CITY OF West Linn

PLANNING AND DEVELOPMENT

STAFF REPORT

PLANNING DIRECTOR DECISION

DATE: July 15, 2010

FILE NO.: DR-10-08 (Planning Directors Decision)

SUBJECT: Request to construct announcer's booth, expand shed with restroom/concession addition, install new bleachers, improve paths, and other outdoor improvements to the baseball field and surrounding areas on the West Linn High School grounds at 5464 West A Street

PLANNER: Tom Soppe, Associate Planner

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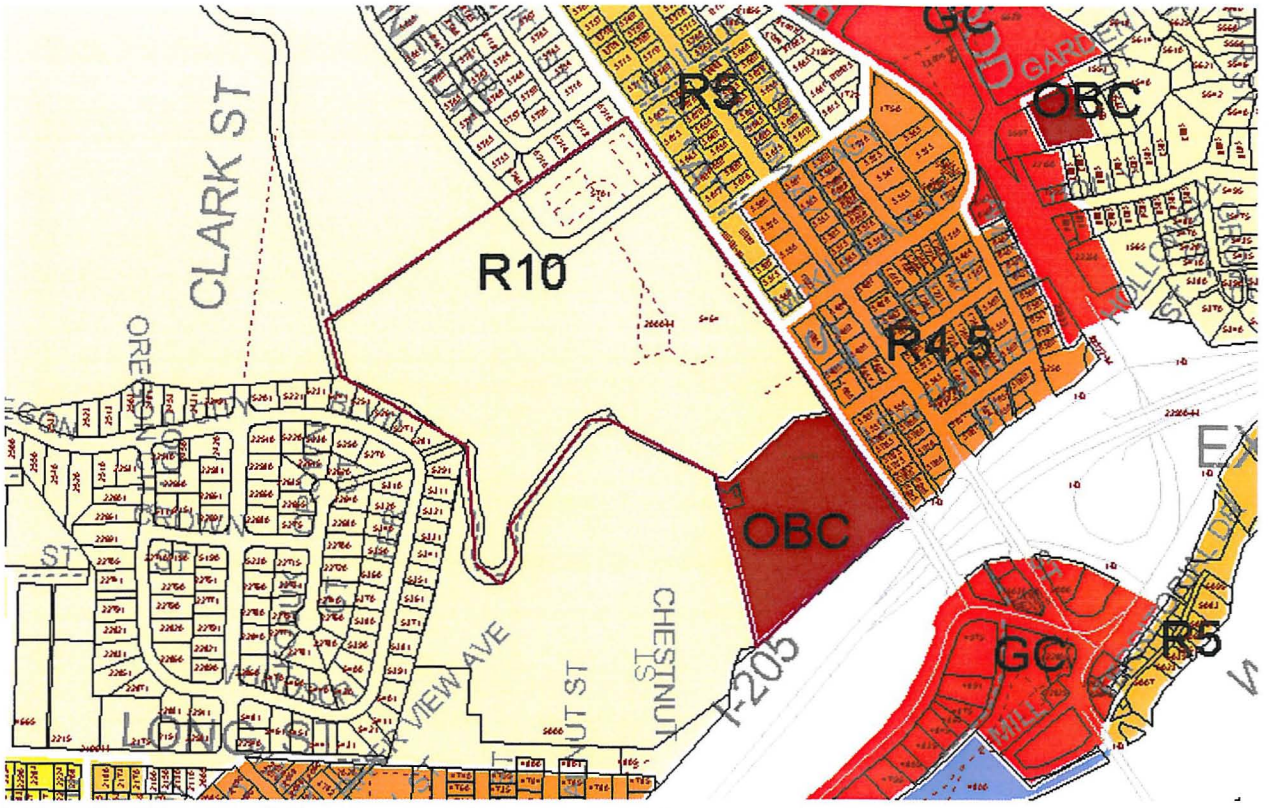
SPECIFIC DATA

OWNER/ APPLICANT:	Tim Woodley, Director of Operations, West Linn-Wilsonville School District, P.O. Box 35, West Linn, OR 97068
CONSULTANTS:	Keith Liden, AICP, Parsons Brinckerhoff, 400 SW 6th Ave., Ste. 802, Portland, OR 97204 Steve Winkle, AIA, Dull Olson Weekes Architects, 907 SW Stark St., Portland, OR 97205
SITE LOCATION:	5464 West A St.
SITE SIZE:	Approx. 42 acres
LEGAL DESCRIPTION:	2 2E 30, Tax Lot 800 and 2 2E 30CD tax lots 4500-02
COMP PLAN DESIGNATION:	Low-Density Residential and Commercial
ZONING:	R-10, Single-Family Residential & OBC, Office and Business Center
APPROVAL CRITERIA:	CDC Chapter 55 Design Review
120-DAY RULE:	The application became complete on June 24, 2010. The 120-day period therefore ends on October 22, 2010.
PUBLIC NOTICE:	Notice was mailed to property owners within 100 feet of the subject property and the Bolton and Sunset neighborhood associations on June 25, 2010. The notice was also posted on the City's website. Therefore, public notice requirements of Community Development Code Chapter 99 have been met.

EXECUTIVE SUMMARY:

The subject property is outlined in purple on the following map. As it can be seen on the map it consists of a large R-10 parcel on both sides of Skyline Drive and an OBC zoned parcel, both located along the west side of West A Street in the Bolton neighborhood. The site is owned by the West Linn-Wilsonville School District and has served as the West Linn High School site for decades.



Vicinity/Zoning Map (Site outlined in purple)

Site Conditions. The 42 acre site contains two high school buildings along West A street, flanked by a parking lot to the north across Skyline Drive and a parking lot to the south in the OBC-zoned parcel that is part of the site. The athletic field area of the site is located west of these main buildings. It includes the football and baseball fields, the track surrounding the football field, and bleachers, paths and other facilities connecting to and serving the aforementioned facilities. There is a service driveway off of Skyline Drive behind the larger of the two main buildings that serves the athletic fields. Most of the site (including the athletic fields where the improvements are proposed) are in the Bolton neighborhood, but the site does extend up the steep wooded hillside to the west into the Sunset neighborhood. The site also extends down a steep hillside south of the south parking lot, in an area of the site that borders the I-205 right-of -way (ROW) to the south.

Over the years the site has been improved to serve a growing student population and to provide modern and user-friendly facilities. The proposed improvements will take place only in the athletic field area of the site and will not affect the main buildings or parking lots, or the undeveloped areas of the site uphill, which border Wilderness Park, the Camassia Natural area, and residential areas to the west in Sunset. There is a tree easement on site, covering the wooded areas uphill from the developed areas, which has been proposed in the past and which is shown on City GIS but that has not been recorded with the County.

With the exception of the undeveloped hillside areas mentioned above, much of the site is fairly level including the area where the project is proposed. A stream traverses down the hillside southwest of the athletic field area and terminates as an open channel at the south end

of the track and football field. Here it enters a pipe and continues as a piped channel east through the site, including along the south edge of where the improvements are proposed. On Page 71 of Exhibit PD-11 the applicant discusses that the improvements are more than 100 feet from the significant riparian corridor along the open section of the stream, and demonstrates this on the map on Page 74 of Exhibit PD-11. Therefore a Water Resource Area permit is not needed for this application.

