85.200 that appear to have undergone code changes since the original application are (A)(1) Streets (General), (A)(3) Street Widths, (A)(22) off-site improvements, and (B)(2) Block Sizes. If changes instigated by these affect the nature of the submittal as it relates to other criteria in 85.200 as well, than those criteria should be responded to in the narrative also even if the criteria themselves have not changed since the original application. Similarly, if changes instigated by the overhaul of water resource area provisions affect the nature of the submittal as it relates to other unchanged criteria in 85.200, then it is also necessary and relevant to respond to those specific 85.200 criteria.

Submittal requirements that have changed since the original application was made include 85.160(D)(1) (proposed street names) and 85.160(F)(3) (Transportation System

Plan-related infrastructure improvements). If these necessitate changes in the submittal for the Extension application as compared to the original submittal, they should be reflected in the new submittal.

Tualatin Valley Fire and Rescue, per the discussion at the pre-application conference, will provide comments and the submittal should provide for meeting the specifications in the comments.

Engineering Comments

GENERAL

Complete the unfinished items listed on the final punch list items from Engineering. See final punch list below.

FINAL PLAT

Submit Final Plat for review and approval.

Engineering Punch List

STREETS/SIDEWALKS

1. Replant disturbed shrubs between pedestrian path and road.
2. Edge of pedestrian path between bridges is broken. Needs to be saw-cut out and replaced with class C hot mix asphalt.
3. Repair and seal divots/holes in asphalt on Parker Rd. frontage.
4. Sidewalk on Parker Rd. frontage adjacent to pond has a badly cracked panel needing replacement.

STORM/SANITARY/OPEN SPACE

5. Small bridge decking is uneven (undulates in direction of travel) and exceeds code for variation in a walking surface. Decking and potentially some substructure need to be removed and redone to provide a level walking surface. Large bridge decking also appears uneven, although not as severe as small bridge and may need to be leveled.
6. Transition from bridge to asphalt has settled in 2 places. Will need to provide a level transition from asphalt to bridge decking to avoid trip hazard. Will need to sawcut out a section adjacent to bridge and replace with class C hot mix asphalt.
7. Remove gravel from pond planting areas and from outside pond walls (between pond walls and sidewalk) and cover with minimum 2" mulch.
8. Install center pole in ground for gate locking post.
9. Install wetland protection zone markers per COA #9.
10. Swale along sidewalk needs grass/weeds removed (cut down and sprayed with spray approved for wetland use) and all dead plants and trees replaced. Swale

was planted with incorrect seed mix and shall be reseeded with City-approved Hobbs & Hobkins Companion mix.

11. Wetland/ wetland transition area needs grass/weeds removed (cut down and sprayed with spray approved for wetland use) and all dead plants and trees replaced per the wetland mitigation plan. Blackberry vines also need to be removed. These areas also need to be seeded per the wetland re-vegetation plan.
12. Pond needs dead plants removed and replaced. Plant per plan. Needs grasses/weeds removed/sprayed and to be seeded with proper mix (Hobbs and Hobkins companion mix).
13. Clean garbage from pond and pond outlet structure if needed. Remove screens from ditch inlets.
14. Remove bio-bags and sediment fence throughout project. Remove brush pile at SE corner of site.
15. Re-grout 24" DI pipe in ditch inlet in planter strip at SW corner of site.
16. Swale to ditch inlet behind sidewalk at SW corner of site may need to be built up to prevent stream overflow to street/sidewalk during heavy rains.
17. Repair temporary irrigation system to provide water for replaced/newly planted trees/shrubs.

GENERAL

18. Clean site garbage as needed.
19. Provide documentation that septic system was decommissioned and that water well was abandoned.
20. Provide letter of acceptance from Design Engineer.
21. Provide electronic as-builts in AutoCAD format.

BONDING/FEES

22. Contact Pat Rich at the City of West Linn Engineering Dept. to reconcile funds for inspection services. Pay balance if needed. Current positive balance of \$2000 (actually \$3050, but \$1050 owed for street trees).
23. Provide performance bond for a 4 ft. high black chain link fence to be installed between the swale and the pedestrian path. Performance bond to be for 125% of the construction cost. Provide construction cost estimate prior to bonding. The City will evaluate if a fence is needed during the maintenance period.
24. Provide payment for street trees. \$1050 owed
25. Provide general maintenance bond in the amount of 20% of the project construction cost for a period of 18 months from acceptance.
26. Provide maintenance bond in the amount of 20% of the total ponds construction cost for 2 years from project acceptance for water quality facilities. Wetland maintenance plan will be stated on and be a part of the pond maintenance bond (see plans).
27. Provide performance bond for all un-built sidewalks. Provide construction cost estimate prior to bonding.

Process

The Extension permit is required.

A neighborhood meeting following the provisions of 99.038 is required for an Extension permit for a subdivision per 99.325(E)(2). Contact Bill Relyea, President of the Parker Crest Neighborhood Association, at (503) 636-1292 or wrelyea@comcast.net, and Troy Bowers of the Sunset Neighborhood Association at 503-703-7303 or bowerst@msa-ep.com. The property is in Parker Crest, but Sunset is within 500 feet. The applicant is required to provide the neighborhood association with conceptual plans and other material at least 10 days prior to the meeting. The Extension application cannot be accepted unless the neighborhood meeting provisions are fulfilled by the time the application is submitted.

The following Chapter 32 criteria shall be responded to in a narrative:

- 32.050
- 32.070
- 32.080
- 32.090(B-C)

Follow the instructions under Project Details above as to which selected Chapter 85 criteria should be responded to in a narrative. The CDC is online at <http://westlinnoregon.gov/planning/community-development-code-cdc>.

Follow the submittal requirements for chapters 32 and 85. Submittal requirements may be waived but the applicant must first identify the specific submittal requirement and request, in letter form, that it be waived by the Planning Director and must identify the specific grounds for that waiver. The waiver may or may not be granted by the Planning Director.

N/A is not an acceptable response to the approval criteria. Prepare the application and submit to the Planning Department with deposit fees and signed application form.

The deposit for an Extension is half the deposit of the original application. The original application had a deposit of \$7,250 so the deposit for the Extension application will be \$3,625. Any cost overruns to the Extension deposit will result in additional billings.

Once the submittal is deemed complete, the staff will schedule a hearing with the Planning Commission and will send out public notice of the hearing at least 20 days before it occurs. The Planning Commission's decision may be appealed to City Council by the applicant or anyone with standing.

Pre-application notes are void after 18 months. After 18 months with no application approved or in process, a new pre-application conference is required.

Typical land use applications can take 6-10 months from beginning to end.

DISCLAIMER: This summary discussion covers issues identified to date. It does not imply that these are the only issues. The burden of proof is on the applicant to demonstrate that all approval criteria have been met. These notes do not constitute an endorsement of the proposed application. Staff responses are based on limited material presented at this pre-application meeting. New issues, requirements, etc. could emerge as the application is developed.

Pre-app2010/Preapp 2010—04-15/pa-10-07 Parker Road Sub Ext



TUALATIN VALLEY FIRE & RESCUE - SOUTH DIVISION
COMMUNITY SERVICES • OPERATIONS • FIRE PREVENTION

April 16, 2010

Tom Soppe
Associate Planner
City of West Linn
22500 Salamo Road
West Linn, OR 97068

Re: 2929 Parker Road – Subdivision

Dear Mr. Soppe;

Thank you for the opportunity to review the proposed site plan surrounding the above named development project. Tualatin Valley Fire & Rescue endorses this proposal predicated on the following criteria and conditions of approval:

- 1) **FIRE APPARATUS ACCESS ROAD DISTANCE FROM BUILDING AND TURNAROUNDS:** Access roads shall be within 150 feet of all portions of the exterior wall of the first story of the building as measured by an approved route around the exterior of the building. An approved turnaround is required if the remaining distance to an approved intersecting roadway, as measured along the fire apparatus access road, is greater than 150 feet. (IFC 503.1.1)
- 2) **DEAD END ROADS:** Dead end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved turnaround. (IFC 503.2.5)
- 3) **GRADE:** Fire apparatus access roadway grades shall not exceed 10 percent. Intersections and turnarounds shall be level (maximum 5%) with the exception of crowning for water run-off. When fire sprinklers are installed, a maximum grade of 15% may be allowed. The approval of fire sprinklers as an alternate shall be accomplished in accordance with the provisions of ORS 455.610(5). (IFC 503.2.7 & D103.2) *Applicant has offered installation of residential fire sprinkler systems as an alternate.*
- 4) **FIRE APPARATUS ACCESS ROAD EXCEPTION FOR AUTOMATIC SPRINKLER PROTECTION:** When buildings are completely protected with an approved automatic fire sprinkler system, the requirements for fire apparatus access may be modified as approved by the fire code official. (IFC 503.1.1)
- 5) **FIRE APPARATUS ACCESS ROAD WIDTH AND VERTICAL CLEARANCE:** Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches. Where fire apparatus roadways are less than 26 feet wide, "NO PARKING" signs shall be installed on both sides of the roadway and in turnarounds as needed. Where fire apparatus roadways are more than 28 feet wide but less than 32 feet wide, "NO PARKING" signs shall be installed on one side of the roadway and in turnarounds as needed. Where fire apparatus roadways are 32 feet wide or more, parking is not restricted. (IFC 503.2.1)
- 6) **FIRE APPARATUS ACCESS ROADS WITH FIRE HYDRANTS:** Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet. (IFC D103.1)
- 7) **NO PARKING SIGNS:** Where fire apparatus roadways are not of sufficient width to accommodate parked vehicles and 20 feet of unobstructed driving surface, "No Parking" signs shall be installed on one or both sides of the roadway and in turnarounds as needed. Roads 26 feet wide or less shall be posted on both sides as a fire lane. Roads more than 26 feet wide to 32 feet wide shall be posted on

one side as a fire lane. Signs shall read "NO PARKING - FIRE LANE" and shall be installed with a clear space above grade level of 7 feet. Signs shall be 12 inches wide by 18 inches high and shall have red letters on a white reflective background. (IFC D103.6)

- 8) **SURFACE AND LOAD CAPACITIES:** Fire apparatus access roads shall be of an all-weather surface that is easily distinguishable from the surrounding area and is capable of supporting not less than 12,000 pounds point load (wheel load) and 60,000 pounds live load (gross vehicle weight). You may need to provide documentation from a registered engineer that the design will be capable of supporting such loading. (IFC D102.1)
- 9) **PAINTED CURBS:** Where required, fire apparatus access roadway curbs shall be painted red and marked "NO PARKING FIRE LANE" at approved intervals. Lettering shall have a stroke of not less than one inch wide by six inches high. Lettering shall be white on red background. (IFC 503.3)
- 10) **FIRE HYDRANTS – ONE- AND TWO-FAMILY DWELLINGS & ACCESSORY STRUCTURES:** Where a portion of a structure is more than 600 feet from a hydrant on a fire apparatus access road, as measured in an approved route around the exterior of the structure(s), on-site fire hydrants and mains shall be provided. (IFC 508.5.1) Please provide a fire flow test results for the "newly" installed fire hydrant on your new street.
- 11) **REFLECTIVE HYDRANT MARKERS:** Fire hydrant locations shall be identified by the installation of reflective markers. The markers shall be blue. They shall be located adjacent and to the side of the centerline of the access road way that the fire hydrant is located on. In case that there is no center line, then assume a centerline, and place the reflectors accordingly. (IFC 508.5.4)
- 12) Please plans for final approval.

If you have any questions, please call me at (503) 259-1512.

Sincerely,

Karen Mohling

Karen Mohling
Deputy Fire Marshal

June 1, 2010

**NEIGHBORHOOD REVIEW MEETING – NOTES for May 26, 2010
PARKER CREST NEIGHBORHOOD ASSOCIATION
REVIEW OF PROPOSED DEVELOPMENT: Extension of Approved 6-Lot Subdivision**

**Wednesday, May 26, 2010, beginning at 7:00 pm
West Linn City Hall
22500 Salamo Road
West Linn, OR 97068**

Bill Relyea, Association President introduced himself, and asked for self introductions. There were 4 citizens, and the Applicant and his representative present.

Bill Relyea introduced Ben Altman of **SFA Design Group, LLC** representing the developer of property (Mel Lee). The property is located at 2929 S. Parker Road.

Mr. Altman summarized the pending application. We are preparing a land use application for an Extension of Prior Approval for development of the 2.28 acre property for a 6-Lot Subdivision. The land is zoned R-10 Residential (10,000 square foot lots).

Mr. Altman emphasized that this was an unusual application for Extension of the Preliminary Plat approval, in that the majority of the site development improvements have already been constructed, referring to the plans. He noted that the prior developer had run into financial problems and could not complete the work. Subsequently, Mr. Lee acquired the property from the bank, and is now requesting the extension so that the work can be completed and the Plat recorded. He then asked if there were any questions about the development.

Mr. Jain (sp?) noted that he was new to the community and was just interested in what was happening.

Mr. Supperstein noted he lived next to the development and was interested in what type of homes were going to be built, and when to expect construction.

Mr. Lee noted he was a local builder, out of Oregon City, and that he had one likely pre-sold, and may build one on speculation, but was not sure yet. He intends to build as soon as possible, pending all the City approvals, completing the final construction punch list and recording the plat. If possible he would like to be under construction this summer to fall. He noted that homes would be good quality, better than those built across the street to the south.

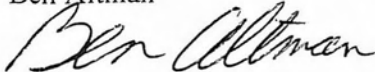
Alice Richmond stated she didn't understand why the applicant was required to conduct a neighborhood meeting for just for an extension. She also noted she was concerned about the spacing on the side rails on the pedestrian bridge, to make sure they were safe. Mr. Altman noted that the bridge was built to the standards approved by the City. He also noted that there was some decking repair needed, as listed on the City's punch list.

Mr. Relyea asked if the development would have access to the Renaissance HOA and amenities for the project to the north. Mr. Altman said he did not anticipate Renaissance approving it, but Mr. Lee could certainly check with them.

Mr. Altman asked if there were any more questions. Hearing none, Mr. Relyea moved for a recommendation of approval, which passed 4-0.

Prepared by:

Ben Altman



SFA Design Group
Senior Planner/Project Manager
503-641-8311



CITY OF
West Linn

Parker Crest Neighborhood Association
 Meeting - Land Use Issue
 Wednesday May 26, 2010 at 7:00 PM
 Meeting Location: City of West Linn, City Hall

Sign- In-Sheet

146

Name	Address	Email	Phone No.
Bill Relyea	3016 Sabro Lane	wrelyea@comcast.net	503 636 1292
Scott Suppuscin	4740 Coho Lane	Supuscin@earthlink.net	503-227-6464
BEN ALTMAN	9020 SW Washington St. JR ⁹⁷²²³	baltman@sfadfg.com	503-641-8311
Dinesh Jain	4752 Coho Lane	pdxjain@gmail.com	503 657 5500
Alice Richmond	3939 Parker R.		503 723 0101
Mel Lee	Developer		



Parker Crest Neighborhood Association
Meeting - Land Use Issue
Wednesday May 26, 2010 at 7:00 PM
Meeting Location: City of West Linn, City Hall

AGENDA

7:00 - Meeting Opens - Call to Order

7:05 - SFA Design Group Presentation

8:00 - Community Comments - Adjourn

Note: Scheduled times and items of discussion may change based upon variables within the presentations and community comments.

**NEIGHBORHOOD MEETING
AFFIDVIT OF POSTING NOTICE**

Name of Applicant MEL LEE
Subject Property: Tax Lot(s) 3900 Tax Map(s) 2S 1E 75CD
Address or General Location: 2929 S. PARKER Road, WEST LINN, OR.

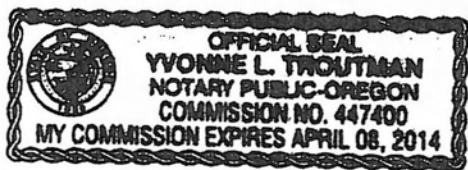
I, BEN ALTMAN, being duly sworn, depose and do swear that I am (represent) the party initiating interest in the subject property identified above, and that pursuant to CDC Section 99.038 did on the 30th day of APRIL, 2010 personally post notice indicating the property is being considered for development review and that a Neighborhood Meeting is scheduled as indicated on the posting.

The sign was posted at 2929 S. PARKER Road

This 30th day of APRIL, 2010.

Signature Ben Altman

Subscribed and sworn to, or affirmed, before me this 4th day of May, 2010.



Yvonne L. Troutman
Notary Public for State of Oregon
County of Washington

Mt Commission expires: April 8th 2014

**NEIGHBORHOOD MEETING
AFFIDVIT OF MAILING**

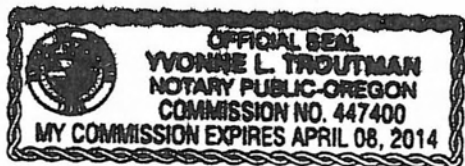
STATE OF OREGON)
) ss
City of West Linn)

I, BEN ALTMAN, being duly sworn, depose and say that the 30th day of APRIL, 2010 I caused to have mailed to each of the persons on the attached list of notice of a meeting to discuss a proposed development at 2929 S. PARKER Road, a copy of which notice so mailed is attached hereto and made part hereof.

I further state that said notices were enclosed in envelopes plainly addressed to said persons and were deposited on the date indicted above in the United States Post Office with postage repaid thereon.

Signature Ben Altman

Subscribed and sworn to, or affirmed, before me this 4th day of May, 2010.



Yvonne L. Troutman
Notary Public for State of Oregon
County of Washington

Mt Commission expires: April 8th, 2014

April 30, 2010

**RE: NEIGHBORHOOD REVIEW MEETING
PROPOSED DEVELOPMENT: Extension of Approved 6-Lot Subdivision**

Dear Resident:

SFA Design Group, LLC
Road, West Linn, more spe
Clackamas County. We an
for development of the 2.2
Residential (10,000 square
like to take the opportuni
neighbor.

The purpose of this meet
property owners/residents t
considered before the form
opportunity to share with u
will attempt to answer qu
consistent with Washington
Plan.

Pursuant to West Linn CD
association meeting on:

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature: <i>[Signature]</i> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) <i>[Signature]</i> C. Date of Delivery</p>
<p>1. Article Addressed to:</p> <p><i>Bill Pelyer</i> <i>3016 Salco Lane</i> <i>West Linn, OR</i> <i>97068</i></p>	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If YES, enter delivery address below:</p> <p>3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input checked="" type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p> <p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>
<p>2. Article Number (Transfer from service label)</p> <p>PS Form 3811, February 2004</p>	<p>7009 1680 0000 3371 5046</p> <p>Domestic Return Receipt 102595-02-M-1540</p>

**Wednesday, May 26, 2010, beginning at 7:00 pm
West Linn City Hall
22500 Salamo Road
West Linn, OR 97068**

Please note the development review portion of this meeting will be an informational meeting on preliminary development plans. These plans may be altered prior to submittal of the application to the County. Depending upon the type of land use action required, you may receive official notice from Washington County for you to either participate with written comments and/or an opportunity to attend a public hearing.

We look forward to more specifically discussing the pr

Sincerely,
SFA Design Group, LLC
Ben Altman
Ben Altman
SFA Design Group
Senior Planner/Project Manager
503-641-8311

Attachments: Tax Map
2006 Approved Preliminary Plat

9405 72EE 0000 099T 4002

**U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT**
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

WEST LINN OR 97068

Postage	\$	\$0.44
Certified Fee		\$2.80
Return Receipt Fee (Endorsement Required)		\$2.30
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$5.54

Postmark: *NORTH LINN, OR 97133*
MAY - 3 2010
05/03/2010 USPS

Sent To: *Bill Pelyer*
Street, Apt. No., or PO Box No.: *3016 Salco Lane*
City, State, ZIP+4: *West Linn, OR 97068*

PS Form 3800, August 2006 See Reverse for Instructions

April 30, 2010

**RE: NEIGHBORHOOD REVIEW MEETING
PROPOSED DEVELOPMENT: Extension of Approved 6-Lot Subdivision**

Dear Resident:

SFA Design Group, LLC is representing the developer of property located at 2929 S. Parker Road, West Linn, more specifically shown on the attached map, Tax Lot 3900, Map 2S 1E 25CD, Clackamas County. We are preparing a land use application for an Extension of Prior Approval for development of the 2.28 acre property for a 6-Lot Subdivision. The land is zoned R-10 Residential (10,000 square foot lots). Prior to submitting our application to the City we would like to take the opportunity to discuss the proposal in more detail with you as an interested neighbor.

The purpose of this meeting is to provide a casual forum for the applicant and surrounding property owners/residents to review the proposal and to identify issues so that such issues may be considered before the formal application is turned in to the County. This meeting gives you the opportunity to share with us any special information you know about the property involved. We will attempt to answer questions which may be relevant to meeting development standards consistent with Washington County's Community Development Code and respective Community Plan.

Pursuant to West Linn CDC, Section 99.038, you are invited to attend the regular neighborhood association meeting on:

**Wednesday, May 26, 2010, beginning at 7:00 pm
West Linn City Hall
22500 Salamo Road
West Linn, OR 97068**

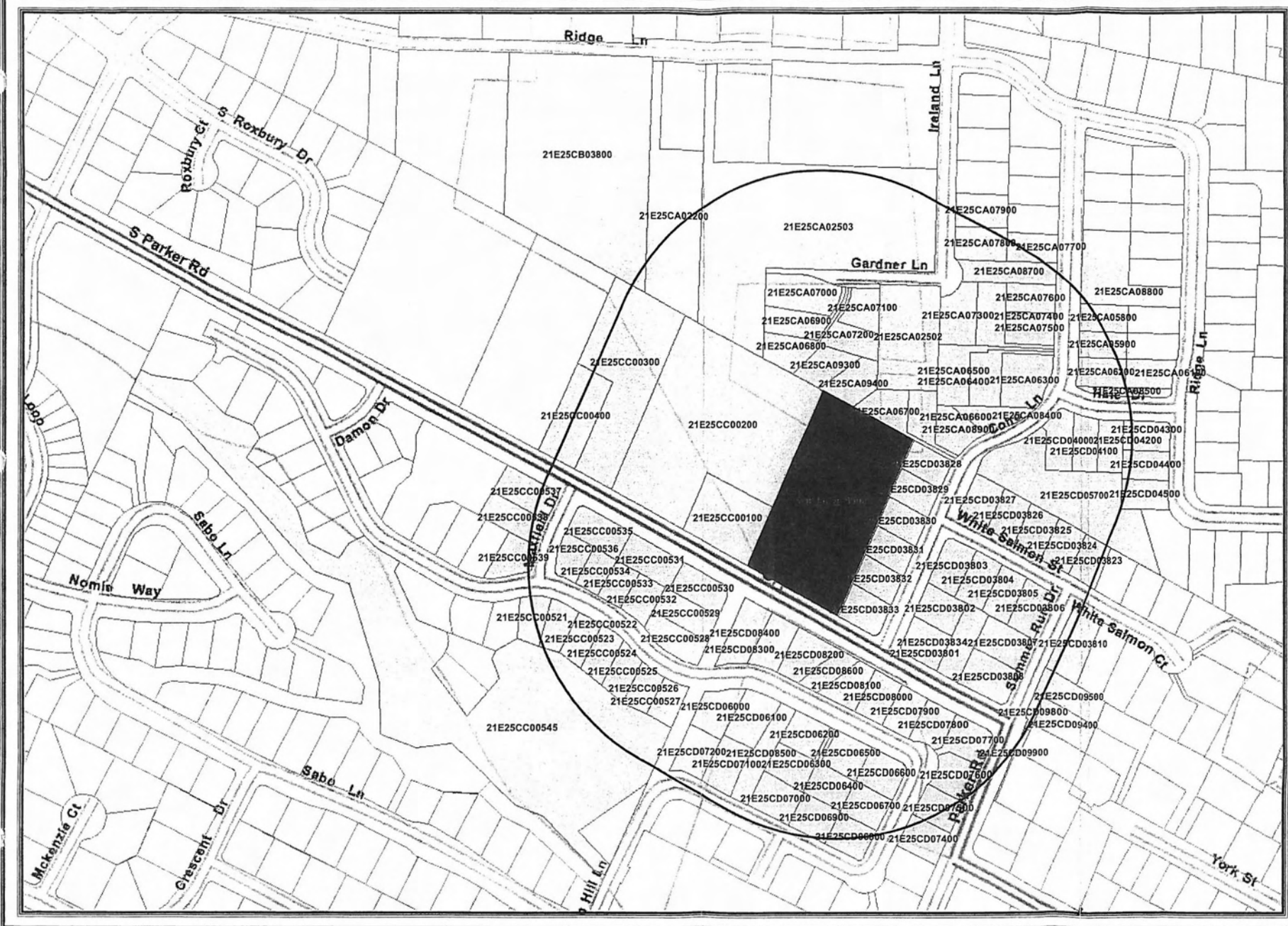
Please note the development review portion of this meeting will be an informational meeting on preliminary development plans. These plans may be altered prior to submittal of the application to the County. Depending upon the type of land use action required, you may receive official notice from Washington County for you to either participate with written comments and/or an opportunity to attend a public hearing.

We look forward to more specifically discussing the proposal with you.

Sincerely,
SFA Design Group, LLC


Ben Altman
SFA Design Group
Senior Planner/Project Manager
503-641-8311

Attachments: Tax Map
2006 Approved Preliminary Plat



This information is deemed reliable but is not guaranteed

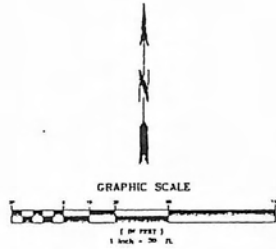
REFPARCEL	OWNERFIRST	OWNERLAST	MAILADDRESS	MAILCITY	MAILSTATE	MZIPANDZIP	SITEADDRESS	SITECITY	SITESTATE	SITEZIP
21E25CB03800	Janet & Christopher	Morgan	3800 Ridge Ln	West Linn	OR	97068	3800 Ridge Ln	West Linn	OR	97068
21E25CC00100	Noell & Carol	Price	3015 Parker Rd	West Linn	OR	97068-2965	*no Site Address*		OR	00000
21E25CC00300	William & Carol	Koran	3945 Parker Rd	West Linn	OR	97068-2905	*no Site Address*		OR	00000
21E25CC00400	William & Carol	Koran	3945 Parker Rd	West Linn	OR	97068-2905	3945 Parker Rd	West Linn	OR	97068
21E25CC00200	Noell & Carol	Price	3015 Parker Rd	West Linn	OR	97068-2965	3015 Parker Rd	West Linn	OR	97068
21E25CA02200	John	Evans	4000 Ridge Ln	West Linn	OR	97068-2929	4000 Ridge Ln	West Linn	OR	97068
21E25CD03900	Melvin	Lee	15746 S Hattan Rd	Oregon City	OR	97045-9214	2929 Parker Rd	West Linn	OR	97068
21E25CA02502	Andrew & Kathy	Axelrod	4722 Ireland Ln	West Linn	OR	97068-2954	4722 Ireland Ln	West Linn	OR	97068
21E25CA02503	Richard & Katherine	Parson	6312 Pony Ct	West Linn	OR	97068-2515	4880 Ireland Ln	West Linn	OR	97068
21E25CD03801	L Owen	Chrisman	4705 Coho Ln	West Linn	OR	97068-2970	4705 Coho Ln	West Linn	OR	97068
21E25CD03802	Tonne	Tamerlano	4715 Coho Ln	West Linn	OR	97068-2970	4715 Coho Ln	West Linn	OR	97068
21E25CD03803	Lawrence	Pina	2920 White Salmon St	West Linn	OR	97068-2968	2920 White Salmon St	West Linn	OR	97068
21E25CD03804	Gerard & April	Sutton	2916 White Salmon St	West Linn	OR	97068-2963	2916 White Salmon St	West Linn	OR	97068
21E25CD03805	Jeffrey & Susan	Frost	2910 White Salmon St	West Linn	OR	97068-2963	2910 White Salmon St	West Linn	OR	97068
21E25CD03806	Fremont	Chang	2900 White Salmon St	West Linn	OR	97068-2963	2900 White Salmon St	West Linn	OR	97068
21E25CD03807	Cindy	Stevenson	4710 Summer Run Dr	West Linn	OR	97068-2966	4710 Summer Run Dr	West Linn	OR	97068
21E25CD03808	Dale & Jennifer	Lane	4700 Summer Run Dr	West Linn	OR	97068-2966	4700 Summer Run Dr	West Linn	OR	97068
21E25CD03810	Farvan		2890 White Salmon Ct	West Linn	OR	97068-2949	2890 White Salmon Ct	West Linn	OR	97068
21E25CD03823	John & Lee	Wilson	2895 White Salmon Ct	West Linn	OR	97068-2962	2895 White Salmon Ct	West Linn	OR	97068
21E25CD03824	Jeff	Fielder	2905 White Salmon St	West Linn	OR	97068-2963	2905 White Salmon St	West Linn	OR	97068
21E25CD03825	Jason	Varga	2915 White Salmon St	West Linn	OR	97068	2915 White Salmon St	West Linn	OR	97068
21E25CD03826	Susan & Benedict	Sun	2919 White Salmon St	West Linn	OR	97068-2963	2919 White Salmon St	West Linn	OR	97068
21E25CD03827	Meng	Yao	2925 White Salmon St	West Linn	OR	97068-2968	2925 White Salmon St	West Linn	OR	97068
21E25CD03828	Peter Hongkuk	Chun	4750 Coho Ln	West Linn	OR	97068-2972	4750 Coho Ln	West Linn	OR	97068
21E25CD03829	Scott & Suzan	Supperstein	4740 Coho Ln	West Linn	OR	97068-2972	4740 Coho Ln	West Linn	OR	97068
21E25CD03830	Anthony	Mann	4730 Coho Ln	West Linn	OR	97068-2972	4730 Coho Ln	West Linn	OR	97068
21E25CD03831	George Kiyoshi & Sachiko	Tsukamoto	4720 Coho Ln	West Linn	OR	97068-2972	4720 Coho Ln	West Linn	OR	97068
21E25CD03832	San	Lao	4710 Coho Ln	West Linn	OR	97068-2972	4710 Coho Ln	West Linn	OR	97068
21E25CD03833	Donald & Anne	Frank	4700 Coho Ln	West Linn	OR	97068-2972	4700 Coho Ln	West Linn	OR	97068
21E25CD03834	City Of West Linn		22500 S Salamo Rd #600	West Linn	OR	97068-8306	*no Site Address*		OR	00000
21E25CD04000	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	*no Site Address*		OR	00000
21E25CD04100	Thomas	Doblie	2858 Hale Dr	West Linn	OR	97068-2989	2858 Hale Dr	West Linn	OR	97068
21E25CD04200	Paul & Judith	Newman	2842 Hale Dr	West Linn	OR	97068-2989	2842 Hale Dr	West Linn	OR	97068
21E25CD04300	Aaron	Egland	3250 Wild Rose Loop	West Linn	OR	97068-7231	2732 Ridge Ln	West Linn	OR	97068
21E25CD04400	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	2728 Ridge Ln	West Linn	OR	97068
21E25CD04500	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	2724 Ridge Ln	West Linn	OR	97068
21E25CD05700	City Of West Linn		22500 S Salamo Rd #600	West Linn	OR	97068-8306	*no Site Address*		OR	00000
21E25CA05800	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	4797 Coho Ln	West Linn	OR	97068
21E25CA05900	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	4793 Coho Ln	West Linn	OR	97068
21E25CA06100	Rodney & Nicole	Masters	2736 Ridge Ln	West Linn	OR	97068-2985	2736 Ridge Ln	West Linn	OR	97068
21E25CA06200	Robert	Mann	4785 Coho Ln	West Linn	OR	97086	4785 Coho Ln	West Linn	OR	97068
21E25CA06300	Dinesh	Jain	4782 Coho Ln	West Linn	OR	97068-2987	4782 Coho Ln	West Linn	OR	97068
21E25CA06400	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	4786 Coho Ln	West Linn	OR	97068
21E25CA06500	Mark & Lisa	Wickert	4788 Coho Ln	West Linn	OR	97068-2987	4788 Coho Ln	West Linn	OR	97068
21E25CA06600	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	4766 Coho Ln	West Linn	OR	97068
21E25CA06700	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	4762 Coho Ln	West Linn	OR	97068
21E25CA06800	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	4748 Gardner Ln	West Linn	OR	97068
21E25CA06900	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	4744 Gardner Ln	West Linn	OR	97068
21E25CA07000	David & Cynthia	Gardner	4740 Gardner Ln	West Linn	OR	97068-2450	4740 Gardner Ln	West Linn	OR	97068
21E25CA07100	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	4730 Gardner Ln	West Linn	OR	97068
21E25CA07200	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	4734 Gardner Ln	West Linn	OR	97068
21E25CA07300	Tim & Michelle	Oleary	4790 Coho Ln	West Linn	OR	97068-2987	4790 Coho Ln	West Linn	OR	97068
21E25CA07400	Peter & Lisa	Ness	4792 Coho Ln	West Linn	OR	97068-2987	4792 Coho Ln	West Linn	OR	97068

21E25CA07500	Patrick	Scott	4794 Coho Ln	West Linn	OR	97068-2987	4794 Coho Ln	West Linn	OR	97068
21E25CA07600	William	Moore	4798 Coho Ln	West Linn	OR	97068-2987	4798 Coho Ln	West Linn	OR	97068
21E25CA07700	Charles	Denning	4822 Coho Ln	West Linn	OR	97068-2984	4822 Coho Ln	West Linn	OR	97068
21E25CA07800	James & Amy	Fulmer	4823 Ireland Ln	West Linn	OR	97068-2981	4823 Ireland Ln	West Linn	OR	97068
21E25CA07900	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	4935 Ireland Ln	West Linn	OR	97068
21E25CA08400	City Of West Linn		22500 S Salamo Rd #600	West Linn	OR	97068-8306	*no Site Address*		OR	00000
21E25CA08500	Rosemont Pointe Homeowners Assn		P.O Box 230099	Tigard	OR	97281	*no Site Address*		OR	00000
21E25CA08700	Rosemont Pointe Homeowners Assn		P.O Box 230099	Tigard	OR	97281	*no Site Address*		OR	00000
21E25CA08800	Rosemont Pointe Homeowners Assn		P.O Box 230099	Tigard	OR	97281	*no Site Address*		OR	00000
21E25CA08900	City Of West Linn		22500 S Salamo Rd #600	West Linn	OR	97068-8306	*no Site Address*		OR	00000
21E25CA09300	City Of West Linn		22500 S Salamo Rd #600	West Linn	OR	97068-8306	*no Site Address*		OR	00000
21E25CA09400	Rosemont Pointe Homeowners Assn		P.O Box 230099	Tigard	OR	97281	*no Site Address*		OR	00000
21E25CC00521	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3040 Winkel Way	West Linn	OR	97068
21E25CC00522	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3036 Winkel Way	West Linn	OR	97068
21E25CC00523	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3032 Winkel Way	West Linn	OR	97068
21E25CC00524	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3024 Winkel Way	West Linn	OR	97068
21E25CC00525	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3020 Winkel Way	West Linn	OR	97068
21E25CC00526	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3014 Winkel Way	West Linn	OR	97068
21E25CC00527	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3010 Winkel Way	West Linn	OR	97068
21E25CC00528	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3015 Winkel Way	West Linn	OR	97068
21E25CC00529	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3019 Winkel Way	West Linn	OR	97068
21E25CC00530	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3021 Winkel Way	West Linn	OR	97068
21E25CC00531	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3025 Winkel Way	West Linn	OR	97068
21E25CC00532	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3027 Winkel Way	West Linn	OR	97068
21E25CC00533	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3029 Winkel Way	West Linn	OR	97068
21E25CC00534	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3037 Winkel Way	West Linn	OR	97068
21E25CC00535	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	4515 Maxfield Dr	West Linn	OR	97068
21E25CC00536	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3041 Winkel Way	West Linn	OR	97068
21E25CC00537	Verne & Shirley	Cox	4512 Maxfield Dr	West Linn	OR	97068-2164	4512 Maxfield Dr	West Linn	OR	97068
21E25CC00538	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	4524 Maxfield Dr	West Linn	OR	97068
21E25CC00539	Robert	Davidson	3140 Prairie Smoke	Bozeman	MT	59719-0000	3103 Winkel Way	West Linn	OR	97068
21E25CC00545	City Of West Linn		22500 S Salamo Rd #600	West Linn	OR	97068-8306	3124 Winkel Way	West Linn	OR	97068
21E25CD06000	James & Karen	Erne	2998 Winkel Way	West Linn	OR	97068-2168	2998 Winkel Way	West Linn	OR	97068
21E25CD06100	Andrew	Tran	2986 Winkel Way	West Linn	OR	97068-2168	2986 Winkel Way	West Linn	OR	97068
21E25CD06200	Brandon	Stewart	2982 Winkel Way	West Linn	OR	97068-2168	2982 Winkel Way	West Linn	OR	97068
21E25CD06300	Yizhi	Wang	2978 Winkel Way	West Linn	OR	97068-2168	2978 Winkel Way	West Linn	OR	97068
21E25CD06400	Aaron & Jessica	Downs	2974 Winkel Way	West Linn	OR	97068-2168	2974 Winkel Way	West Linn	OR	97068
21E25CD06500	Annette	Riggs	2966 Winkel Way	West Linn	OR	97068-2168	2966 Winkel Way	West Linn	OR	97068
21E25CD06600	Eugena Ann	Spitzer	2946 Winkel Way	West Linn	OR	97068-2168	2946 Winkel Way	West Linn	OR	97068
21E25CD06700	Matthew & Katie	Christianson	2942 Winkel Way	West Linn	OR	97068-2168	2942 Winkel Way	West Linn	OR	97068
21E25CD06800	Joseph	Schoenheit	2922 Winkel Way	West Linn	OR	97068-2168	2922 Winkel Way	West Linn	OR	97068
21E25CD06900	David	Herr	2918 Winkel Way	West Linn	OR	97068-2168	2918 Winkel Way	West Linn	OR	97068
21E25CD07000	Mark & Christy	Maziarz	2914 Winkel Way	West Linn	OR	97068-2168	2914 Winkel Way	West Linn	OR	97068
21E25CD07100	Cheryl & Steven	Peterson	2906 Winkel Way	West Linn	OR	97068-2168	2906 Winkel Way	West Linn	OR	97068
21E25CD07200	Danbo	Shen	2902 Winkel Way	West Linn	OR	97068-2168	2902 Winkel Way	West Linn	OR	97068
21E25CD07400	James	McAndrew	2941 Winkel Way	West Linn	OR	97068-2168	2941 Winkel Way	West Linn	OR	97068
21E25CD07500	Moez	Harbaoui	2945 Winkel Way	West Linn	OR	97068-2168	2945 Winkel Way	West Linn	OR	97068
21E25CD07600	Dr Horton Inc-Portland		4386 SW Macadam Ave #102	Portland	OR	97239-6432	2953 Winkel Way	West Linn	OR	97068
21E25CD07700	Dr Horton Inc-Portland		4386 SW Macadam Ave #102	Portland	OR	97239-6432	2957 Winkel Way	West Linn	OR	97068
21E25CD07800	Jeffrey & Karina	Patterson	2961 Winkel Way	West Linn	OR	97068-2168	2961 Winkel Way	West Linn	OR	97068
21E25CD07900	Josh & Danelle	Weissert	2965 Winkel Way	West Linn	OR	97068-2168	2965 Winkel Way	West Linn	OR	97068
21E25CD08000	Joel	Dumbrow	2973 Winkel Way	West Linn	OR	97068-2168	2973 Winkel Way	West Linn	OR	97068
21E25CD08100	Rok	Kim	2977 Winkel Way	West Linn	OR	97068-2168	2977 Winkel Way	West Linn	OR	97068
21E25CD08200	Larry & Sheryl	Walsh	2985 Winkel Way	West Linn	OR	97068-2168	2985 Winkel Way	West Linn	OR	97068

21E25CD08300	William & Shen	Amborn	2993 Winkel Way	West Linn	OR	97068-2168	2993 Winkel Way	West Linn	OR	97068
21E25CD08400	Mark	Jones	2997 Winkel Way	West Linn	OR	97068-2168	2997 Winkel Way	West Linn	OR	97068
21E25CD08500	City Of West Linn		22500 S Salamo Rd #600	West Linn	OR	97068-8306	*no Site Address*		OR	00000
21E25CD08600	City Of West Linn		22500 S Salamo Rd #600	West Linn	OR	97068-8306	*no Site Address*		OR	00000
21E25CD09400	Beniamin & Georgetta	Lucescu	4647 Summer Run Dr	West Linn	OR	97068-0000	4713 Summer Run Dr	West Linn	OR	97068
21E25CD09500	Beniamin & Georgetta	Lucescu	4647 Summer Run Dr	West Linn	OR	97068-0000	4717 Summer Run Dr	West Linn	OR	97068
21E25CD09800	City Of West Linn		22500 S Salamo Rd #600	West Linn	OR	97068-8306	*no Site Address*		OR	00000
21E25CD09900	Siennas Estates Homeowners Assn	Attn: Sam Pap	16770 S Kreft Rd	Oregon City	OR	97045	*no Site Address*		OR	00000

PARKER ROAD

A 6-LOT SUBDIVISION OF TAX MAP 21E25CD, TAX LOT 3900



VICINITY MAP
N.T.S.