Project Description. The applicant proposes multiple improvements to the baseball field viewing area and surrounding areas. The improvements related to buildings include a 620-square foot restroom and concession stand addition to the existing track equipment building adjacent to the baseball field bleachers, and the addition of an announcer's booth in the same general area. The track equipment building currently has approximately 925 square feet, and the addition would expand it to a total of approximately 1,545 square feet. The announcer's booth will be a new 8 foot by 10 foot (80 square feet) building.

The other site improvements include changes to utility lines and poles, replacing existing bleachers with new bleachers with a somewhat different (yet overlapping) configuration, new screens to prevent balls from flying off the field into other areas, access improvements including ADA-compatible improvements, installation of a planter and two bioswales for stormwater treatment, relocation of a "welcome" sign, and replacement of an underground stormwater pipe. These are described in more detail in the applicant's resubmittal on pages 33-34 of Exhibit PD-8 and can be seen on the site plan on Page 60 of Exhibit PD-8.

Surrounding Land Use. The areas north, west, and southwest of the site are all zoned R-10. With the exception of Wilderness Park and the Camassia Natural Area (which is owned by the Nature Conservancy), these areas are developed mainly with single-family uses. Across West A Street to the east is a neighborhood consisting of a mix of R-4.5, R-5, and R-10 zoning. The neighborhood mainly consists of single-family housing with some attached and duplex housing; this part of Bolton slopes downhill to the east for three blocks to where Willamette Drive traverses the Bolton neighborhood. Across Willamette Drive to the east is Central Village Shopping Center which is zoned General Commercial (GC). Immediately across from the main High School building is a church on the corner of McKillican and West A Street. South of the site is I-205, across which is a thin strip of land between I-205 and the river. This strip includes a GC-zoned area that consists of larger old houses, some of which are used for commercial purposes. This strip also includes a larger General Industrial zoned area that includes the West Linn Paper Mill among other uses.

Approval Criteria and Analysis. The improvements require Design Review, but despite that schools are a conditional use in the R-10 zone, the application does not require a Conditional Use Permit as it does not expand the numbers of or capacity of students or staff at the school.

The outdoor improvements (bleachers, utilities, etc.) fall under the types of improvements that require Class I instead of Class II Design Review per CDC Section 55.020. The building-related improvements include adding more than 5% of the existing square footage of one building (the equipment shack with the restroom/concession addition) and adding another small building (the announcer's booth), and therefore would normally require Class II instead

of Class I Design Review per 55.020(7). However Subsection 55.020(17) states that Class I Design Review can cover "Other land uses and activities... if the Planning Director makes written findings that the activity/use will not increase off-site impacts and is consistent with the type and/or scale of activities/uses listed above." As can be seen in Exhibit PD-11 Pages 70-74, the applicant has requested that this application be reviewed as a Class I Design Review application due to the small scale of the building-related improvements and due to the fact that the improvements will not significantly generate additional student or visitor capacity or noise. Also the improvements are located far into the site and will not significantly affect views of the site from surrounding streets. See also Finding No. 1 below for staff's concurrence with this analysis.

CDC Section 55.090(A) requires responses to Subsection 55.100(B)(1-6) for Class I Design Review projects that involve architectural work. The nature of this project requires that other approval criteria under Section 55.100 be responded to, as provided by Section 55.100(C). These include Subsection 55.100(A)(1) Storm Water Quality and Detention, Section 55.100(J) Crime Prevention and Safety/Defensible Space, and Section 55.100(K) Provisions for Persons with Disabilities.

PUBLIC COMMENTS

No public comments have been received other than an inquiry from the Oregon Department of Fish and Wildlife regarding whether the proposal would develop in the wooded area (which it will not). See this inquiry and staff's response on Page 12-13, Exhibit PD-1.

RECOMMENDATION

Based on findings contained in the applicant's submittal in the City record, staff finds that there are sufficient grounds to **approve** this application (DR-10-08) subject to the following conditions of approval:

1. The improvements shall conform to the site plan, WL-C3, dated April 12, 2010, on Page 60 of Exhibit PD-8.

2. The tree protection easement as shown on Page 57 of Exhibit PD-8 and as shown in full on City GIS shall be recorded with Clackamas County and the recording document shall be provided to the City.

We declare to have no interest in the outcome of this decision due to some past or present involvement with the applicant, the subject property, or surrounding properties, and therefore, can render an impartial decision. The provisions of the Community Development Code Chapter 99 have been met.

John Sonnen — 7/15/2010

JOHN SONNEN, Planning Director — DATE

Khoi Le

KHOI LE, Development Review Engineer

07/15/2010

DATE

Appeals to this decision must be filed with the West Linn Planning Department within 14 days of mailing date. Cost is $400. The appeal must be filed by an individual who has established standing by submitting written comments prior to or on July 15, 2010. Approval will lapse 3 years from effective approval date unless an extension is obtained.

Mailed this 16 day of July, 2010.
Therefore, the 14-day appeal period ends at 5 p.m., on

July 30, 2010.

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ADDENDUM

APPROVAL CRITERIA AND FINDINGS

DR-10-08

Staff recommends adoption of the findings for approval contained within the applicant's submittal, with the following exceptions and additions:

55.090 APPROVAL STANDARDS - CLASS I DESIGN REVIEW

The Planning Director shall make a finding with respect to the following criteria when approving, approving with conditions, or denying a Class I design review application:

A. The provisions of the following sections shall be met:

1. Section 55.100 B (1-4) "Relationship to the natural physical environment" shall apply except in those cases where the proposed development site is substantially developed and built out with no remaining natural physical features that would be impacted.

2. Section 55.100 B (5-6) "Architecture, et al" shall only apply in those cases that involve exterior architectural construction, remodeling, or changes.

3. Pursuant to Section 55.085, the Director may require additional information and responses to additional sections of the approval criteria of this section depending upon the type of application.

B. An application may be approved only if adequate public facilities will be available to provide service to the property at the time of occupancy. (ORD. 1544)

C. The Planning Director shall determine the applicability of the approval criteria in 55.090(A), above. (ORD. 1408) (ORD.1544)

FINDING NO. 1:

There are adequate public facilities to serve the project. Other criteria listed above and other appropriate criteria are analyzed in the remaining findings below. Staff adopts the applicant's findings, on pages 70-71 of Exhibit PD-11, regarding how Class I Design Review rather than Class II Design Review is the appropriate review process for this application.

55.100 APPROVAL STANDARDS - CLASS II DESIGN REVIEW

The approval authority shall make findings with respect to the following criteria when approving, approving with conditions, or denying a Class II design review application. (ORD. 1408)

A. The provisions of the following chapters shall be met:

1. Chapter 33, Storm Water Quality and Detention. (ORD. 1463)

FINDING NO. 2:
Staff adopts the applicant's findings on pages 36-37 of Exhibit PD-8 to find that storm water treatment provisions will be met.

B. ***Relationship to the natural and physical environment.***

1. The buildings and other site elements shall be designed and located so that all heritage trees, as defined in the Municipal Code, shall be saved. Diseased heritage trees, as determined by the City Arborist, may be removed at his/her direction.

2. All heritage trees, as defined in the Municipal Code, all trees and clusters of trees (cluster is defined as three or more trees with overlapping driplines; however, native oaks need not have an overlapping dripline) that are considered significant by the City Arborist, either individually or in consultation with certified arborists or similarly qualified professionals, based on accepted arboricultural standards including consideration of their size, type, location, health, long term survivability, and/or numbers, shall be protected pursuant to the criteria of subsections 2(a-f) below. In cases where there is a difference of opinion on the significance of a tree or tree cluster, the City Arborist's findings shall prevail. It is important to acknowledge that all trees are not significant and, further, that this code section will not necessarily protect all trees deemed significant.