APPLICANT:
 RENAISSANCE HOMES, INC.
 16771 BOONES FERRY ROAD
 LAKE OSWEGO, OR 97035
 PHONE: (503)636-5600 / FAX: (503)635-8400
 CONTACT: JEFF SHROPP

PLANNING / ENGINEERING:
 SFA DESIGN GROUP, LLC
 9020 SW WASHINGTON SQUARE DR., SUITE 350
 PORTLAND, OR 97223
 PHONE: (503)641-8311 / FAX: (503)643-7905
 CONTACTS: MATTHEW SPRAGUE

SURVEYOR:
 G+L LAND SURVEYING, INC.
 9253 SW NIMBUS AVE.
 BEAVERTON, OR 97008
 PHONE: (503)641-0308 / FAX: (503)671-0877
 CONTACT: DARREN HARR

SITE INFORMATION:
 SITE AREA: 2.28 ACRES
 ZONING: R-10
 TAX MAP: T2 R1E SEC 35CD
 TAX LOTS: 3900
 NUMBER OF LOTS: 6

UTILITIES AND SERVICES:
 WATER: CITY OF WEST LINN
 STORM: CITY OF WEST LINN
 SEWER: CITY OF WEST LINN
 POWER: PGE
 GAS: NORTHWEST NATURAL
 CABLE: VERIZON
 FIRE: TVE&R
 POLICE: CITY OF WEST LINN
 SCHOOL: CITY OF WEST LINN
 ROADS: CITY OF WEST LINN
 PARKS: CITY OF WEST LINN

SHEET INDEX

1	TENTATIVE PLAT
2	EXISTING CONDITIONS PLAN
3	TENTATIVE STREET AND UTILITY PLAN
4	TENTATIVE STREET PROFILE
5	TENTATIVE GRADING/STORM AND EROSION CONTROL PLAN
6	TENTATIVE MITIGATION AND CONSTRUCTION MANAGEMENT PLAN
7	SLOPE ANALYSIS
8	AERIAL AND CIRCULATION PLAN
L1	LANDSCAPE PLAN

MONUMENT: SALAMO (NGS GEODETIC CONTROL MONUMENT)
DATUM: CITY OF WEST LINN (THIRD ORDER CLASS II VERTICAL NAVD 83)
DESCRIPTION: 2-1/2" BRONZE DISK IN CONCRETE INSIDE A MONUMENT BOX, LOCATED IN THE CENTERLINE OF SALAMO ROAD NEAR THE SOUTHEAST CORNER OF THE ROSEMONT RIDGE MIDDLE SCHOOL PROPERTY, 0.2 MILES NORTHERLY OF PARKER ROAD.
ELEVATION: 693.00'

TENTATIVE PLAT
PARKER ROAD

156

SEA DESIGN GROUP, LLC
16771 BOONES FERRY ROAD
LAKE OSWEGO, OR 97035
PHONE: (503)636-5600 / FAX: (503)635-8400
CONTACT: JEFF SHROPP

SFA DESIGN GROUP, LLC
9020 SW WASHINGTON SQUARE DR., SUITE 350
PORTLAND, OR 97223
PHONE: (503)641-8311 / FAX: (503)643-7905
CONTACTS: MATTHEW SPRAGUE

G+L LAND SURVEYING, INC.
9253 SW NIMBUS AVE.
BEAVERTON, OR 97008
PHONE: (503)641-0308 / FAX: (503)671-0877
CONTACT: DARREN HARR

RECORDED BY: _____ DATE: _____

SHEET NO. 1 OF 8

PROJECT NUMBER: _____

4100 This map was prepared for assessment purpose only.

SE 1/4 SW 1/4 SEC 25 T.2S. R.1E. W.M.
CLACKAMAS COUNTY

2 1E 25CD
WEST LINN

DLC
JULIA ANN LEWIS NO. 54
SAMUEL SHANNON NO. 70

KNOX ST.

CANCELLED TL'S
3500 600
3600 900
3601 1200
3700
3800
3808
400
4000
401
2900

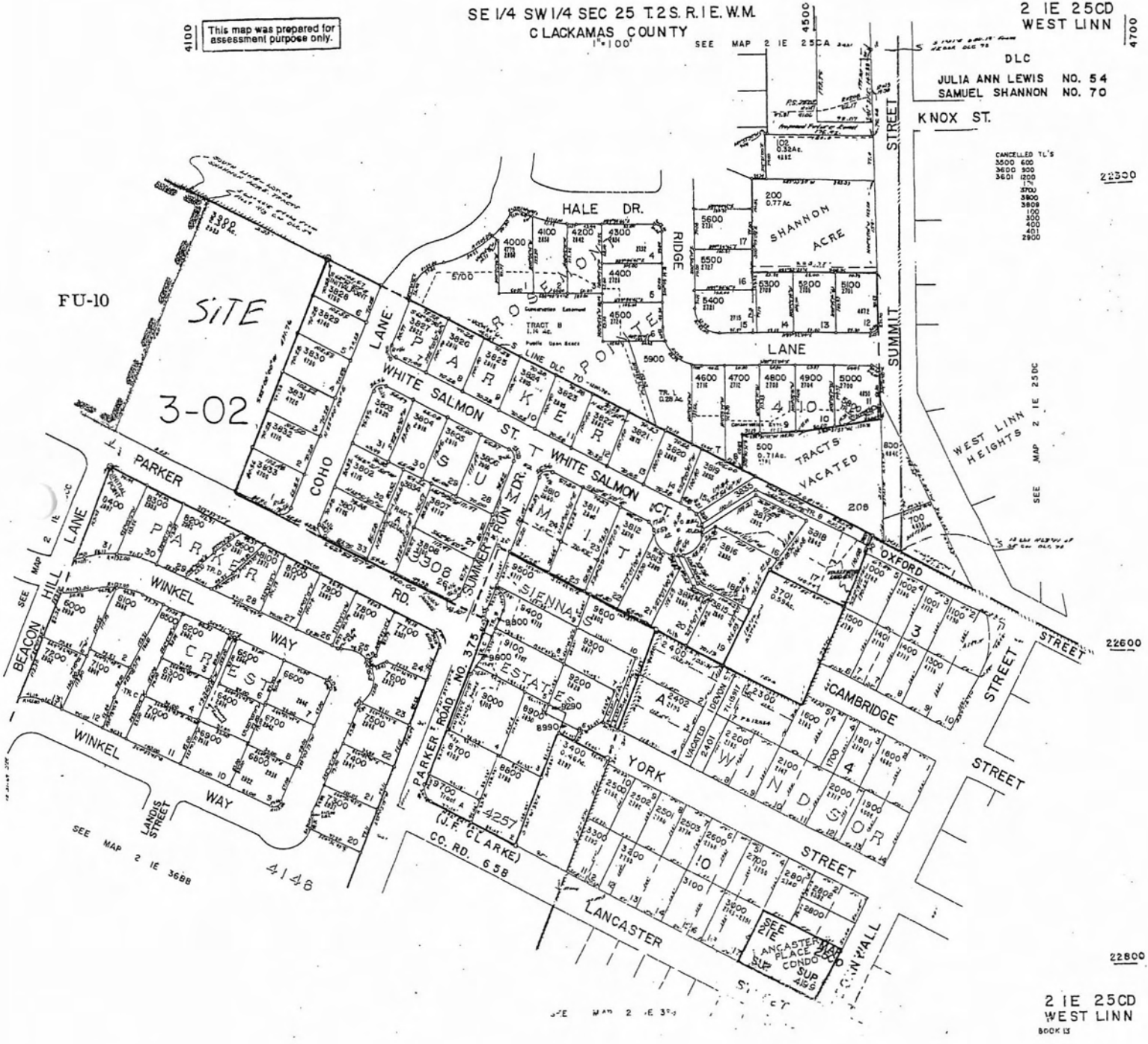
22300

SEE MAP 2 1E 25DC

22600

22800

2 1E 25CD
WEST LINN
BOOK 13



Ben Altman

From: Troy Bowers [bowerst@msa-ep.com]
Sent: Friday, May 07, 2010 3:21 PM
To: Ben Altman
Cc: johns@jsremodel.com; 'Douglas Vokes'
Subject: RE: Notice of Neighborhood Meeting - Development Review

Thank you for the notice. After reviewing this with the other NA officers, we do not think we need to participate as this is outside of our NA boundary. We do appreciate the opportunity to be advised though as it is adjacent to our neighborhood. Thank you for working with the City and the other neighborhood as you go through the City process. Best of luck.

Troy

Troy L. Bowers, P.E. ▪ Senior Vice President
 Murray, Smith & Associates, Inc. ▪ www.msa-ep.com
 121 SW Salmon, Suite 900 ▪ Portland, Oregon 97204-2919
 Tel: 503.225.9010 ▪ Cell: 503.703.7303 ▪ Fax: 503.225.9022 ▪ tlb@msa-ep.com

2010 ▪ CELEBRATING 30 YEARS SERVING THE PACIFIC NORTHWEST

Notice: This e-mail and any attached files are the private confidential property of the sender, and the materials are privileged communications intended solely for the receipt, use, benefit and information of the intended recipient indicated above. If you are not the intended recipient, you are hereby notified that any review, disclosure, copying, distribution, or taking of any other action in reliance on the contents of this transmission is strictly prohibited, and may result in legal liability on your part. If you have received this e-mail in error, please notify us immediately at the above address.

From: Ben Altman [mailto:baltman@sfadg.com]
Sent: Monday, May 03, 2010 2:11 PM
To: Troy Bowers
Subject: Notice of Neighborhood Meeting - Development Review

Troy:

I am sending you this information by email, because I did not have your mailing address, and the City did not respond to my request for the information. I have attached a notice of a pending neighborhood meeting for review of an Extension for a prior approved 6-Lot subdivision.

The development site is not within the Sunset Neighborhood, but is within the distance which requires notice to adjacent Associations. You will note that the site improvements have mostly been constructed. However, the prior developer was unable to complete the work, prior to the expiration of the 2006 approval. Your client is now requesting an extension of the prior approval, to allow the construction to be completed and the Plat recorded.

Thanks,
 Ben Altman

SFA Design Group, LLC

STRUCTURAL | CIVIL | LAND USE PLANNING | SURVEYING
 9020 SW Washington Square Dr., Ste. 350
 Portland, OR 97223
 P (503) 641-8311
 F (503) 643-7905
www.sfadesigngroup.com

21E25CB03800
Janet & Christopher Morgan
3800 Ridge Ln
West Linn, OR 97068

21E25CC00400
William & Carol Koran
3945 Parker Rd
West Linn, OR 97068-2905

21E25CD03900
Melvin Lee
15746 S Hattan Rd
Oregon City, OR 97045-9214

21E25CD03801
L Owen Chrisman
4705 Coho Ln
West Linn, OR 97068-2970

21E25CD03804
Gerard & April Sutton
2916 White Salmon St
West Linn, OR 97068-2963

21E25CD03807
Cindy Stevenson
4710 Summer Run Dr
West Linn, OR 97068-2966

21E25CD03823
John & Lee Wilson
2895 White Salmon Ct
West Linn, OR 97068-2962

21E25CD03826
Susan & Benedict Sun
2919 White Salmon St
West Linn, OR 97068-2963

21E25CD03829
Scott & Suzan Supperstein
4740 Coho Ln
West Linn, OR 97068-2972

21E25CD03832
Lao
Coho Ln
West Linn, OR 97068-2972

21E25CC00100
Noell & Carol Price
3015 Parker Rd
West Linn, OR 97068-2965

21E25CC00200
Noell & Carol Price
3015 Parker Rd
West Linn, OR 97068-2965

21E25CA02502
Andrew & Kathy Axelrod
4722 Ireland Ln
West Linn, OR 97068-2954

21E25CD03802
Tonne Tamerlano
4715 Coho Ln
West Linn, OR 97068-2970

21E25CD03805
Jeffrey & Susan Frost
2910 White Salmon St
West Linn, OR 97068-2963

21E25CD03808
Dale & Jennifer Lane
4700 Summer Run Dr
West Linn, OR 97068-2966

21E25CD03824
Jeff Fielder
2905 White Salmon St
West Linn, OR 97068-2963

21E25CD03827
Meng Yao
2925 White Salmon St
West Linn, OR 97068-2968

21E25CD03830
Anthony Mann
4730 Coho Ln
West Linn, OR 97068-2972

21E25CD03833
Donald & Anne Frank
4700 Coho Ln
West Linn, OR 97068-2972

21E25CC00300
William & Carol Koran
3945 Parker Rd
West Linn, OR 97068-2905

21E25CA02200
John Evans
4000 Ridge Ln
West Linn, OR 97068-2929

21E25CA02503
Richard & Katherine Parson
6312 Pony Ct
West Linn, OR 97068-2515

21E25CD03803
Lawrence Pina
2920 White Salmon St
West Linn, OR 97068-2968

21E25CD03806
Fremont Chang
2900 White Salmon St
West Linn, OR 97068-2963

21E25CD03810
Farvan
2890 White Salmon Ct
West Linn, OR 97068-2949

21E25CD03825
Jason Varga
2915 White Salmon St
West Linn, OR 97068

21E25CD03828
Peter Hongkuk Chun
4750 Coho Ln
West Linn, OR 97068-2972

21E25CD03831
George Kiyoshi & Sachiko Tsukamoto
4720 Coho Ln
West Linn, OR 97068-2972

21E25CD03834
City Of West Linn
22500 S Salamo Rd #600
West Linn, OR 97068-8306

21E25CD04000
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CD04300
Aaron Egland
3250 Wild Rose Loop
West Linn, OR 97068-7231

21E25CD05700
City Of West Linn
22500 S Salamo Rd #600
West Linn, OR 97068-8306

21E25CA06100
Rodney & Nicole Masters
2736 Ridge Ln
West Linn, OR 97068-2985

21E25CA06400
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CA06700
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CA07000
David & Cynthia Gardner
4740 Gardner Ln
West Linn, OR 97068-2450

21E25CA07300
Tim & Michelle O'Leary
4790 Coho Ln
West Linn, OR 97068-2987

21E25CA07600
William Moore
4798 Coho Ln
West Linn, OR 97068-2987

21E25CA07900
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CD04100
Thomas Doblle
2858 Hale Dr
West Linn, OR 97068-2989

21E25CD04400
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CA05800
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CA06200
Robert Mann
4785 Coho Ln
West Linn, OR 97086

21E25CA06500
Mark & Lisa Wickert
4788 Coho Ln
West Linn, OR 97068-2987

21E25CA06800
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CA07100
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CA07400
Peter & Lisa Ness
4792 Coho Ln
West Linn, OR 97068-2987

21E25CA07700
Charles Denning
4822 Coho Ln
West Linn, OR 97068-2984

21E25CA08400
City Of West Linn
22500 S Salamo Rd #600
West Linn, OR 97068-8306

21E25CD04200
Paul & Judith Newman
2842 Hale Dr
West Linn, OR 97068-2989

21E25CD04500
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CA05900
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CA06300
Dinesh Jain
4782 Coho Ln
West Linn, OR 97068-2987

21E25CA06600
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CA06900
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CA07200
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CA07500
Patrick Scott
4794 Coho Ln
West Linn, OR 97068-2987

21E25CA07800
James & Amy Fulmer
4823 Ireland Ln
West Linn, OR 97068-2981

21E25CA08500
Rosemont Pointe Homeowners Assn
P.O Box 230099
Tigard, OR 97281

21E25CA08700
Rosemont Pointe Homeowners Assn
P.O Box 230099
Tigard, OR 97281

21E25CA08800
Rosemont Pointe Homeowners Assn
P.O Box 230099
Tigard, OR 97281

21E25CA08900
City Of West Linn
22500 S Salamo Rd #600
West Linn, OR 97068-8306

21E25CA09300
City Of West Linn
22500 S Salamo Rd #600
West Linn, OR 97068-8306

21E25CA09400
Rosemont Pointe Homeowners Assn
P.O Box 230099
Tigard, OR 97281

21E25CC00521
M & T Bank
5285 Meadows Rd #290
Lake Oswego, OR 97035-5298

21E25CC00522
M & T Bank
5285 Meadows Rd #290
Lake Oswego, OR 97035-5298

21E25CC00523
M & T Bank
5285 Meadows Rd #290
Lake Oswego, OR 97035-5298

21E25CC00524
M & T Bank
5285 Meadows Rd #290
Lake Oswego, OR 97035-5298

21E25CC00525
M & T Bank
5285 Meadows Rd #290
Lake Oswego, OR 97035-5298

21E25CC00526
M & T Bank
5285 Meadows Rd #290
Lake Oswego, OR 97035-5298

21E25CC00527
M & T Bank
5285 Meadows Rd #290
Lake Oswego, OR 97035-5298

21E25CC00528
M & T Bank
5285 Meadows Rd #290
Lake Oswego, OR 97035-5298

21E25CC00529
M & T Bank
5285 Meadows Rd #290
Lake Oswego, OR 97035-5298

21E25CC00530
M & T Bank
5285 Meadows Rd #290
Lake Oswego, OR 97035-5298

21E25CC00531
M & T Bank
5285 Meadows Rd #290
Lake Oswego, OR 97035-5298

21E25CC00532
M & T Bank
5285 Meadows Rd #290
Lake Oswego, OR 97035-5298

21E25CC00533
M & T Bank
5285 Meadows Rd #290
Lake Oswego, OR 97035-5298

21E25CC00534
M & T Bank
5285 Meadows Rd #290
Lake Oswego, OR 97035-5298

21E25CC00535
M & T Bank
5285 Meadows Rd #290
Lake Oswego, OR 97035-5298

21E25CC00536
M & T Bank
5285 Meadows Rd #290
Lake Oswego, OR 97035-5298

21E25CC00537
Verne & Shirley Cox
4512 Maxfield Dr
West Linn, OR 97068-2164

21E25CC00538
M & T Bank
5285 Meadows Rd #290
Lake Oswego, OR 97035-5298

21E25CC00539
Robert Davidson
3140 Prairie Smoke
Bozeman, MT 59719-0000

21E25CC00545
City Of West Linn
22500 S Salamo Rd #600
West Linn, OR 97068-8306

21E25CD06000
James & Karen Erne
2998 Winkel Way
West Linn, OR 97068-2168

21E25CD06100
Andrew Tran
2986 Winkel Way
West Linn, OR 97068-2168

21E25CD06200
Landon Stewart
2982 Winkel Way
West Linn, OR 97068-2168

21E25CD06300
Yizhi Wang
2978 Winkel Way
West Linn, OR 97068-2168

21E25CD06400
Aaron & Jessica Downs
2974 Winkel Way
West Linn, OR 97068-2168

21E25CD06500
Annette Riggs
2966 Winkel Way
West Linn, OR 97068-2168

21E25CD06600
Eugena Ann Spitzer
2946 Winkel Way
West Linn, OR 97068-2168

21E25CD06700
Matthew & Katie Christianson
2942 Winkel Way
West Linn, OR 97068-2168

21E25CD06800
Joseph Schoenheit
2922 Winkel Way
West Linn, OR 97068-2168

21E25CD06900
David Herr
2918 Winkel Way
West Linn, OR 97068-2168

21E25CD07000
Mark & Christy Maziarz
2914 Winkel Way
West Linn, OR 97068-2168

21E25CD07100
Cheryl & Steven Peterson
2906 Winkel Way
West Linn, OR 97068-2168

21E25CD07200
Danbo Shen
2902 Winkel Way
West Linn, OR 97068-2168

21E25CD07400
James McAndrew
2941 Winkel Way
West Linn, OR 97068-2168

21E25CD07500
Moez Harbaoui
2945 Winkel Way
West Linn, OR 97068-2168

21E25CD07600
Dr Horton Inc-Portland
4386 SW Macadam Ave #102
Portland, OR 97239-6432

21E25CD07700
Dr Horton Inc-Portland
4386 SW Macadam Ave #102
Portland, OR 97239-6432

21E25CD07800
Jeffrey & Karina Patterson
2961 Winkel Way
West Linn, OR 97068-2168

21E25CD07900
Josh & Danelle Weissert
2965 Winkel Way
West Linn, OR 97068-2168

21E25CD08000
Joel Dumbrow
2973 Winkel Way
West Linn, OR 97068-2168

21E25CD08100
Rok Kim
2977 Winkel Way
West Linn, OR 97068-2168

21E25CD08200
Larry & Sheryl Walsh
2985 Winkel Way
West Linn, OR 97068-2168

21E25CD08300
William & Shen Amborn
2993 Winkel Way
West Linn, OR 97068-2168

21E25CD08400
Mark Jones
2997 Winkel Way
West Linn, OR 97068-2168

21E25CD08500
City Of West Linn
22500 S Salamo Rd #600
West Linn, OR 97068-8306

21E25CD08600
City Of West Linn
22500 S Salamo Rd #600
West Linn, OR 97068-8306

21E25CD09400
Benjamin & Georgetta Lucescu
4647 Summer Run Dr
West Linn, OR 97068-0000

21E25CD09500
Benjamin & Georgetta Lucescu
4647 Summer Run Dr
West Linn, OR 97068-0000

21E25CD09800
City Of West Linn
22500 S Salamo Rd #600
West Linn, OR 97068-8306

21E25CD09900
Siennas Estates Homeowners Assn Attn:
Sam Pap
16770 S Kreft Rd
Oregon City, OR 97045

This map was prepared for assessment purpose only.

SE 1/4 SW 1/4 SEC 25 T.2S. R.1E. W.M.
C LACKAMAS COUNTY
1"=100'

2 1E 25CD
WEST LINN



DLC
JULIA ANN LEWIS NO. 54
SAMUEL SHANNON NO. 70

CANCELED T.L'S	
3500	600
3600	900
3601	1200
3602	1500
3603	1800
3604	2100
3605	2400
3606	2700
3607	3000
3608	3300
3609	3600
3610	3900
3611	4200
3612	4500
3613	4800
3614	5100

21500

22600

22800

2 1E 25CD
WEST LINN
BLOCK 13



**PUBLIC RECORD REPORT
FOR NEW SUBDIVISION OR LAND PARTITION**

THIS REPORT IS ISSUED BY THE ABOVE-NAMED COMPANY ("THE COMPANY") FOR THE EXCLUSIVE USE OF:

Mel Lee
15746 S Hatton Road
Oregon City, OR 97045
Phone: (503)631-2459
Fax:

Date Prepared : April 28, 2010
Effective Date : 8:00 A.M on April 20, 2010
Order No. : 7019-1565725
Reference :

The information contained in this report is furnished by First American Title Insurance Company of Oregon (the "Company") as an information service based on the records and indices maintained by the Company for the county identified below. This report is not title insurance, is not a preliminary title report for title insurance, and is not a commitment for title insurance. No examination has been made of the Company's records, other than as specifically set forth in this report. Liability for any loss arising from errors and/or omissions is limited to the lesser of the fee paid or the actual loss to the Customer, and the Company will have no greater liability by reason of this report. This report is subject to the Definitions, Conditions and Stipulations contained in it.

REPORT

- A. The Land referred to in this report is located in the County of Clackamas, State of Oregon, and is described as follows:

As fully set forth on Exhibit "A" attached hereto and by this reference made a part hereof.
- B. As of the Effective Date, the tax account and map references pertinent to the Land are as follows:

As fully set forth on Exhibit "A" attached hereto and by this reference made a part hereof.
- C. As of the Effective Date and according to the Public Records, we find title to the land apparently vested in:

As fully set forth on Exhibit "B" attached hereto and by this reference made a part hereof.
- D. As of the Effective Date and according to the Public Records, the Land is subject to the following liens and encumbrances, which are not necessarily shown in the order of priority:

As fully set forth on Exhibit "C" attached hereto and by this reference made a part hereof.

EXHIBIT "A"
(Land Description Map Tax and Account)

A portion of the Julia Ann Lewis Donation Land Claim in Township 2 South, Range 1 East, of the Willamette Meridian, in the County of Clackamas and State of Oregon, more particularly described as follows:

Beginning at a point on the North line of said Donation Land Claim 54.00 chains South 62°44' East of the most Northerly corner thereof, which point is also the most Easterly corner of a tract of land conveyed to Valerian J. Bird, et ux, by Deed recorded in Book 539, page 469, Deed Records, and the true point of beginning of the tract herein to be described; thence continuing South 62°44' East along the claim line 233 feet, more or less, to the most Northerly corner of a tract of land conveyed to Erwin F. Lange, et ux, by Deed recorded in Book 609, page 543, Deed Records; thence South 22° West along the Northwest boundary thereof 460 feet to the most Westerly corner of the said Lange Tract which point is in the center of Parker Road; thence North 62°44' West along the center of Parke Road 233 feet, more or less, to the most Southerly corner of the aforementioned Bird Tract; thence North 22° East along the Southeasterly line of the Bird Tract 460 feet, more or less, to the place of beginning.

Excepting therefrom that portion lying within the boundaries of Parker Road.

NOTE: This legal description was created prior to January 1, 2008.

Map No.: 21E25CD03900
Tax Account No.: 00385336

EXHIBIT "B"
(Vesting)

Melvin D. Lee

EXHIBIT "C"
(Liens and Encumbrances)

1. City liens, if any, of the City of West Linn.
2. The rights of the public in and to that portion of the premises herein described lying within the limits of streets, roads and highways.
3. Deed of Trust and the terms and conditions thereof.
Grantor/Trustor: Melvin D. Lee and Karen Jo Lee
Grantee/Beneficiary: National Loan Acquisitions Company
Trustee: First American Title Insurance Company
Amount: \$350,000.00
Recorded: March 31, 2010
Recording Information: 2010 019453

NOTE: Taxes for the year 2009-2010 PAID IN FULL

Tax Amount:	\$11,844.10
Map No.:	21E25CD03900
Property ID:	00385336
Tax Code No.:	003-002

DEFINITIONS, CONDITIONS AND STIPULATIONS

1. **Definitions.** The following terms have the stated meaning when used in this report:
 - (a) "Customer": The person or persons named or shown as the addressee of this report.
 - (b) "Effective Date": The effective date stated in this report.
 - (c) "Land": The land specifically described in this report and improvements affixed thereto which by law constitute real property.
 - (d) "Public Records": Those records which by the laws of the state of Oregon impart constructive notice of matters relating to the Land.

2. **Liability of the Company.**
 - (a) This is not a commitment to issue title insurance and does not constitute a policy of title insurance.
 - (b) The liability of the Company for errors or omissions in this public record report is limited to the amount of the charge paid by the Customer, provided, however, that the Company has no liability in the event of no actual loss to the Customer.
 - (c) No costs (including, without limitation attorney fees and other expenses) of defense, or prosecution of any action, is afforded to the Customer.
 - (d) In any event, the Company assumes no liability for loss or damage by reason of the following:
 - (1) Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records.
 - (2) Any facts, rights, interests or claims which are not shown by the Public Records but which could be ascertained by an inspection of the land or by making inquiry of persons in possession thereof.
 - (3) Easements, liens or encumbrances, or claims thereof, which are not shown by the Public Records.
 - (4) Discrepancies, encroachments, shortage in area, conflicts in boundary lines or any other facts which a survey would disclose.
 - (5) (i) Unpatented mining claims; (ii) reservations or exceptions in patents or in Acts authorizing the issuance thereof, (iii) water rights or claims or title to water.
 - (6) Any right, title, interest, estate or easement in land beyond the lines of the area specifically described or referred to in this report, or in abutting streets, roads, avenues, alleys, lanes, ways or waterways.
 - (7) Any law, ordinance or governmental regulation (including but not limited to building and zoning laws, ordinances or regulations) restricting, regulating, prohibiting or relating to (i) the occupancy, use or enjoyment on the land; (ii) the character, dimensions or location of any improvement now or hereafter erected on the land; (iii) a separation in ownership or a change in the dimensions or area of the land or any parcel of which the land is or was a part; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of the enforcement thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the Public Records at the effective date hereof.
 - (8) Any governmental police power not excluded by 2(d)(7) above, except to the extent that notice of the exercise thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the Public Records at the effective date hereof.
 - (9) Defects, liens, encumbrances, adverse claims or other matters created, suffered, assumed, agreed to or actually known by the Customer.

3. **Report Entire Contract.** Any right or action or right of action that the Customer may have or may bring against the Company arising out of the subject matter of this report must be based on the provisions of this report. No provision or condition of this report can be waived or changed except by a writing signed by an authorized officer of the Company. By accepting this form report, the Customer acknowledges and agrees that the Customer has elected to utilize this form of public record report and accepts the limitation of liability of the Company as set forth herein.

4. **Charge.** The charge for this report does not include supplemental reports, updates or other additional services of the Company.

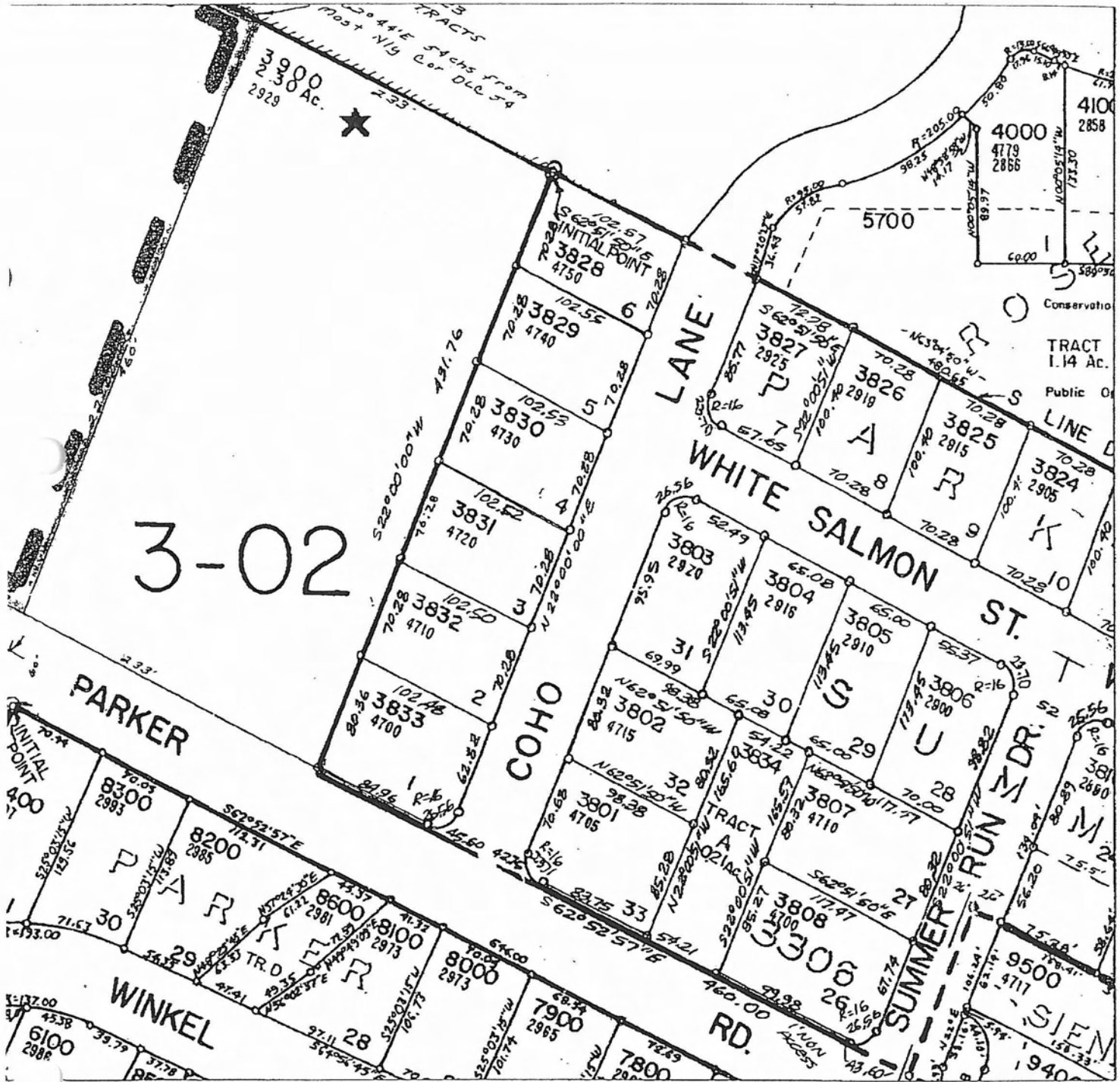


First American Title Insurance Company of Oregon

An assumed business name of TITLE INSURANCE COMPANY OF OREGON

This map is provided as a convenience in locating property
First American Title Insurance Company assumes no liability for any variations as may be disclosed by an actual survey

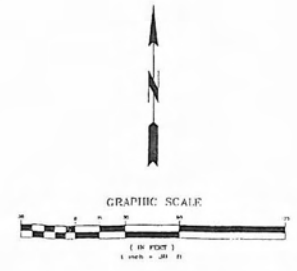
Reference Parcel Number 21E25CD03900





SLOPE ANALYSIS

Color	Range_Beg.	Range_End	Area	Percent
ffff	0.00	4.99	7121.00	7.2
cccc	5.00	14.99	70975.00	71.5
bbbb	15.00	24.99	21144.00	21.3
aaaa	25.00	34.99	0.00	0.0
zzzz	35.00	49.99	35.00	0.1
yyyy	50.00	50.00+	0.00	0.0



SFA Design Group, LLC
 203 SW Washington Street, Suite 200
 Portland, Oregon 97204
 P: 503.224.8800
 M: 503.224.8801

SLOPE ANALYSIS
 PARKER ROAD

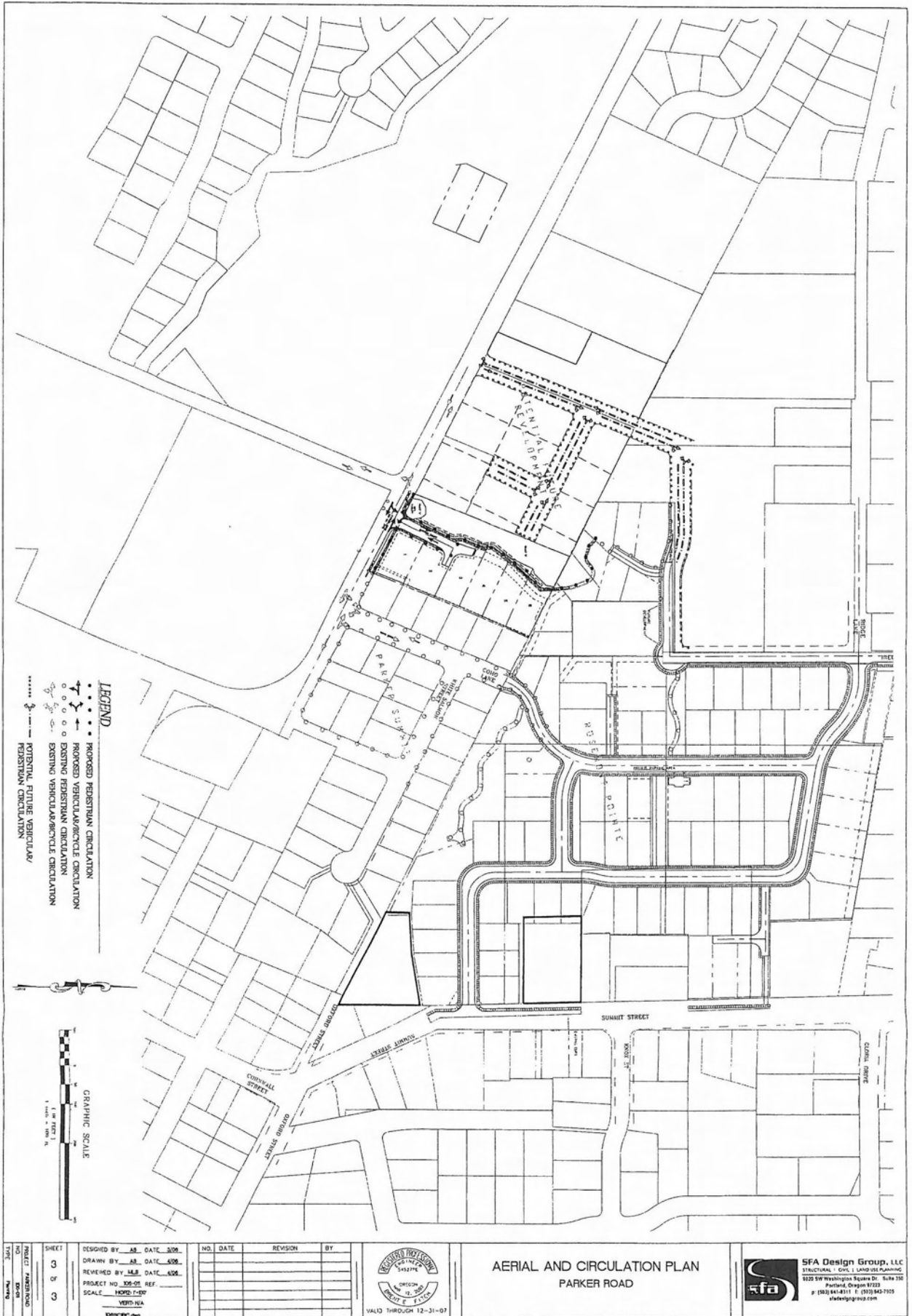
NO. DATE
 REVISION BY
 REVISION BY
 REVISION BY
 REVISION BY
 REVISION BY
 REVISION BY

VALU THROUGH 12-31-07

DESIGNED BY: JAL DATE: 09/15/00
 DRAWN BY: JAL DATE: 09/15/00
 CHECKED BY: JAL DATE: 09/15/00
 SCALE: AS SHOWN
 PROJECT NO. 0000000000
 REVISION NO.

SHEET 2 OF 3
 PROJECT PARKER ROAD
 NO. 00-01
 TYPE Parking

DATE OF PLOT



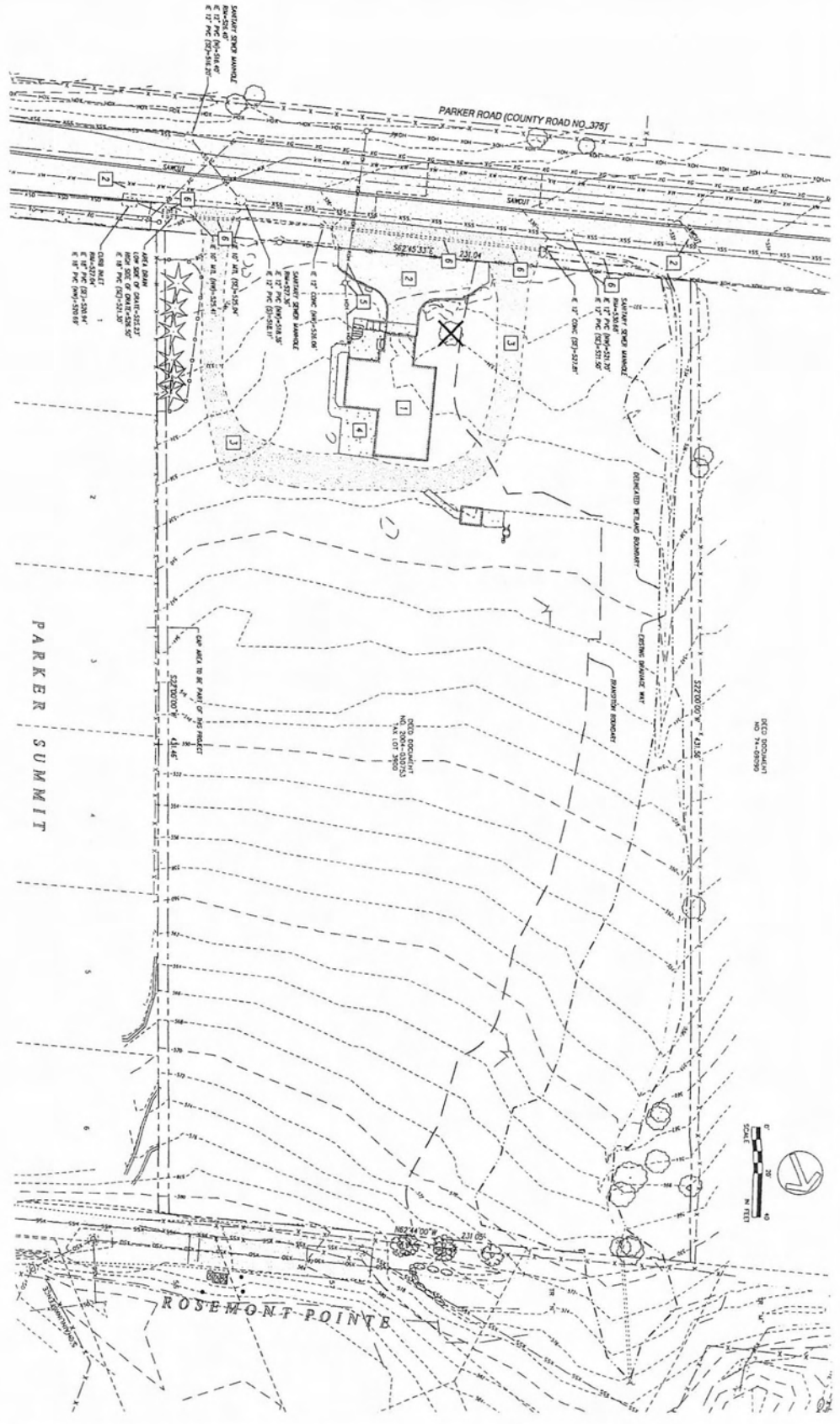
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DATE	12-31-07
SCALE	1"=50'-0"
DESIGNED BY	AS DATE 3/06
DRAWN BY	AS DATE 4/06
REVIEWED BY	MS DATE 4/06
PROJECT NO.	305-01 REF.
SCALE	1"=50'-0"
VERTICAL	1"=10'-0"

NO.	DATE	REVISION	BY

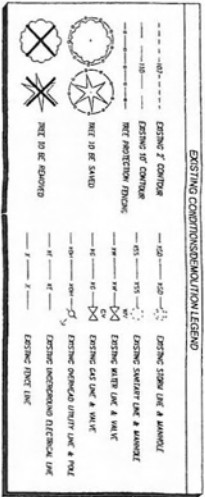


AERIAL AND CIRCULATION PLAN
PARKER ROAD

SFA Design Group, LLC
STRUCTURAL - CIVIL - LAND USE PLANNING
3225 SW Washington Square Dr. Suite 102
Portland, Oregon 97223
p (503) 441-8111 f (503) 440-7103
sfa@sgdgroup.com

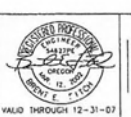


- DEMOLITION NOTES**
- 1 REMOVE TO BE DEMOLISHED CONSTRUCTION SHALL BE SHOWN
 - 2 DEMOLITION SHALL BE FROM TO ANY NEW ONE
 - 3 ADJUST TO BE DEMOLISHED WITHIN LIMITS OF SAMUEL
 - 4 REFLECTED BY 5' FROM LIMITS OF SAMUEL AND OTHER ADJUSTMENT
 - 5 DEMOLITION SHALL BE TO BE REMOVED
 - 6 DEMOLITION SHALL BE TO BE REMOVED CONSTRUCTION TO BE DEMOLISHED
 - 7 DEMOLITION SHALL BE TO BE REMOVED CONSTRUCTION TO BE DEMOLISHED
 - 8 DEMOLITION SHALL BE TO BE REMOVED CONSTRUCTION TO BE DEMOLISHED
 - 9 DEMOLITION SHALL BE TO BE REMOVED CONSTRUCTION TO BE DEMOLISHED
 - 10 DEMOLITION SHALL BE TO BE REMOVED CONSTRUCTION TO BE DEMOLISHED
 - 11 DEMOLITION SHALL BE TO BE REMOVED CONSTRUCTION TO BE DEMOLISHED
 - 12 DEMOLITION SHALL BE TO BE REMOVED CONSTRUCTION TO BE DEMOLISHED
 - 13 DEMOLITION SHALL BE TO BE REMOVED CONSTRUCTION TO BE DEMOLISHED



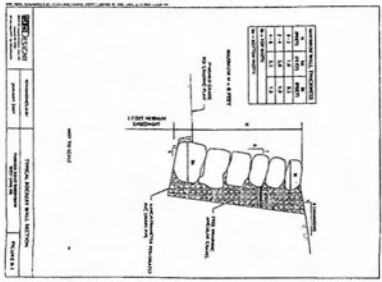
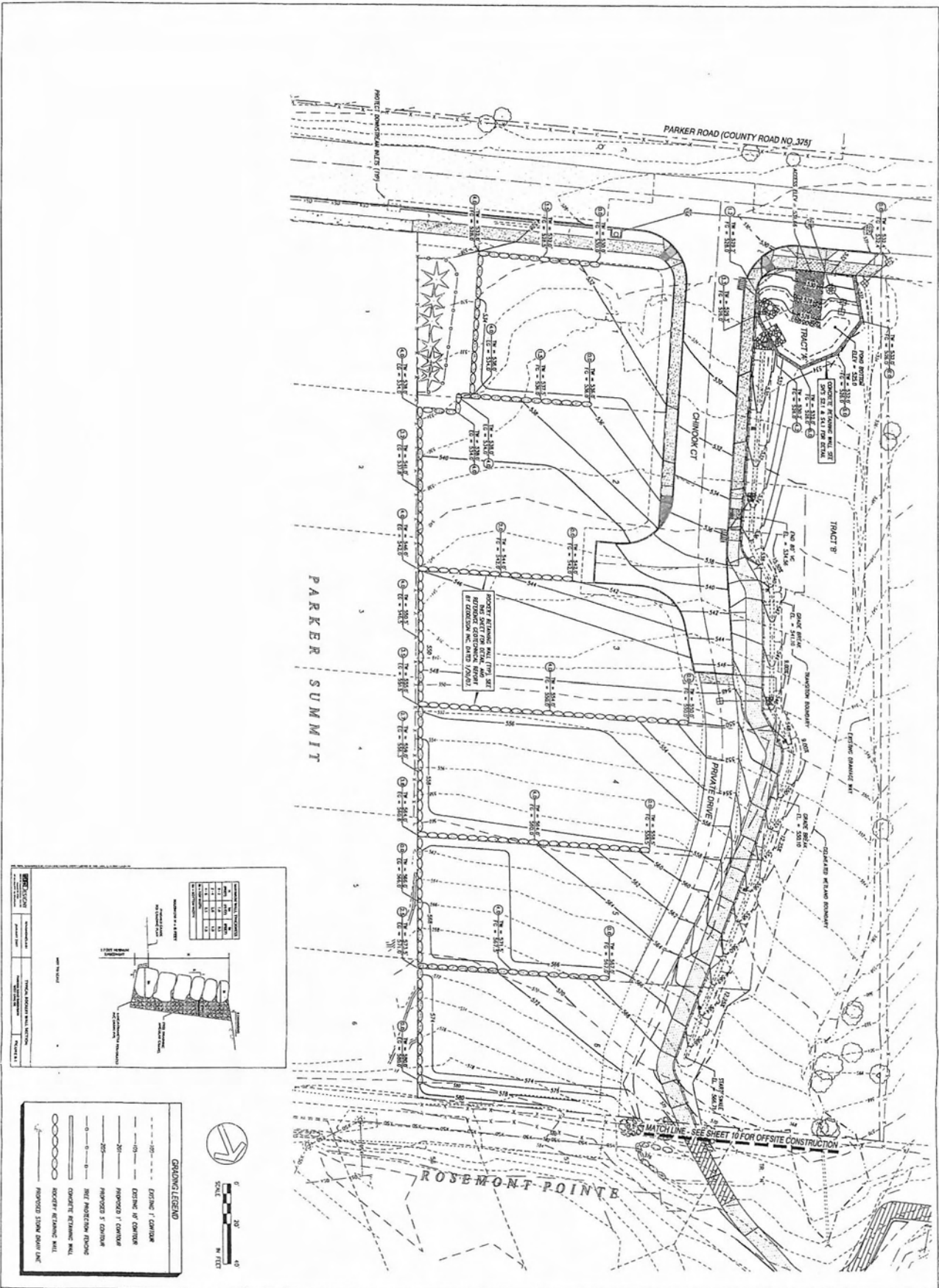
DESIGNED BY	REF	DATE	3/11/06
DRAWN BY	AMV	DATE	3/11/06
REVISIONS			
PROJECT NO.	106211	REF.	
SCALE	1" = 40'		

NO.	DATE	REVISION	BY
0	11/06/06	INITIAL SUBMITTAL	
1	03/19/07	REVISED PER CITY COMMENTS	
2	05/09/07	REVISED PER CITY COMMENTS	
3	05/28/07	REVISED PER CITY COMMENTS	



EXISTING CONDITIONS & DEMOLITION PLAN
 PARKER ROAD SUBDIVISION
 WEST LINN, OREGON

SFA Design Group, LLC
 9022 SW Washington Square Dr. Suite 330
 Portland, Oregon 97223
 P: (503) 644-8811 F: (503) 644-1998
 sfa@sgroup.com



GRADING LEGEND

- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR
- WET AREA/SHALLOW FLOODING
- CONCRETE RETAINING WALL
- MASONRY RETAINING WALL
- PROPOSED STREAM CHANNEL LINE



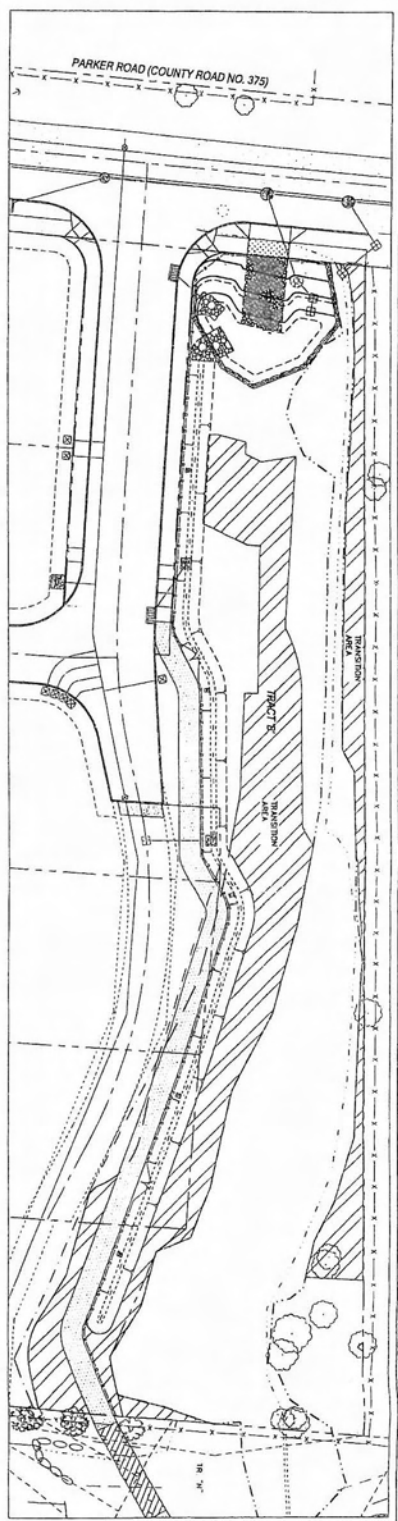
DESIGNED BY	SEE	DATE	REV
DRAWN BY	SEE	DATE	REV
REVIEWED BY	SEE	DATE	REV
PROJECT NO.	106211	REF	SCALE
SCALE	1" = 20'		
CHECKED BY	N/A		
DATE	12-31-07		

NO.	DATE	REVISION	BY
0	11/05/06	INITIAL SUBMITTAL	
1	03/19/07	REVISED PER CITY COMMENTS	
2	05/29/07	REVISED PER CITY COMMENTS	
3	05/28/07	REVISED PER CITY COMMENTS	



GRADING PLAN
PARKER ROAD SUBDIVISION
WEST LINN, OREGON

sfa SFA Design Group, LLC
 STRUCTURE, CIVIL, LANDSCAPE ARCHITECTURE
 9322 SW Washington Square Dr. Suite 300
 Portland, Oregon 97223
 P: (503) 844-8811 F: (503) 844-9928
 info@sfgroup.com



PART 1 GENERAL

1.01 EXECUTION. Provide all materials, equipment, and labor necessary for the completion of the work. The Contractor shall be responsible for the procurement of all materials, equipment, and labor necessary for the completion of the work. The Contractor shall be responsible for the procurement of all materials, equipment, and labor necessary for the completion of the work. The Contractor shall be responsible for the procurement of all materials, equipment, and labor necessary for the completion of the work.

1.02 QUALITY ASSURANCE/STANDARDS. All plant materials and planting methods are to be in accordance with the Oregon Department of Forestry, Oregon Department of Agriculture, and Oregon Department of Fish and Wildlife. The Contractor shall be responsible for the procurement of all materials, equipment, and labor necessary for the completion of the work. The Contractor shall be responsible for the procurement of all materials, equipment, and labor necessary for the completion of the work.

1.03 SITE PREPARATION/INSTALLATION. A 100' wide strip shall be provided for the installation of the plant materials. The Contractor shall be responsible for the procurement of all materials, equipment, and labor necessary for the completion of the work. The Contractor shall be responsible for the procurement of all materials, equipment, and labor necessary for the completion of the work.

1.04 MAINTENANCE. Maintenance is to include regular visits to the site to ensure the proper growth and survival of the plant materials. The Contractor shall be responsible for the procurement of all materials, equipment, and labor necessary for the completion of the work. The Contractor shall be responsible for the procurement of all materials, equipment, and labor necessary for the completion of the work.

1.05 EXISTING VEGETATION. Preserve all existing vegetation designated as such. Any existing vegetation damaged by Contractor will be replaced with plants of equal or better size and condition as contractor's option.

1.06 PLANT MATERIALS. Plant materials are to conform to Standard Land Regulations as published. Round plants are to be four quality, well developed, with well-developed root systems. All plant materials are to be well established. The Contractor shall be responsible for the procurement of all materials, equipment, and labor necessary for the completion of the work.

PART 2 EXECUTION

2.01 PREPARATION FOR PLANTING. Remove topsoil to 12-inch depth from rippled and wetland areas to be revegetated. The Contractor shall be responsible for the procurement of all materials, equipment, and labor necessary for the completion of the work. The Contractor shall be responsible for the procurement of all materials, equipment, and labor necessary for the completion of the work.

Match to details of provided wood and steel pile.

1.01 PREPARATION FOR PLANTING. Remove topsoil to 12-inch depth from rippled and wetland areas to be revegetated. The Contractor shall be responsible for the procurement of all materials, equipment, and labor necessary for the completion of the work. The Contractor shall be responsible for the procurement of all materials, equipment, and labor necessary for the completion of the work.

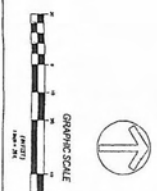
1.02 SEEDING MATERIALS. If the Contractor uses seed mix as indicated in specifications, it shall be in accordance with the Oregon Department of Forestry, Oregon Department of Agriculture, and Oregon Department of Fish and Wildlife. The Contractor shall be responsible for the procurement of all materials, equipment, and labor necessary for the completion of the work.

1.03 PLANT INSTALLATION. Plant per specified scheduling and after all other construction is complete. Other plants are allowed for the rippled areas. The Contractor shall be responsible for the procurement of all materials, equipment, and labor necessary for the completion of the work.

1.04 FINAL ACCEPTANCE AND INSPECTION. Following completion of all the above items, the Contractor shall submit a final report to the City of West Linn. The Contractor shall be responsible for the procurement of all materials, equipment, and labor necessary for the completion of the work.

VEGETATION CORRIDOR LEGEND

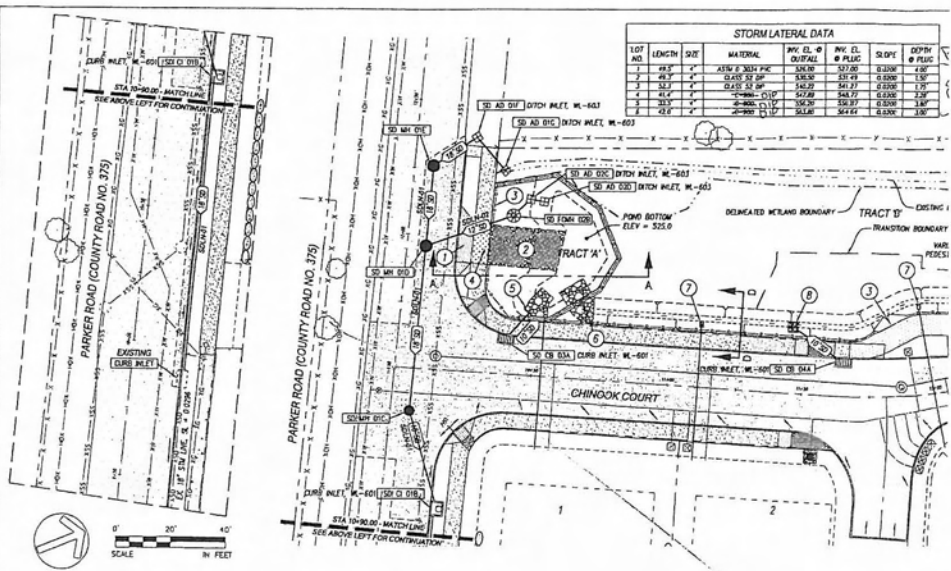
TRANSITION AREA (7.665, 57.018 ACRES)	WATER RECOMPLEMENTS	LIGHT RECOMPLEMENTS	MIN. HOODING SIZE	MIN. PLANT HEIGHT	ON CENTER / SEEDING RATE	SPACING
23 OREGON FERN	DRY	SUN	2 GAL.	3'	12'	SHOULDER
25 RED ALDER	WET	SUN	2 GAL.	2'	12'	SHOULDER
20 BLACK PINE	DRY	SUN	2 GAL.	3'	12'	SHOULDER
50 PACIFIC REDWOOD	DRY	SHADE	1 GAL.	1.5'	8'	CLUSTERS OF 15
140 SLOW-GROWING ALBIR	DRY	SHADE	2 GAL.	2'	8'	SHOULDER
24 REDWOOD	WET	SHADE	1 GAL.	4'	VARIABLE	CLUSTERS OF 6
215 S.W. WILLOW	DRY	SUN	N/A	N/A	N/A	15-30 LBS
N/A BROAD LEAFED	DRY	SHADE	N/A	N/A	N/A	15-30 LBS
N/A LUPINE	DRY	SUN	N/A	N/A	N/A	15-30 LBS
N/A WILLOW	DRY TO WET	SHADE	N/A	N/A	N/A	15-30 LBS



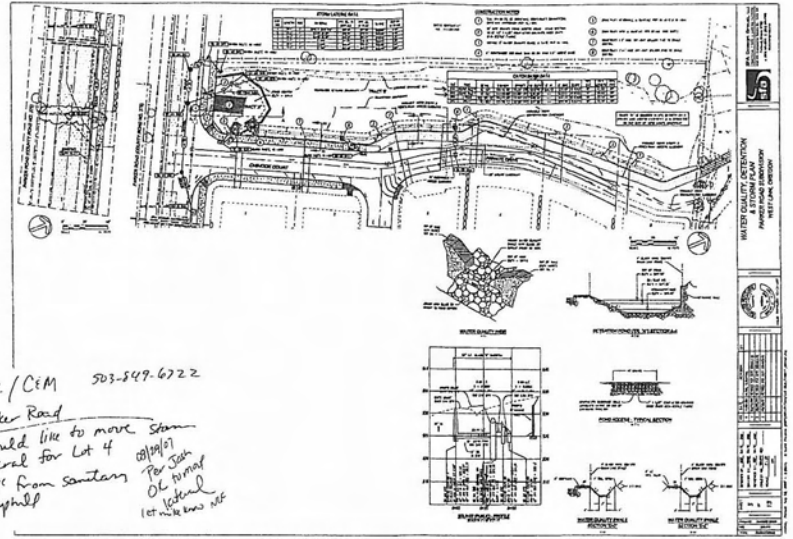
WETLAND REVEGETATION PLAN
PARKER ROAD SUBDIVISION
WEST LINN, OREGON

SHEET 4A OF 13
 PROJECT AMENDED
 DATE 11/08/06
 REVISION 1: 03/09/07 REVISED PER CITY COMMENTS
 2: 03/09/07 REVISED PER CITY COMMENTS
 3: 05/28/07 REVISED PER CITY COMMENTS

SFA Design Group, LLC
 8022 SW Washington Square, Suite 300
 Portland, Oregon 97223
 P: (503) 841-8111 F: (503) 841-8105
 info@sfa.com



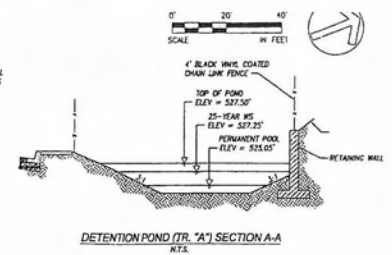
STORM LATERAL DATA						
LOT NO.	LENGTH	SWT	MATERIAL	INV. EL. @ OUTFALL	INV. EL. @ PLUG	SD OFE @ PLUG
1	49.3	4"	ASTM F 2624 P.C.	527.90	527.00	0.0000
2	49.3	4"	CLASS 57 SP	528.50	527.49	0.0000
3	52.1	4"	CLASS 57 SP	528.50	527.47	0.0000
4	30.5	4"	CLASS 57 SP	527.80	526.77	0.0000
5	30.5	4"	CLASS 57 SP	528.50	527.47	0.0000
6	42.0	4"	CLASS 57 SP	528.50	527.47	0.0000



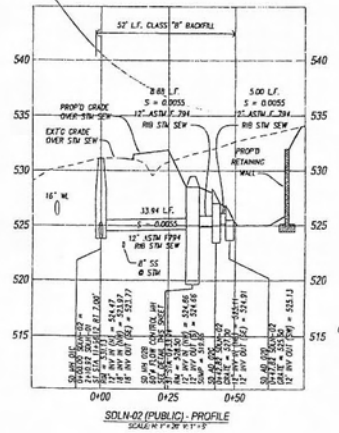
MKE/C&M 503-549-6222
 Parker Road
 Would like to move storm lateral for Lot 4 5' from sanitary upland
 Per John Ok to move lateral
 Let us know if



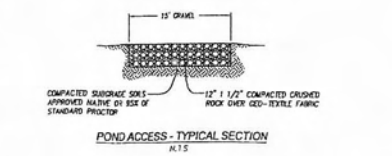
WATER QUALITY WEIR
 N.T.S.



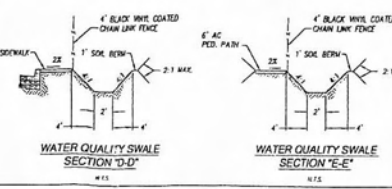
DETENTION POND (TR. "A") SECTION A-A
 N.T.S.



SWALE-02 (PUBLIC) - PROFILE
 SCALE: H=1"=30' V=1"=15'



POND ACCESS - TYPICAL SECTION
 N.T.S.



WATER QUALITY SWALE SECTION "D-D"
 N.T.S.

WATER QUALITY SWALE SECTION "E-E"
 N.T.S.

VLD
 9/2/02

WATER QUALITY CERTIFICATION
 PARKER ROAD SUBDIVISION
 WESTLAWN, ILLINOIS

SCALE: H=1"=30' V=1"=15'

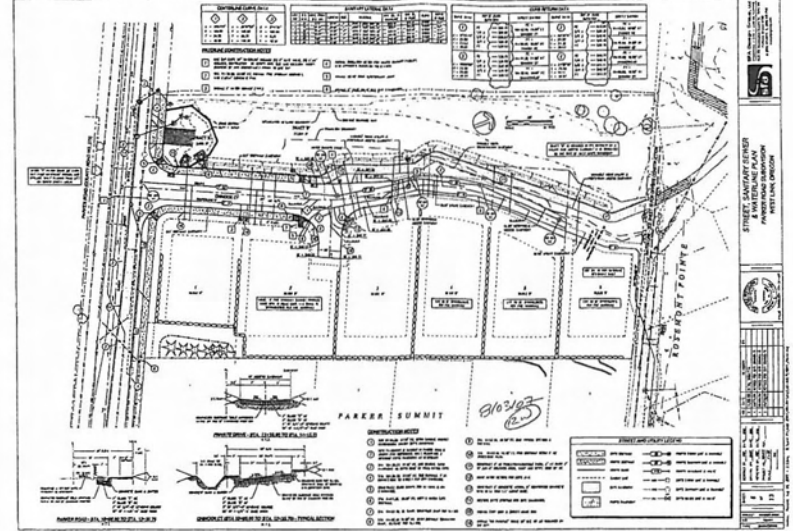
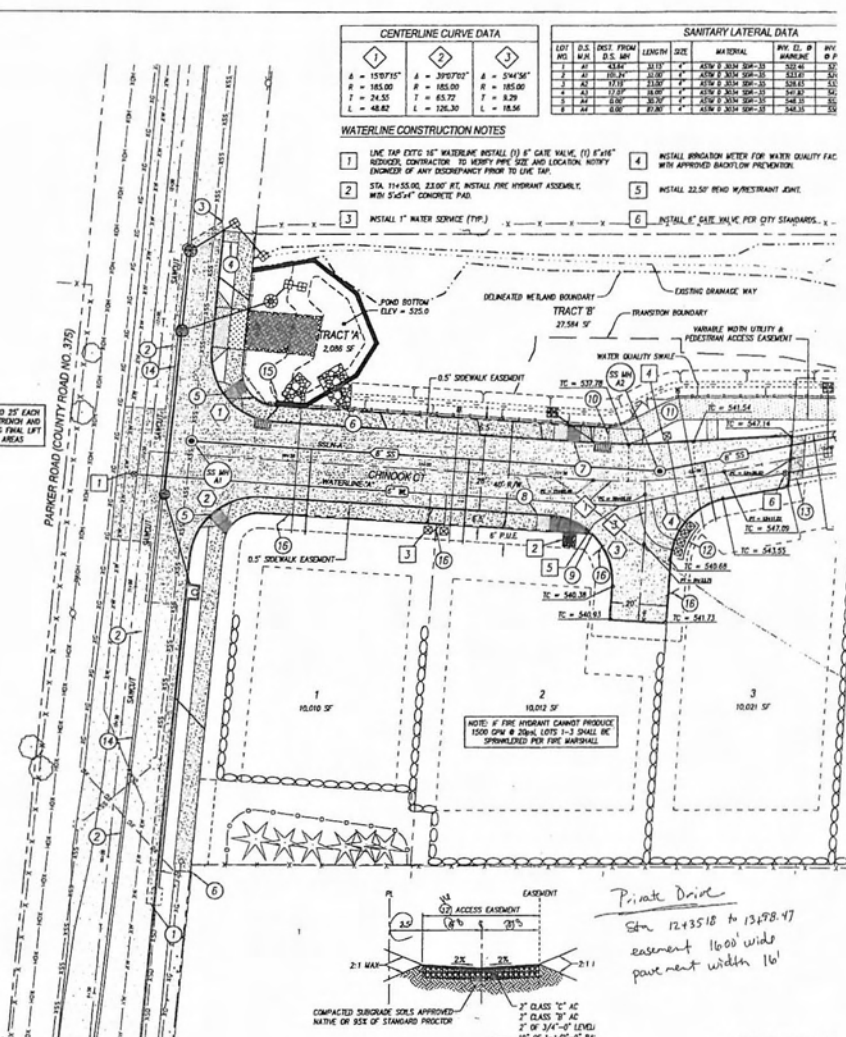
DATE: 08/27/02

PROJECT NO: 106811

TYPE: ENGINEERING

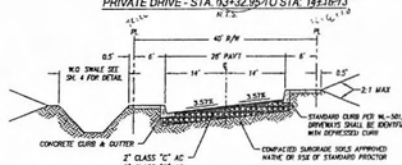
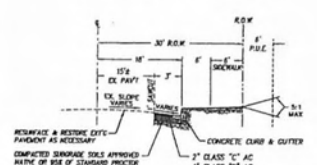
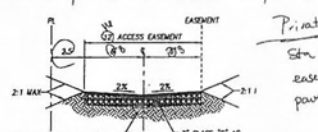
VALID THROUGH: 12-31-07

178



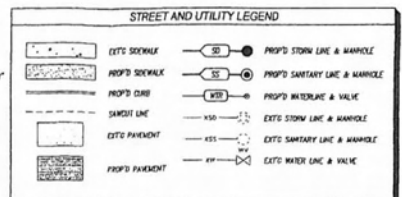
AFTER 1" PATCH GRIND 25' EACH WAY FAST WATERLINE TRENCH AND REPLACE WHILE PLACING FINAL LIFT ON OTHER STREET AREAS

NOTE: IF FIRE HYDRANT CANNOT PRODUCE 1500 GPM @ 20psi, LOTS 1-3 SHALL BE SPRINKLERED PER FIRE MARSHAL.



CONSTRUCTION NOTES

1. STA. 114-48.36, 12.00 RT. BEGIN SANITARY, PROTECT CATCHBASIN MATCH EXITS CONDITIONS.
2. NEW PAVEMENT & SANITARY IN PARKER ROAD IS SHOWN FOR REFERENCE ONLY, RESTORATION & RESTORE EXISTING PAVEMENT AS NECESSARY.
3. STA. 12+18.23, 17.40 RT. END SANITARY, BARRY PAVEMENT TO EXIST. EDGE OF ROAD, MATCH EXITS.
4. STA. 12+35.75, 27.00 RT. END SIDEWALK, 4" AC CONNECTION TO STREET PER CITY STANDARDS.
5. CONSTRUCT CURB RAMP PER M-507A & ADA STANDARDS.
6. STA. 114-53.75, 30.50 RT. MEET & MATCH EXITS SIDEWALK.
7. STA. 11+53.75, CL. RAMP, CONSTRUCT RAMP PER M-506.
8. STA. 114-53.75, 4.00 RT. BEGIN SIDEWALK, REINFORCED RAMP, TEXTURE PER M-506.
9. STA. 114-43.34, 30.50 RT. END TYPICAL SECTION & SIDEWALK.
10. STA. 114-47.30, 14.40' LT. END SIDEWALK BEGIN 8" AC PEDESTRIAN PAVEMENT.
11. CONSTRUCT 8" AC PEDESTRIAN/BICYCLE PAVEMENT, 1" AC OVER 1" OF 3/4"-0" CRUSHED ROCK, TAMP AND BEVEL EDGE OF AC.
12. BANK WATER WEEDS FOR LOTS 3-6.
13. CONSTRUCT 5" CONCRETE APPROX. 6" REINFORCED CONCRETE WITH 10 CA W/1.5" ABOVE BASE.
14. RESTORE EXIST. STRIPING PER CITY STANDARDS.
15. INSTALL STOP SIGN & STREET NAME SIGN.
16. INSTALL "NO PARKING" SIGNS 50' O.C. OR AS REQUIRED BY THE CITY.

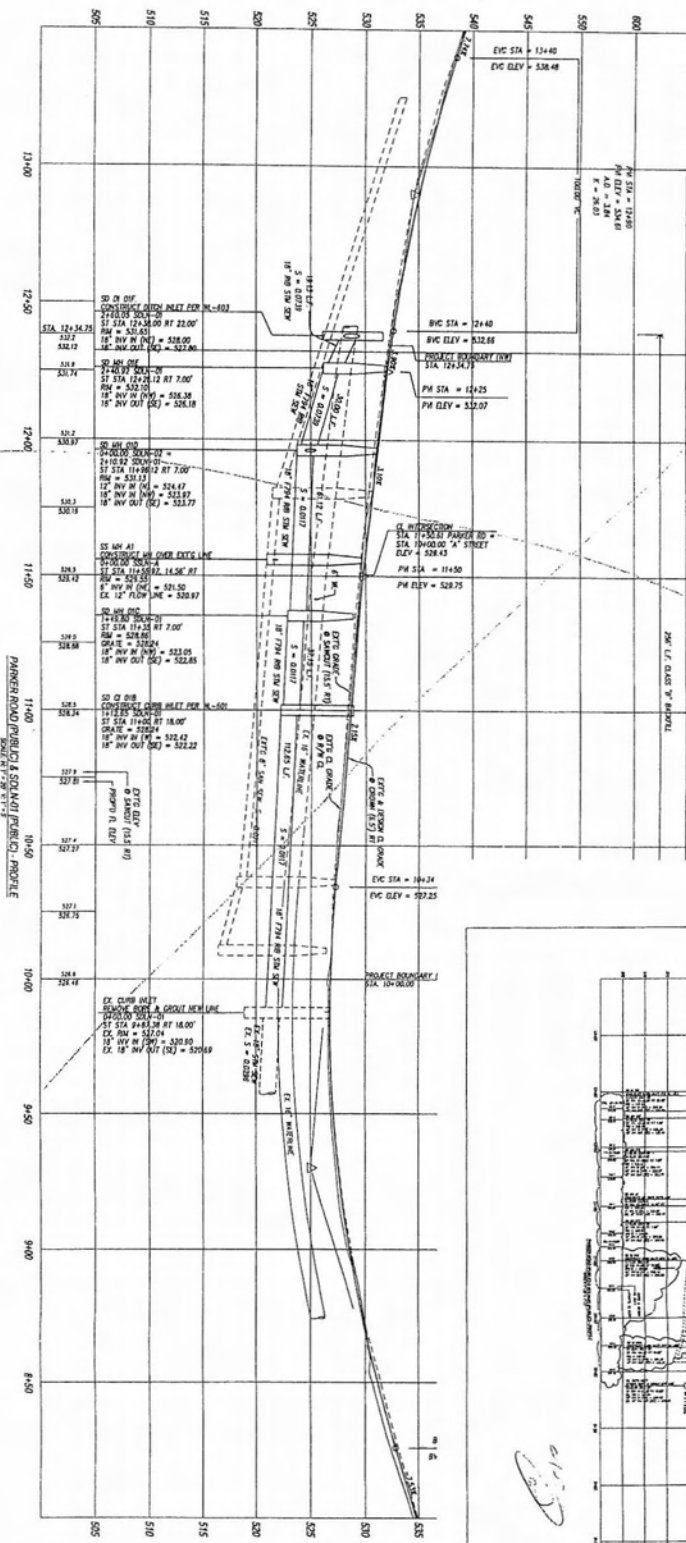


DESIGNED BY: [Signature] DATE: [Date]
 DRAWN BY: [Signature] DATE: [Date]
 CHECKED BY: [Signature] DATE: [Date]
 PROJECT NO.: [Number] SHEET NO.: [Number]
 SCALE: [Scale]
 DATE: [Date]

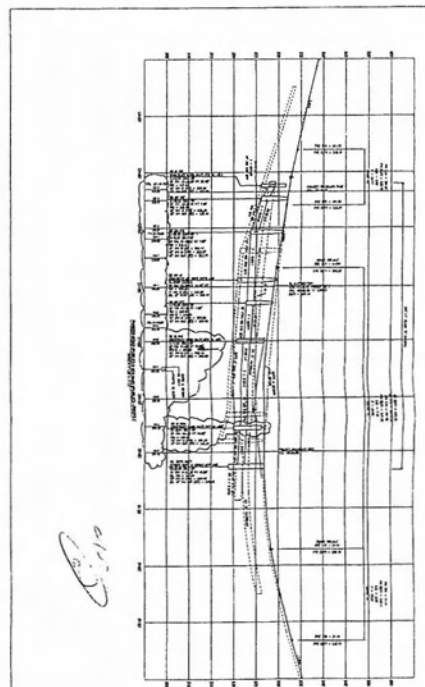
BY: [Signature]
 DATE: [Date]
 REVISION: [Text]
 1 05/07/07 REVISED PER CITY COMMENTS
 2 05/07/07 REVISED PER CITY COMMENTS
 3 05/07/07 REVISED PER CITY COMMENTS