FINDING NO. 3:
There will be no trees affected by the development. There is a tree easement on site protecting the wooded portions of the site uphill from the developed area of the site, as shown on the Existing Conditions map on Page 57 of Exhibit PD-8. This easement has never been properly recorded with the County. Condition of Approval 2 requires recording.

3. The topography and natural drainage shall be preserved to the greatest degree possible.

FINDING NO. 4:
The topography and natural drainage will be preserved. There will be no grading.

4. The structures shall not be located in areas subject to slumping and sliding. The Comprehensive Plan Background Report's Hazard Map, or updated material as available and as deemed acceptable by the Planning Director, shall be the basis for preliminary determination.

FINDING NO. 5:
The improvements are proposed on flat land. The improvements are not located in a potential landslide area per Map 16 Potential Landslides in the City of West Linn Natural Hazards Mitigation Plan. They are also not located in a Landslide Hazard Area (unlike some sections of the same property) per Map 17 Landslide Vulnerability Analysis in the City of West Linn Natural Hazards Mitigation Plan. The criterion is met.

5. There shall be adequate distance between on site buildings and on site and off site buildings on adjoining properties to provide for adequate light and air circulation and for fire protection.

6. Architecture.

a. The predominant architecture of West Linn identified in the West Linn vision process was contemporary vernacular residential designs emphasizing natural materials: wood with brick and stone detail. Colors are subdued earth tones: greys, brown, off-whites, slate, and greens. Pitched roofs with overhanging eaves, decks, and details like generous multi-light windows with oversized trim are common. Also in evidence are the 1890s Queen Anne style homes of the Willamette neighborhood. Neo-traditional homes of the newer subdivisions feature large front porches with detailed porch supports, dormers, bracketed overhanging eaves, and rear parking for cars. Many of these design elements have already been incorporated in commercial and office architecture.

b. The proposed structure(s) scale shall be compatible with the existing structure(s) on site and on adjoining sites. Contextual design is required. Contextual design means respecting and incorporating prominent architectural styles, building lines, roof forms, rhythm of windows, building scale and massing, materials and colors of surrounding buildings in the proposed structure.

c. While there has been discussion in Chapter 24 about transition, it is appropriate that new buildings should architecturally transition in terms of bulk and mass to work with, or fit, adjacent existing buildings. This transition can be accomplished by selecting designs that "step down" or "step up" from small to big structures and vice versa (see figure below). Transitions may also take the form of carrying building patterns and lines (e.g., parapets, windows, etc.) from the existing building to the new one.

d. Contrasting architecture shall only be permitted when the design is manifestly superior to adjacent architecture in terms of creativity, design, and workmanship, and/or it is adequately separated from other buildings by distance, screening, grade variations, or is part of a development site that is large enough to set its own style of architecture.

e. Human scale is a term that seeks to accommodate the users of the building and the notion that buildings should be designed around the human scale (e.g., his/her size and the average range of their perception). Human scale shall be accommodated in all designs by, for example, multi-light windows that are broken up into numerous panes, intimately scaled entryways, visual breaks (exaggerated eaves, indentations, ledges, parapets, awnings, engaged columns, etc.) in the facades of buildings, both vertically and horizontally.

The human scale is enhanced by bringing the building and its main entrance up to the edge of the sidewalk. It creates a more dramatic and interesting streetscape and improves the "height and width" ratio referenced in this section.

f. The main front elevation of commercial and office buildings shall provide at least 60 percent windows or transparency at the pedestrian level to create more interesting streetscape and window shopping opportunities. One side elevation shall provide at least 30 percent transparency. Any additional side or rear elevation, which is visible from a collector road or greater classification, shall also have at least 30 percent transparency. Transparency on other elevations is optional. The transparency is measured in lineal fashion. For example, a 100-foot long building elevation shall have at least 60 feet (60% of 100) in length of windows. The window height shall be, at minimum, three feet tall. The exception to transparency would be cases where demonstrated functional constraints or topography restrict that elevation from being used. When this exemption is applied to the main front elevation, the square footage of transparency that would ordinarily be required by the above formula shall be installed on the remaining elevations at pedestrian level in addition to any transparency required by a side elevation, and vice versa. The rear of the building is not required to include transparency. The transparency must be flush with the building elevation. (ORD. 1463)

g. Variations in depth and roof line are encouraged for all elevations.

To vary the otherwise blank wall of most rear elevations, continuous flat elevations of over 100 feet in length should be avoided by indents or variations in the wall. The use of decorative brick, masonry, or stone insets and/or designs is encouraged. Another way to vary or soften this elevation is through terrain variations such as an undulating grass area with trees to provide vertical relief.

h. Consideration of the micro-climate (e.g., sensitivity to wind, sun angles, shade, etc.) shall be made for building users, pedestrians, and transit users, including features like awnings.

i. The Vision Statement identified a strong commitment to developing safe and attractive pedestrian environments with broad sidewalks, canopied with trees and awnings.

j. Sidewalk cafes, kiosks, vendors, and street furniture are encouraged. However, at least a four foot wide pedestrian accessway must be maintained per Chapter 53, Sidewalk Use.

FINDING NO. 6:
Staff adopts the applicants findings on Page 34-35 of Exhibit PD-8 to find that the criteria are met.

J. ***Crime prevention and safety/defensible space.***

1. Windows shall be located so that areas vulnerable to crime can be surveyed by the occupants.

2. Interior laundry and service areas shall be located in a way that they can be observed by others.

3. Mail boxes, recycling, and solid waste facilities shall be located in lighted areas having vehicular or pedestrian traffic.

4. The exterior lighting levels shall be selected and the angles shall be oriented towards areas vulnerable to crime.

5. Light fixtures shall be provided in areas having heavy pedestrian or vehicular traffic and in potentially dangerous areas such as parking lots, stairs, ramps, and abrupt grade changes.

6. Fixtures shall be placed at a height so that light patterns overlap at a height of seven feet which is sufficient to illuminate a person. All commercial, industrial, residential, and public facility projects undergoing design review shall use low or high pressure sodium bulbs and be able to demonstrate effective shielding so that the light is directed downwards rather than omni-directional. Omni-directional lights of an ornamental nature may be used in general commercial districts only.

7. Lines of sight shall be reasonably established so that the development site is visible to police and residents.

8. Security fences for utilities (e.g., power transformers, pump stations, pipeline control equipment, etc.) or wireless communication facilities may be up to eight feet tall in order to protect public safety. No variances are required regardless of location. (ORD. 1408)

K. ***Provisions for persons with disabilities.***

1. The needs of a person with a disability shall be provided for. Accessible routes shall be provided between all buildings and accessible site facilities. The accessible route shall be the most practical direct route between accessible building entries,

accessible site facilities, and the accessible entry to the site. An accessible route shall connect to the public right-of-way to at least one on-site or adjacent transit stop (if the area is served by transit). All facilities shall conform to, or exceed, the Americans with Disabilities Act (ADA) standards, including those included in the Uniform Building Code.

FINDING NO. 7:
Staff adopts the applicants findings on Page 35 and 37 of Exhibit PD-8. Also, the small buildings will not severely effect lines of sight or create hidden new areas vulnerable to crime. The small and accessory nature of the buildings does not demand that there be windows for crime prevention. The criteria are met.