PROJECT: PARKER ROAD
 NO. 106-011
 TYPE: ENGINEERING

VALID THROUGH: 12-31-07

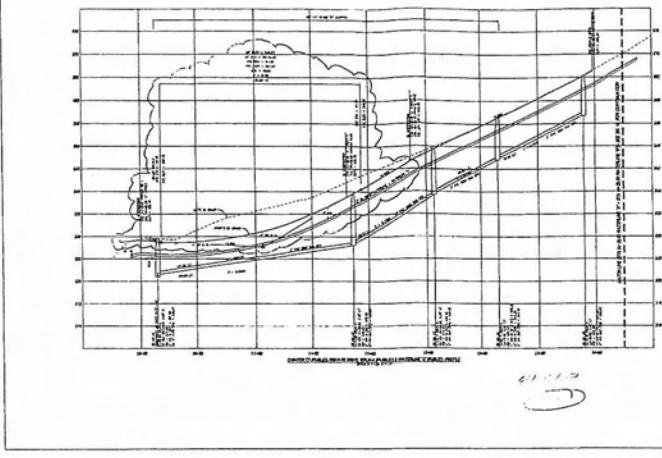
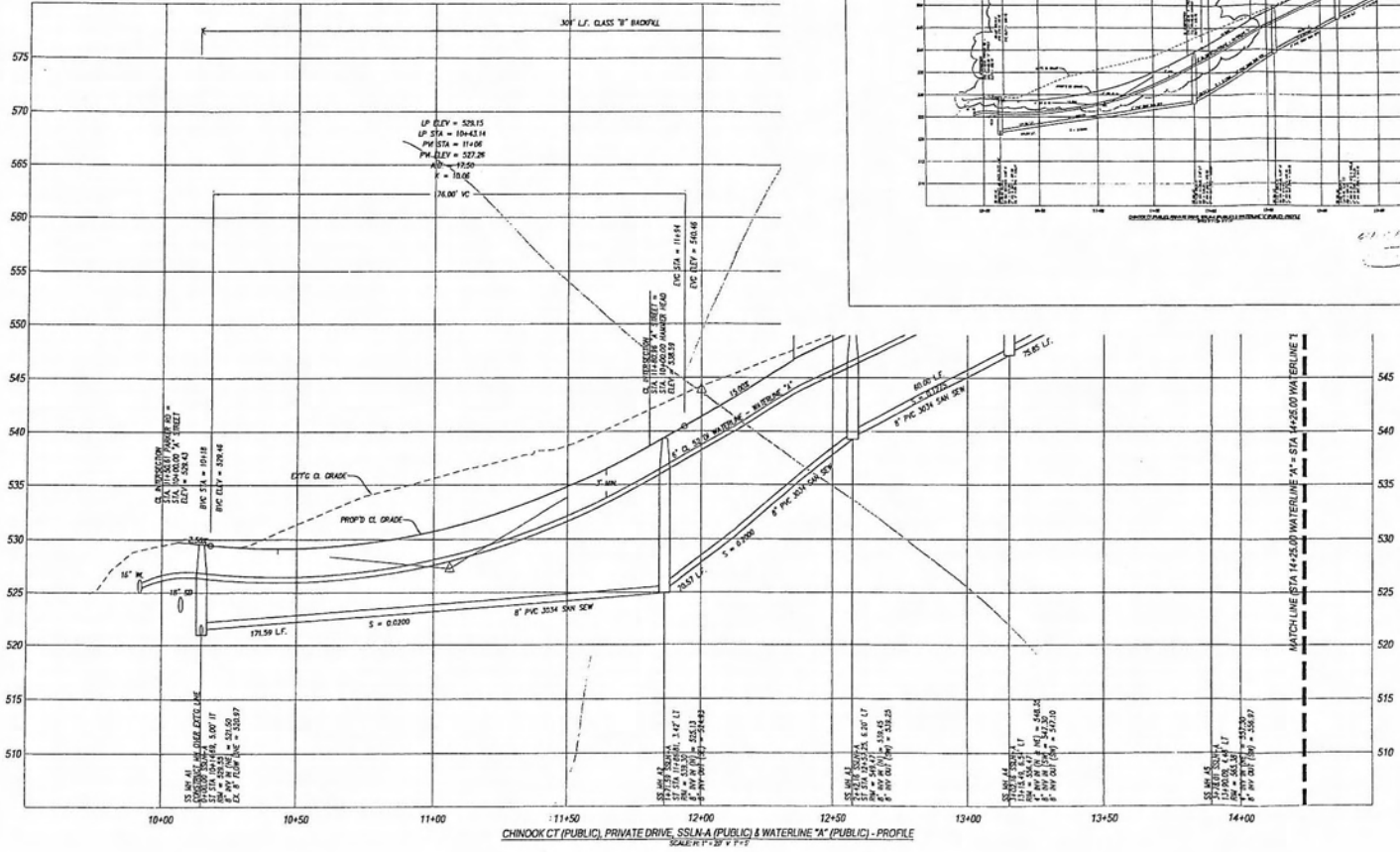


*View
1/17*



SHEET 7 OF 13	DESIGNED BY <u>REF</u> DATE <u>8/06</u>	NO. DATE REVISION BY	0 11/05/06 INITIAL SUBMITTAL	BY
	DRAWN BY <u>RMW</u> DATE <u>8/06</u>		1 03/19/07 REUSED PER CITY COMMENTS	
	REVIEWED BY <u>REF</u> DATE <u>8/06</u>		2 05/29/07 REUSED PER CITY COMMENTS	
	PROJECT NO. <u>106-011</u> REF. _____		3 05/29/07 REUSED PER CITY COMMENTS	
SCALE <u>1" = 20'</u>	DATE <u>8/06</u>			
DATE <u>8/06</u>	SCALE <u>1" = 20'</u>	VALID THROUGH 12-31-07		

STREET & UTILITY PROFILES
 PROJECT NO. 106-011
 WEST LANE, OREGON



PROJECT: PARKER ROAD
 SHEET NO.: 13
 DATE: MAY 25, 2007
 SCALE: 1" = 20' V

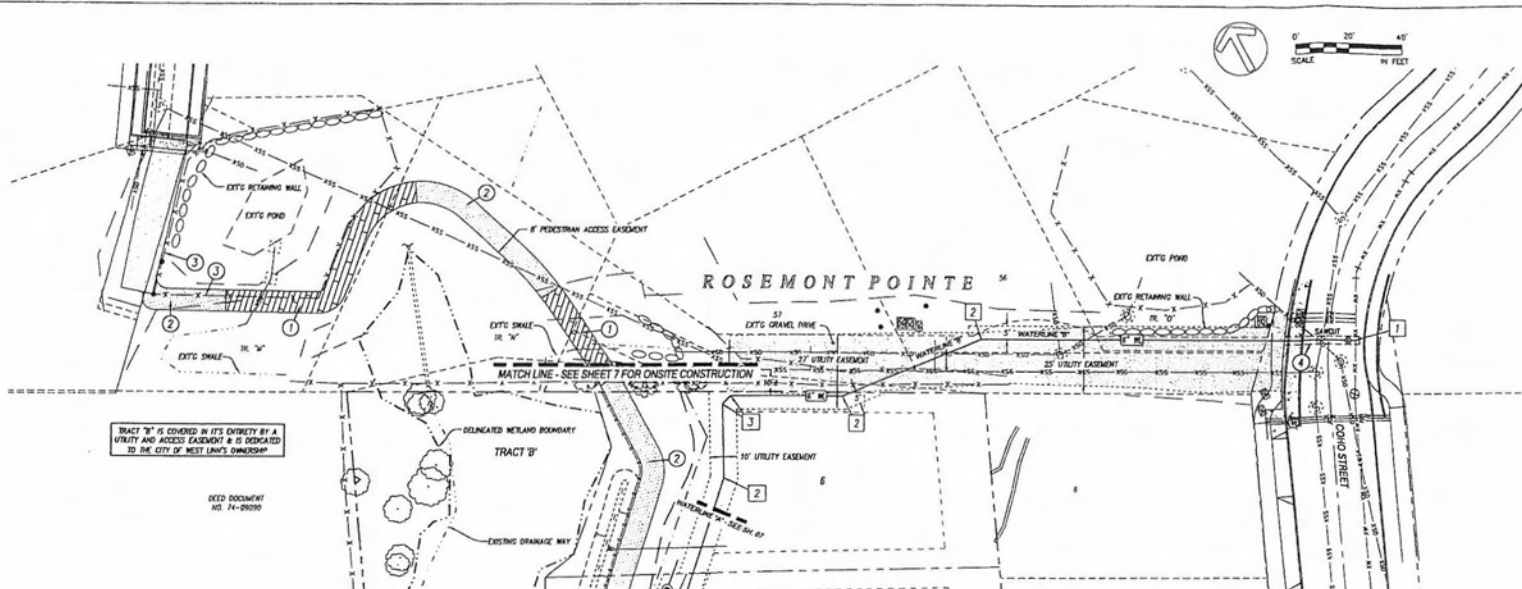
NO.	DATE	BY	REVISION
1	05/23/07	WALD	ISSUED FOR CITY COMMENTS
2	05/23/07	WALD	ISSUED FOR CITY COMMENTS
3	05/23/07	WALD	ISSUED FOR CITY COMMENTS

DESIGNED BY: WJL
 DRAWN BY: WJL
 CHECKED BY: WJL
 PROJECT NO.: 20060211
 SCALE: 1" = 20' V

SHEET 8 OF 13
 PROJECT: PARKER ROAD
 NO.: 206211
 TYPE: ENGINEERING

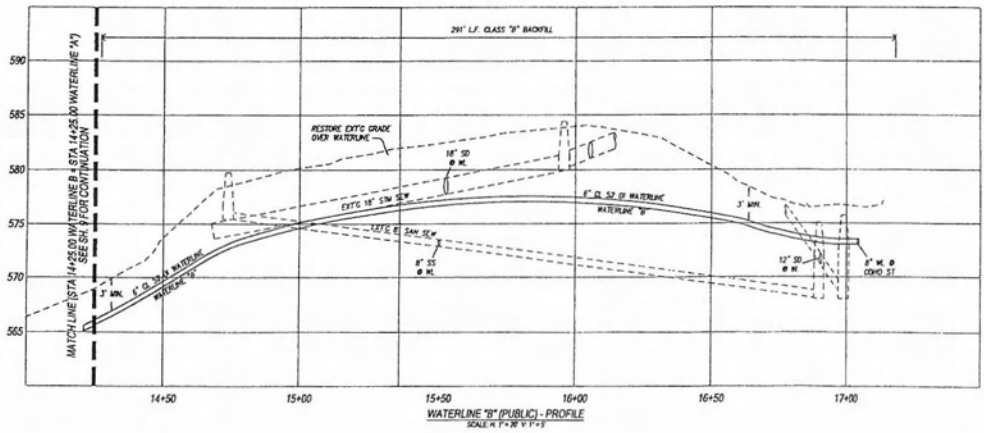
WALD ENGINEERING
 1315 W. 10TH ST., SUITE 100
 DENVER, CO 80202
 PHONE: 303.733.8800
 FAX: 303.733.8801
 WWW.WALDENGINEERING.COM

WALD ENGINEERING
 1315 W. 10TH ST., SUITE 100
 DENVER, CO 80202
 PHONE: 303.733.8800
 FAX: 303.733.8801
 WWW.WALDENGINEERING.COM



TRACT "B" IS COVERED IN ITS ENTIRETY BY A UTILITY AND ACCESS EASEMENT & IS DEDICATED TO THE CITY OF WEST Linn'S OWNERSHIP

DEED DOCUMENT NO. 24-08000



CONSTRUCTION NOTES

- 1 CONSTRUCT BOARDWALK OVER DRAINAGE WAYS. SEE DETAIL 4, SK 541.
- 2 CONSTRUCT 8\"/>

WATERLINE CONSTRUCTION NOTES

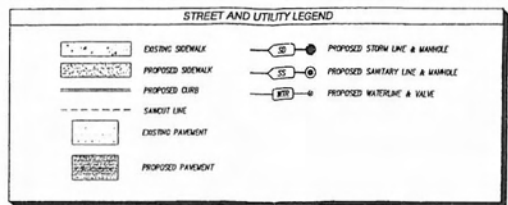
- 1 LAY 14\"/>

VERTICAL BEND RESTRAINT TABLE			
PIPE SIZE	BEND	UPPER RESTRAINT LENGTH	LOWER RESTRAINT LENGTH
6"	11.25'	4 L.F.	2 L.F.
6"	22.5'	8 L.F.	2 L.F.
6"	45'	16 L.F.	5 L.F.
-	-	-	-
-	-	-	-
-	-	-	-

PIPE MATERIAL - DUCTILE IRON
 SOE PIPE BACKFILL - WELL GRADED GRAVELS
 FACTOR OF SAFETY - 1.5:1
 TRENCH TYPE - COMPACTED GRANULAR MATERIAL, SOE F-99
 TEST PRESSURE - 150 PSI
 DEPTH OF BURY ON UPPER RUN IS 3'
 DEPTH OF BURY ON LOWER RUN IS 2'

HORIZONTAL BEND RESTRAINT TABLE		
PIPE SIZE	BEND	RESTRAINT LENGTH
6"	11.25'	2 L.F.
6"	22.5'	4 L.F.
6"	45'	7 L.F.
6"	90'	16 L.F.
6"	REDUCER 8" x 4"	18 L.F.
6"	ROAD END	37 L.F.

PIPE MATERIAL - DUCTILE IRON
 SOE PIPE BACKFILL - WELL GRADED GRAVELS
 FACTOR OF SAFETY - 1.5:1
 TRENCH TYPE - COMPACTED GRANULAR MATERIAL, SOE F-99
 TEST PRESSURE - 150 PSI
 DEPTH OF BURY ON PIPE IS 3'



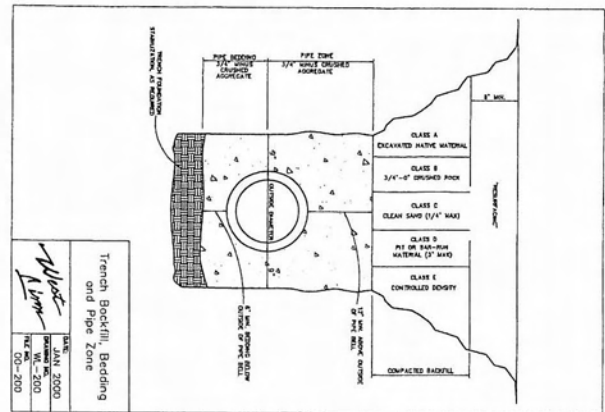
OFFSITE WATER & PEDESTRIAN PATH
 PLAN & PROFILE
 PARKER ROAD SUBDIVISION
 WEST Linn, OREGON



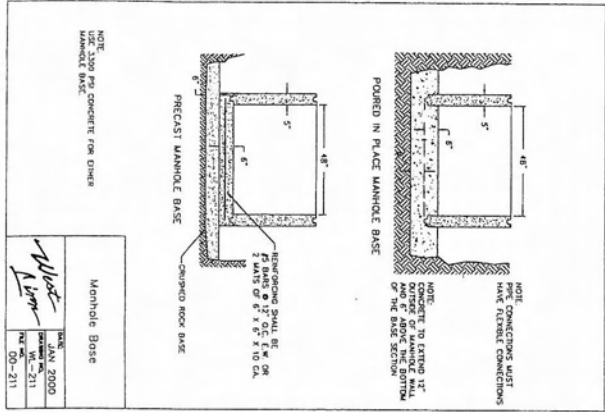
NO.	DATE	REVISION
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1	01/27/19	REVISED THE CITY COMMENTS
2	02/15/19	REVISED THE CITY COMMENTS
3	02/15/19	REVISED THE CITY COMMENTS

DESIGNED BY: [Signature] DATE: [Date]
 DRAWN BY: [Signature] DATE: [Date]
 CHECKED BY: [Signature] DATE: [Date]
 PROJECT NO.: 1862111 REF.: [Reference]
 SCALE: 1"=40'

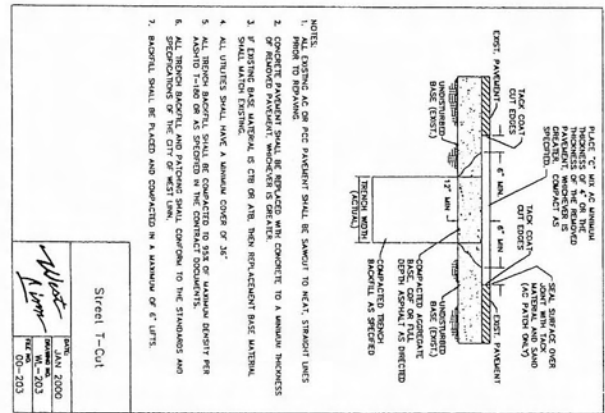
SHEET 9 OF 13
 PROJECT PARKER ROAD
 NO. 1862111
 TYPE ENGINEERING



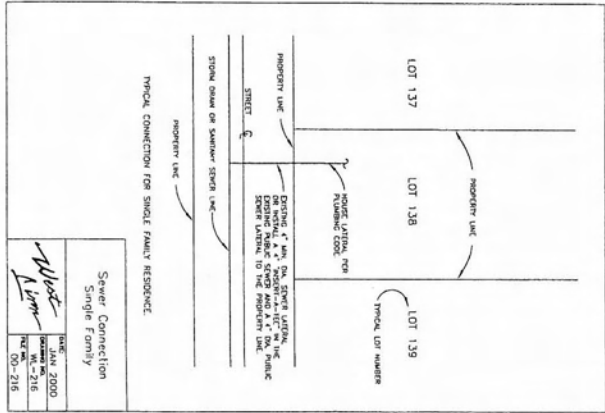
Trench Backfill, Bedding and Pipe Zone
 DATE: JAN 2000
 DRAWN BY: WLL
 CHECKED BY: LHM
 PROJECT NO: 00-200



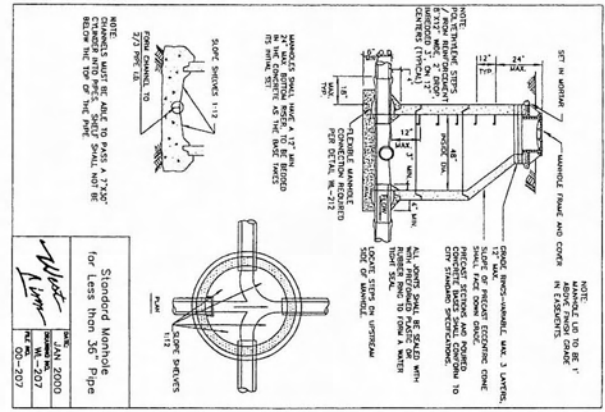
Manhole Base
 DATE: JAN 2000
 DRAWN BY: WLL
 CHECKED BY: LHM
 PROJECT NO: 00-211



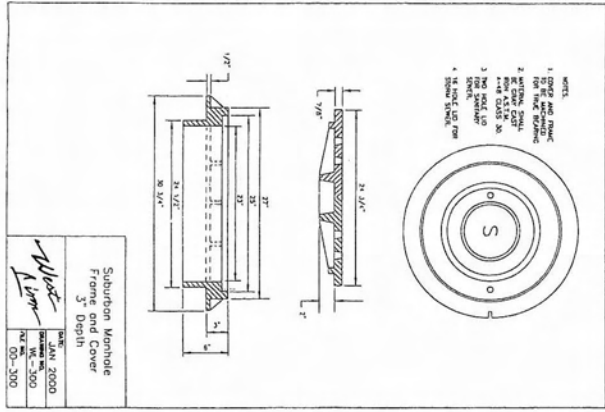
Street T-Cut
 DATE: JAN 2000
 DRAWN BY: WLL
 CHECKED BY: LHM
 PROJECT NO: 00-203



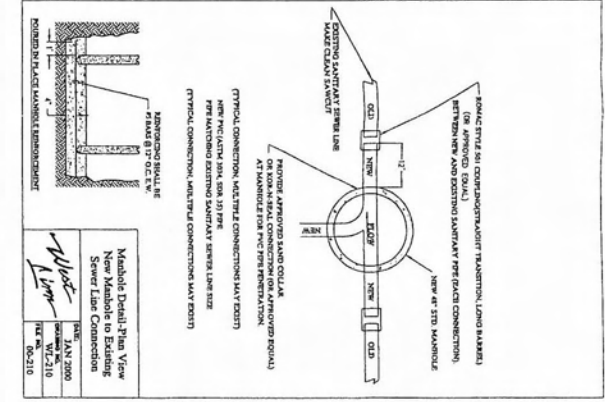
Sewer Connection Single Family
 DATE: JAN 2000
 DRAWN BY: WLL
 CHECKED BY: LHM
 PROJECT NO: 00-215



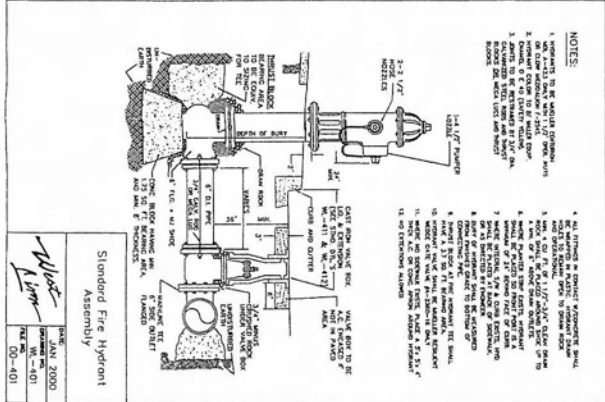
Standard Manhole for Less than 36 Pipe
 DATE: JAN 2000
 DRAWN BY: WLL
 CHECKED BY: LHM
 PROJECT NO: 00-207



Suburban Manhole Frame and Cover 3' Depth
 DATE: JAN 2000
 DRAWN BY: WLL
 CHECKED BY: LHM
 PROJECT NO: 00-200



Manhole Detail Plan View
 DATE: JAN 2000
 DRAWN BY: WLL
 CHECKED BY: LHM
 PROJECT NO: 00-210



Standard Fire Hydrant Assembly
 DATE: JAN 2000
 DRAWN BY: WLL
 CHECKED BY: LHM
 PROJECT NO: 00-401

PROJECT: PARKER ROAD	SHEET: 10 OF 13	DATE: 05/02/07	REVISION: REVISED PER CITY COMMENTS	BY: [Signature]
PROJECT: PARKER ROAD	SHEET: 13 OF 13	DATE: 05/02/07	REVISION: REVISED PER CITY COMMENTS	BY: [Signature]

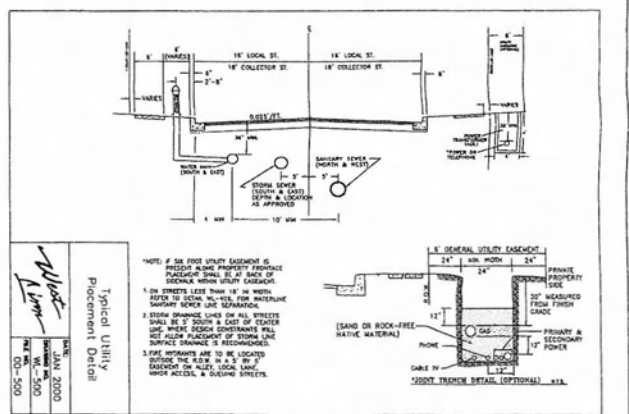
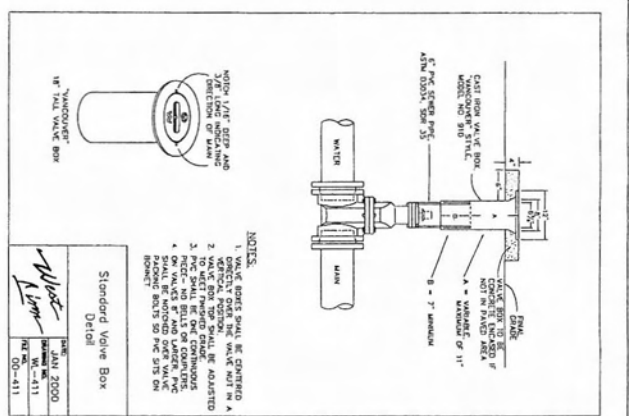
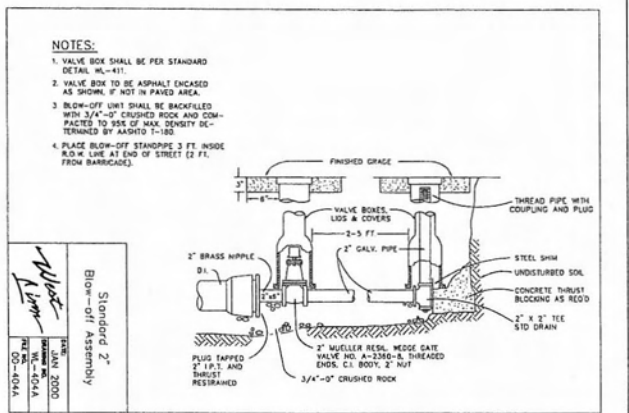
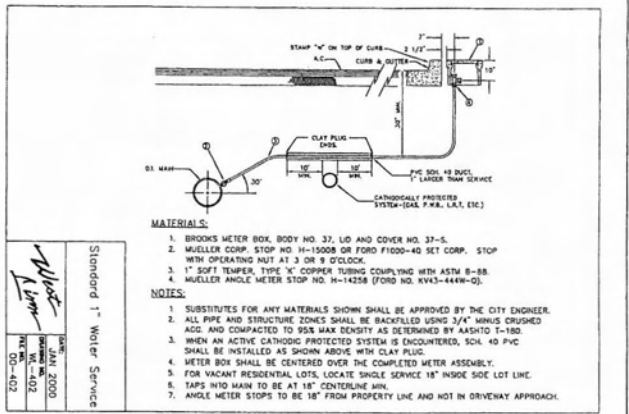
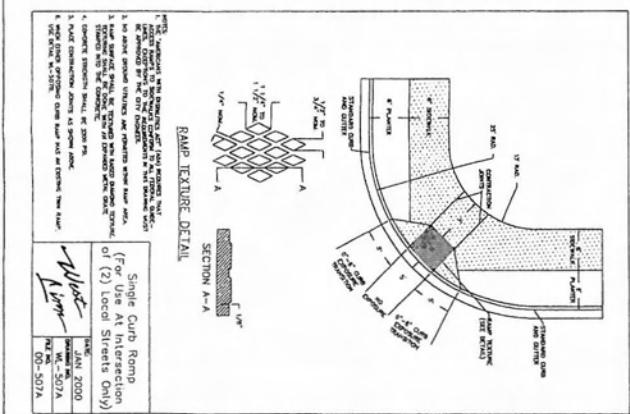
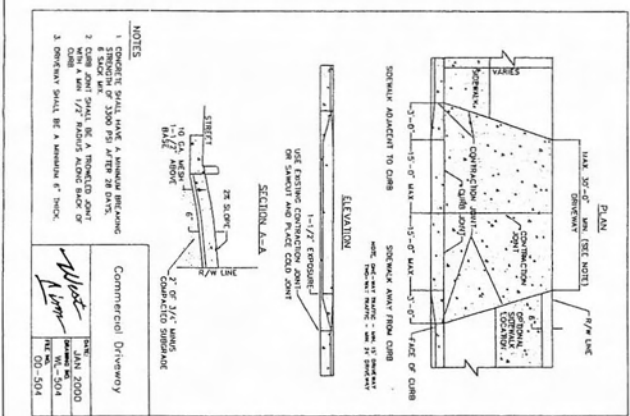
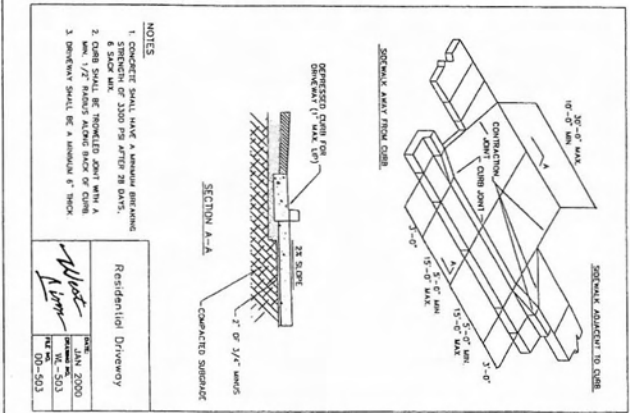
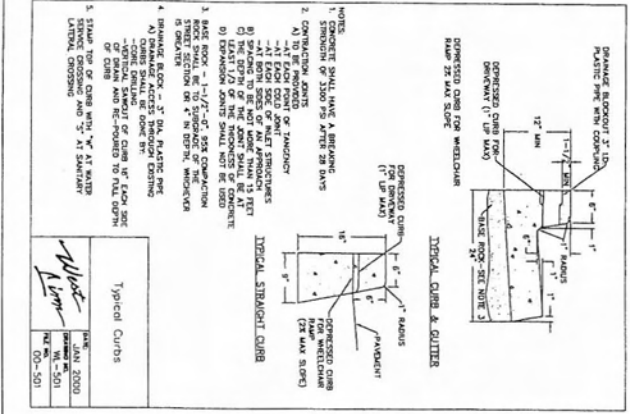
DESIGNED BY: WLL DATE: 05/02/07
 DRAWN BY: WLL DATE: 05/02/07
 REVISIONS:
 1 05/02/07 REVISED PER CITY COMMENTS
 2 05/02/07 REVISED PER CITY COMMENTS
 3 05/28/07 REVISED PER CITY COMMENTS

SCALE: AS SHOWN

THE DETAILS ON THIS SHEET WERE PREPARED BY PUBLIC AFFAIRS ENGINEER AND SUPPLIERS. THE PROJECT ENGINEER IS LIMITED TO THE SELECTION OF THESE DETAILS AS APPROPRIATE TO THE PROJECT.

CONSTRUCTION DETAILS
 PARKER ROAD SUBDIVISION
 WEST LINN, OREGON

SFA Design Group, LLC
 PROJECT: 1001 S. LAMAR BLVD. SUITE 200
 WEST LINN, OREGON 97136
 PHONE: 503.265.1111
 FAX: 503.265.1112
 WWW.SFADSG.COM

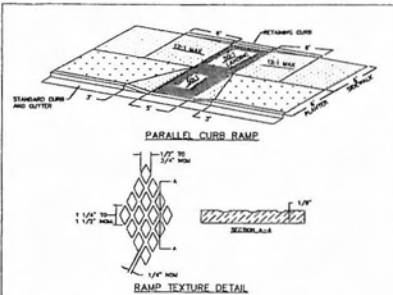


NO.	DATE	REVISION	BY
1	03/16/02	INITIAL SUBMITTAL	
2	05/02/02	REVISED PER CITY COMMENTS	
3	05/29/02	REVISED PER CITY COMMENTS	

DESIGNED BY: REF. DATE: 05/02/02
 DRAWN BY: 05/02/02
 PROJECT NO: 03-507A
 SCALE: N/A
 SHEET: 11 OF 13

CONSTRUCTION DETAILS
 PARKER ROAD SUBDIVISION
 WEST LINN, OREGON

SFA Design Group, LLC
 STRUCTURAL, CIVIL, & LAND USE PLANNING
 1525 NW Washington Square Dr., Suite 210
 Portland, Oregon 97223
 P: (503) 641-8111 F: (503) 543-7965
 www.sfa-group.com



PARALLEL CURB RAMP

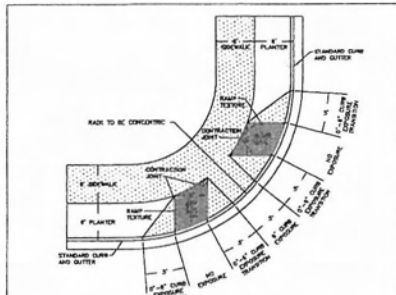
RAMP TEXTURE DETAIL

NOTES:

1. THE AMERICANS WITH DISABILITIES ACT (ADA) REQUIRES THAT ACCESS RAMPS TO SIDEWALKS CONFORM TO ALL FEDERAL GUIDELINES. EXCEPTIONS TO THE REQUIREMENTS IN THIS DRAWING MUST BE APPROVED BY THE CITY ENGINEER AND MUST COMPLY WITH ADA.
2. NO ABOVE GROUND UTILITIES ARE PERMITTED WITHIN RAMP AREA.
3. LANDINGS SHALL BE PLACED AT THE TOP OF EACH RAMP. LANDING SLOPES SHALL NOT EXCEED 50:1 IN ANY DIRECTION. THE SLOPE OF THE SURFACING AT THE BOTTOM OF THE RAMP SHALL NOT EXCEED 20:1 FOR A DISTANCE OF 2' (SEE TYPICAL SECTION ABOVE).
4. MINIMUM LANDING DIMENSIONS SHALL BE 4' X 4'.
5. RAMP SURFACE SHALL BE TEXTURED WITH RAISED DIAMOND TEXTURE. TEXTURING SHALL BE DONE WITH AN EXPANDED METAL GRATE STAMPED INTO THE CONCRETE.
6. CONCRETE STRENGTH SHALL BE 3300 PSI.

Parallel Curb Ramp

DATE: JAN 2000
DRAWING NO: WL-506
FILE NO: 00-506



TWIN CURB RAMP

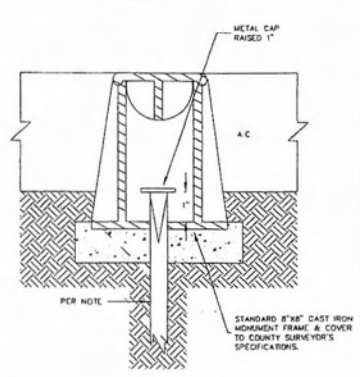
RAMP TEXTURE DETAIL

NOTES:

1. THE AMERICANS WITH DISABILITIES ACT (ADA) REQUIRES THAT ACCESS RAMPS TO SIDEWALKS CONFORM TO ALL FEDERAL GUIDELINES. EXCEPTIONS TO THE REQUIREMENTS IN THIS DRAWING MUST BE APPROVED BY THE CITY ENGINEER AND MUST COMPLY WITH ADA.
2. NO ABOVE GROUND UTILITIES ARE PERMITTED WITHIN RAMP AREA.
3. RAMP SURFACE SHALL BE TEXTURED WITH RAISED DIAMOND TEXTURE. TEXTURING SHALL BE DONE WITH AN EXPANDED METAL GRATE STAMPED INTO THE CONCRETE.
4. CONCRETE STRENGTH SHALL BE 3300 PSI.
5. PLACE CONTRACTION JOINTS AS SHOWN ABOVE.
6. FOR INTERSECTING LOCAL STREETS USE RETAIL M-SOTA.

Twin Curb Ramp

DATE: JAN 2000
DRAWING NO: WL-507B
FILE NO: 00-507B

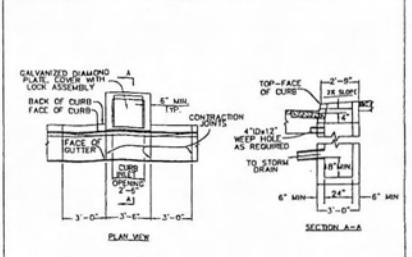


Centerline Survey Monuments

NOTES: ALL MONUMENTS SHALL USE EITHER 5/8" DIA X 30" LONG IRON ROD OR 3/4" DIA X 30" LONG IRON PIPE. ALL MONUMENTS SHALL BE IN ACCORDANCE WITH ORS 205.250(4). CONCRETE SHALL BE CLASS 3300. FRAME AND COVER SHALL BE CAST IRON OR ALUMINUM. COVER SHALL HAVE "MONUMENT" CAST INTO TOP.

Centerline Survey Monuments

DATE: JAN 2000
DRAWING NO: WL-513
FILE NO: 00-513



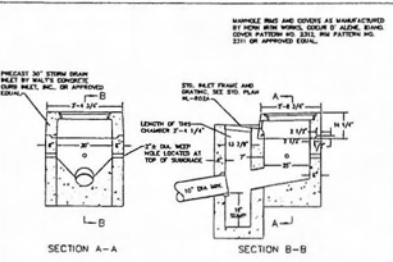
Gutter Inlet 2 1/2 A

NOTES:

1. ALL FABRICATED METAL PARTS SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION.
2. CONCRETE SHALL BE CLASS 3000.
3. CURB INLET BASE MAY BE PRECAST OR CAST-IN-PLACE.
4. FOR SLOPES OF 5% OR GREATER, USE DWG. WL-601.

Gutter Inlet 2 1/2 A

DATE: JAN 2000
DRAWING NO: WL-600
FILE NO: 00-600



Combination Curb Inlet

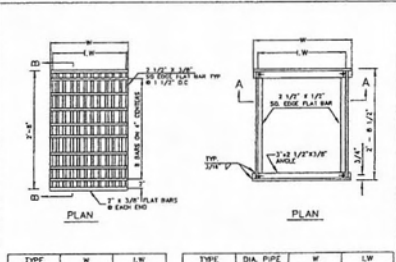
NOTE: PRECAST 30" DEPTH BARS MUST BE SET BY WHITE CONCRETE CURB MANUFACTURER. SEE MANUFACTURER'S LITERATURE FOR CURB PATTERNS AND 30" DIA. MIN. PATTERN NO. 2201 OR APPROVED EQUAL.

NOTE: 3/16" RADIUS ON REINFORCING CHAIRS SHALL BE FILED. ALL REINFORCING WELDED OR EMBEDDED INTO SEAMING BARS.

NOTE: 3/16" METAL BEADS IN CORNERS. FILED WELLS FROM THE BOTTOM OF FRAME CURB MUST REST FLAT ON FRAME SURFACE.

Combination Curb Inlet

DATE: JAN 2000
DRAWING NO: WL-601
FILE NO: 00-601

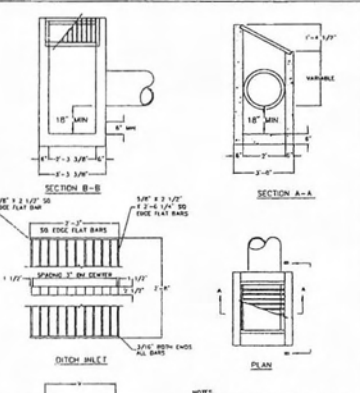


Frame & Grate for Gutter & Curb Inlets

TYPE	W	LW	TYPE	DIA. PIPE	W	LW
STANDARD	1'-8"	1'-8 1/4"	STANDARD	10"-12"	1'-10 3/4"	1'-9 3/8"

Frame & Grate for Gutter & Curb Inlets

DATE: JAN 2000
DRAWING NO: WL-602A
FILE NO: 00-602A

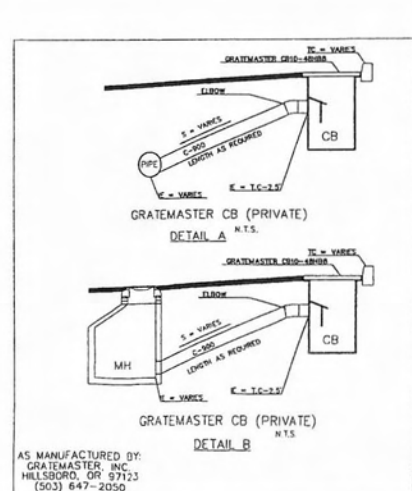


Standard Ditch Inlet

NOTE: 3/16" CROSS BARS SHALL BE FLUSH WITH THE GRADE SURFACE AND MAY BE FILED. WELDED REINFORCING WELDED OR ELECTROWELDED TO SEAMING BARS.