CITY OF
West Linn
PLANNING AND DEVELOPMENT

FILE NO.: **DR-10-08**

REQUEST: **REQUEST TO CONSTRUCT ANNOUNCER'S BOOTH, EXPAND SHED WITH RESTROOM CONCESSION ADDITION, INSTALL NEW BLEACHERS, IMPROVE PATHS, AND OTHER OUTDOOR IMPROVEMENTS TO THE BASEBALL FIELD AND SURROUNDING AREAS AT WEST LINN HIGH SCHOOL AT 5464 WEST A STREET**

EXHIBIT PD-1 THROUGH PD-6

QUESTION FROM ODFW, AFFADAVIT OF NOTICE, NOTICE PACKET, EMAIL RE FUTURE STREET IMPROVEMENT, COMPLETENESS LETTER, ENGINEERING COMPLETENESS EMAIL TO PLANNING

Soppe, Tom

From: Elizabeth J Ruther [elizabeth.j.ruther@state.or.us]
Sent: Monday, June 28, 2010 1:53 PM
To: Soppe, Tom
Subject: RE: File No DR-10-08

Thanks!!

Elizabeth J. Ruther
District Habitat Biologist
Oregon Department of Fish and Wildlife
North Willamette Watershed District
18330 NW Sauvie Island Road
Portland, OR 97231

P: 503.621.3488 x228
F: 503.621.3025

From: Soppe, Tom [mailto:tsoppe@westlinnoregon.gov]
Sent: Monday, June 28, 2010 1:51 PM
To: 'Elizabeth J Ruther'
Subject: RE: File No DR-10-08

There are no expansions into the forested area and no trees will be removed. The improvements are on already developed parts of the site.

Tom Soppe
Associate Planner
City of West Linn
22500 Salamo Road
West Linn, OR 97068
ph. (503) 742-8660
fax (503) 656-4106
tsoppe@westlinnoregon.gov

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P: (503) 742-8660
F: (503) 656-4106
Web: westlinnoregon.gov

From: Elizabeth J Ruther [mailto:elizabeth.j.ruther@state.or.us]
Sent: Monday, June 28, 2010 1:32 PM
To: Soppe, Tom
Subject: File No DR-10-08

Hi Tom-

I am wondering if the improvements are expansions into forested area or are pretty much on already constructed property—
Thanks!!

Elizabeth J. Ruther
District Habitat Biologist
Oregon Department of Fish and Wildlife
North Willamette Watershed District
18330 NW Sauvie Island Road
Portland, OR 97231

P: 503.621.3488 x228
F: 503.621.3025

AFFIDAVIT OF NOTICE

We, the undersigned do hereby certify that, in the interest of the party (parties) initiating a proposed land use, the following took place on the dates indicated below:

GENERAL
File No. DR-10-08 Applicant's Name WL-LOU School District
Development Name WL High School Baseball facilities
Scheduled Meeting/Decision Date 7/15/10

NOTICE: Notices were sent at least 20 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. **(check below)**

TYPE A _____

A. The applicant (date) _____ (signed) _____
B. Affected property owners (date) _____ (signed) _____
C. School District/Board (date) _____ (signed) _____
D. Other affected gov't. agencies (date) _____ (signed) _____
E. Affected neighborhood assns. (date) _____ (signed) _____
F. All parties to an appeal or review (date) _____ (signed) _____

At least 10 days prior to the scheduled hearing or meeting, notice was published/posted:

Tidings (published date) _____ (signed) _____
City's website (posted date) _____ (signed) _____

SIGN

At least 10 days prior to the scheduled hearing, meeting or decision date, a sign was posted on the property per Section 99.080 of the Community Development Code.

(date) _____ (signed) _____

NOTICE: Notices were sent at least 14 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. **(check below)**

TYPE B X

A. The applicant (date) 6/25/10 (signed) SR
B. Affected property owners (date) 6/25/10 (signed) SR
C. School District/Board (date) 6/25/10 (signed) SR
D. Other affected gov't. agencies (date) 6/25/10 (signed) SR
E. Affected neighborhood assns. (date) 6/25/10 (signed) SR

DFW
all

Notice was posted on the City's website at least 10 days prior to the scheduled hearing or meeting.
Date: 6/24/10 (signed) SR

STAFF REPORT mailed to applicant, City Council/Planning Commission and any other applicable parties 10 days prior to the scheduled hearing.

(date) _____ (signed) _____

FINAL DECISION notice mailed to applicant, all other parties with standing, and, if zone change, the County surveyor's office.

(date) _____ (signed) _____

CITY OF WEST LINN
PLANNING DIRECTOR DECISION

FILE NO. DR-10-08

The West Linn Planning Director is considering the request of the West Linn-Wilsonville School District for a Class I Design Review permit for multiple improvements to the baseball facilities at West Linn High School, including the addition of concession stand and restroom areas to an existing storage shed, the addition of an announcer's booth, and multiple outdoor improvements. The site is located at 5464 West A Street. The decision will be based on the approval criteria in Chapter 55 of the Community Development Code (CDC). The approval criteria from the CDC are available for review at City Hall, at the City Library, and on the Planning Department's page of the City's website under Documents/CDC.

You have been notified because County records show you own property within 100 feet of the site located at Tax Lot 800, Clackamas County Assessor's Map 2-2E-30 or because you are otherwise required to be sent notice per CDC 99.080(B).

All relevant materials in the above noted file are available for inspection at no cost, or copies may be obtained for a minimal charge per page. Although there is no public hearing, your comments and ideas can definitely influence the final decision of the Planning Director. Planning staff looks forward to discussing the application with you. **The final decision is expected to be made on, and no earlier than, July 15, 2010**, so please get in touch with us prior to this date. For further information, please contact Tom Soppe, Associate Planner, at City Hall, 22500 Salamo Rd., West Linn, OR 97068, telephone (503) 742-8660, or e-mail to tsoppe@westlinnoregon.gov

Any appeals to this decision must be filed within 14 days of the final decision date with the Planning Department. Failure to raise an issue in person or by letter, or failure to provide sufficient specificity to afford the decision-maker an opportunity to respond to the issue, precludes the raising of the issue at a subsequent time on appeal or before the Land Use Board of Appeals.

p:\devrvw\projects folder\2010\dr-10-08\notice-DR-10-08

DR-10-08 5464 West A Street

This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes.
Users of this information should review or consult the primary data and information sources to ascertain the usability of the information.