Standard Ditch Inlet

DATE: JAN 2000
DRAWING NO: WL-603
FILE NO: 00-603



LYNCH CATCH BASIN

AS MANUFACTURED BY: GRATEMASTER, INC. HILLSBORO, OR 97123 (503) 647-2050 FAX: 647-2425

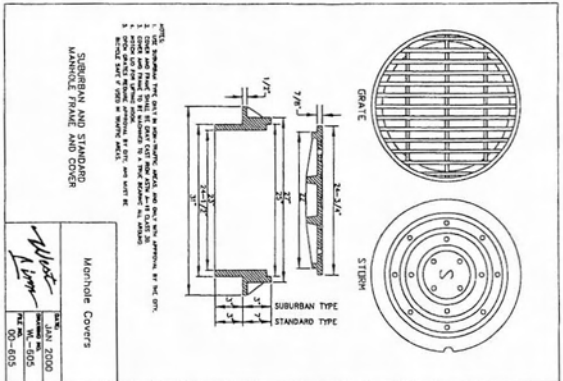
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DRAWING NO: WL-603
FILE NO: 00-603



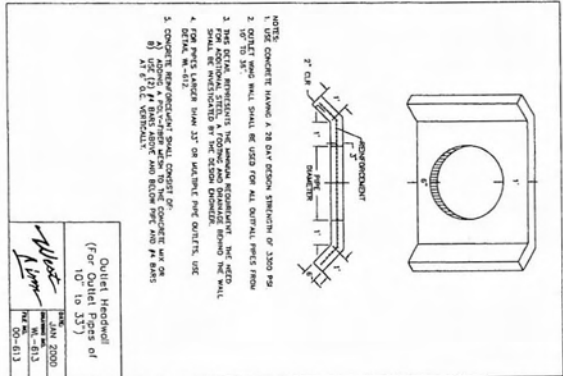
NO.	DATE	REVISION	BY
1	1/11/00	INITIAL SUBMITTAL	
2	1/20/00	REVISED THE CITY COMMENTS	
3	1/20/00	REVISED THE CITY COMMENTS	

DESIGNED BY: *West A. Iron* DATE: JAN 2000
DRAWN BY: *West A. Iron* DATE: JAN 2000
CHECKED BY: *West A. Iron* DATE: JAN 2000
PROJECT NO: 00000001111111111111
SCALE: AS SHOWN

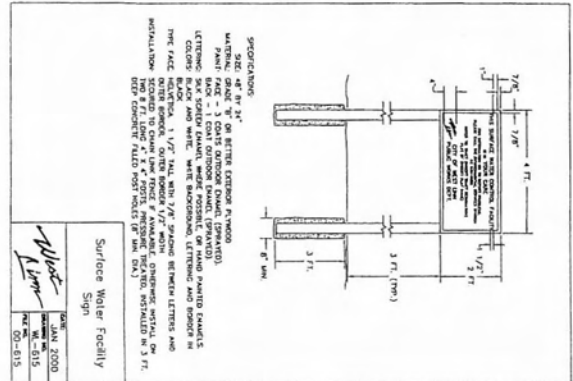
SHEET NO: 12	TOTAL SHEETS: 13
PROJECT: PARKER ROAD	NO: 00-601
TYPE: ENGINEERING	



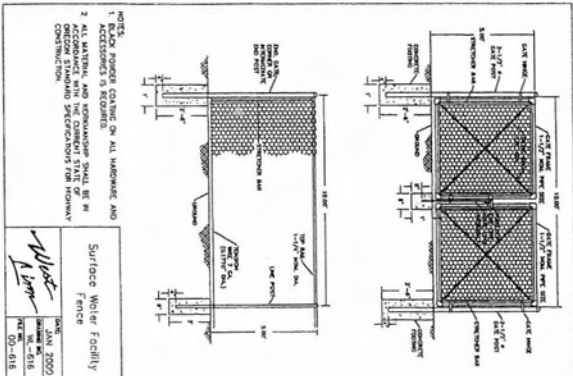
DATE: JAN 2000
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT NO: 106-011
 SHEET NO: 00-015



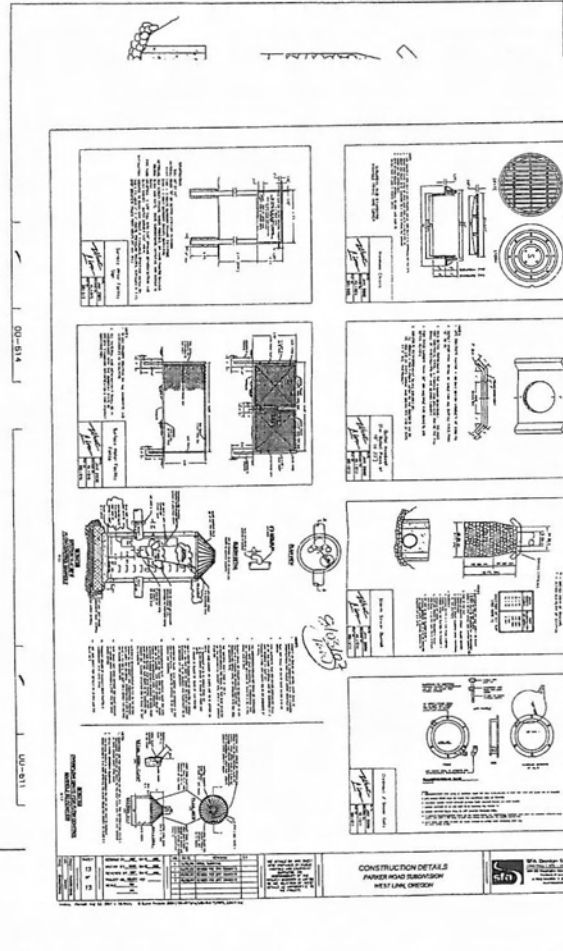
DATE: JAN 2000
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT NO: 106-011
 SHEET NO: 00-015



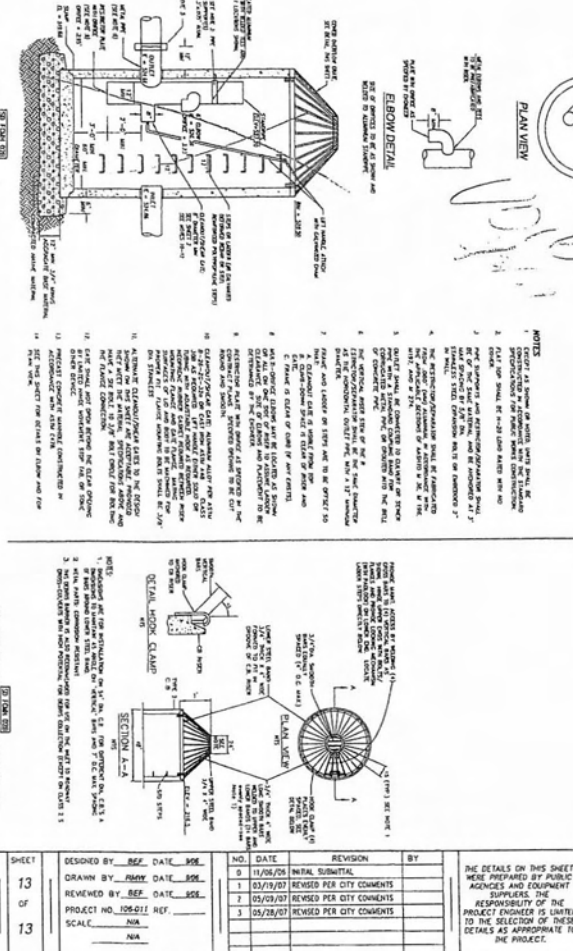
DATE: JAN 2000
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT NO: 106-011
 SHEET NO: 00-015



DATE: JAN 2000
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT NO: 106-011
 SHEET NO: 00-015



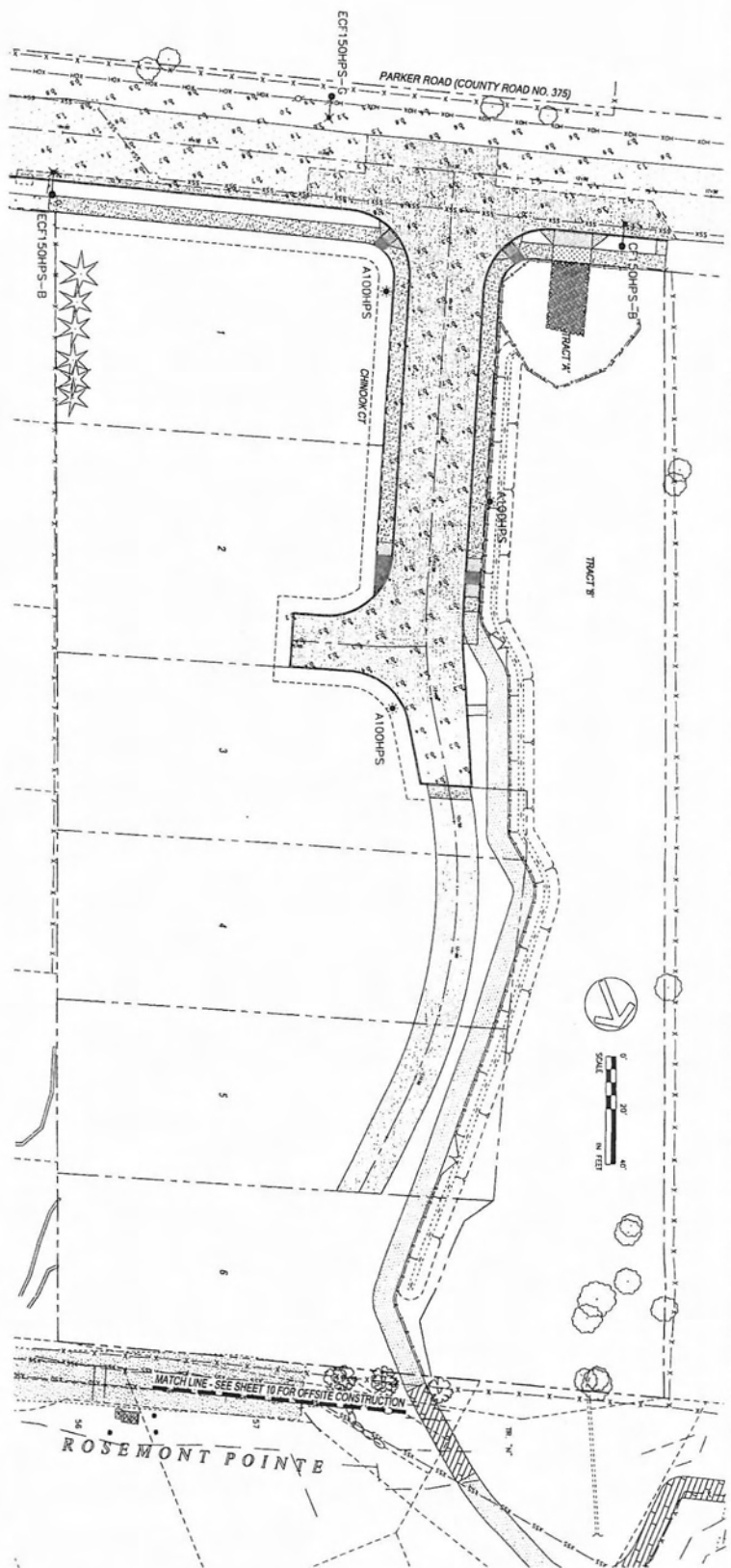
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 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT NO: 106-011
 SHEET NO: 00-015



DATE: JAN 2000
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT NO: 106-011
 SHEET NO: 00-015

NO.	DATE	REVISION	BY
0	11/05/06	INITIAL SUBMITTAL	
1	03/19/07	REVISED PER CITY COMMENTS	
2	05/09/07	REVISED PER CITY COMMENTS	
3	05/28/07	REVISED PER CITY COMMENTS	

DESIGNED BY: [Signature] REF. DATE: [Date]
 DRAWN BY: [Signature] DATE: [Date]
 CHECKED BY: [Signature] DATE: [Date]
 PROJECT NO: 106-011 REF. [Date]
 SCALE: N/A



Symbol	Qty	Label	Arrangement	Lumens	UF	Description
●	3	A100HPS	SINGLE	5500	0.850	100 WPS A100M / 4 FT FLUORESC. POLE
●	1	C150HPS-B	SINGLE	18000	0.850	150WPS COBA W40 FLAT LENS BRGDE / 3 FT BRGDE POLE
●	1	ECT150HPS-C	SINGLE	18000	0.850	150WPS COBA W40 FLAT LENS BRGDE / 3 FT BRGDE POLE
●	1	ECT150HPS-B	SINGLE	18000	0.850	150WPS COBA W40 FLAT LENS BRGDE / 3 FT BRGDE POLE

Label	Code/Type	Units	Avg	Max	Min	Avg/Min	Max/Min
A	ILLUMINANCE	Fc	0.42	0.7	0.2	2.10	3.50

NOTES

1. THE LIGHTING PLAN IS THE PROPERTY OF SFA DESIGN GROUP, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SFA DESIGN GROUP, LLC.
2. THE LIGHTING PLAN IS TO BE USED IN CONJUNCTION WITH THE OTHER DRAWINGS AND SPECIFICATIONS FOR THE PROJECT.
3. THE LIGHTING PLAN IS TO BE USED IN CONJUNCTION WITH THE OTHER DRAWINGS AND SPECIFICATIONS FOR THE PROJECT.
4. THE LIGHTING PLAN IS TO BE USED IN CONJUNCTION WITH THE OTHER DRAWINGS AND SPECIFICATIONS FOR THE PROJECT.
5. THE LIGHTING PLAN IS TO BE USED IN CONJUNCTION WITH THE OTHER DRAWINGS AND SPECIFICATIONS FOR THE PROJECT.
6. THE LIGHTING PLAN IS TO BE USED IN CONJUNCTION WITH THE OTHER DRAWINGS AND SPECIFICATIONS FOR THE PROJECT.
7. THE LIGHTING PLAN IS TO BE USED IN CONJUNCTION WITH THE OTHER DRAWINGS AND SPECIFICATIONS FOR THE PROJECT.
8. THE LIGHTING PLAN IS TO BE USED IN CONJUNCTION WITH THE OTHER DRAWINGS AND SPECIFICATIONS FOR THE PROJECT.
9. THE LIGHTING PLAN IS TO BE USED IN CONJUNCTION WITH THE OTHER DRAWINGS AND SPECIFICATIONS FOR THE PROJECT.
10. THE LIGHTING PLAN IS TO BE USED IN CONJUNCTION WITH THE OTHER DRAWINGS AND SPECIFICATIONS FOR THE PROJECT.

PARKER ROAD

Street Lighting Design by
LIGHTWORKS ELECTRIC COMPANY
 19290 SW Condemnum RD
 Sherwood, OR 97140
 Tel: 503-625-2893
 Fax: 503-625-2890

NO.	DATE	REVISION	BY
0	12/06/06	INITIAL SUBMITTAL	
1	03/15/07	REVISED PER CITY COMMENTS	
2	05/09/07	REVISED PER CITY COMMENTS	
3	05/18/07	REVISED PER CITY COMMENTS	

DESIGNED BY: **REF** DATE: **05/09/07**

DRAWN BY: **AMW** DATE: **05/09/07**

REVIEWED BY: **REF** DATE: **05/09/07**

PROJECT NO: **106-011** REF

SCALE: **1" = 20'**

DATE: **05/09/07**

THE DETAILS ON THIS SHEET WERE PREPARED BY PUBLIC AGENCIES AND EQUIPMENT SUPPLIERS. THE RESPONSIBILITY OF THE PROJECT ENGINEER IS LIMITED TO THE SELECTION OF THESE DETAILS AS APPROPRIATE TO THE PROJECT.

LIGHTING PLAN
PARKER ROAD SUBDIVISION
WEST LINN, OREGON

SFA Design Group, LLC
 STRUCTURAL & CIVIL LIGHTING PLANNING
 9022 SW Washington Square Dr. Suite 110
 Portland, Oregon 97223
 P: (503) 641-4311 F: (503) 645-7905
 www.sfa-group.com

PARKER ROAD

EROSION AND SEDIMENT CONTROL PLAN DRAWING NOTES

1. APPLY TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS AS GRADING PROGRESSES AND FOR ALL ROADWAYS INCLUDING GRAVEL ROADWAYS. (SCHEDULE A.5.8.a.(6))
2. CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND CREATION OF BARE GROUND ON SLOPES GREATER THAN FIVE (5) PERCENT FROM OCTOBER 1 THROUGH MAY 31 EACH YEAR. (SCHEDULE A.7.4.1)
3. DURING WET WEATHER PERIODS TEMPORARY STABILIZATION OF THE SITE MUST BE INSTALLED AT THE END OF THE SHIFTS BEFORE A HOLIDAY OR WEEKEND OR AT THE END OF EACH WORKDAY IF RAINFALL IS FORECAST IN THE NEXT 24 HOURS AND EACH WEEKEND AND HOLIDAY. (SCHEDULE A.7.4.3)
4. ALL EROSION AND SEDIMENT CONTROLS NOT IN THE DIRECT PATH OF WORK MUST BE INSTALLED PRIOR TO ANY LAND DISTURBANCE. (SCH. A.7.6.3)
5. PRESERVE EXISTING VEGETATION AND RE-VEGETATE OPEN AREAS WHEN PRACTICABLE BEFORE AND AFTER GRADING OR CONSTRUCTION (SCH. A.7.8.3)
6. ALL TEMPORARY SEDIMENT CONTROLS MUST REMAIN IN PLACE UNTIL PERMANENT VEGETATION OR OTHER PERMANENT COVERING OF EXPOSED SOIL IS ESTABLISHED. IDENTIFY THE TYPE OF VEGETATIVE MIX USED. (SCHEDULE A.7.6.(2)) & (SCHEDULE A.7.6.3.(4))
7. SEDIMENT CONTROLS MUST BE INSTALLED AND MAINTAINED ALONG THE SITE PERIMETER ON ALL DOWN GRADIENT SIDES OF THE CONSTRUCTION SITE AT ALL TIMES DURING CONSTRUCTION. (SCHEDULE A.7.6.(1)-(2))
8. SEDIMENT CONTROLS MUST BE INSTALLED AND MAINTAINED AT ALL ACTIVE AND OPERATIONAL INTERNAL STORM DRAIN INLETS AT ALL TIMES DURING CONSTRUCTION. (SCHEDULE A.7.6.(1)-(2))
9. WATER-TIGHT TRUCKS MUST BE USED TO TRANSPORT SATURATED SOILS FROM THE CONSTRUCTION SITE. AN APPROVED EQUIPMENT IS TO DRAIN THE SOIL ON-SITE AT A DESIGNATED LOCATION USING APPROPRIATE BMPs SOIL MUST BE DRAINED SUFFICIENTLY FOR MINIMAL SPILLAGE. (SCHEDULE A.7.6.3)
10. TEMPORARY STABILIZATION OR COVERING OF SOIL STOCKPILES AND PROTECTION OF STOCKPILE LOCATED AWAY FROM CONSTRUCTION ACTIVITY MUST OCCUR AT THE END OF EACH WORKDAY OR OTHER BMPs MUST BE IMPLEMENTED TO PREVENT TURBID DISCHARGES TO SURFACE WATERS. (SCHEDULE A.7.6.3)
11. DEVELOP AND MAINTAIN ON-SITE A WRITTEN SPILL PREVENTION AND RESPONSE PROCEDURE (SCH A.7.6.3)
12. ANY USE OF TOXIC OR OTHER HAZARDOUS MATERIALS MUST INCLUDE PROPER STORAGE, APPLICATION, AND DISPOSAL. (SCHEDULE A.7.6.(2))
13. THE PERMITTEE MUST PROPERLY PREVENT AND MANAGE HAZARDOUS WASTES, USED OILS, CONTAMINATED SOILS, CONCRETE WASTE, SANITARY WASTE, LIQUID WASTE, OR OTHER TOXIC SUBSTANCES DISCOVERED OR GENERATED DURING CONSTRUCTION AND MEET ALL STATE AND FEDERAL REGULATIONS AND APPROVALS. (SCHEDULE A.7.6.1) (SCHEDULE A.7.6.3.(4))
14. SIGNIFICANT AMOUNTS OF SEDIMENT, WHICH LEAVES THE SITE, MUST BE CLEANED UP WITHIN 24 HOURS AND PLACED BACK ON THE SITE AND STABILIZED OR PROPERLY DISPOSED. THE CAUSE OF THE SEDIMENT RELEASE MUST BE FOUND AND PREVENTED FROM CAUSING A RECURRENCE OF THE DISCHARGE WITHIN THE SAME 24 HOURS ANY IN-STREAM CLEAN UP OF SEDIMENT SHALL BE PERFORMED ACCORDING TO THE EROSION DIVISION OF STATE LANDS REQUIRED TIME FRAME. (SCHEDULE A.7.6.(1))
15. SEDIMENT MUST NOT BE INTENTIONALLY WASHED INTO STORM SEWERS, DRAINAGE WALES, OR WATERBODIES. DRY SWEEPING MUST BE USED TO CLEAN UP RELEASED SEDIMENTS. (SCH A.7.6.(2))
16. THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW THE MANUFACTURER'S RECOMMENDATIONS. NUTRIENT RELEASES FROM FERTILIZERS TO SURFACE WATERS MUST BE MINIMIZED. THE RELEASE FERTILIZERS SHOULD BE USED AND CARE SHOULD BE TAKEN IN THE APPLICATION OF FERTILIZERS WITHIN ANY WATERWAY RIPARIAN ZONE. (SCH A.7.6.(3))
17. SEDIMENT MUST BE REMOVED FROM BEHIND A SEDIMENT FENCE WHEN IT HAS REACHED A HEIGHT OF 1/3 THE HEIGHT OF THE FENCE AND/OR BEFORE FENCE REMOVAL. (SCHEDULE A.7.6.(3))
18. SEDIMENT MUST BE REMOVED FROM BEHIND BIO BAGS AND OTHER BARRIERS IF IT HAS REACHED A HEIGHT OF TWO (2) INCHES AND BEFORE BMP REMOVAL. (SCHEDULE A.7.6.(2))
19. CLEANING OF TRAPPED CATCH BASINS MUST OCCUR WHEN THE SEDIMENT RETENTION CAPACITY HAS BEEN REDUCED BY FIFTY (50) PERCENT AND AT THE COMPLETION OF A PROJECT. (SCHEDULE A.7.6.(3))
20. REMOVAL OF TRAPPED SEDIMENT IN A SEDIMENT BASIN OR SEDIMENT TRAP OR CATCH BASINS MUST OCCUR WHEN THE SEDIMENT RETENTION CAPACITY HAS BEEN REDUCED BY FIFTY (50) PERCENT AND AT COMPLETION OF PROJECT. (SCHEDULE A.7.6.(3.4))
21. DEQ MUST APPROVE OF ANY TREATMENT SYSTEM AND OPERATIONAL PLAN THAT MAY BE NECESSARY TO TREAT CONTAMINATED CONSTRUCTION DEWATERING OR SEDIMENT AND TURBIDITY IN STORMWATER RUNOFF. (SCHEDULE A.7.6.4)
22. SHOULD ALL CONSTRUCTION ACTIVITIES CEASE FOR THIRTY DAYS OR MORE, THE ENTIRE SITE MUST BE TEMPORARILY STABILIZED USING VEGETATION OR A HEAVY MULCH LAYER, TEMPORARY SEEDING, OR OTHER METHOD. (SCHEDULE A.8.a.)
23. SHOULD CONSTRUCTION ACTIVITIES CEASE FOR FIFTEEN (15) DAYS OR MORE ON ANY SIGNIFICANT PORTION OF A CONSTRUCTION SITE TEMPORARY STABILIZATION IS REQUIRED FOR THAT PORTION OF THE SITE WITH STRAW, COMPOST, OR OTHER TACKIFIED COVERING THAT PREVENT SOIL OR WIND EROSION UNTIL WORK RESUMES ON THAT PORTION OF THE SITE. (SCHEDULE A.8.b.)

THE PERMITTEE IS REQUIRED TO MEET ALL THE CONDITIONS OF THE 1200-C PERMIT. THIS ESCP AND GENERAL CONDITIONS HAVE BEEN DEVELOPED TO FACILITATE COMPLIANCE WITH THE 1200-C PERMIT REQUIREMENTS IN CASES OF DISCREPANCIES OR OMISSIONS, THE 1200-C PERMIT REQUIREMENTS SUPERCEDE REQUIREMENTS OF THIS PLAN.

LOCAL AGENCY SPECIFIC EROSION CONTROL NOTES:

1. OWNER OR DESIGNATED PERSON SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE LOCAL, STATE, AND FEDERAL REGULATIONS.
2. PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE BOUNDARIES OF THE CLEARING LIMITS, VEGETATED BUFFERS, AND ANY SENSITIVE AREAS SHOWN ON THIS PLAN SHALL BE CLEARLY DELINEATED IN THE FIELD. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE IS PERMITTED BEYOND THE CLEARING LIMITS. THE OWNER/PERMITTEE MUST MAINTAIN THE DELINEATION FOR THE DURATION OF THE PROJECT. VEGETATED CORRIDORS TO BE DELINEATED WITH ORANGE CONSTRUCTION FENCE OR APPROVED EQUIVALENT.
3. PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE BMPs THAT MUST BE INSTALLED ARE A GRAVEL CONSTRUCTION ENTRANCE, PERMETER SEDIMENT CONTROL, AND INLET PROTECTION. THESE BMPs MUST BE MAINTAINED FOR THE DURATION OF THE PROJECT.
4. IF VEGETATED SEED MIXES ARE SPECIFIED, SEEDING MUST TAKE PLACE NO LATER THAN FEBRUARY 1; THE TYPE AND PERCENTAGES OF SEED IN THE MIX MUST BE IDENTIFIED ON THE PLANS.
5. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE DISCHARGED OVER AN UNDISTURBED, PREFERABLY VEGETATED AREA, AND THROUGH A SEDIMENT CONTROL BMP i.e. FILTER BAG.
6. THE ESC PLAN MUST BE KEPT ON SITE. ALL MEASURES SHOWN ON THE PLAN MUST BE INSTALLED PROPERLY TO ENSURE THAT SEDIMENT OR SEDIMENT LADEN WATER DOES NOT ENTER A SURFACE WATER SYSTEM, ROADWAY, OR OTHER PROPERTIES.
7. THE ESC MEASURES SHOWN ON THIS PLAN ARE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE MEASURES SHALL BE UPGRADED AS NEEDED TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL EROSION CONTROL REGULATIONS. CHANGES OF THE APPROVED ESC PLAN MUST BE SUBMITTED IN THE FORM OF AN ACTION PLAN TO DEQ PRIOR TO THE 1200-C PERMIT.
8. IN THE AREAS SUBJECT TO WIND EROSION, APPROPRIATE BMPs MUST BE USED WHICH MAY INCLUDE THE APPLICATION OF FINE WATER SPRAYING, PLASTIC SHEETING, MULCHING, OR OTHER APPROVED MEASURES.
9. ALL EXPOSED SOILS MUST BE COVERED DURING THE WET WEATHER PERIOD.

A COMPREHENSIVE LIST OF AVAILABLE BEST MANAGEMENT PRACTICES (BMP) OPTIONS BASED ON DEQ'S 1200-C PERMIT APPLICATION AND ESCP GUIDANCE DOCUMENT HAS BEEN REVIEWED TO COMPLETE THIS EROSION AND SEDIMENT CONTROL PLAN. SOME OF THE ABOVE LISTED BMPs WERE NOT CHOSEN BECAUSE THEY WERE DETERMINED TO NOT EFFECTIVELY MANAGE EROSION PREVENTION AND SEDIMENT CONTROL FOR THIS PROJECT BASED ON SPECIFIC SITE CONDITIONS, INCLUDING ESC, CONDITIONS, TOPOGRAPHIC CONSTRAINTS, ACCESSIBILITY TO THE SITE, AND OTHER RELATED CONDITIONS. AS THE PROJECT PROGRESSES THERE IS A NEED TO REVISE THE ESCP, AN ACTION PLAN WILL BE SUBMITTED.

NATURAL

B.S.T.

NARRATIVE DESCRIPTIONS

EXISTING SITE CONDITIONS

- 1 HOUSE AND DRIVEWAY, SHED, AND WETLAND
- DEVELOPED SITE CONDITIONS
- 5 LOT RESIDENTIAL SUBDIVISION WITH PUBLIC STREET, PRIVATE DRIVE, UTILITIES, AND WETLAND

NATURE OF CONSTRUCTION ACTIVITY AND THE TABLE FOR MAJOR ACTIVITIES

- CLEARING AND GRUBBING (JAN. 1, 2007-JAN. 15, 2007)
- MASS GRADING (EXCAVATION AND FILL) (JAN. 15-JAN. 30, 2007)
- UTILITY INSTALLATION (JAN. 30-FEB. 28, 2007)
- STREET AND UTILITY CONSTRUCTION (FEB. 28-MAR. 30, 2007)
- FINAL STABILIZATION (MAR. 30-APRIL 15, 2007)

TOTAL SITE AREA (126,324 SF) = 2.90 ACRES

TOTAL DISTURBED AREA (79,552 SF) = 1.83 ACRES

SITE SOIL CLASSIFICATION

-2% CORNELLUS SILT LOAM, 8-15 PERCENT SLOPES

-30C DELENA SILT LOAM, 3-12 PERCENT SLOPES

ON-SITE SOILS HAVE A MEDIUM-HIGH EROSION POTENTIAL. ALL FILL MATERIAL SHALL BE GENERATED ON-SITE FROM GRADING EXCAVATION AND UTILITY TRENCH SPILLS.

RUNOFF WATER BODY

-TANNER CREEK

PERMITTEE'S SITE INSPECTOR

COMPANY/AGENCY: SFA DESIGN GROUP, JOC FIXEN
PHONE: 503/641-8311
FAX: 503/643-7900
E-MAIL: jfixen@sfaag.com

DESCRIPTION OF EXPERIENCE: ON-SITE GRADING AND EROSION CONTROL FOR 15 YEARS

INSPECTION FREQUENCY

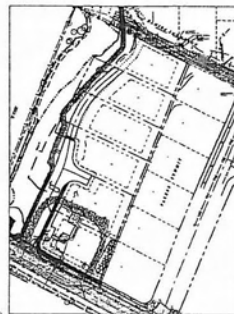
- ONCE PER WEEK ON ACTIVE SITES
- ONCE EVERY TWO WEEKS ON INACTIVE SITES
- WITHIN 24 HOURS OF A RAIN EVENT
- DAILY WHEN STORMWATER RUNOFF IS OCCURRING

-ALL INSPECTIONS MUST BE MADE IN ACCORDANCE WITH DEQ 1200-C PERMIT REQUIREMENTS PER SECTION 6 B.

-INSPECTION LOGS MUST BE KEPT IN ACCORDANCE WITH DEQ'S 1200-C PERMIT REQUIREMENTS PER SECTION 6 B.

-ANY CHANGES AS A RESULT OF INSPECTIONS MUST BE INDICATED ON THE APPROVED ESC PLAN AND ON THE ACTION PLAN. ALL CHANGES MUST BE SUBMITTED TO DEQ.

-HOLD A PRE-CON MEETING OF PROJECT CONSTRUCTION PERSONNEL THAT INCLUDES THE EC INSPECTOR. ALL INSPECTIONS MUST BE MADE IN ACCORDANCE WITH DEQ 1200-C PERMIT REQUIREMENTS.



SITE MAP
N.T.S.



VICINITY MAP
N.T.S.

APPLICANT/DEVELOPER:

RENAISSANCE DEVELOPMENT
2929 PARKER ROAD
WEST LINN, OR 97068
PHONE (503)496-0594 / FAX (503)496-0608
CONTACT: JEFF SHROPE

ENGINEERING:

SFA DESIGN GROUP, LLC
9020 WASHINGTON SQ DR, SUITE 350
PORTLAND, OR 97223
PHONE (503)641-8311 / FAX (503)643-7905
CONTACT: BRENT FITCH, PE

PROJECT LOCATION

ON THE NORTH SIDE OF PARKER ROAD, EAST OF SALAMO RD
LATITUDE: 45 DEG 21' 53.6" LONGITUDE: 122 DEG 38' 47.8"

PROPERTY DESCRIPTION

TAX LOT 3900
TAX MAP 125 R5E SEC 25C0
BENCHMARK: SALAMO (NOS GEODETIC CONTROL MONUMENT)
DATE: CITY OF WEST LINN (THIRD ORDER CLASS II VERTICAL NAVD 83)
DESCRIPTION: 2-1/2" BRONZE DISK IN CONCRETE INSIDE A MONUMENT
BOX LOCATED IN THE CENTERLINE OF SALAMO ROAD NEAR THE
SOUTHEAST CORNER OF THE ROSEMARY RIDGE MIDDLE SCHOOL
PROPERTY, 0.2 MILES NORTHERLY OF PARKER ROAD.
ELEVATION: 693.00'

LOCATES (48 HOURS NOTICE REQUIRED)

ONE CALL SYSTEM 1-800-332-2344
(GENERAL TELEPHONE, NORTHWEST
NATURAL GAS, PORTLAND GENERAL
ELECTRIC)

REPAIR EMERGENCIES

- NORTHWEST NATURAL GAS - 800-802-3377
- DWEST - 503-242-5064
- PORTLAND GENERAL ELECTRIC - 503-704-7777
- COMCAST - 888-824-8264
- CLEAN WATER SERVICES - 503-581-3000
- VERIZON - 503-547-8100
- 855-483-4000

ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090.

BMP MATRIX FOR CONSTRUCTION PHASES

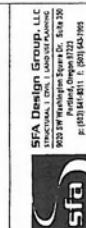
	CLEARING	MASS GRADING	UTILITY INSTALLATION	STREET CONSTRUCTION	FINAL STABILIZATION	WET WEATHER (OCT. 1-MAY 31)
EROSION PREVENTION						
GROUND COVER	X	X	X	X	X	X
ELASTIC SHEETING	X	X	X	X	X	X
TEMPORARY PERMANENT SEEDING	X	X	X	X	X	X
MULCHING	X	X	X	X	X	X
SOIL COVER	X	X	X	X	X	X
OTHER	X	X	X	X	X	X
SEDIMENT CONTROL						
SEDIMENT FENCE (PERMETER)	**X	X	X	X	X	X
SEDIMENT FENCE (INTERIOR)	**X	X	X	X	X	X
INLET PROTECTION	X	X	X	X	X	X
DIBBER	X	X	X	X	X	X
RUNOFF CONTROL						
CONSTRUCTION ENTRANCE	X	X	X	X	X	X
OUTLET PROTECTION	X	X	X	X	X	X
OTHER	X	X	X	X	X	X
POLLUTION PREVENTION						
PROPER STORAGE	X	X	X	X	X	X
HAZ WASTE MANAGEMENT	X	X	X	X	X	X
SPILL KIT ON SITE	X	X	X	X	X	X
CONCRETE WASHOUT AREA	X	X	X	X	X	X
OTHER	X	X	X	X	X	X

**SIGNIFIES BMP THAT WILL BE INSTALLED PRIOR TO ANY GROUND DISTURBING ACTIVITY

REFER TO DEQ'S GUIDANCE MANUAL FOR A COMPREHENSIVE LIST OF AVAILABLE BMPs.

SHEET INDEX

- | | |
|----|---|
| P1 | COVER SHEET |
| P2 | CLEARING, DEMO, EROSION/SED CONTROL PLAN |
| P3 | GRADING, STREET, AND UTILITY CONSTRUCTION |
| | EROSION AND SEDIMENT CONTROL PLAN |
| P4 | EROSION AND SEDIMENT CONTROL DETAILS |



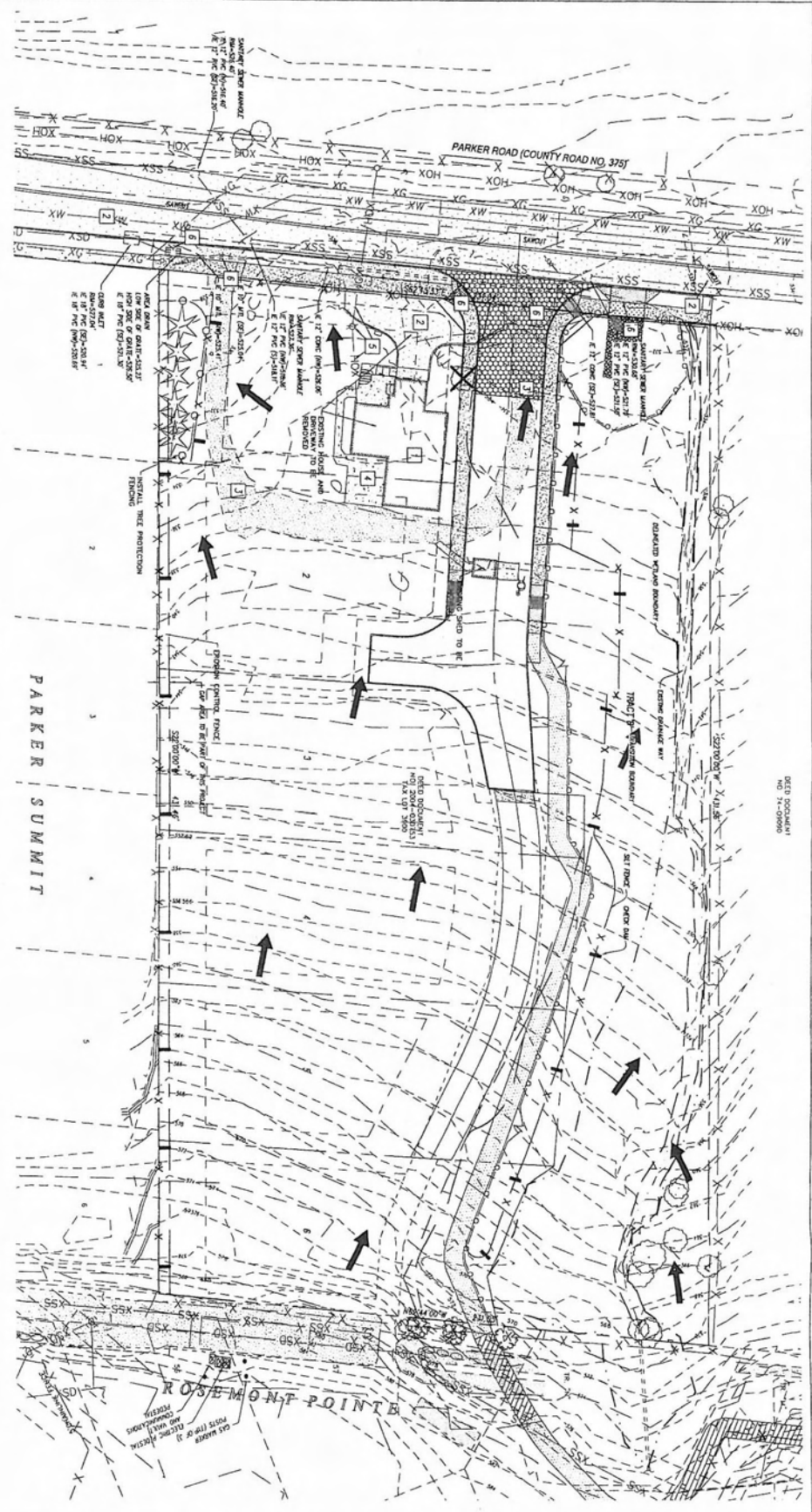
**NPDES PERMIT PACKAGE
COVER SHEET**
 PARKER ROAD



VALID THROUGH 12-31-07

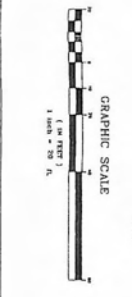
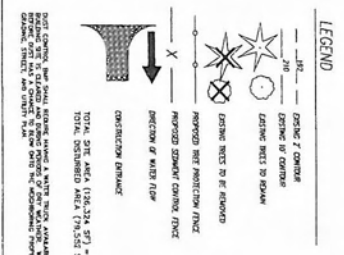
DESIGNED BY	DATE	CHECKED BY	DATE
JOC	10/24/07	JOC	10/24/07
BRENT FITCH	10/24/07	BRENT FITCH	10/24/07

PROJECT: PARKER
NO: 06-09
TYPE: CONSTRUCTION

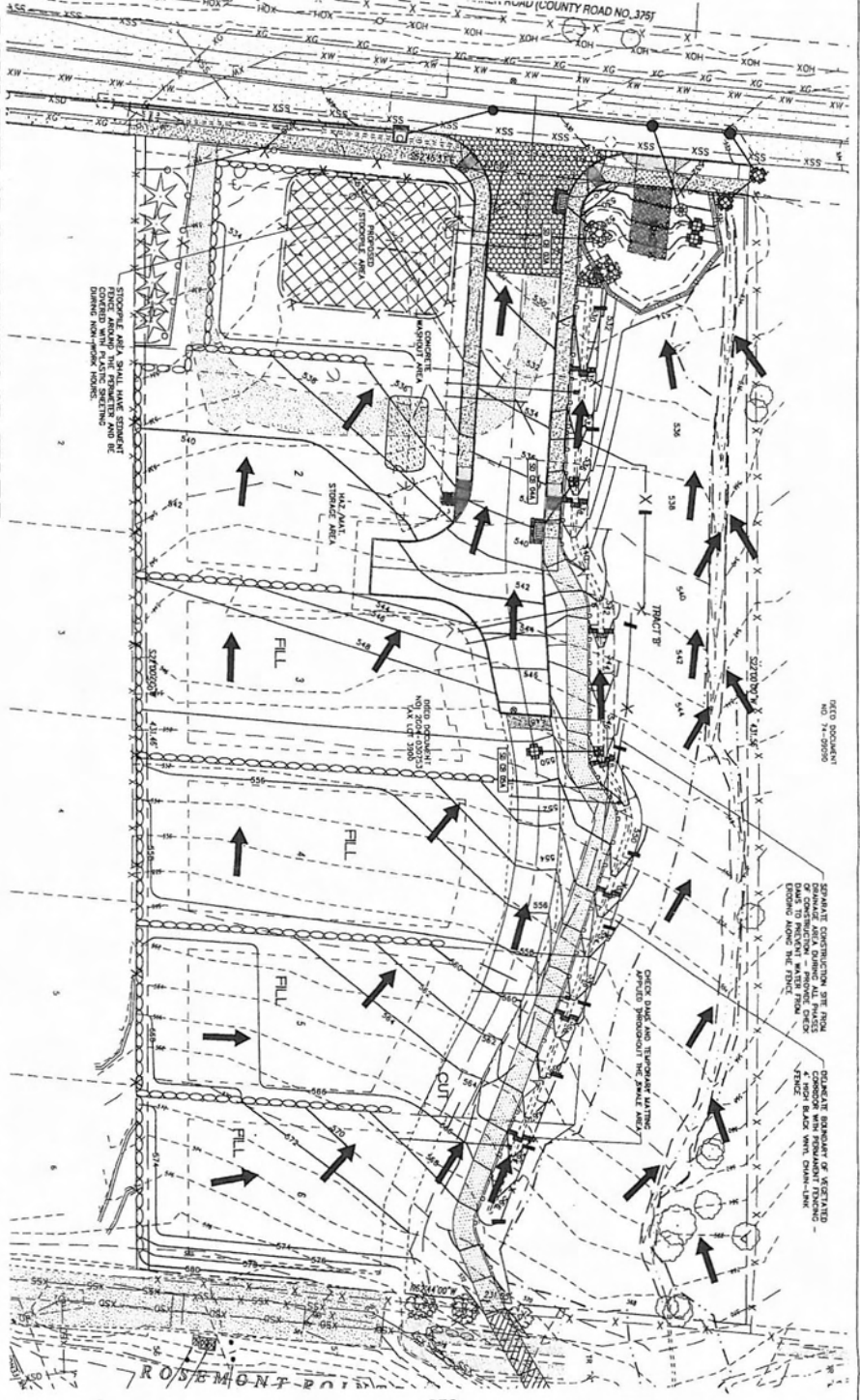


PRE-CONSTRUCTION CLEARING AND DEMOLITION NOTES:

1. ALL BARE EROSION PRONE AREAS SHALL BE INSTALLED WITH EROSION CONTROL MEASURES TO PREVENT SOIL EROSION AND TO MAINTAIN THE STABILITY OF THE SOILS TO REMAIN. EROSION CONTROL MEASURES SHALL BE APPROVED BY THE DISTRICT ENGINEER AND APPROVED BY THE DISTRICT ENGINEER.
2. SEDIMENT BARRIERS APPROVED FOR USE INCLUDE STRAW MATS, BRUSH CONSTRUCTED OUT OF NATURAL MATERIALS, OR OTHER SEDIMENT BARRIERS APPROVED BY THE DISTRICT ENGINEER.
3. SEDIMENT BARRIERS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ANY DAMAGE TO SEDIMENT BARRIERS SHALL BE REPAIRED IMMEDIATELY. SEDIMENT BARRIERS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
4. TEMPORARY EROSION CONTROL MEASURES SHALL BE ESTABLISHED ON DISTURBED AREAS WHERE THE POTENTIAL FOR EROSION EXISTS.
5. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. CONSTRUCTION ENTRANCES SHALL BE LIMITED TO THE WIDEST STREET CROSSING AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
6. ALL WADY AREAS ARE TO BE KEPT CLEAR FOR THE DURATION OF THE PROJECT.