Taxlot Base Source: Metro RLIS

NOT TO SCALE

SNAPNOTIFY.MXD / AHA APP 6-16-09

West Linn GIS GEOGRAPHIC INFORMATION SYSTEMS

User Name: T Zak
Map Creation Date: Jun 24, 2010

BANK OF AMERICA OR
PO BOX 6400
PORTLAND OR 97228

BERNAL MARK W & STACEY L
5311 WINDSOR TER
WEST LINN OR 97068

BURTON SCOTT
5745 SKYLINE DR
WEST LINN OR 97068

CAMPBELL N ARLENE
5718 TERRACE DR
WEST LINN OR 97068

COLLINS TIM B & KATHRYN A
5251 WINDSOR TER
WEST LINN OR 97068

CORP PRES BSHP CH JESUS CHRIST
50 E NORTH TEMPLE ST 22 FLR
SALT LAKE CITY UT 84150

EISSLER ANNIE A
5271 WINDSOR TER
WEST LINN OR 97068

FOWSER FLORENCE M
16091 SW GAGE LN
BEAVERTON OR 97006

FRYE PETER W & CLAIRE L
5261 WINDSOR TER
WEST LINN OR 97068

GIBBS JOSEPH H & JANA H
5291 WINDSOR TER
WEST LINN OR 97068

JOHNSTON DOUGLAS S
5711 WEST A ST
WEST LINN OR 97068

JORGENSEN ROGER H & SHARON K
5281 WINDSOR TER
WEST LINN OR 97068

KINDLEY RAYMOND S & SANDRA L
5241 WINDSOR TER
WEST LINN OR 97068

KRISTAN KENNETH R TRUSTEE
10117 SE SUNNYSIDE RD F-36
CLACKAMAS OR 97015

MCINTYRE HERBERT O & GLENA MARIE
5645 WEST A ST
WEST LINN OR 97068

MOCAN VIOREL & MARIOARA
5712 TERRACE DR
WEST LINN OR 97068

MORTON DAVID & BRENDA
5231 WINDSOR TER
WEST LINN OR 97068

MYERS DONALD H & JOYCE
5673 WEST A ST
WEST LINN OR 97068

NEW LIFE CHURCH RIVER FALLS
PO BOX 5
WEST LINN OR 97068

SEELY DENNIS W TRUSTEE
16165 NW BLUERIDGE DR
BEAVERTON OR 97006

SHORT MICHAEL W & ANN L
5321 WINDSOR TER
WEST LINN OR 97068

SILVER DONALD & DEBRA
5621 WEST A ST
WEST LINN OR 97068

THE NATURE CONSERVANCY
821 SE 14TH AVE
PORTLAND OR 97214

WEST LINN-WILS SCH DIST #3J
PO BOX 35
WEST LINN OR 97068

Duplicate

WHITFIELD GAIL E
16649 SW 89TH PL
TIGARD OR 97224

WILLIAMS ELLEN MARIE
5714 TERRACE DR
WEST LINN OR 97068

WOLTER TIMOTHY JON
PO BOX 7
LAKE OSWEGO OR 97034

WOOD JUDSON
1426 BROADWAY ST
WEST LINN OR 97068

TIM WOODLEY
DIRECTOR OF OPERATIONS
WLWV SCHOOL DISTRICT 3JT
PO BOX 35
WEST LINN OR 97068

ROGER WOEHL
SUPERINTENDANT
WLWV SCHOOL DISTRICT 3JT
PO BOX 35
WEST LINN OR 97068

JEFF HALLIN
WLWV SCHOOL BOARD CHAIR
31501 SW ORCHID DR
WILSONVILLE OR 97070

MARY FURROW
WLWV SCHOOL BOARD VICE CHAIR
3120 SW CASCARA CT
WILSONVILLE OR 97070

DALE HOOGESTRAAT
WLWV SCHOOL BOARD
4155 ROSEPARK DR
WEST LINN OR 97068

LORI BEIGHT
WLWV SCHOOL BOARD
2388 APPALOOSA WAY
WEST LINN OR 97068

KEITH STEELE
WLWV SCHOOL BOARD
21415 MILES DR
WEST LINN OR 97068

KEITH LIDEN AICP
PARSONS BRINCKERHOFF
400 SW 6TH AVE STE 802
PORTLAND OR 97204

HABITAT BIOLOGIST
OREGON DEPT OF FISH & WILDLIFE
18330 NW SAUVIE ISLAND RD
PORTLAND OR 97231

STEVE WINKLE AIA
DULL OLSON WEEKES ARCHITECTS
907 SW STARK ST
PORTLAND OR 97205

STEVE GARNER
BHT NA PRESIDENT
3525 RIVERKNOLL WAY
WEST LINN OR 97068

SALLY MCLARTY
BOLTON NA PRESIDENT
19575 RIVER RD # 64
GLADSTONE OR 97027

ALEX KACHIRISKY
HIDDEN SPRINGS NA PRESIDENT
6469 PALOMINO WAY
WEST LINN OR 97068

JEFF TREECE
MARYLHURST NA PRESIDENT
1880 HILLCREST DR
WEST LINN OR 97068

BILL RELYEA
PARKER CREST NA PRESIDENT
3016 SABO LN
WEST LINN OR 97068

THOMAS BOES
ROBINWOOD NA PRESIDENT
18717 UPPER MIDHILL DR
WEST LINN OR 97068

DEAN SUHR
ROSEMONT SUMMIT NA PRESIDENT
21345 MILES DR
WEST LINN OR 97068

DAVE RITTENHOUSE
SAVANNA OAKS NA PRESIDENT
2101 GREENE ST
WEST LINN OR 97068

KRISTIN CAMPBELL
SKYLINE RIDGE NA PRESIDENT
1391 SKYE PARKWAY
WEST LINN OR 97068

TROY BOWERS
SUNSET NA PRESIDENT
2790 LANCASTER ST
WEST LINN OR 97068

BETH KIERES
WILLAMETTE NA PRESIDENT
1852 4TH AVE
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ALMA COSTON
BOLTON NA DESIGNEE
PO BOX 387
WEST LINN OR 97068

SUSAN VAN DE WATER
HIDDEN SPRINGS NA DESIGNEE
6433 PALOMINO WAY
WEST LINN OR 97068

KEVIN BRYCK
ROBINWOOD NA DESIGNEE
18840 NIXON AVE
WEST LINN OR 97068

DOREEN VOKES
SUNSET NA SEC/TREAS
4972 PROSPECT ST
WEST LINN OR 97068

52 total

Soppe, Tom

From: Tim Woodley [Woodleyt@wlwv.k12.or.us]
Sent: Thursday, June 24, 2010 12:59 PM
To: Le, Khoi
Cc: Soppe, Tom
Subject: RE: West Linn High School

Agreed. tim

West Linn-Wilsonville School District
DEPARTMENT OF OPERATIONS
Tim K. Woodley, Director

>>> "Le, Khoi" <kle@westlinnoregon.gov> 6/24/2010 11:15 AM >>>
Tim,

Would this sound fair to you and school district that we will look into having dedication on the opposite side of the street along Skyline Drive when school district comes in for the parking improvement?

Thanks,

Khoi

City of West Linn
Khoi Q. Le, PE
kle@westlinnoregon.gov
Public Improvement Program Manager
22500 Salamo Rd.
West Linn, OR, 97068
P: (503) 722-5517
F: (503) 656-4106
Web: westlinnoregon.gov

From: Tim Woodley [mailto:Woodleyt@wlwv.k12.or.us]
Sent: Thursday, June 24, 2010 10:57 AM
To: Le, Khoi
Cc: Soppe, Tom
Subject: Re: West Linn High School

Khoi: I have reviewed our survey record (see attached) and have concluded there is not adequate room to grant an additional 5-feet right-of-way on the high school building side (south) of Skyline drive. Further, when the north wing of West Linn High was built in 1999-2000 (and later in 2004-05), new sidewalks and drive were constructed to city specifications along that entire frontage. IF the city, during some future Skyline Drive improvement project needs specific right-of-way or accommodation, we will be happy to work with the city.
tim

West Linn-Wilsonville School District

CITY HALL 22500 Salamo Rd. West Linn Oregon 97068 telephone: (503) 657 0331 fax: (503) 650 9041

CITY OF West Linn

June 24, 2010

Tim Woodley
Director of Operations
West Linn-Wilsonville School District
P.O. Box 35
West Linn, OR 97068

SUBJECT: DR-10-08 High School Baseball Facilities Improvements

Dear Mr. Woodley.:

Your application is complete as of your June 24, 2010 submittal. The City now has 120 days (until October 22, 2010) to exhaust all local review per state statute. The application will be scheduled for a Planning Director decision, and notice of this decision and its date will be sent to you and other stakeholders 14 days or more before the decision.