SHEET P2 OF P4	DESIGNED BY: REF DATE: 5/08	NO. DATE REVISION BY		NPDES PERMIT PACKAGE CLEARING/DEMO EC/SED PLAN PARKER ROAD	
	DRAWN BY: NAME DATE: 5/08				
	REVIEWED BY: REF DATE: 5/08				
	PROJECT NO.: 200-010 REF: F-20				
PROJECT: PARKER ROAD DATE: 5/08	VALID THROUGH 12-31-07	SFA Design Group, LLC STRUCTURAL, CIVIL, LAND USE PLANNING 1920 SW Washington Square Dr., Suite 100 Portland, Oregon 97223 P: (503) 841-8311 F: (503) 842-7905 sfa@sfadsgroup.com			



GRADING, STREET AND UTILITY EROSION AND SEDIMENT CONSTRUCTION NOTES:

1. SEED SOIL FOR PERMANENT OR PERMANENT SIZING SHALL BE COMPOSED OF ONE OF THE FOLLOWING:
 - FERTILIZED SOIL (WATER-BASED)
 - SOIL WITH 10% TO 20% ORGANIC MATTER (WATER-BASED)
 - PERMANENT FERTILIZER (WATER-BASED)
 - PERMANENT FERTILIZER (LIQUID)
 - PERMANENT FERTILIZER (WATER-BASED)
2. SLOPE TO RECEIVE TEMPORARY OR PERMANENT SIZING SHALL HAVE THE SURFACE BOUNDARY BY MEANS OF TIE-INS MADE OF THE USE OF OTHER APPROVED METHODS. SURFACE BOUNDARY LINE SHALL BE MAINTAINED THROUGHOUT THE PERMANENT SIZING.
3. APPROVED EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE REGULATION OF EROSION CONTROL.

EROSION AND SEDIMENT CONTROL BMP IMPLEMENTATION:

1. ALL BMPs TO BE USED MUST BE INSTALLED IMMEDIATELY AFTER CONSTRUCTION OF THE EROSION CONTROL MEASURE.
2. ALL EROSION CONTROL MEASURES TO BE INSTALLED AFTER GRADING SHALL BE INSTALLED IMMEDIATELY FOLLOWING ESTABLISHMENT OF PERMANENT GRADING.
3. LONG TERM EROSION CONTROL MEASURES INCLUDING WATERWAYS SHALL BE IN PLACE OVER ALL EXPOSED AREAS.
4. THE STORM WATER PRACTICE SHALL BE CONSTRUCTED AND MAINTAINED FROM THE TIME WATER PRACTICE IS INSTALLED.
5. VEGETATION SHALL BE IN PLACE IMMEDIATELY FOLLOWING PLANTING ACTIVITIES.

1. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
2. STORMWATER DETENTION BASINS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
3. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
4. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
5. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.



LEGEND

- EXISTING 1" CONC.
- EXISTING 2" CONC.
- EXISTING 3" CONC.
- EXISTING 4" CONC.
- EXISTING 6" CONC.
- EXISTING 8" CONC.
- EXISTING 12" CONC.
- EXISTING 18" CONC.
- EXISTING 24" CONC.
- EXISTING 30" CONC.
- EXISTING 36" CONC.
- EXISTING 42" CONC.
- EXISTING 48" CONC.
- EXISTING 54" CONC.
- EXISTING 60" CONC.
- EXISTING 66" CONC.
- EXISTING 72" CONC.
- EXISTING 78" CONC.
- EXISTING 84" CONC.
- EXISTING 90" CONC.
- EXISTING 96" CONC.
- EXISTING 102" CONC.
- EXISTING 108" CONC.
- EXISTING 114" CONC.
- EXISTING 120" CONC.
- EXISTING 126" CONC.
- EXISTING 132" CONC.
- EXISTING 138" CONC.
- EXISTING 144" CONC.
- EXISTING 150" CONC.
- EXISTING 156" CONC.
- EXISTING 162" CONC.
- EXISTING 168" CONC.
- EXISTING 174" CONC.
- EXISTING 180" CONC.
- EXISTING 186" CONC.
- EXISTING 192" CONC.
- EXISTING 198" CONC.
- EXISTING 204" CONC.
- EXISTING 210" CONC.
- EXISTING 216" CONC.
- EXISTING 222" CONC.
- EXISTING 228" CONC.
- EXISTING 234" CONC.
- EXISTING 240" CONC.
- EXISTING 246" CONC.
- EXISTING 252" CONC.
- EXISTING 258" CONC.
- EXISTING 264" CONC.
- EXISTING 270" CONC.
- EXISTING 276" CONC.
- EXISTING 282" CONC.
- EXISTING 288" CONC.
- EXISTING 294" CONC.
- EXISTING 300" CONC.

NO.	DATE	REVISION	BY

DESIGNED BY: BEF DATE: 5/12/11

DRAWN BY: DM DATE: 5/12/11

REVIEWED BY: BEF DATE: 5/12/11

PROJECT NO.: 106-01 REF:

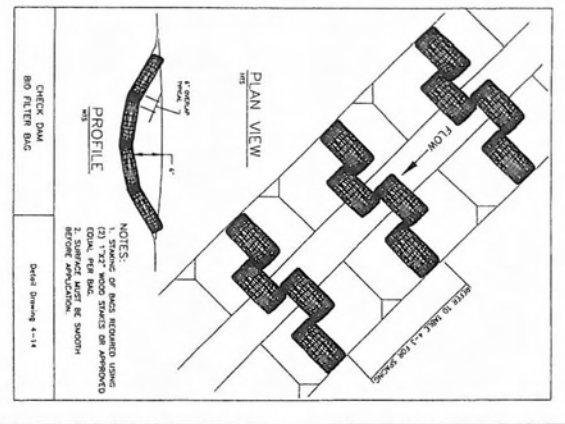
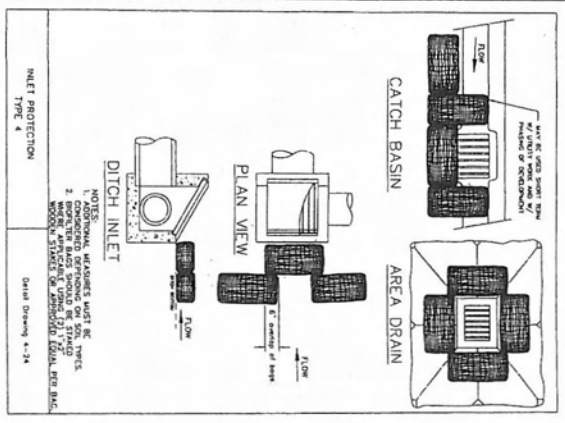
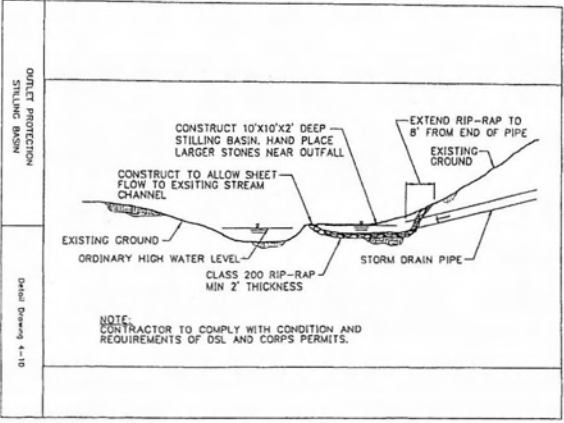
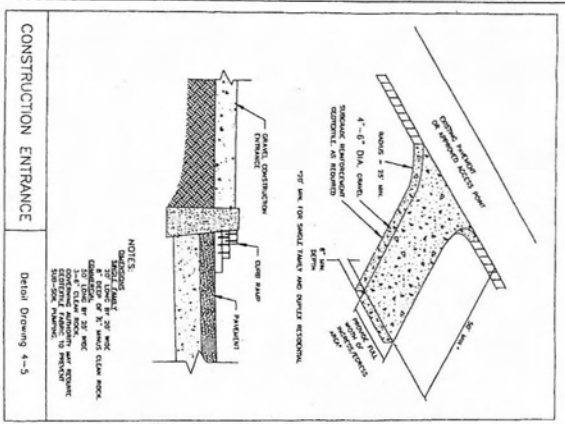
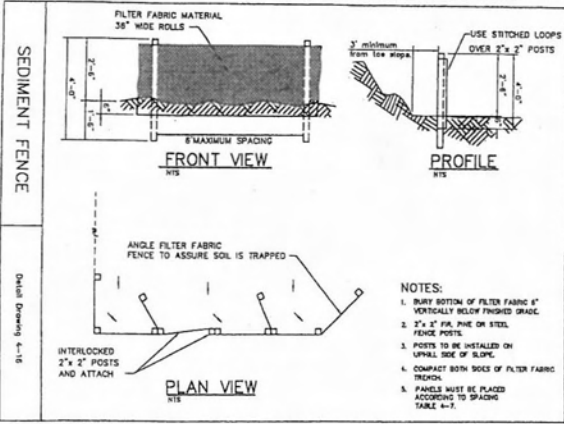
SCALE: 1"=20'

THE CONSTRUCTION

NPDES PERMIT PACKAGE
GRADING, STREET AND UTILITY PLAN
PARKER ROAD

MADE THROUGH 12-31-07

SFA Design Group, LLC
STRUCTURAL & CIVIL LAND USE PLANNING
1029 SW Washington Square St., Suite 330
Portland, Oregon 97201
P: (503) 641-4311 F: (503) 643-1965
sfa@sfaeng.com



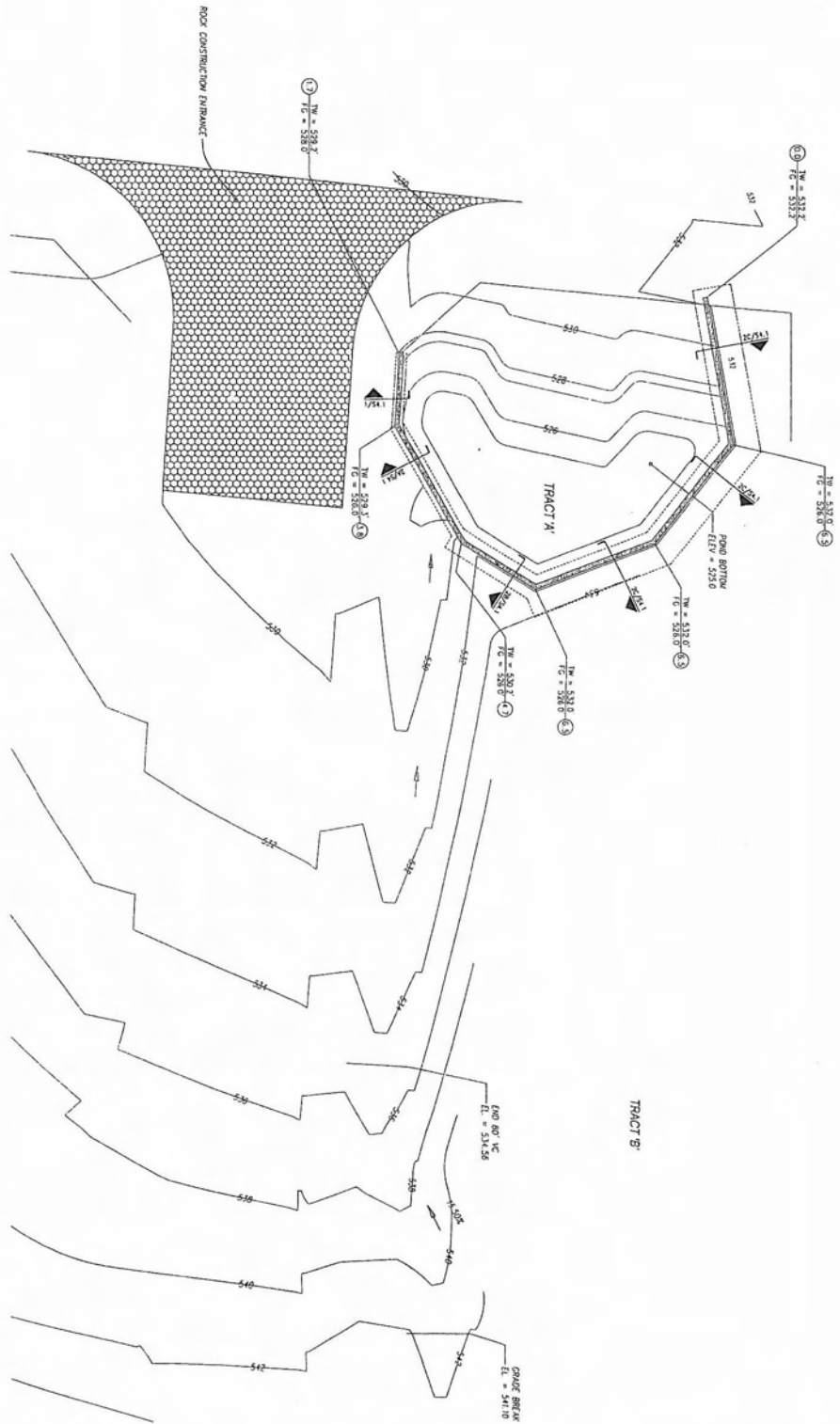
NO.	DATE	REVISION	BY

DESIGNED BY: REF DATE: 2008
 DRAWN BY: PLM DATE: 2008
 REVIEWED BY: REF DATE: 2008
 PROJECT NO: 06-01 REF: 1
 SCALE: AS SHOWN

DATE: Drawing 4-15

NPDES PERMIT PACKAGE
 EROSION/SEDIMENT CONTROL DETAILS
 PARKER ROAD



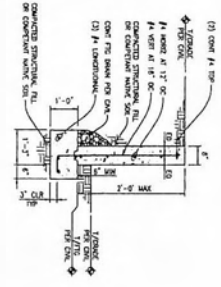


RETAINING WALL PLAN

SCALE: 1/2" = 1'-0"

- PLAN NOTES:**
- ALL WORK EXPOSED TO CONCRETE WEATHER OR WITHIN 4' OF FINISHED GRADE SHALL BE REINFORCED-ANCHORED.
 - CONCRETE RETAINING WALLS SHALL BE CONSTRUCTED WITH 3000 PSI UNWEAPONED CONCRETE AND SHOWN ON THIS REPRESENTATIVE PLAN.
 - UNDERGROUND FOOTING SHALL BE CONSTRUCTED WITH 3000 PSI UNWEAPONED CONCRETE.
 - ALL REINFORCED CONCRETE RETAINING WALLS SHALL BE REINFORCED WITH 1/2" DIA. REINFORCEMENT.
 - ALL REINFORCEMENT SHALL BE 1/2" DIA. REINFORCEMENT.
 - FINISH GRADE FOR THIS PLAN.
 - SEE CIVIL DRAWINGS FOR INFORMATION AND SHOWING.
 - ALL STEEL EXPOSED TO WEATHER SHALL BE HOT-DIPPED GALVANIZED STEEL SHALL BE A501.

SHEET S21	DESIGNED BY: <u>GM</u> DATE: <u>11/06/06</u>	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>11/06/06</td> <td>PARTIAL SUBMITTAL</td> <td></td> </tr> <tr> <td>1</td> <td>05/19/07</td> <td>REVISED PER CITY COMMENTS</td> <td></td> </tr> </tbody> </table>	NO.	DATE	REVISION	BY	0	11/06/06	PARTIAL SUBMITTAL		1	05/19/07	REVISED PER CITY COMMENTS			RETAINING WALL PLAN PARKER ROAD SUBDIVISION WEST LINN, OREGON	<p>SFA Design Group, LLC STRUCTURAL CIVIL LAND USE PLANNING 9528 SW Washington Square Dr., Suite 200 Portland, Oregon 97225 P: (503) 645-4311 F: (503) 645-7965 www.sfaengineering.com</p>
	NO.		DATE	REVISION	BY												
	0		11/06/06	PARTIAL SUBMITTAL													
	1		05/19/07	REVISED PER CITY COMMENTS													
DRAWN BY: <u>SEJM</u> DATE: <u>11/06/06</u>																	
REVIEWED BY: <u>SEJM</u> DATE: <u>11/06/06</u>																	
PROJECT NO: <u>07-012</u> REF: <u>N/A</u>																	



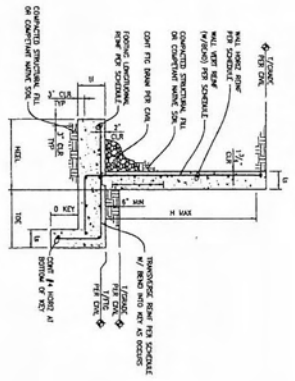
2. RETAINING WALL (NON-ROADWAY)

SCALE: 1/4" = 1'-0"

1

RETAINING WALL SCHEDULE

WALL NO.	H	D	TDC	L	WELL	WELL FOOT		LOGGING FOOT	
						FOOT	WELL	WELL	LOGGING
1	4'-0"	12"	1'-0"	8'	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
2	4'-0"	12"	1'-0"	8'	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
3	4'-0"	12"	1'-0"	8'	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
4	4'-0"	12"	1'-0"	8'	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"

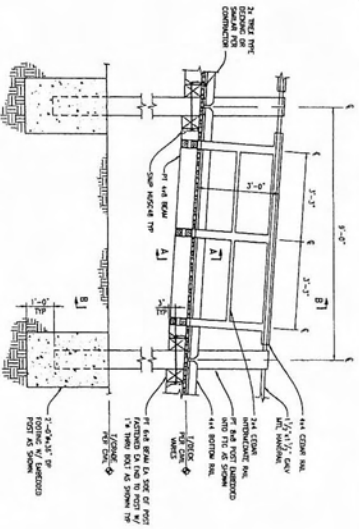


RETAINING WALL SCHEDULE

SCALE: 1/4" = 1'-0"

2

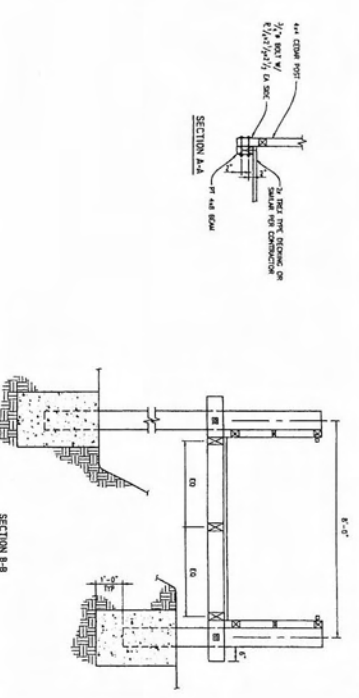
WALL NO.	H	D	TDC	L	WELL	WELL FOOT		LOGGING FOOT	
						FOOT	WELL	WELL	LOGGING
1	4	23	17	18	14	18	14	18	
2	4	23	17	18	14	18	14	18	
3	4	23	17	18	14	18	14	18	
4	4	23	17	18	14	18	14	18	
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9	4	23	17	18	14	18	14	18	
10	4	23	17	18	14	18	14	18	



BOARDWALK CROSS SECTION

SCALE: 1/4" = 1'-0"

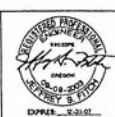
3



BOARDWALK CROSS SECTION

SCALE: 1/4" = 1'-0"

4



RETAINING WALL & BOARDWALK DETAILS
PARKER ROAD SUBDIVISION
WEST LINN, OREGON

SFA Design Group, LLC
1930 SW Washington Square Dr., Suite 200
Portland, Oregon 97221
p: (503) 844-8311 f: (503) 844-8305
www.sfaengineers.com

NO.	DATE	REVISION	BY
0	11/09/06	INITIAL SUBMITTAL	
1	03/19/07	REVISED PER CITY COMMENTS	

DESIGNED BY: CM DATE: 2/28/02
DRAWN BY: STM DATE: 2/28/02
CHECKED BY: JEP DATE: 2/28/02
PROJECT NO: 02-012 REF: _____
SCALE: _____

SHEET: S4.1
PROJECT: PARKER ROAD
NO: 1937

**WEST LINN PLANNING COMMISSION
FINAL DECISION NOTICE
SUB 06-03/MISC 06-12**

**IN THE MATTER OF A 6-LOT SUBDIVISION AND
WETLANDS PERMIT AT 2929 PARKER ROAD**

At their regular meeting of October 12, 2006, the West Linn Planning Commission held a public hearing to consider the request by Renaissance Development to approve a 6-lot subdivision and wetlands permit. The site is located at 2929 Parker Road. The approval criteria for a subdivision are found within Chapter 85 of the Community Development Code (CDC), and the wetland permit was judged based upon the criteria found in CDC Chapter 30. The hearing was conducted pursuant to the provisions of CDC, Chapter 99.

The hearing commenced with a staff report presented by Gordon Howard, Senior Planner. The applicant provided a presentation. No additional public testimony was received. The public hearing was closed.

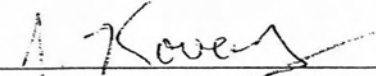
A motion was made and seconded to adopt the findings presented in the staff report and approve the proposed subdivision and wetland permit, with the following conditions of approval.

1. The approved tentative plat is that shown on Sheet 1 of the applicant's revised submittal, dated September 2006.
2. The applicant shall adjust the boundaries of the lots and access easements so that each lot has at least 10,000 square feet of area exclusive of any access easements.
3. The new public street shall be dedicated with a width of 40 feet, a pavement width of 28 feet, and 6-foot sidewalks on each side, to the point where the hammerhead turnaround begins. No sidewalks shall be required in the hammerhead area.
4. A pedestrian access easement shall be placed over portions of the pedestrian pathway not within the publicly dedicated tract, and shall begin at the termination of the sidewalk on the east side of the proposed public street.
5. The applicant shall submit a proposed street name for the new public street, to be approved by the Planning Director.
6. Prior to commencement of any site clearing or grading, the applicant shall place anchored and secured chain link fencing at the location as shown on the tentative plan to protect the trees at the southeast corner of the site. The city arborist shall inspect and approve this location prior to the start of work. The fencing shall remain in place throughout the development of the site and construction of the homes, to be removed only upon the completion of all construction activity.
7. Prior to commencement of any site clearing or grading, the applicant shall place anchored and secured chain link fencing along the entire eastern boundary of the riparian and wetland transition area and at the boundary of the storm detention pond located adjacent to Parker Road. City staff shall inspect and verify the proper location prior to the start of work. The fencing shall remain in place throughout the development of the site and

construction of the homes, to be removed only upon the completion of all construction activity.

8. The applicant shall implement the proposed mitigation and revegetation plan for the wetland and riparian area. The plan must be completed, except for any ongoing maintenance activities, prior to the recordation of the final plat.
9. Once the protective fencing is removed, the protected wetland and riparian area shall be identified with City-approved permanent markers at all boundary direction changes and at 30- to 50-foot intervals that clearly delineate the extent of the protected area.
10. The applicant must pay contribution towards future traffic signal at intersection of Salamo/Rosemont/Santa Anita. Applicant's traffic engineer must determine trips contributed to the intersection by applicant's proposed subdivision. Contribution has been established at \$1,071.43/PM peak hour trip.
11. All public improvements must comply with the City of West Linn Public Works Design and Construction Standards.
12. The six-inch water main serving subdivision must be looped between Parker Road and Coho Lane through a public easement.
13. No retaining walls shall be constructed in public utility easements unless approved by the City Engineer.
14. All required City, State, and Federal permits must be obtained prior to working in the natural drainageway, wetland area, and transition area.
15. Public improvements in Parker Road must match and coordinate with Maxfield and Parker Crest subdivisions.

This decision will become effective 14 days from the date of mailing of this final decision as identified below. Those parties with standing (i.e., those individuals who submitted letters into the record, or provided oral or written testimony during the course of the hearing, or signed in on the attendance sheet at the hearing, or who have contacted City Planning staff and made their identities known to staff) may appeal this decision to the West Linn City Council within 14 days of the mailing of this decision pursuant to the provisions of Chapter 99 of the Community Development Code. Such appeals would require a fee of \$400 and a completed appeal application form together with the specific grounds for appeal to the Planning Director prior to the appeal-filing deadline.



JOHN KOVASH, CHAIR
WEST LINN PLANNING COMMISSION

Oct 25, 2006
DATE

Mailed this 25 day of October, 2006.

Therefore, this decision becomes final at 5 p.m., November 8, 2006.

**City of West Linn
PLANNING & BUILDING
DEPT.
LAND USE ACTION**

TO: West Linn Planning Commission
FROM: West Linn Planning Staff (Gordon Howard, Senior Planner)
DATE: October 12, 2006
FILE NO: SUB 06-03
SUBJECT: Six-lot subdivision of property and Wetlands at 2929 Parker Road

Planning Director's Initials GH City Engineer's Initials GH

SPECIFIC DATA

OWNER: Gary and Nancy Hogue, 2961 Ascot Circle, West Linn, OR 97068

APPLICANT: Renaissance Homes, Inc., 16771 SW Boones Ferry Rd., Lake Oswego, OR 97035

ENGINEER: SFA Design Group, 9020 Washington Square Road, Suite 350
Portland, OR 97068

SITE LOCATION: 2929 Parker Road

SITE SIZE: 2.3 acres

LEGAL DESCRIPTION: 2S 1E 25CD, Tax Lot 3900

COMP PLAN DESIGNATION: Low-Density Residential

ZONING: R-10, Single-Family Residential

APPROVAL CRITERIA: CDC Chapter 85, Subdivisions, Chapter 30 Wetlands

120-DAY RULE: The application was deemed complete on July 26, 2006. On September 14 the applicant agreed to stop the 120-day clock until a

rescheduled hearing date of October 12, adding 28 days to the 120day timeline. Therefore, the City must exhaust all local review by December 21, 2006 per the 120-day rule.

PUBLIC NOTICE: Mailed public notice to property owners within 500 feet on August 22, 2006. The property was posted on August 28, 2006. The notice was also posted on the city's website. Newspaper notice appeared in the West Linn Tidings on August 31, 2006. The September 14, 2006 hearing date was continued to October 12, 2006 by action of the Planning Commission. Therefore, the public notice requirements of the West Linn Community Development Code have been met.

SPECIFIC PROPOSAL

The site was annexed to the City of West Linn in September 2005. It has a gentle uphill slope from its southern boundary along Parker Road. A natural drainageway runs along the western boundary of the site, but is diffused and results in wetland areas in the western area. To the north of the site is land being developed as the Rosemont Pointe subdivision. To the east is the Parker Summit subdivision, developed in the 1990's, along Coho Lane, with 7,000 square foot lots. To the west is land in Clackamas County.

The applicant proposes to divide the 2.9-acre property into six residential lots and an open space lot, covering wetlands and drainage areas on the site. Each of the residential lots would be about 10,000 square feet in size (pursuant to the site's R-10 zoning), and a 32,000 square foot open space lot would encompass the wetlands and drainage areas.

The applicant's original design proposed that four of the lots take access to Parker Road via a private street. The northerly two lots would have taken access from a private easement road created as part of the Rosemont Pointe subdivision, also controlled by Renaissance Homes, coming from Coho Lane to the east. However, in the September 14 report staff recommended denial of the application without a redesign to have all six lots take access to Parker Road. The applicant has submitted a revised plan showing all six lots with access to Parker, abandoning proposals to use the private easement to the north.

The applicant proposes to fill a small part of the wetland area adjacent to Parker Road (1,020 square feet of the 12, 184 square feet of existing wetland area on the site). The applicant proposes an on-site wetland mitigation area of 1,532 square feet (1.5 times the wetland area destroyed), along with a general cleanup and revegetation of the wetland area with native plants. The applicant also proposes a pedestrian pathway between the six residential lots and the wetland area, connecting Parker Road to the south with a trail being built as part of the ~~Rosemont Pointe~~ subdivision to the north.

Parker Road ? Jeff

Replanting Transition areas and wetlands that are ~~are~~ in a degraded state.

MAJOR ISSUES

Orientation and Access of the Proposed Lots

The applicant originally proposes four of the lots take access from a private street on Parker Road, and two of the lots take access via an access easement shared with Rosemont Pointe, coming off Coho Lane to the east.

The relevant code sections are as follows:

CHAPTER 48: ACCESS

48.030 MINIMUM VEHICULAR REQUIREMENTS FOR RESIDENTIAL USES

...

D. Access to five or more single-family homes shall be by a street built to full construction code standards. All streets shall be public. This full street provision may only be waived by variance.

CHAPTER 85: LAND DIVISIONS

85.200 APPROVAL CRITERIA

B. Blocks and Lots

...

2. Sizes. The recommended block size is 400 feet in length to encourage greater connectivity within the subdivision. Blocks shall not exceed 800 feet in length between street lines, except for blocks adjacent to arterial streets or unless topographical conditions or the layout of adjacent streets justify a variation. The recommended minimum distance between intersections on arterial streets is 500 feet. Designs of proposed intersections shall demonstrate adequate sight distances to the City Engineer's specifications.

...

7. Flag Lots. Flag lots can be created where it can be shown that no other reasonable street access is possible to achieve the requested land division. A single flag lot shall have a minimum street frontage of 15 feet for its accessway. Where two to four flag lots share a common accessway, the minimum street frontage and accessway shall be 8 feet in width per lot. Common accessways shall have mutual maintenance agreements and reciprocal access and utility easements.

Based upon the staff recommendation, the applicant has submitted a redesigned proposal that has all six lots taking access from a public street running north from Parker Road. Staff believes that this layout:

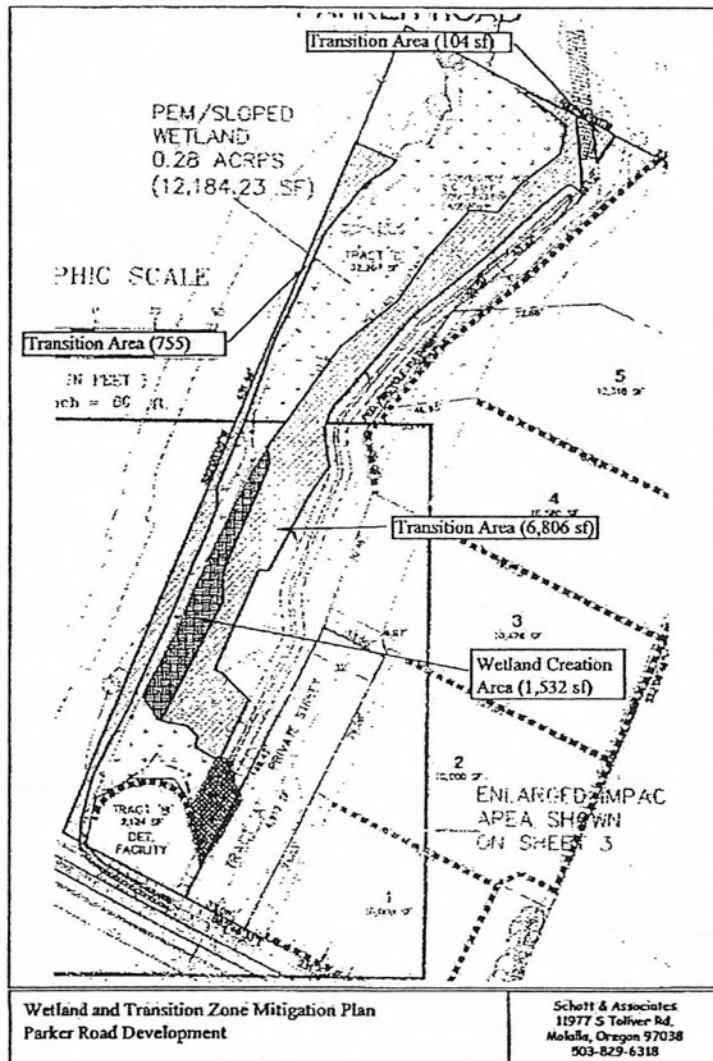
1. Preserves the privacy of lots on Coho Lane by having the back yards of all six lots facing the Coho Lane back yards.
2. Does not significantly increase traffic conflicts on Parker Road – since the proposed street is a dead-end, it will never have more than six homes using it.
3. Does not increase impacts to the wetland area over the applicant's original private street proposal, since a public right of way of 40 feet is proposed, the same width as the private drive proposed by the applicant.

Staff supports the applicant's redesign and recommends that the Planning Commission approve it.

Wetlands Modifications

The site contains a natural drainageway and wetlands in its western segment, stretching from the north end of the property to the south end along Parker Road. The applicant has submitted a Wetland and Transition Area Mitigation Plan, prepared by biologists Schott and Associates, to address the impact of the proposed subdivision upon the site's wetlands. The site contains 12.184 square feet of wetland area, and the applicant proposes to eliminate 1.020 square feet of these wetlands. To mitigate this impact, the applicant proposes to create an additional 1.532 square feet (1.5 times the area to be eliminated) of wetlands adjacent to the existing wetland area.

The wetland areas on the site are illustrated in the following map taken from the applicant's submitted wetland report.



As shown on the map, the applicant proposes to remove 1,020 square feet of wetlands on the periphery of the wetland area, and would provide the replacement wetland at a point where the wetland has been channeled into a ditch in the past, thus providing a better and more cohesive wetland corridor through the site. The wetlands report provided by the applicant found that the site actually had two distinct wetland areas, connected by a ditch. The mitigation area would be adjacent to the ditch, essentially recreating the natural condition that existed before the ditch was dug many years ago. The applicant also proposes transition areas with appropriate native vegetation to replace non-native and invasive species that meet the buffers required by the Community Development Code (a minimum of 30 feet). The applicant has also applied for the necessary permits from the Oregon Division of State Lands and the United States Army Corps of Engineers.

Finally, the applicant has completed an alternatives analysis also required by the West Linn CDC, showing that the alternatives have other, significant impacts resulting in problems with other sections of the CDC. The basic problem is the that area proposed for removal “juts out” into the eastern portion of the site, and protection of it would result in impacts to site access that would result in a much less desirable overall project, or no project at all. The proposed mitigation area would, in a sense, consolidate the wetlands area on the site into a cohesive riparian corridor, better protected from the impacts of adjacent development than the wetland area to be removed could ever be.

Therefore, staff recommends that the applicant’s proposed wetland mitigation plan be accepted by the Planning Commission and incorporated into any project that the Commission may approve for this site.

Location of Storm Drainage Pond

The applicant has located the proposed storm drainage detention and treatment facility at the southwest corner of the site. The location is appropriate in two respects: it is adjacent to a public street for ease of future maintenance, and it is at the lower elevation of the property.

In the September 14, 2006 report the City Engineer expressed concerns about the location of the storm pond in two respects: 1) it is adjacent to the wetland area, and thus its creation may have negative impacts upon the wetland; and 2) its location requires a lateral storm line several hundred feet long along Parker Road to the east until it connects with an existing storm drainage culvert crossing Parker Road.

Upon further review and analysis, the City Engineer has changed his position.

First, the proposed storm pond will be built at the same time as the applicant’s proposed changes to the wetlands on the site, removing approximately 1,000 square feet of wetland area adjacent to the storm pond and mitigating its loss with approximately 1,500 square feet of new wetland area farther north. Also, the applicant will be implementing a revegetation plan for the remaining wetland areas immediately north of the storm pond site contemporaneously with the construction of the storm pond. Using proper construction techniques, and with appropriate supervision, the City Engineer is confident that the construction of the storm pond will not negatively impact the wetlands.

Second, the City Public Works Department will have ongoing access to the storm pond for maintenance purposes via both Parker Road and the new public street to be built by the applicant. There will be no need to enter the wetland area to conduct on-going maintenance.

Third, the lateral storm line along the north side of Parker Road cannot be avoided under any scenario. The culvert under Parker Road is located more than 100 feet beyond the eastern boundary of this subdivision, east of Coho Lane. Even if the storm pond were

placed on the east end of this subdivision, the applicant would be required to build a long lateral storm line. Therefore, the applicant's proposed placement of the storm pond does not result in impacts that are mitigable with another alternative pond location.

Therefore, staff recommends Planning Commission acceptance of the applicant's proposed storm pond location.

PUBLIC COMMENTS

While no written comments have been received, staff has had conversations with three property owners adjacent to the site on Coho Lane. Two of the property owners were opposed to the applicant's original submittal, but are now satisfied that all access from the six proposed lots will be to Parker Road. The third property owner, at the corner of Coho Lane and Parker Road, expressed satisfaction that the trees on the property perimeter adjacent to their property are proposed for preservation.

RECOMMENDATION

Staff recommends that the Commission adopt the applicant's proposed findings (with staff modifications as contained within the Addendum), and approve the proposed subdivision as revised, with the following conditions of approval:

1. The approved tentative plat is that shown on Sheet 1 of the applicant's revised submittal, dated September 2006.
2. The applicant shall adjust the boundaries of the lots and access easements so that each lot has at least 10,000 square feet of area exclusive of any access easements.
3. The new public street shall be dedicated with a width of 40 feet, a pavement width of 28 feet, and 6-foot sidewalks on each side, to the point where the hammerhead turnaround begins. No sidewalks shall be required in the hammerhead area.
4. A pedestrian access easement shall be placed over portions of the pedestrian pathway not within the publicly dedicated tract, and shall begin at the termination of the sidewalk on the east side of the proposed public street.
5. The applicant shall submit a proposed street name for the new public street, to be approved by the Planning Director.
6. Prior to commencement of any site clearing or grading, the applicant shall place anchored and secured chain link fencing at the location as shown on the tentative plan to protect the trees at the southeast corner of the site. The city arborist shall inspect and approve this location prior to the start of work. The fencing shall remain in place throughout the development of the site and construction of the homes, to be removed only upon the completion of all construction activity.
7. Prior to commencement of any site clearing or grading, the applicant shall place anchored and secured chain link fencing along the entire eastern boundary of the riparian and wetland transition area and at the boundary of the storm detention

pond located adjacent to Parker Road. City staff shall inspect and verify the proper location prior to the start of work. The fencing shall remain in place throughout the development of the site and construction of the homes, to be removed only upon the completion of all construction activity.

8. The applicant shall implement the proposed mitigation and revegetation plan for the wetland and riparian area. The plan must be completed, except for any ongoing maintenance activities, prior to the recordation of the final plat.
9. Once the protective fencing is removed, the protected wetland and riparian area shall be identified with City-approved permanent markers at all boundary direction changes and at 30- to 50-foot intervals that clearly delineate the extent of the protected area.
10. The applicant must pay contribution towards future traffic signal at intersection of Salamo/Rosemont/Santa Anita. Applicant's traffic engineer must determine trips contributed to the intersection by applicant's proposed subdivision. Contribution has been established at \$1,071.43/peak hour trip. *peak hour*
11. All public improvements must comply with the City of West Linn Public Works Design and Construction Standards.
12. The six-inch water main serving subdivision must be looped between Parker Road and Coho Lane through a public easement.
13. No retaining walls shall be constructed in public utility easements. *unless approved by Eng. dept.*
14. All required City, State, and Federal permits must be obtained prior to working in the natural drainageway, wetland area, and transition area.
15. Public improvements in Parker Road must match and coordinate with Maxfield and Parker Crest subdivisions.

October 12, 2006

TO: WEST LINN PLANNING COMMISSION

FROM: GORDON HOWARD

SUBJECT: 2929 PARKER ROAD, 6-LOT SUBDIVISION (FILE SUB 06-03)

Staff has a minor change to one of the recommended conditions of approval, as follows (underlined and bold language is proposed to be added):

13. No retaining walls shall be constructed in public utility easements **unless approved by the City Engineer.**

While no buildings or structures are allowed to be built within utility easements in West Linn, the City Engineer has a process for individualized consideration of fences and retaining walls, and may approve them administratively if there will be no significant impact upon any existing or proposed utilities.

P/developmentreview/sub2006/sub 06-03 retaining wall change

ADDENDUM

APPROVAL CRITERIA AND FINDINGS

SUB 06-03

Staff recommends adoption of the findings for approval contained within the applicant's submittal, with the following exceptions and additions:

CHAPTER 30: WETLAND AND RIPARIAN AREAS

30.100 APPROVAL CRITERIA

C. Wetland and Riparian Transition Area. The size of the transition area necessary to protect each site will be identified and staked in the field with temporary wooden stakes clearly marked "Transition Area" and approved by the Planning Director prior to issuance of a permit. Once the location of these temporary stakes has been approved, markers shall be staked as described in Section 30.100(C)(2) below. A construction fence and/or erosion control silt fabric, as appropriate, shall be established along the perimeter of the transition area during all phases of construction.

Vegetative improvements to areas within the transition and resource areas may be required if the site is found to be in an unhealthy or disturbed state. "Unhealthy or disturbed" includes those sites that are heavily populated by exotic or non-indigenous species, areas overgrown with invasive plants, or areas that lack the proper balance of canopy trees, understory plants, and soil stabilizing groundcovers. "Vegetative improvements" consist of submitting a plan which calls for removal of non-indigenous, exotic, or invasive species which will be replaced by plant species in a manner to be approved by the City Parks Director and consistent with the purposes of Chapter 30. Once approved, the applicant is responsible for implementing the plan prior to final inspection.

FINDING NO. 1:

To ensure that the application fully complies with the approval criteria of Chapter 30, staff recommends several additional conditions of approval. A solidly anchored chain link fence must be in place during the construction phase of the project to ensure that no impact results to the wetlands to be protected on the site. The applicant must fully implement the revegetation and mitigation plan prior to final map platting for the property. And, once construction is complete, the applicant must place permanent markers indicating the presence of a wetland on the site.

Therefore, with the imposition of conditions of approval # 7, 8, and 9, the application satisfies this criterion.

CHAPTER 48: ACCESS

48.030 MINIMUM VEHICULAR REQUIREMENTS FOR RESIDENTIAL USES

D. Access to five or more single-family homes shall be by a street built to full construction code standards. All streets shall be public. This full street provision may only be waived by variance.

FINDING NO. 2:

The applicant’s proposed redesign has a public street coming north from Parker Road. This street provides access to three of the lots. The remaining three lots will take access from a private easement road running northerly from the terminus of the public street. Therefore, with the imposition of Condition of Approval #1, the application satisfies this criterion.

CHAPTER 85: LAND DIVISIONS

85.200 Approval Criteria

A. Streets

2. Right-of-way and Roadway Widths. In order to accommodate larger tree lined boulevards and sidewalks, particularly in residential areas, the standard right-of-way widths for the different street classifications shall be within the range listed below. But, instead of filling in the right-of-way with pavement, they shall accommodate the amenities (e.g., boulevards, street trees, sidewalks). The exact width of the right-of-way shall be determined by the City Engineer or the approval authority. The following ranges will apply:

<u>Street Classification</u>	<u>Right-of-Way</u>
...	
Local street	40-60
...	

4. The decision-making body shall consider the City Engineer's recommendations on the desired right-of-way width, pavement width and street geometry of the various street types within the subdivision after consideration by the City Engineer of the following criteria:

- a. The type of road as set forth in the Transportation Master Plan.
- b. The anticipated traffic generation.
- c. On-street parking requirements.
- d. Sidewalk and bikeway requirements.
- e. Requirements for placement of utilities.
- f. Street lighting.
- g. Drainage and slope impacts.
- h. Street trees.
- i. Planting and landscape areas.

- j. *Existing and future driveway grades.*
- k. *Street geometry.*
- l. *Street furniture needs, hydrants.*

FINDING NO. 3:

The applicant's revised subdivision plan proposes a public street. The City Engineer believes that the minimum right of way width of 40 feet is appropriate in this situation, where the street is dead-end, will only serve six lots, and the site is constrained by the location of wetlands. The City Engineer and Planning Director also believe that a 28-foot paved width, with two six foot sidewalks, and no planter strips, is appropriate within the constrained right of way, serving only six homes. Also, there is no need for a sidewalk around the proposed hammerhead turnaround at the end of the public street because of the lack of traffic and the existence of the pedestrian pathway beginning at the end of the sidewalk on the west side of the street. Therefore, with the imposition of condition of approval # 3, the application satisfies this criterion.

Additionally, the project has frontage along Parker Road. The City Engineer wishes to ensure that the design details for the Parker Road street frontage and improvements match those prepared by the Maxfield and Parker Crest subdivisions along the south side of the road. Therefore, with the imposition of condition of approval # 15, the application satisfies this criterion.

12. *Street Names.* No street names shall be used which will duplicate or be confused with the names of existing streets within the City. Street names that involve difficult or unusual spellings are discouraged. Street names shall be subject to the approval of the Planning Commission or Planning Director, as applicable. Continuations of existing streets shall have the name of the existing street. Streets, drives, avenues, ways, boulevards, lanes, shall describe through streets. Place and court shall describe cul-de-sacs. Crescent, terrace, and circle shall describe loop or arcing roads.

FINDING NO. 4:

The applicant has not provided a proposed street name for the new public street north of Parker Road serving the subdivision. The Planning Director has the ability to approve a proposed street name meeting the code requirements. Therefore, with the imposition of condition of approval # 5, the application satisfies this criterion.

22. *Based upon the City Engineer's determination, the applicant shall construct or cause to be constructed, or contribute a proportionate share of the costs, for all necessary off-site improvements identified by the transportation analysis that are required to mitigate impacts from the proposed subdivision.*

FINDING NO. 5:

This application is within the zone of projects that will have a significant impact upon the intersection of Rosemont Road and Salamo Road, in need of a signal light. Such a signal light was not contemplated at the time of the creation of the West Linn Transportation System Plan in 1999, so the city is collecting a fee per trip generated by new development to pay the proportionate costs of the signal. Therefore, with the imposition of condition of approval # 10, the application satisfies this criterion.

B. Blocks and Lots

7. *Flag Lots.* Flag lots can be created where it can be shown that no other reasonable street access is possible to achieve the requested land division. A single flag lot shall have a minimum street frontage of 15 feet for its accessway. Where two to four flag lots share a common accessway, the minimum street frontage and accessway shall be 8 feet in width per lot. Common accessways shall have mutual maintenance agreements and reciprocal access and utility easements.

...

c. The lot size shall be calculated exclusive of the accessway; the access strip may not be counted towards the area requirements.

...

f. If the use of a flag lot stem to access a lot is infeasible because of a lack of adequate existing road frontage, or location of existing structures, the proposed lot(s) may be accessed from the public street by an access easement of a minimum 15 foot width across intervening property.

FINDING NO. 6:

The applicant's resubmitted lot design shows three of the lots taking access from a private easement running north from the terminus of the public road. Because of the presence of the wetland and the irregular shape of the transition area, the use of property "flags" instead of an access easement is inappropriate. The access easement must be subtracted from the area of the lot to determine whether each lot meets the 10,000 square foot minimum requirement. The applicant may need to adjust the boundaries of the access easement and the lots to ensure compliance with this requirement – however, it is certain that the applicant can comply with the requirement, because the site contains more than enough lot area to accommodate six 10,000 square foot lots. Therefore, with the imposition of condition of approval #2

C. Pedestrian and Bicycle Trails

1. Trails or multi-use pathways shall be installed, consistent and compatible with federal ADA requirements and with the Oregon Transportation Planning Rule, between subdivisions, cul-de-sacs, and streets that would otherwise not be connected by streets due to excessive grades, significant tree(s), and other constraints natural or man-made. Trails shall also accommodate bicycle or pedestrian traffic between neighborhoods and activity areas such as schools, libraries, parks, or commercial districts. Trails shall also be required where designated by the Parks Master Plan.

FINDING NO. 7:

The applicant's proposed trail is in accordance with this criterion, as it connects the end of this subdivision's street with Gardner Lane, a proposed street in the Rosemont Pointe subdivision. Imposition of condition of approval # 4 will ensure that the trail is dedicated perpetually for public use into the future.

F. Water

1. *A plan for domestic water supply lines or related water service facilities shall be prepared consistent with the adopted Comprehensive Water System Plan, plan update, March 1987, and subsequent superseding revisions or updates.*
2. *Adequate location and sizing of the water lines.*
3. *Adequate looping system of water lines to enhance water quality.*

FINDING NO. 8:

The City Engineer finds that the public water line serving this subdivision must be looped between Parker Road and the public water lines being built as part of the Rosemont Pointe subdivision to the north. Therefore, with the imposition of condition of approval # 12, the application satisfies this criterion.

I. Utility Easements. All subdivisions and partitions shall establish, at minimum, five-foot utility easements on front and rear lot lines. Easements may be wider and side yard easements established, as determined by the City Engineer to accommodate the particular service. The developer of the subdivision shall make accommodation for cable television wire in all utility trenches and easements so that cable can fully serve the subdivision

FINDING NO. 9:

The applicant's tentative grading plan shows retaining walls within public easement areas. This is not allowed, because it would impair future access to the easement area as necessary. Minor modifications to the grading plan can eliminate these walls. Therefore, with the imposition of condition of approval # 13, the application satisfies this criterion.

J. Supplemental Provisions

9. Heritage Trees/Significant Tree and Tree Cluster Protection. All heritage trees, as defined in the Municipal Code, shall be saved. Diseased heritage trees, as determined by the City Arborist, may be removed at his/her direction. All non-heritage trees and clusters of trees (three or more trees with overlapping dripline; however, native oaks need not have an overlapping dripline) that are considered significant by virtue of their size, type, location, health, or numbers, shall be saved pursuant to CDC Section 55.100(B)(2). Trees are defined per the Municipal Code as having a trunk 6" in diameter or 19" in circumference at a point five feet above the mean ground level at the base of the trunk.

FINDING NO. 10

The applicant's proposed tree plan protects significant trees within the wetland area and also along the southeastern edge of the property. The City Arborist requires that trees to be protected be fenced during the construction phase of the project. Therefore, with the imposition of condition of approval # 6, the application satisfies this criterion.

CITY OF WEST LINN
PLANNING AND DEVELOPMENT

APPLICANT'S REVISED SUBMITTAL

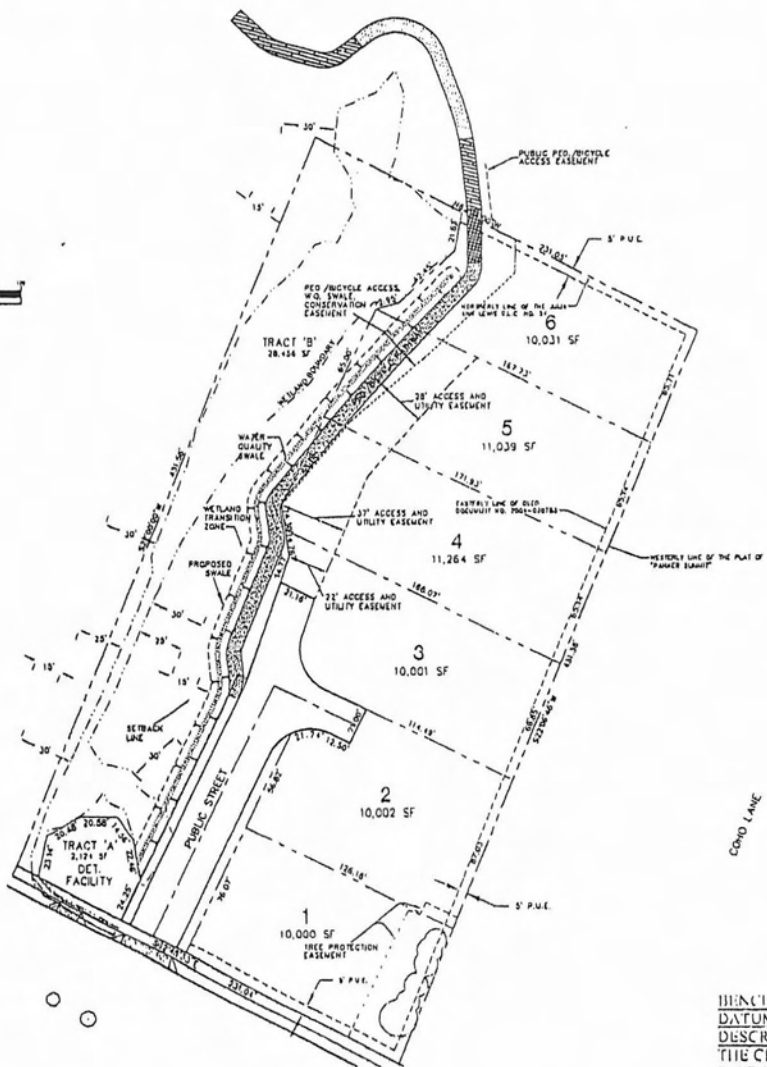
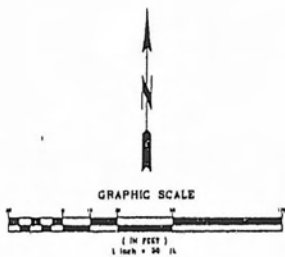
FILE NO. SUB 06-03

**REQUEST: SIX-LOT SUBDIVISION OF PROPERTY AT 2929
PARKER ROAD**

Related Projects: 20041105-011\map\planmap\110511\PA-RTD-1-4-05.dwg, 9/27/2006 2:30:21 PM, auto

PARKER ROAD

A 6-LOT SUBDIVISION OF TAX MAP 21E25CD, TAX LOT 3900



VICINITY MAP
N.T.S.

APPLICANT:
 RENAISSANCE HOMES, INC.
 16771 BOONES FERRY ROAD
 LAKE OSWEGO, OR 97035
 PHONE: (503)636-5600 / FAX: (503)635-8400
 CONTACT: JEFF SHROPE

PLANNING / ENGINEERING:
 SFA DESIGN GROUP, LLC
 9030 SW WASHINGTON SQUARE DR., SUITE 350
 PORTLAND, OR 97223
 PHONE: (503)641-8311 / FAX: (503)643-7905
 CONTACTS: MATTHEW SPRAGLE

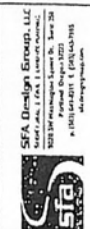
SURVEYOR:
 G+L LAND SURVEYING, INC.
 9255 SW NIMBUS AVE.
 BEAVERTON, OR 97008
 PHONE: (503)641-0308 / FAX: (503)671-0877
 CONTACT: DARREN HARR

SITE INFORMATION:
 SITE AREA: 3.28 ACRES
 ZONING: R-10
 TAX MAP: T2 R1E SEC 25CD
 TAX LOTS: 3000
 NUMBER OF LOTS: 6

UTILITIES AND SERVICES:
 WATER: CITY OF WEST LINN
 STORM: CITY OF WEST LINN
 SEWER: CITY OF WEST LINN
 POWER: PGE
 GAS: NORTHWEST NATURAL
 CABLE: VERIZON
 FIRE: TV&R
 POLICE: CITY OF WEST LINN
 SCHOOL: CITY OF WEST LINN
 ROADS: CITY OF WEST LINN
 PARKS: CITY OF WEST LINN

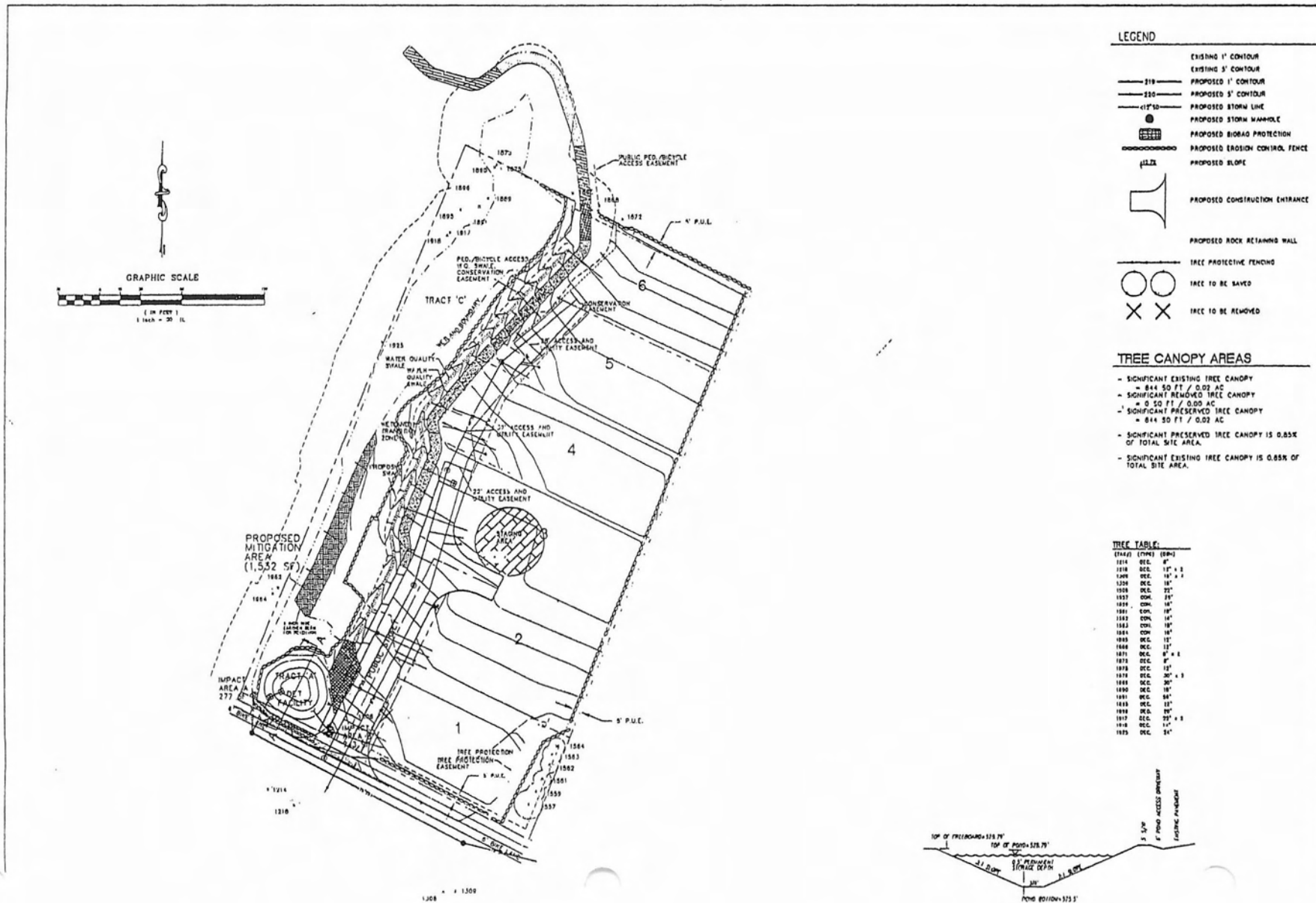
SHEET INDEX	
1	TENTATIVE PLAT
2	EXISTING CONDITIONS PLAN
3	TENTATIVE STREET AND UTILITY PLAN
4	TENTATIVE STREET PROFILE
5	TENTATIVE GRADING, STORM AND EROSION CONTROL PLAN
6	TENTATIVE MITIGATION AND CONSTRUCTION MANAGEMENT PLAN
7	SLOPE ANALYSIS
8	AERIAL AND CIRCULATION PLAN
LI	LANDSCAPE PLAN

BENCHMARK: SALAMO (NGS GLONASS CONTROL MONUMENT)
 DATUM: CITY OF WEST LINN (THIRD ORDER CLASS II VERTICAL NAVD 88)
 DESCRIPTION: 2-1/2" BRONZE DISK IN CONCRETE INSIDE A MONUMENT BOX, LOCATED IN THE CENTERLINE OF SALAMO ROAD NEAR THE SOUTHEAST CORNER OF THE ROSEMONT



TENTATIVE PLAT
 2 PARKER ROAD

NO.	DATE	REVISION



SFA DESIGN ENGINEERS, LLC
500 West Washington Avenue, Suite 100
Madison, Wisconsin 53703
TEL: 608.278.2222
WWW.SFAENGINEERS.COM

**TENTATIVE GRADING / STORM AND EROSION CONTROL PLAN
PARKER ROAD SUBDIVISION**

REV.	DATE	REVISION

DESIGNED BY: _____ DATE: _____
 DRAWN BY: _____ DATE: _____
 PROJECT NO.: 104-011-333 S
 SCALE: 1/8" = 1'-0"
 SHEET NO.: _____ OF _____

LEGEND

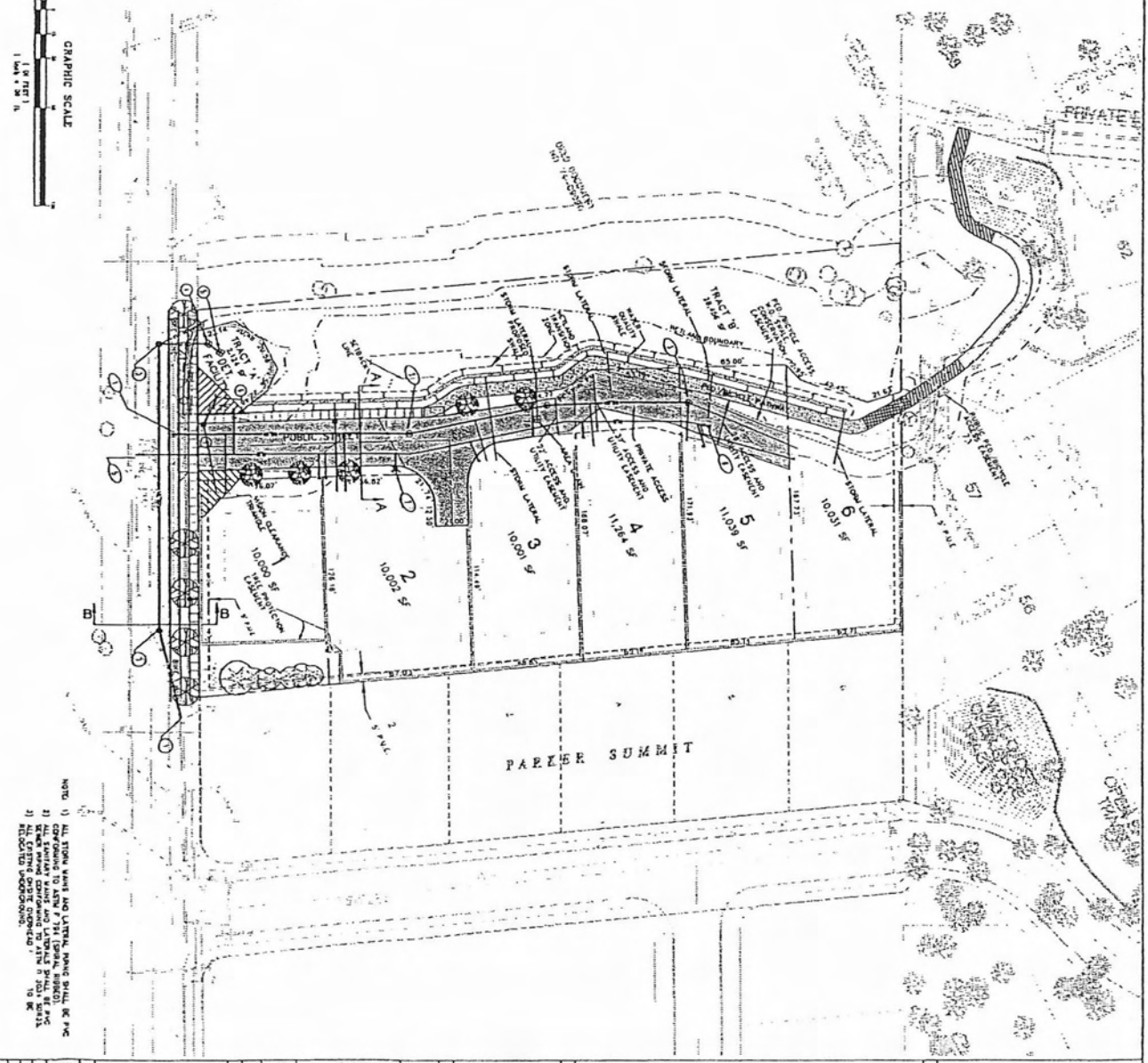
	PROPOSED SEWER
	PROPOSED A.C. MANHOLE
	EXISTING RIGHT-OF-WAY
	EXISTING CENTERLINE
	EXISTING LOT LINE
	EXISTING PROPERTY BOUNDARY
	PROPOSED CONCRETE CURB
	PROPOSED ROCK RETAINING WALL

PLANT LIST

QUANTITY	COMMON PLANT NAME	SPEC. CODE	PICTURE
3	CAULIFLOWER TREE	1" N. CAULIFL	WAL. W/ O.C.
3	DRYLAND WINDY TREE	1" N. CAULIFL	WAL. W/ O.C.

UTILITY NOTES (PRIVATE)



1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
2. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
3. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
4. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
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8. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
9. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
10. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.



DESIGNED BY: RESZ-GATE, SDR	NO. DATE	REVISION	BY
DRAWN BY: SDR			
APPROVED BY: RESZ-GATE, SDR			
PROJECT NO. 20-05-REF			
SCALE: HORIZONTAL			
VERTICAL:			

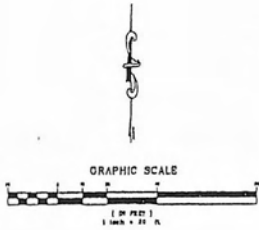
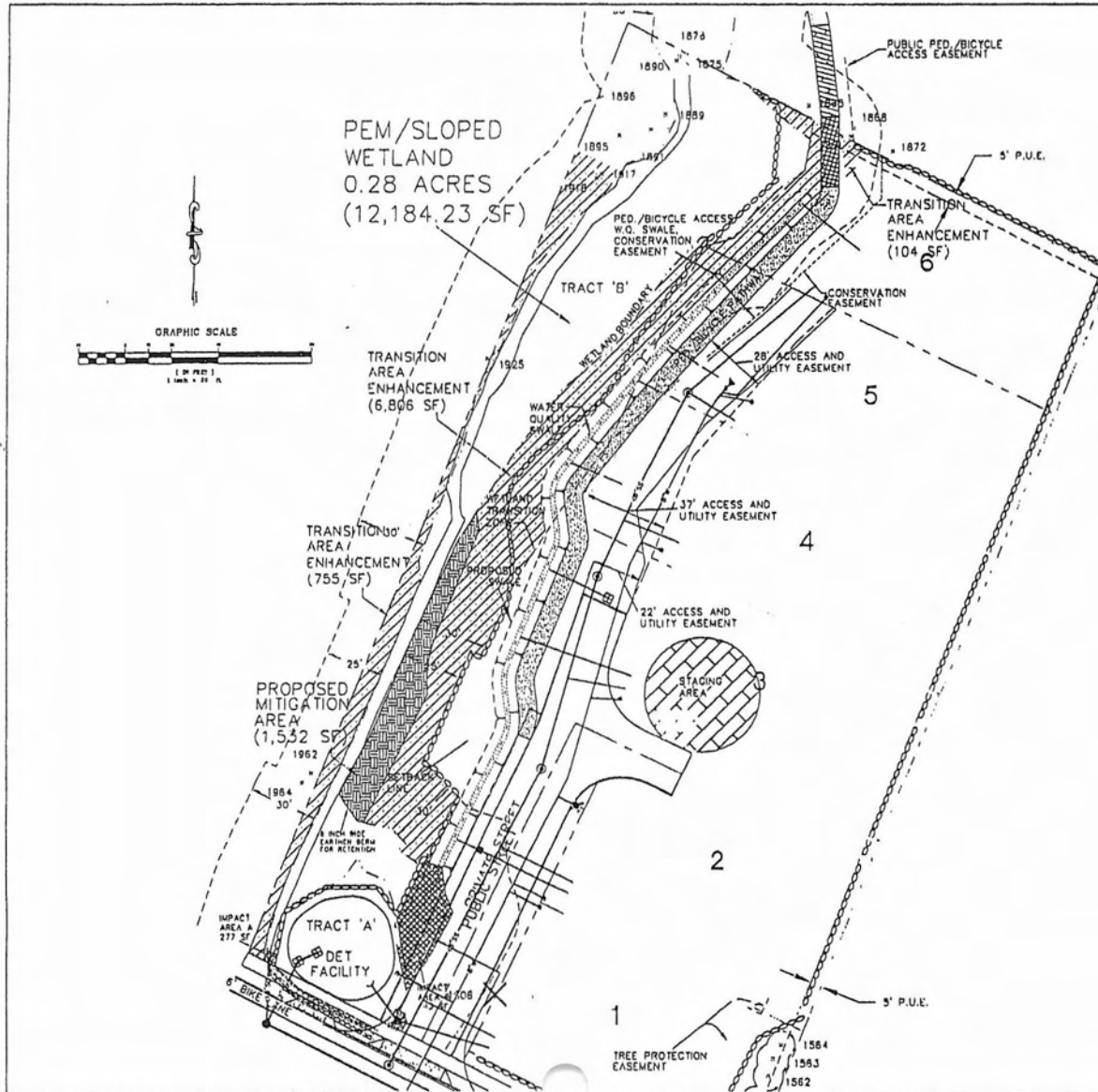
NOTE: 1) ALL STORM WATER AND UTILITY LINES SHALL BE PAVED AND CONFORM TO ALL CITY AND STATE REQUIREMENTS. 2) ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. 3) ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND SHOULD BE VERIFIED BY FIELD SURVEY.

TENTATIVE STREET AND UTILITY PLAN
213 PARKER ROAD

SFA Design Group, LLC
 STRUCTURAL, CIVIL, & LAND USE PLANNING
 8712 SW Washington Square Dr., Suite 304
 Portland, Oregon 97223
 P: (503) 841-4911 F: (503) 840-7945
 sfa@sfadsgroup.com

ES:\Land Projects\2004\1054-0111\mxd\planmxd\10541PMT.dwg, 02/27/2005, 2:32:44 PM, wrc\z



LEGEND

	EXISTING 1' CONTOUR
	PROPOSED BOGAS PROTECTION
	PROPOSED EROSION CONTROL FENCE
	PROPOSED CONSTRUCTION ENTRANCE
	TREE PROTECTIVE PENONS
	TREE TO BE SAVED
	TREE TO BE REMOVED
	PROPOSED RETAINING WALL

MITIGATION PLAN SUMMARY

MITIGATION PLAN ALSO SUBMITTED TO DEPT. OF STATE LANDS AND U.S. ARMY CORP FOR JOINT WETLAND PERMIT.

MITIGATION PLAN INCLUDES CREATION OF 1,532 SF OF DEVELOPED WETLAND AND ENHANCEMENT OF 7,483 SF OF TRANSITION AREA.

CONDITION OF WETLAND MITIGATION AREA WILL BE MONITORED FOR FIVE YEARS WITH AN ANNUAL REPORT TO BE FILED WITH THE DEPT. OF STATE LANDS AND U.S. ARMY CORP.

NON-INVASIVE VEGETATION REMOVAL TO OCCUR AS DESCRIBED IN WETLAND AND TRANSITION AREA MITIGATION PLAN PREPARED BY ENOTT AND ASBGO.

NATIVE VEGETATION PLANTING TO OCCUR AS DESCRIBED IN WETLAND AND TRANSITION AREA MITIGATION PLAN PREPARED BY ENOTT AND ASBGO.

SFA Design Group, LLC
 1001 N. 10th St., Suite 100
 Fargo, ND 58102
 Phone: 701.782.1000
 Fax: 701.782.1001

24
 TENTATIVE MITIGATION AND
 CONSTRUCTION MGMT PLAN
 PARKER ROAD SUBDIVISION

DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
PROJECT NO.	DATE
SHEET	NO.
PROJECT	NUMBER
TYPE	PLAN



SCHOTT & ASSOCIATES
Ecologists & Wetlands Specialists

21018 NE Hwy 99E • P.O. Box 589 • Aurora, OR 97002 • (503) 678-6007 • FAX: (503) 678-6011

S & A #: 1852
December 22, 2006

Department of State Lands
775 Summer Street NE, Suite 100
Salem, OR 97301-1279

Attn: Jevra Brown

Re: DSL Removal/Fill Permit Application No. 37244-RF/Modification

Dear Mrs. Brown:

This letter is a request for a permit modification to the existing DSL Removal/Fill Permit Application No. 37244-RF.

PROJECT MODIFICATION DESCRIPTION

In the original permit application, the applicant proposed to subdivide 2.28 acres into six lots, one open space tract, one private street, and a stormwater facility. The proposed lots range in size from 10,001 to 10,330 square feet, with an average lot size of approximately 10,110 square feet. The lots will all be developed with single-family detached homes.

The applicant wishes to modify the permit application although the preferred site plan will remain the same. The size of the wetland was reduced after an October 18, 2006 site visit made by Peter Ryan of DSL, which affects the impact area and cut/fill volumes originally presented in our application. The wetland was reduced from 0.28 acres (12,184.23 sf) to 0.26 (11,357.02 sf) after the wetland concurrence site visit. This change results in the reduction of wetland impacts from the proposed subdivision including reductions in cut/fill calculations.

The original application detailed disturbances in two impact locations; 277 sf of impact in the Parker Road ditch and 743 sf of impacts to the onsite wetland west of the existing house. The 227 sf of impacts to the road side ditch were the result of the street improvements to Parker Road required by the City of West Linn. The cut/fill volumes associated with the 277 sf impact area were proposed to be 21.04 CY of removal and 26.30 CY of fill.

The second impact area (743 sf) was proposed to be part of the water quality swale, pedestrian/bicycle pathway, and the private driveway. The 743 sf of wetland impacts would have included 1.01 CY of removal and 14.77 CY of fill.

In hindsight, we discovered the cut/fill volumes were reversed between the two impact areas. The cut/fill volumes have been corrected in this permit modification.

Description of Proposed Changes

Temporary Impacts

Temporary impacts may be unavoidable in order to complete the proposed development plan. To construct a coffer dam in the work area for the proposed street improvements fill must be imported upstream of the work area. The coffer dam will be removed after completion of the sanitary sewer line in the area of the stream. A coffer dam will occupy 0.33 CY inside the stream channel.

These calculations have been included as a precautionary measure if there is surface flow in the tributary to Tanner Creek during the days of construction. This temporary impact will not count towards the total impact numbers reported on the joint permit application.

Permanent Impacts

There will be no change to the 277 sf street improvement disturbance area however, the cut/fill volumes have changed. The 277 sf of impacts will include 14 CY's of wetland fill and 0.0 CY of wetland removal.

Under our proposed permit modification the 743 sf impact area will be eliminated due to the wetland delineation alteration. The subject area has been deemed upland therefore, there will be no wetland impacts.

Measures to Avoid & Minimize Effects of the Changes

The proposed wetland (Parker Road ditch) impacts result from the proposed street improvements required by the City of West Linn.

Depending on the time of year or weather on the day of construction, a coffer dam may need to be constructed upslope to dewater the project area during construction. Any water left in the project area will be pumped out, while upstream flow will be diverted around the project area and back into a downstream part of the creek channels by pumps and hoses. There is no need to screen the intake valve because there are no fish species present. Cofferdams shall be constructed of native materials and/or sandbags as necessary.

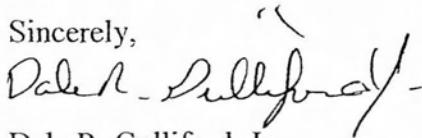
Silt curtains will also be constructed to help eliminate erosion and sedimentation in the project location, regardless if coffer dam is constructed in the tributary or not. After completion of the project, the water is then released from the dam slowly, feeding the dry ditch. This reduces the amount of erosion in the project area and sedimentation downstream.