The complete application can be seen online at http://westlinnoregon.gov/planning/5464-west-street-west-linn-high-school-baseball-facilites-remodel.

Please contact me at 503-742-8660, or by email at tsoppe@westlinnoregon.gov if you have any questions or comments.

Sincerely,

Tom Soppe
Associate Planner

C: Keith Liden, AICP, Parsons Brinckerhoff, 400 SW 6th Ave., Ste. 802, Portland, OR 97204

C: Steve Winkle, Dull Olson Weekes Architects, 907 SW Stark St., Portland, OR 97205

C: Sally McLarty, Bolton Neighborhood Association, 19575 River Rd., #64, Gladstone, OR 97027

C: Troy Bowers, Sunset Neighborhood Association, 2790 Lancaster St., West Linn, OR 97068

p:/devrvw/projects folder/projects 2010/dr-10-08/compl-dr-10-08

20

Soppe, Tom

From: Le, Khoi
Sent: Thursday, June 24, 2010 11:20 AM
To: Soppe, Tom
Subject: West Linn High School Completeness

Tom,

Since Tim responded on the dedication issue. The application is complete for engineering with a condition of approval that the tree protection easement to be recorded and recording document shall be provided to the City for our record.

Thanks,

Khoi

Khoi Le, Public Improvement Program Manager
Public Works, #1517

CITY OF
West Linn
PLANNING AND DEVELOPMENT

FILE NO.: **DR-10-08**

REQUEST: **REQUEST TO CONSTRUCT ANNOUNCER'S BOOTH, EXPAND SHED WITH RESTROOM CONCESSION ADDITION, INSTALL NEW BLEACHERS, IMPROVE PATHS, AND OTHER OUTDOOR IMPROVEMENTS TO THE BASEBALL FIELD AND SURROUNDING AREAS AT WEST LINN HIGH SCHOOL AT 5464 WEST A STREET**

EXHIBIT PD-7 THROUGH PD-8

APPLICANT'S FINAL SUBMITTAL AND APPLICANT'S RESUBMITTAL

Soppe, Tom

From: Le, Khoi
Sent: Thursday, June 24, 2010 11:16 AM
To: 'Tim Woodley'
Cc: Soppe, Tom
Subject: RE: West Linn High School

Tim,

Would this sound fair to you and school district that we will look into having dedication on the opposite side of the street along Skyline Drive when school district comes in for the parking improvement?

Thanks,

Khoi

Khoi Le, Public Improvement Program Manager
Public Works, #1517

From: Tim Woodley [mailto:Woodleyt@wlwv.k12.or.us]
Sent: Thursday, June 24, 2010 10:57 AM
To: Le, Khoi
Cc: Soppe, Tom
Subject: Re: West Linn High School

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West Linn-Wilsonville School District
DEPARTMENT OF OPERATIONS
Tim K. Woodley, Director

>>> "Le, Khoi" <kle@westlinnoregon.gov> 6/23/2010 4:21 PM >>>
Tim,

Have you checked into the exact location of the property line of the high school and see whether or not there is room to give the City 5' of dedication along Skyline Drive. This is the only issue standing right now. Can you let me know as soon as possible so I can let planning know where engineering stands on completing the application?

Thanks,

Khoi

Soppe, Tom

From: Tim Woodley [Woodleyt@wlwv.k12.or.us]
Sent: Thursday, June 24, 2010 10:57 AM
To: Le, Khoi
Cc: Soppe, Tom
Subject: Re: West Linn High School
Attachments: West Linn HS.pdf

Khoi: I have reviewed our survey record (see attached) and have concluded there is not adequate room to grant an additional 5-feet right-of-way on the high school building side (south) of Skyline drive. Further, when the north wing of West Linn High was built in 1999-2000 (and later in 2004-05), new sidewalks and drive were constructed to city specifications along that entire frontage. IF the city, during some future Skyline Drive improvement project needs specific right-of-way or accommodation, we will be happy to work with the city.
tim

West Linn-Wilsonville School District
DEPARTMENT OF OPERATIONS
Tim K. Woodley, Director

>>> "Le, Khoi" <kle@westlinnoregon.gov> 6/23/2010 4:21 PM >>>
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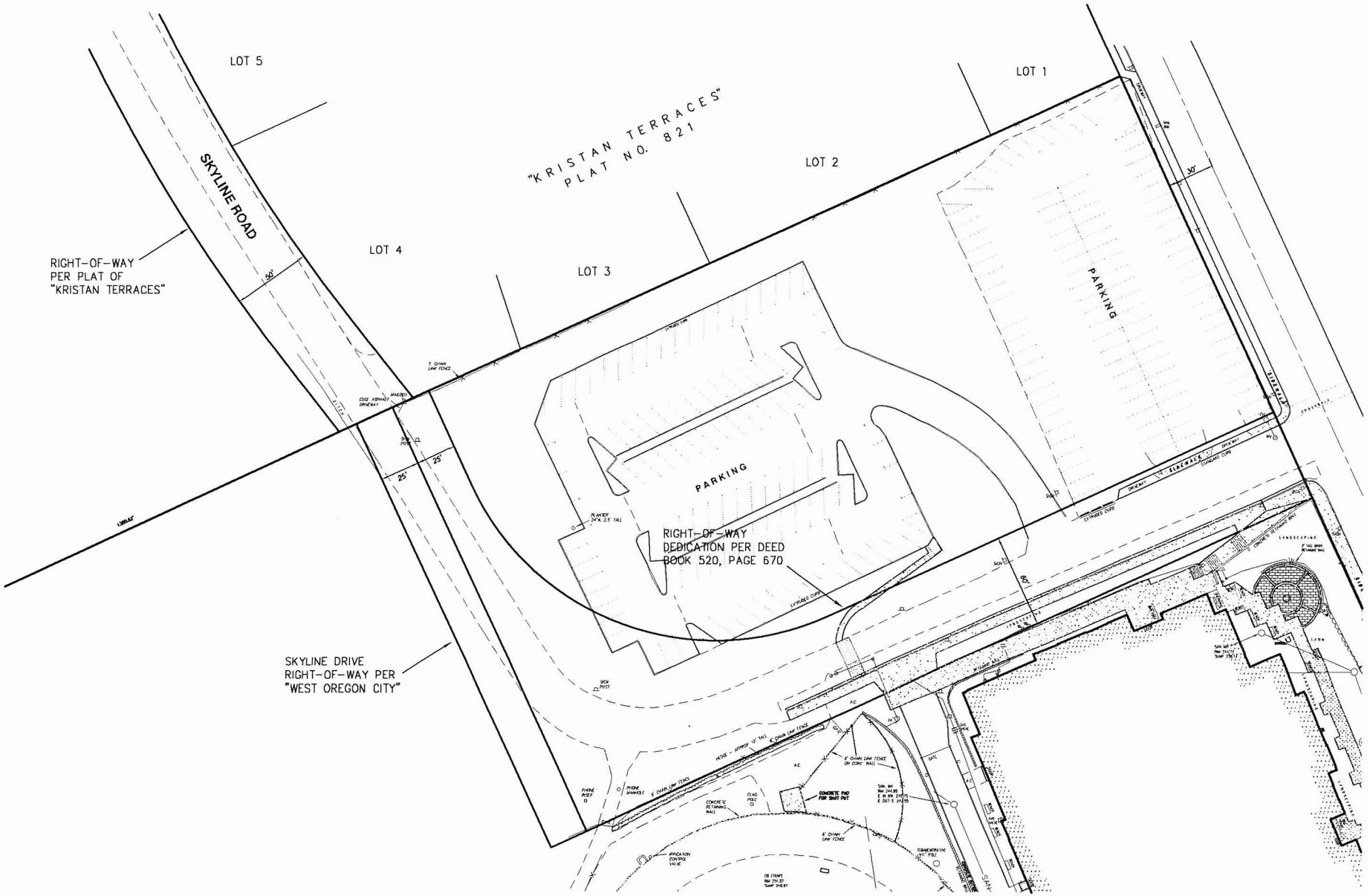
Thanks,