All work in stream channels will be done during the appropriate "in stream work window" and periods of minimal flow. The in water work window for Tanner Creek tributaries begins on July 15th.

Restoration of the Project Area

After construction ends the channel of the ditch will be restored by matching the contours of the existing upstream and down stream channels. Traditional construction equipment will be utilized for proposed work within jurisdictional waters. The equipment shall be situated outside of the wetland and ditch whenever possible. The channel will be lined with 3-inch minus river cobble to prevent further erosion and the side slopes seeded riparian seed mixture. Exposed areas on the stream bank will be jute staked to prevent additional sediment from entering the tributary.

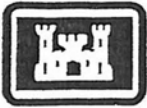
Sincerely,



Dale R. Gulliford, Jr.

cc: Jan Stuart (COE)

Attached: Revised Joint Permit Application (Front page)
Alternative A - Preferred Site Plan (Sheet 1 of 5)
Alternative A - Preferred Site Plan (Sheet 2 of 5)
Alternative A - Grading Plan (Sheet 3 of 5)
Alternative A - Grading Plan (Sheet 4 of 5)
Alternative A - Cross Sections (Sheet 5 of 5)



Joint Permit Application Form



**Army Corps
of Engineers (Portland District)**

DATE STAMP

AGENCIES WILL ASSIGN NUMBERS

Corps Action ID Number [Click & Type] Oregon Department of State Lands No [Click & Type]

SEND ONE SIGNED COPY OF YOUR APPLICATION TO EACH AGENCY

District Engineer
ATTN: CENWP-OD-GP
PO Box 2946
Portland, OR 97208-2946
503-808-4373

AND

West of the Cascades:
State of Oregon
Department of State Lands
PO Box 4395, Unit 18
Portland, OR 97208-4395
503-378-3805

OR

East of the Cascades:
State of Oregon
Department of State Lands
1645 NE Forbes Road, Suite 112
Bend, Oregon 97701
541-388-6112

(1) Applicant Name and Address	Renaissance Homes, Inc. 16771 Boones Ferry Rd. Lake Oswego, OR 97035 Attn: Jeff Shrope	Business Phone # (503) 496-0594 Home Phone# FAX # (503) 496-0608 E-mail:
Authorized Agent Name and Address <small>(Signature required in Block 9)</small> <input checked="" type="checkbox"/> Consultant <input type="checkbox"/> Contractor	Schott and Associates P.O. Box 589 Aurora, OR. 97002 Attn: Dale R. Gulliford, Jr.	Business Phone # 503.678.6007 Home Phone# FAX # 503.678.6011 E-mail:
Property Owner Name and Address <small>(If different than applicant)¹</small>	Same as Applicant	Business Phone # Same Home Phone# FAX # E-mail:

PROJECT LOCATION

Street, Road or other descriptive location 2929 South Parker Road		Legal Description <i>(attach tax lot map*)</i>			
		Quarter/Quarter CD	Section 25	Township 2S	Range 1E
In or Near (City or Town) West Linn	County Clackamas	Tax Map # 2 1E 25CD		Tax Lot # ² 3900	
Wetland/Waterway Name (pick one) Unnamed	River Mile (if known) 1.2 miles from the Willamette River	Latitude 45°21.791'N		Longitude 122°38.102'W	
Do you consent to allow Corps or Dept. of State Lands staff to enter into the above-described property?*					<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

(3) PROPOSED PROJECT INFORMATION

Type:	<input checked="" type="checkbox"/> Fill	<input checked="" type="checkbox"/> Excavation (removal)	<input type="checkbox"/> In-Water Structure	<input type="checkbox"/> Maintain/Repair an Existing Structure		
Brief Description:	0.02 acres of wetland impact (Private street, detention facility, water quality swale, and sidewalk.					
Fill						
<input type="checkbox"/> Riprap <input checked="" type="checkbox"/> Rock <input checked="" type="checkbox"/> Gravel <input checked="" type="checkbox"/> Sand <input checked="" type="checkbox"/> Silt <input checked="" type="checkbox"/> Clay <input type="checkbox"/> Organics <input type="checkbox"/> Other: [Click & Type]						
Wetlands	Total Fill (cy)	14	Permanent (cy)	14	Temporary (cy)	0
	Impact Area in Acres	0.006	Dimensions (feet)	L' W'	Varies W'	Varies H' varies
Waters below OHW	Total Fill (cy)	None	Permanent (cy)	None	Temporary (cy)	None
	Impact Area in Acres	None	Dimensions (feet)	L' W'	Na W'	Na H' na
Removal						
<input type="checkbox"/> Riprap <input checked="" type="checkbox"/> Rock <input checked="" type="checkbox"/> Gravel <input checked="" type="checkbox"/> Sand <input checked="" type="checkbox"/> Silt <input type="checkbox"/> Clay <input type="checkbox"/> Organics <input type="checkbox"/> Other: [Click & Type]						
Wetlands	Total Fill (cy)	None	Permanent (cy)	None	Temporary (cy)	0
	Impact Area in Acres	None	Dimensions (feet)	L' W'	None W'	None H' None
Waters below OHW	Total Fill (cy)	None	Permanent (cy)	None	Temporary (cy)	None
	Impact Area in Acres	None	Dimensions (feet)	L' W'	None W'	None H' none

¹ If applicant is not the property owner, permission to conduct the work must be attached.

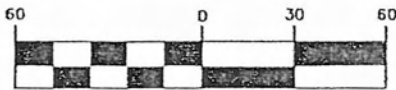
² Attach a copy of all tax maps with the project area highlighted.

* *Italicized areas are not required by the Corps for a complete application, but may be necessary prior to final permit decision by the Corps.*

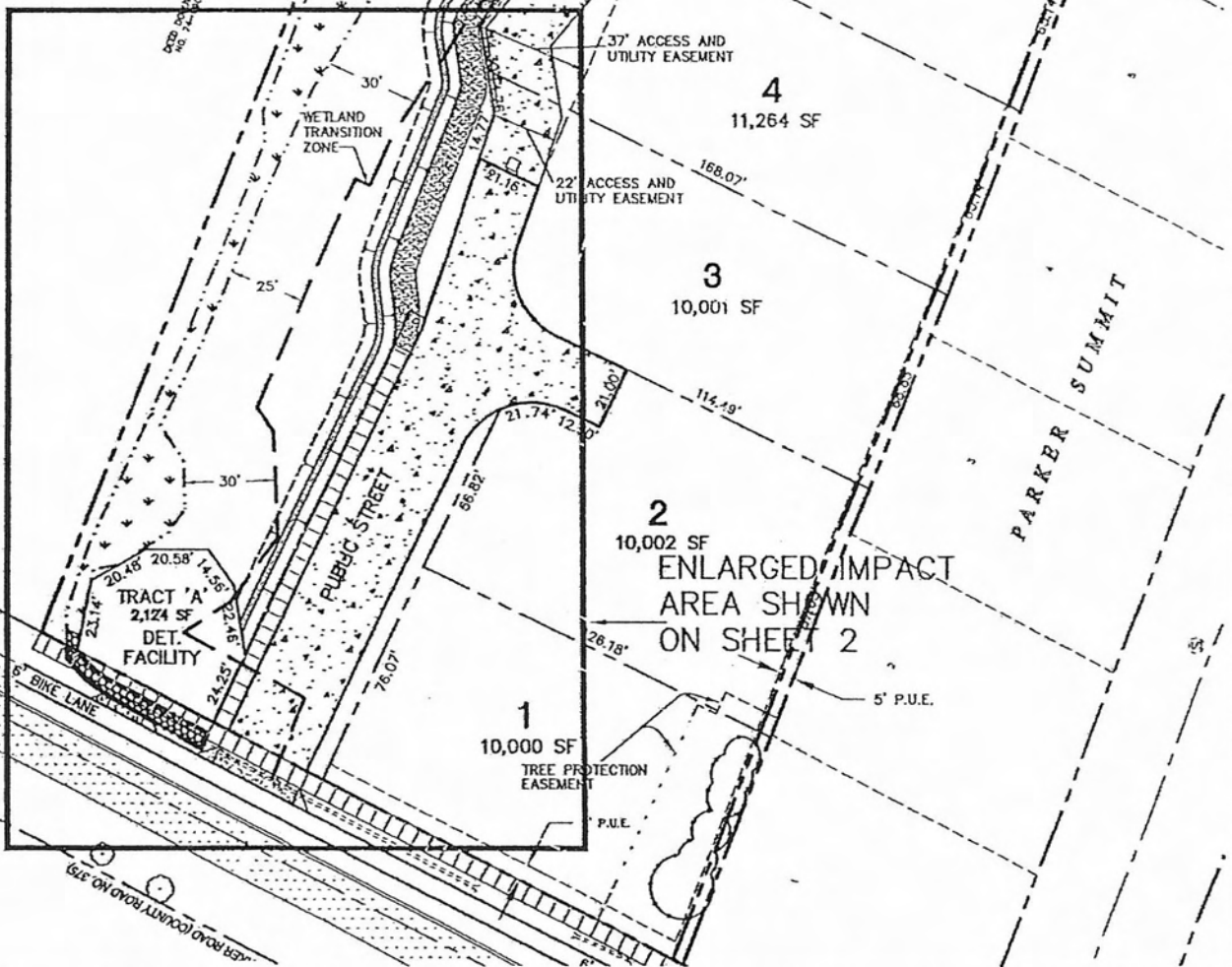
ALTERNATIVE A - PREFERRED SITE PLAN PARKER ROAD

PEM/SLOPED
WETLAND
0.26 ACRES
(11,357.02 SF)

GRAPHIC SCALE



(IN FEET)
1 inch = 60 ft.



NO.	106-011
TYPE	W-10611ALTADWG

DESIGNED BY	PTS	DATE	4/06
PROJECT NO.	106-011	REF.	
SCALE	1" = 60'	N/A	



SFA Design Group, LLC
STRUCTURAL | CIVIL | LAND USE PLANNING
9020 SW Washington Square Dr. Suite 350
Portland, Oregon 97223
p: (503) 641-8311 f: (503) 643-7905
sfaesigngroup.com

SHEET	1
OF	5

ALTERNATIVE A - PREFERRED SITE PLAN

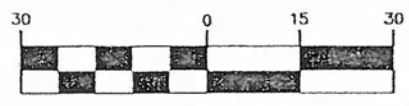
37' AC UTILITY

PARKER ROAD

WETLAND
TRANSITION
ZONE

22' ACCESS A
UTILITY EASEM

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.



WETLAND
PEM/SLOPED
11,357.02 SF

IMPACT
AREA A
277 SF

TRACT 'A'
2,124 SF
DET.
FACILITY

PUBLIC STREET

1
10,000 SF
TREE PROTECTION
EASEMENT

5' P.U.E.

NO.	106-011
TYPE	PARKER ROAD
	PREFERRED PLAN

DESIGNED BY	PTS	DATE	12/06
PROJECT NO.	106-011	REF.	
SCALE	1"=30'	N/A	



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Portland, Oregon 97223
p: (503) 641-8311 f: (503) 643-7905
sfadesigngroup.com

SHEET	2
OF	5

ALTERNATIVE A - GRADING PLAN

PARKER ROAD

GRAPHIC SCALE

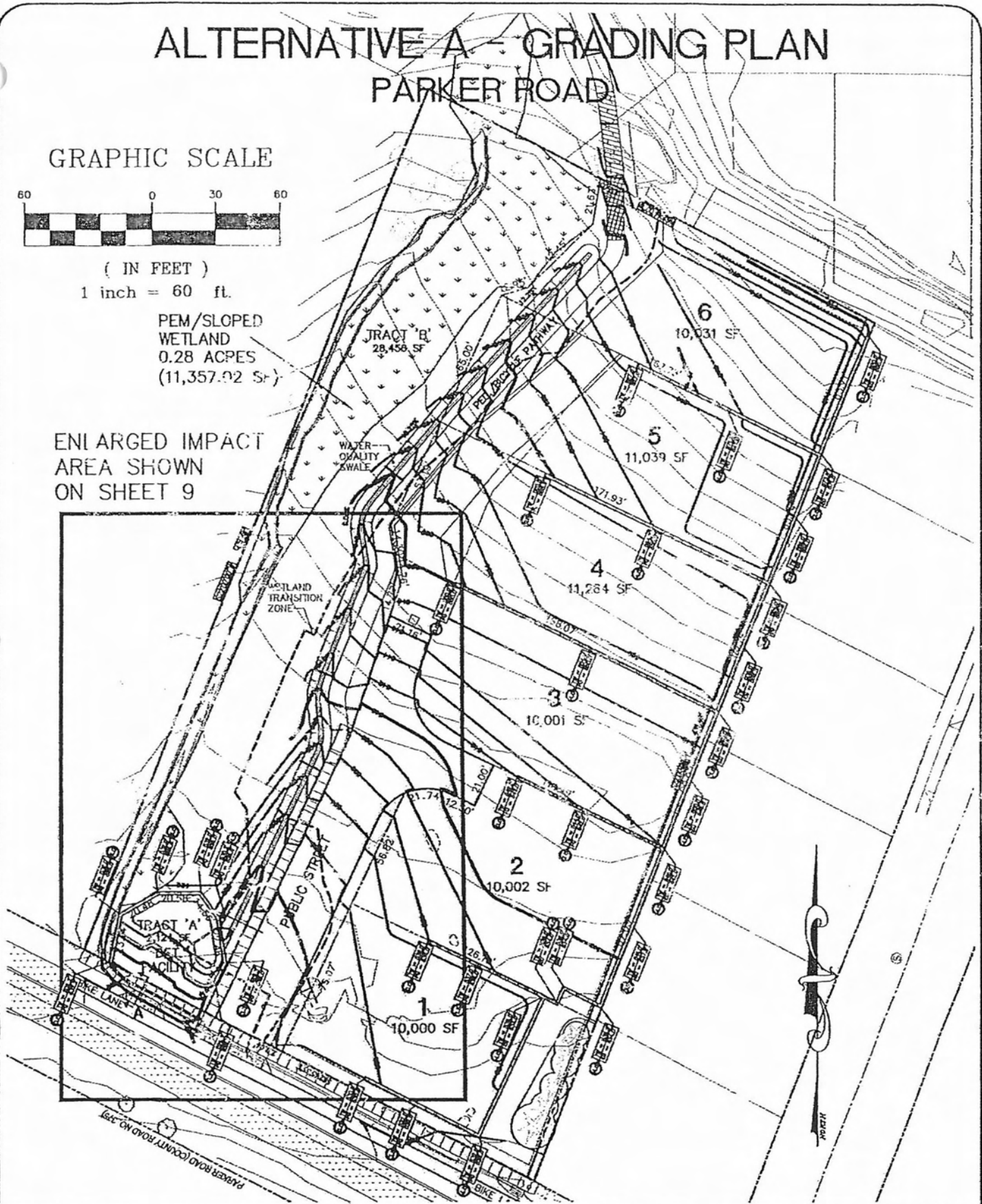


(IN FEET)

1 inch = 60 ft.

PEM/SLOPED
WETLAND
0.28 ACRES
(11,357.92 SF)

ENLARGED IMPACT
AREA SHOWN
ON SHEET 9



NO.	106-011
TYPE	PLANNING
	W-10611GRAD.dwg

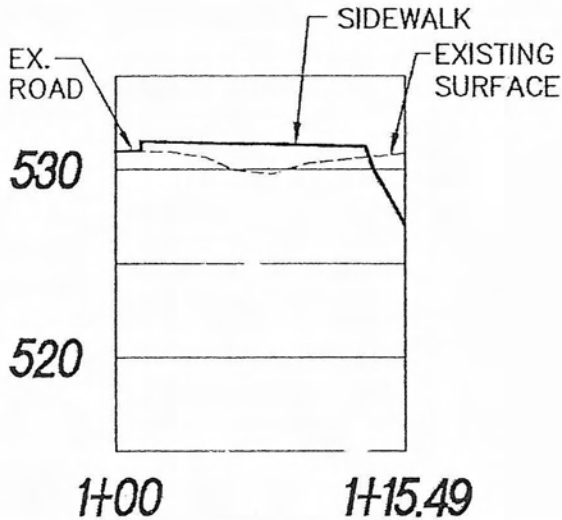
DESIGNED BY	PS	DATE	12/06
PROJECT NO.	106-011	REF.	
SCALE	1"=60'		N/A



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 STRUCTURAL | CIVIL | LAND USE PLANNING
 9020 SW Washington Square Dr. Suite 350
 Portland, Oregon 97223
 p: (503) 641-8311 f: (503) 643-7905
 sfadesigngroup.com

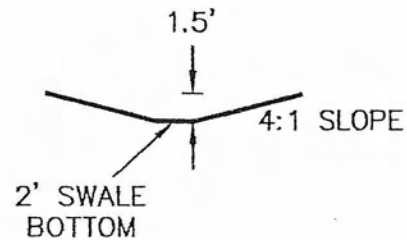
SHEET	3
OF	5

ALTERNATIVE A - CROSS SECTIONS PARKER ROAD



SECTION A

SCALE: 1"=10'



WQ SWALE DETAILS

SCALE: 1"=10'

CUT AND FILL VOLUMES

<u>IMPACT AREA</u>	<u>CUT/FILL</u>	<u>TOTAL</u>
AREA A	0 / 14 CY	14 CY

NO.	106-011
TYPE	
	W-10611GRAD.DWG

DESIGNED BY	PTS	DATE	04/06
PROJECT NO.	106-011	REF.	
SCALE	1"=10'		



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 Portland, Oregon 97223
 p: (503) 641-8311 f: (503) 643-7905
 sfa@designgroup.com

SHEET
5
OF
5



SCHOTT & ASSOCIATES
Ecologists & Wetlands Specialists

21018 NE Hwy 99E • P.O. Box 589 • Aurora, OR 97002 • (503) 678-6007 • FAX: (503) 678-6011

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9/8/06

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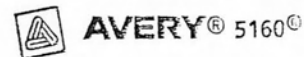
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WEST LINN, OR 97068

2S1E25CD03828
PETER CHUN
4750 COHO LN
WEST LINN, OR 97068

2S1E25CD03829
SCOTT & SUZAN SUPPERSTEIN
4740 COHO LN.
WEST LINN, OR 97068

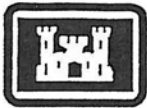
2S1E25CD03830
ANTHONY MANN
4730 COHO LN.
WEST LINN, OR 97068

2S1E25CD03831
JOSEPH NIETUPSKI & MARY
VALE
4720 COHO LN.
WEST LINN, OR 97068

2S1E25CD03832
SAN LAO & LY CHHEAU
P.O. BOX 483
LAKE OSWEGO, OR 97034

2S1E25CD03833
DONALD & ANNE FRANK
4700 COHO LN.
WEST LINN, OR 97068

2S1E3600100
DR HORTON, INC.
4386 SW MACADAM AVE.,
STE.102
PORTLAND, OR 97239



Joint Permit Application Form



**US Army Corps
of Engineers (Portland District)**

DATE STAMP _____

AGENCIES WILL ASSIGN NUMBERS

Corps Action ID Number [Click & Type] _____ Oregon Department of State Lands No [Click & Type] _____

SEND ONE SIGNED COPY OF YOUR APPLICATION TO EACH AGENCY

District Engineer
ATTN: CENWP-OD-GP
PO Box 2946
Portland, OR 97208-2946
503-808-4373

AND

West of the Cascades:
State of Oregon
Department of State Lands
PO Box 4395, Unit 18
Portland, OR 97208-4395
503-378-3805

OR

East of the Cascades:
State of Oregon
Department of State Lands
1645 NE Forbes Road, Suite 112
Bend, Oregon 97701
541-388-6112

(1) Applicant Name and Address	Renaissance Homes, Inc. 16771 Boones Ferry Rd. Lake Oswego, OR 97035 Attn: Jeff Shrope	Business Phone # (503) 496-0594 Home Phone# FAX # (503) 496-0608 E-mail:
Authorized Agent Name and Address <small>(Signature required in Block 9)</small>	Schott and Associates P.O. Box 589 Aurora, OR. 97002 Attn: Dale R. Gulliford, Jr.	Business Phone # 503.678.6007 Home Phone# FAX # 503.678.6011 E-mail:
<input checked="" type="checkbox"/> Consultant <input type="checkbox"/> Contractor		
Property Owner Name and Address <small>(If different than applicant)¹</small>	Same as Applicant	Business Phone # Same Home Phone# FAX # E-mail:

(2) PROJECT LOCATION

Street, Road or other descriptive location 2929 South Parker Road	Legal Description <i>(attach tax lot map*)</i>			
	Quarter/Quarter CD	Section 25	Township 2S	Range 1E
In or Near (City or Town) West Linn	County Clackamas	Tax Map # 2 1E 25CD	Tax Lot # ² 3900	
Wetland/Waterway Name (pick one) Unnamed	River Mile (if known) 1.2 miles from the Willamette River	Latitude 45°21.791'N	Longitude 122°38.102'W	

Do you consent to allow Corps or Dept. of State Lands staff to enter into the above-described property? * Yes No

(3) PROPOSED PROJECT INFORMATION

Type:	<input checked="" type="checkbox"/> Fill	<input checked="" type="checkbox"/> Excavation (removal)	<input type="checkbox"/> In-Water Structure	<input type="checkbox"/> Maintain/Repair an Existing Structure				
Brief Description:	0.02 acres of wetland impact (Private street, detention facility, water quality swale, and sidewalk).							
Fill								
<input type="checkbox"/> Riprap	<input checked="" type="checkbox"/> Rock	<input checked="" type="checkbox"/> Gravel	<input checked="" type="checkbox"/> Sand	<input checked="" type="checkbox"/> Silt <input checked="" type="checkbox"/> Clay <input type="checkbox"/> Organics <input type="checkbox"/> Other: [Click & Type] _____				
Wetlands	Total Fill (cy)	41.07	Permanent (cy)	41.07	Temporary (cy)	0		
	Impact Area in Acres	0.02	Dimensions (feet)	L'	Varies	W'	Varies	H'
Waters below OHW	Total Fill (cy)	None	Permanent (cy)	None	Temporary (cy)	None		
	Impact Area in Acres	None	Dimensions (feet)	L'	Na	W'	Na	H'
Removal								
<input type="checkbox"/> Riprap	<input checked="" type="checkbox"/> Rock	<input checked="" type="checkbox"/> Gravel	<input checked="" type="checkbox"/> Sand	<input checked="" type="checkbox"/> Silt <input type="checkbox"/> Clay <input type="checkbox"/> Organics <input type="checkbox"/> Other: [Click & Type] _____				
Wetlands	Total Fill (cy)	22.05	Permanent (cy)	22.05	Temporary (cy)	0		
	Impact Area in Acres	0.02	Dimensions (feet)	L'	Varies	W'	Varies	H'
Waters below OHW	Total Fill (cy)	None	Permanent (cy)	None	Temporary (cy)	None		
	Impact Area in Acres	None	Dimensions (feet)	L'	None	W'	None	H'

¹ If applicant is not the property owner, permission to conduct the work must be attached.

² Attach a copy of all tax maps with the project area highlighted.

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1A

Is the disposal area upland? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Impervious surface created? <input checked="" type="checkbox"/> <1 acre? <input type="checkbox"/> >1 acre?
Are you aware of any state or federal Endangered Species on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, please explain in the project description (in block 4)
Are you aware of any Cultural/Historic Resources on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Is the project site within a national Wild & Scenic River? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Is the project site within a state Scenic Waterway?*	

(4) PROPOSED PROJECT PURPOSE & DESCRIPTION

Project Purpose and Need:

*Provide a description of the public, social or economic benefits of the project along with any supporting formal actions of a public body (e.g. city council, special district board), as appropriate.**

The project purpose for this application is to construct a 6-lot subdivision. The primary objective of this development is to satisfy an existing demand for housing in the area. The lots are designed to accommodate single-family residences. (Cont. in attachment Page 1)

Project Description: Include the following information:

- Volumes and acreages of all fill and removal activities in waterway or wetland separately
- Permanent and temporary impacts
- Types of materials (e.g., gravel, silt, clay, etc.)
- How the project will be accomplished (i.e., describe construction methods)
- For work in waterways where fish are likely to be present, complete and attach a plan to isolate the work area from the flowing water. (See the Section A of the Resource Plan Guidance Document.)
- If native migratory fish are present (or were historically present) and you are installing, replacing or abandoning a culvert or other potential obstruction to fish passage, complete and attach a statement of how the Fish Passage Requirements, set by the Oregon Department of Fish and Wildlife will be met. (See Section B of the Resource Plan Guidance Document.)
- For fish habitat or wetland restoration or enhancement activities, complete the supplemental Fish Habitat or Wetland Restoration and Enhancement form

The applicant proposes to subdivide 2.28 acres into six lots, one open space tract, one private street, and a stormwater facility. The proposed lots range in size from 10,001 to 10,330 square feet, with an average lot size of approximately 10,110 square feet. (Cont. on page 1 of attachment)

Project Drawings:

State the number of project drawing sheets included with this application: [Click & Type]

A complete application must include a location map, site plan, cross-section drawings and recent aerial photo as follows and as applicable to the project:

- Location map** (must be legible with street names)
- Site plan** including
 - Entire project site and activity areas
 - Existing and proposed contours
 - Location of ordinary high water, wetland boundaries or other jurisdictional boundaries
 - Identification of temporary and permanent impact areas within waterways or wetlands
 - Location of staging areas
 - Location of construction access
 - Location of cross section(s), as applicable
 - Location of mitigation area, if applicable
- Cross section drawing(s)** including
 - Existing and proposed elevations
 - Ordinary high water and/or wetland boundary or other jurisdictional boundaries
- Recent Aerial photo** (1:200, or if not available for your site, the highest resolution available)

Will any construction debris, runoff, etc., enter a wetland or waterway? Yes No

If yes, describe the type of discharge and show the discharge location on the site plan.

Estimated Project Start Date: July 2007

Estimated Project Completion Date: Sept 2007

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(5)

PROJECT IMPACTS AND ALTERNATIVES

Describe alternative sites and project designs that were considered to avoid impacts to the waterway or wetland. (*Include alternative design(s) with less impact and reasons why the alternative(s) were not chosen.* *) Describe what measures you will use (before and after construction) to minimize impacts to the waterway or wetland.

(See page 4 of the attachment)

Impact area is: Ocean Estuary River Lake Stream Freshwater Wetland

Describe the existing **physical and biological characteristics** of the wetland/waterway site by area and type of resource (Use separate sheets and photos, if necessary).

The approximate 2.3-acre subject property is located north of Parker Road in West Linn, Clackamas County, Oregon (SE ¼ quarter or the SW ¼ of T2S, R1E, Sec. 25, Tax lot 3900). The rectangular subject property is situated close to a 45-degree angle. (See page 4 of the attachment)

For wetlands, include

- Cowardin and Hydrogeomorphic (HGM) wetland class(s)**
- Dominant plant species by layer (herb, shrub, tree)**
- Whether the wetland is freshwater or tidal
- Assessment of the functional attributes of the wetland**
- Identify any vernal pools, bogs, fens, mature forested wetland, seasonal mudflats, or native wet prairies in or near the project area. Do any of these wetlands qualify as Special Areas of Concern (SAC)? (Refer to ORNHIC protocol dated May 4, 2005, http://www.oregon.gov/DCBS/RSL/docs/streamlining_water/SPGP_docs/ORNHIC_protocol_5_05.pdf)

For waterways, include a description of, as appropriate:

- Condition of bank slopes (eroded, slope, etc.)**
- Type and condition of riparian vegetation**
- Channel morphology (i.e., structure and shape)**
- Stream substrate**
- History of prior disturbance**
- Cause of erosion**
- Fish and wildlife (type, abundance, period of use, significance of site)
- General hydrological conditions (e.g. stream flow, seasonal fluctuations)**

Describe the existing **navigation, fishing and recreational use** of the waterway or wetland.*

The onsite wetland provides no navigation, fishing, or recreational uses.

Resource Plan Requirements

- Describe the water quality conditions of the site and the expected effect of the project on these conditions.
- Describe the reasonably expected adverse effects of the development of this project and how the effects will be mitigated.**
- For temporary disturbance of soils and/or vegetation in waterways, wetlands or riparian areas, complete and attach a Site Restoration Plan to restore the site after construction. See section E of the Resource Plan Guidance Document for plan requirements.**
- For permanent impact to wetlands, complete and attach a Compensatory Wetland Mitigation (CWM) Plan. (See Section F in the Resource Plan Guidance Document for CWM plan requirements)**
- For permanent impact to waterways or riparian areas, complete and attach a Compensatory Mitigation (CM) plan. (See Section G in the Resource Plan Guidance Document for CM plan requirements)**
- For permanent impact to estuarine wetlands, you must submit an Estuarine Resource Replacement Plan. (See OAR 141-085-240 to OAR 141-085-257 for plan requirements)**

In addition to any construction measures, complete and attach:

- A Sediment and Erosion Control Plan (See DEQ's Oregon Sediment and Erosion Control Manual at*

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<http://www.deq.state.or.us/wq/wqpermit/ESCManual.htm> (Section C of the Resource Plan Guidance Document) *

- For a project with impervious surface (new or associated), complete and attach a post-construction stormwater management plan. (See Section D of the Resource Plan Guidance Document)

(6) ADDITIONAL INFORMATION

Joining Property Owners and Their Address and Phone Numbers (*if more than 5, attach printed labels**)
[Click & Type]

Has the proposed activity or any related activity received the attention of the Corps of Engineers or the Department of State Lands in the past, e.g., wetland delineation, violation, permit, lease request, etc.? Yes No

If yes, what identification number(s) were assigned by the respective agencies:

Corps # [Click & Type] NA _____ State of Oregon # [Click & Type] WD# 06-0204 _____

Has a wetland delineation been completed for this site? Yes No

If yes, by whom:* [Click & Type] Schott & Associates _____

Has the wetland delineation been approved by DSL or the COE? Yes No

*(If yes, attach concurrence letter.)**

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(7) CITY/COUNTY PLANNING DEPARTMENT AFFIDAVIT (to be completed by local planning official) *

I have reviewed the project outlined in this application and have determined that:

This project is not regulated by the comprehensive plan and land use regulations.

This project is consistent with the comprehensive plan and land use regulations.

This project will be consistent with the comprehensive plan and land use regulations when the following local approval(s) are obtained.

Conditional Use Approval Development Permit Other [Click & Type] Subdivision Approval

This project is not consistent with the comprehensive plan. Consistency requires a

Plan Amendment Zone Change Other [Click & Type] _____

An application has has not been filed for local approvals checked above.

[Click & Type] Gordon Howard Gordon Howard [Click & Type] Sr. Planner West Linn 9/8/06
 Local planning official name (print) Signature Title City / County Date

Comments:

(8) COASTAL ZONE CERTIFICATION *

If the proposed activity described in your permit application is within the Oregon coastal zone, the following certification is required before your application can be processed. A public notice will be issued with the certification statement, which will be forwarded to the Oregon Department of Land Conservation and Development for its concurrence or objection. For additional information on the Oregon Coastal Zone Management Program, contact the department at 635 Capitol Street NE, Suite 150, Salem, Oregon 97301 or call 503-373-0050.

CERTIFICATION STATEMENT

I certify that, to the best of my knowledge and belief, the proposed activity described in this application complies with the approved Oregon Coastal Zone Management Program and will be completed in a manner consistent with the program.

[Click & Type] N/A [Click & Type] N/A
 Print /Type Name Title

N/A N/A
 Applicant Signature Date

(9) SIGNATURE FOR JOINT APPLICATION

Application is hereby made for the activities described herein. I certify that I am familiar with the information contained in the application, and, to the best of my knowledge and belief, this information is true, complete, and accurate. I further certify that I possess the authority to undertake the proposed activities. I understand that the granting of other permits by local, county, state or federal agencies does not release me from the requirement of obtaining the permits requested before commencing the project. I understand that payment of the required state processing fee does not guarantee permit issuance. The fee for the state application must accompany the application for completeness. Amount enclosed \$375.00.*

Jeff Shrope, Renaissance Homes Jeff Shrope Director of AID
 Print /Type Name Signature Title

Jeff Shrope 8/29/06
 Applicant Signature Date

I certify that I may act as the duly authorized agent of the applicant.

Martin Schott Martin Schott Owner Schott and Associates
 Print /Type Name Signature Title

Martin Schott 8/28/06
 Authorized Agent Signature Date

I certify that the applicant has my permission to conduct the project on my property.*

[Click & Type] Randal Sebastian owner
 Print /Type Name Signature Title

Randal Sebastian 8/29/06
 Property Owner Signature Date

* If the project is on a state-owned waterway, you must contact the Land Management Division of the Department of State Lands for approval to proceed with this application. See www.oregon.gov/DSL/ for a list of state-owned waterways.

* Indicated areas are not required by the Corps for a complete application, but may be necessary prior to final permit decision by the Corps.

Supplement: Fish Habitat and Wetland Restoration and Enhancement Activity Plan*

This information is required for all fish habitat and wetland restoration and enhancement projects that are eligible for the SPGP.

This project involves activities that will provide

- Fish Habitat Enhancement
- Wetland Restoration and Enhancement
- Both Fish Habitat and Wetland Restoration and Enhancement

1. ACTIVITIES (complete applicable sections)

FISH ENHANCEMENT ACTIVITIES ⁴	QUANTITY	CUBIC YARDS EACH		TOTAL CUBIC YARDS	
		Removal	Fill	Removal	Fill
Fish Rocks	None				
Deflectors	None				
Rock or Log Weirs	None				
Gravel Placement	None				
Pool/Pond Construction	None				
Back/Side Channel Construction	None				
Channel Construction	None				
Barrier Removal	None				
Woody Material	None				

WETLAND RESTORATION AND ENHANCEMENT ACTIVITIES ⁴	QUANTITY	CUBIC YARDS EACH		TOTAL CUBIC YARDS	
		Removal	Fill	Removal	Fill
Ditch Plugging	None				
Water Diversion	None				
Drain Tile Removal or Destruction	None				
Dike Construction/Relocation	None				
Water Impoundment Structure	None				
Bank Excavation/Contouring	None				
Dike Removal/Breaching	None				
Surface Grading	None				
Other (describe)	None				

2. FILL AND REMOVAL VOLUMES AND ACREAGE AFFECTED

41.07 total cubic yards of fill below ordinary high water or within wetlands
22.05 total cubic yards of removal below ordinary high water or within wetlands

- Restore None acres of former (drained or diked) wetland
- Create 0.035 acres of new wetland
- Enhance None acres of existing wetland
- Convert None acres of wetland to upland

⁴ Below ordinary high water line or within wetlands

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3. REQUIRED ATTACHMENTS (on 8.5 x 11 or 8.5 X 14 paper)

For projects that involve Wetland Restoration and Enhancement activities

- Project site located on National Wetlands Inventory map
- Aerial photograph showing project boundaries
- Project Site located on soil survey map (if available)
- Location of all proposed construction, including dikes, water control structures, spoils placement, etc.
- Location & approximate boundaries of existing wetlands and wetlands to be restored and/or enhanced

4. ODFW REVIEW: I have evaluated the above project and find it will be constructed in a way that minimizes impact to aquatic resource values. The recommended in-water work period is

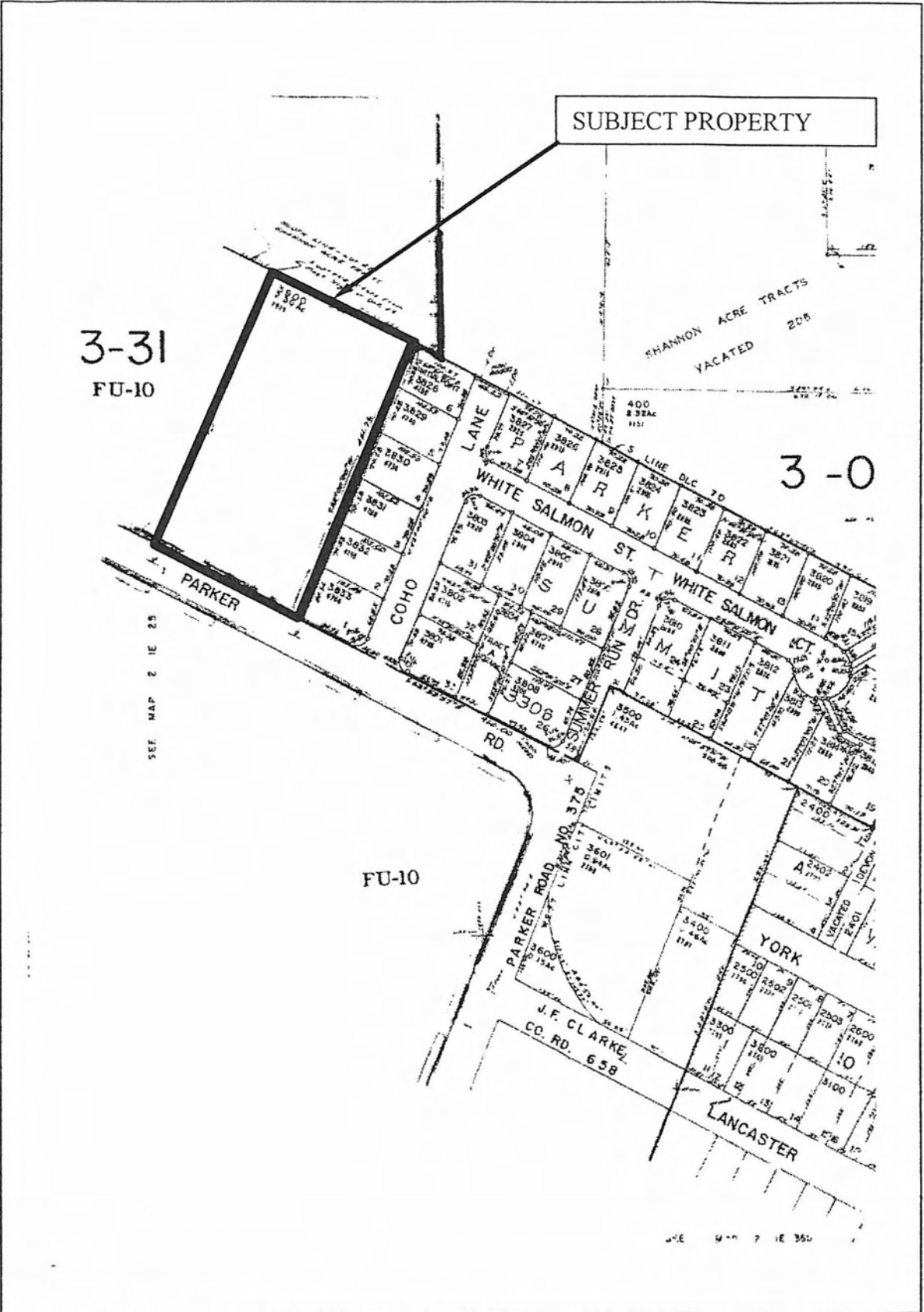
_____ to _____
ODFW Biologist Signature Date

5. By signing the removal-fill application the applicant certifies that they will complete the project according to the General Authorization for Fish Habitat Enhancement Rules (OAR 141-089-0100 through -0130) and General Authorization for Wetland Restoration and Enhancement Rules (OAR 141-089-0205 through -0240) and the attached plan and drawings.

http://oregon.gov/DSL/PERMITS/docs/joint_permit_app_v2.1_Formfill.doc

** Italicized areas are not required by the Corps for a complete application, but may be necessary prior to final permit decision by the Corps.*

7A



TAX MAP 2S 1E 25CD, Tax Lot 3900
 PARKER ROAD PROPERTY, WEST LINN, OR.
 S&A #1852

Schott & Associates
 11977 S Toliver Rd.
 Molalla, Oregon 97038
 503-829-6318