Khoi

City of West Linn
Khoi Q. Le, PE
kle@westlinnoregon.gov
Public Improvement Program Manager
22500 Salamo Rd.
West Linn, OR, 97068
P: (503) 722-5517
F: (503) 656-4106
Web: westlinnoregon.gov


LOT 5
LOT 1
"KRISTAN TERRACES"
PLAT NO. 821
LOT 2
SKYLINE ROAD
LOT 4
LOT 3
RIGHT-OF-WAY
PER PLAT OF
"KRISTAN TERRACES"
PARKING
PARKING
RIGHT-OF-WAY
DEDICATION PER DEED
BOOK 520, PAGE 670
SKYLINE DRIVE
RIGHT-OF-WAY PER
"WEST OREGON CITY"

24

Soppe, Tom

From: Tim Woodley [woodleyt@wlwv.k12.or.us]
Sent: Wednesday, June 23, 2010 5:11 PM
To: Le, Khoi
Cc: Soppe, Tom
Subject: Re: West Linn High School

Yes; our surveyor is researching. I'll get back to you tomorrow. Tim

On Jun 23, 2010, at 4:19 PM, "Le, Khoi" <kle@westlinnoregon.gov> wrote:

> Tim,
>
> Have you checked into the exact location of the property line of the high school and see whether or not there is room to give the City 5' of dedication along Skyline Drive. This is the only issue standing right now. Can you let me know as soon as possible so I can let planning know where engineering stands on completing the application?
>
> Thanks,
>
> Khoi

Khoi Q. Le, PE
kle@westlinnoregon.gov
Public Improvement Program Manager
22500 Salamo Rd.
West Linn, OR, 97068
P: (503) 722-5517
F: (503) 656-4106
Web: westlinnoregon.gov

Transmittal

Parsons Brinckerhoff
400 SW Sixth Avenue
Suite 802
Portland, OR 97204

to: TOM SOPPE
CITY OF WEST LINN
22500 SALAMO RD
WEST LINN, OR 97068

from: KEITH LIDEN
date: 6.21.10 **time:**
project: W. LINN SD
project number: 70762C TASK 001 WLHS

via:	for your:	the following:		
☐ mail	☐ information/use	☐ shop drawings	☐ change order	☐ specifications
☑ messenger	☐ approval	☐ copy of letter	☐ plans	☐ other
☐ overnight	☐ review/comment	☐ prints	☐ samples	

drawing	rev. no.	description	copies	date
		DR-10-08 RESUBMITTAL		
		· NARRATIVE	4	
	1	· FULL-SIZE CIVIL/ARCHITECTURE PLAN	4	
		· 11×17 REDUCTION	4	
		· STORMWATER MEMO	4	
		· CD OF ALL APPLICATION MATERIALS	1	

If enclosures are not as noted, kindly notify us at once

comments

copies to:

signature: K

Parsons Brinckerhoff
400 SW Sixth Avenue
Suite 802
Portland, OR 97204-1628
503-274-8772
Fax: 503-274-1412

June 21, 2010

Tom Soppe, Associate Planner
West Linn Planning Department
22500 Salamo Road
West Linn, OR 97068

RE: DR-10-08 West Linn High School

Dear Tom,

In response to your June 3rd letter indicating the above Design Review application was incomplete, we made the requested changes. As we agreed, the original sheets, which did not require modification, have not been resubmitted. I have attached:

- Four sets of the revised narrative, revised civil and architecture plan sheets (WL-C0 through WL-C8 and A3.00), and reduced 11X17-inch versions of the revised plan sheets;
- Four copies of the revised Stormwater Drainage Design Memorandum from Winzler & Kelly; and
- A CD of the entire application including revised and originally submitted materials.

The information related to the Community Development Code sections in your letter has been provided in the following manner:

- **55.070(E) and 55.140(B)** - An exterior color sample is provided, and the proposed building color is now shown on Sheet A3.00. The exterior color for the storage building restroom/concession addition and announcers booth will match the color of the existing storage building.
- **55.120(C)** - The civil plan sheets have been modified to make the contour elevations more legible at the 11X17-inch size. As noted above, a revised set is attached.
- **55.120(D)** - The stream location is shown on Sheet WL-C1 plus other civil sheets.
- **55.120(F)(2)** - The tree conservation easement is shown on Sheet WL-C0.
- **55.100(A)(1)** - Responses to the applicable review criteria in CDC 33.040 are included in the application narrative.
- **55.100(B)(6)(j)** - A response to this criterion is included in the application narrative.

- **55.120(G)(1)** - The district requests a waiver to this requirement because the entire school site and the adjoining property to the west are quite large, and the improvements within the baseball field and track area are a significant distance away from buildings or structures on adjoining properties. A waiver is requested in the application narrative. A revised existing conditions exhibit (Sheet WL-C0) shows the location of surrounding properties to give some context, but not all of the detail normally required by the CDC.
- **55.120(H)(3)** - The application narrative includes a waiver to this requirement because the trash disposal and recycling areas are some distance from the proposed improvements, and they will not be changed or affected in any way by the baseball field and track improvements. The location of the existing facilities is shown on Sheet WL-C0.
- **Engineering Department** - The district discussed the right-off-way dedication and sidewalk improvements with Khoi Le on June 15th. It was agreed that these items would be considered with a future 2008 Capital Bond project to improve the upper and lower parking lots on A Street and Skyline Drive. This project is scheduled for construction in June 2011. Based on this agreement, the district has no additional information to submit on this topic.

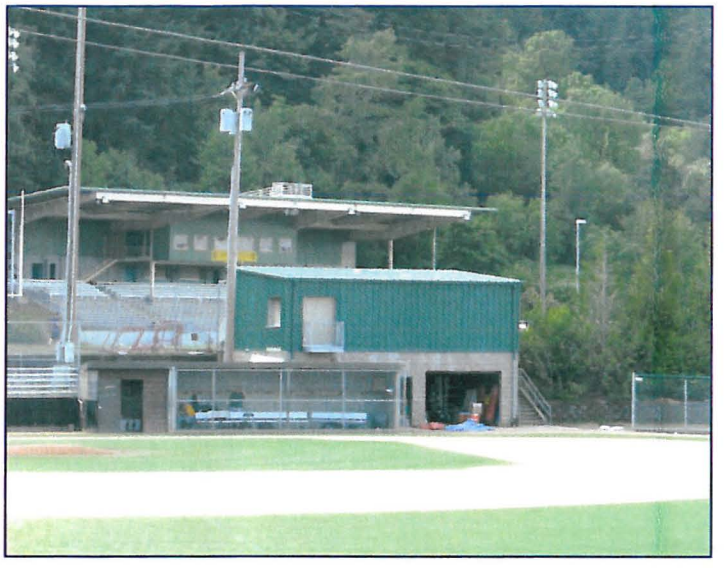
I trust this revised information will be sufficient to find the application complete. Please contact me if you need anything further.

Sincerely,

Keith S. Liden, AICP

cc: Remo Douglas, WLWV School District
Tim Woodley, WLWV School District
Steve Winkle, DOWA
Pat Tortora, Winzler & Kelly
Gary Datka, Walker Macy

West Linn High School (DR-10-08)
Building Finish Material and Color Sample
To match existing (see Sheet A3.00)



WEST LINN HIGH SCHOOL
Class I Design Review
June 21, 2010

APPLICATION SUMMARY

For Class I Design Review approval to replace or remodel portions of existing support facilities adjacent to the baseball field at West Linn High School located on a 42-acre site.

GENERAL INFORMATION

Location

5464 West "A" Street (2S 2E Section 30, Tax Lot 800 and Section 30CD Tax Lots 4500, 4501, 4502, and 4502E1). Its location is shown in Figure 1.

Comprehensive Plan and Zoning Designations

The Comprehensive Plan designations are Low Density for the northern portion of the property and Commercial for the southern section.

Consistent with the Comprehensive Plan, the property is zoned Single Family Residential Detached (R10) and Office Business Center (OBC).

Applicant and Owner

Tim Woodley, Director of Operations
West Linn-Wilsonville School District
P. O. Box 35
West Linn, OR 97068
Phone: 503-673-7976
Fax: 503-638-9360
E-mail: woodleyt@wlwv.k12.or.us

Applicant's Representatives

Keith Liden, AICP
Parsons Brinckerhoff
400 S. W. 6th Avenue, Suite 802
Portland, OR 97204
Phone: 503-478-2348
Fax: 503-274-1412
E-mail: liden@pbworld.com

Steve Winkle, AIA
Dull Olson Weekes Architects
907 S. W. Stark Street
Portland, OR 97205
Phone: 226-6950
Fax: 273-9192
E-mail: stevew@dowa.com

Attachments and Plan Sheets

Cover Sheet
WL-C0 Existing Conditions
WL-C1 Existing Conditions
WL-C2 Demolition Plan
WL-C3 Site Plan
WL-C4 Grading Plan
WL-C5 Erosion Control Plan
WL-C6 Utility Plan
WL-C7 Notes and Details
WL-C8 Details
A1.00 Overall Site Plan
A1.01 Site Plan
A2.00 Concession Plans
A2.01 Announcer Booth Plans
A2.02 Seating Plan
A3.00 Elevation
A3.01 Section
A3.02 Section/Elevation Details
A3.03 Section/Elevation Details
A4.00 Interior Elevation
S0.2 General Structural Notes
S1.1 Site Plan and Framing Plans
S2.1 Concrete Details
S3.1 Wood Details
M001 Symbols, Legends and Abbreviations - Mechanical
M201 Floor Plans – Mechanical
M601 Details - Mechanical
E001 Symbols, Legends and Abbreviations - Electrical
E010 Site Plans-Demolition Electrical
E020 Site Plan – Electrical
E201 Floor Plans – Electrical
E501 One-Line Diagrams - Electrical
E601 Details and Schedules – Electrical

Waivers

The applicant is requesting the following waivers:

- Requirement to provide topographic information for the entire project property (CDC 55.120 A). In this case, no topographic survey information is available for the undeveloped portion of the school district property to the west of the football and baseball fields. In addition, the improvements are focused solely around the baseball field. Because no construction activity of any kind is proposed outside of this area, the district requests a waiver from this submittal requirement and to provide this information for the project area only.
- Requirement to provide information regarding the location of structures, improvements, utilities and easements on adjoining properties (CDC 55.120 G 1). The entire school site and the adjoining property to the west are quite large, and the improvements within the baseball field and track area are a significant distance away from buildings of structures on adjoining properties. The high school buildings lie between the residential properties to the east and the baseball field.

Therefore, showing the improvements and easements on this portion of the school site is not relevant to the scope of this application. To provide context, the existing conditions sheet (WL-C0) shows the location of adjoining properties.

- The acoustic study requirement (CDC 55.120 M) is requested. The remodeling and renovation work will not expand the school capacity or intensity of use and therefore, the noise generated from the site will not change.
- The location of the existing trash disposal and recycling area will well removed from the area of the proposed improvements (55.120 H 3). The trash disposal and recycling area will not be changed, and the proposed improvements will have no affect on them.

Figure 1: Aerial Photo

Source: Google

BACKGROUND INFORMATION

Site Description

The site is developed with West Linn High School, including the school buildings, driveways, parking, and athletic fields as shown in Figure 1. The entire site is approximately 42 acres, including the wooded portion of the property, which is west of the school. A football stadium, baseball field, and tennis courts are located on the southwest side of the property. There are no known historic or archaeological resources on the property.

Surrounding Area Description

The zoning designations and current land use of the surrounding area are summarized in Table 1.

Table 1
Land Use Summary

Properties in the Vicinity	*Zone Designation*	*Land Use*
Subject Property 2S 2E 30, TL 800 and 30CD, TL 4500, 4501 4502 and 4502E1(42 acre school site owned by school district	R10 and OBC (southern parking lot)	High School building, ancillary facilities, and parking
Surrounding Properties Northwest	R10	Single family residences and Wilderness Park
East/Northeast	R5 and R4.5	Single family residences
South	R10	Camassia Natural Area and I-205
West	R10	Single family residences and Wilderness Park

Primary access to the school is provided by West "A" Street, which runs along the eastern side of the site. One driveway exists on the south end of the site, providing access to the southern parking lot, tennis courts, and baseball field. A pick-up and drop-off driveway is located in front of the school. A secondary driveway on Skyline Drive provides access to the rear of the northern section of the school and the football stadium.

BASEBALL FIELD IMPROVEMENTS

The improvements to baseball field include:

- Eliminating overhead power lines, transformers, and power poles, while retaining the existing field lights and poles.
- Installing replacement underground electrical service.
- Expanding the existing track equipment shed to provide an ADA restroom and concession stand.
- Replacing the existing bleachers with new bleachers that will continue to seat approximately 300 people.
- Providing access from the upper track level to the new ADA restroom, concessions, and bleachers.

- Providing a new screen to prevent foul balls from landing in the adjacent park to the west.
- Providing a new backstop screen to protect the spectators in the bleacher area.
- Modifying the existing concrete wall at the backstop to start the first row of bleachers l4 feet above the field instead of 10 feet this brings the top of the seating area level with the track area.
- Installing the announcer's booth behind the seating area.
- Improving the pathway between the southern parking lot and the baseball field to be ADA accessible.
- Installation of one planter and two bioswales, designed to the City of Portland Storm Water Management Manual.

DESIGN REVIEW CRITERIA

The Class I Design Review requirements include compliance with Chapter 55 Design Review. Section 55.090 contains the applicable approval standards for a Class I Design Review. Section 55.090(A) refers to specific portions of Section 55.100 that apply to Class I Design Review applications. The applicable portions of Section 55.100 are addressed below, including CDC Sections 55.100 J. and K. identified by the city staff.

Section 55.090(B) states that adequate public facilities must be available. This criterion is satisfied because the school is currently served by a full range of public utilities and streets. The remaining criteria are addressed below.

55.090 A. The provisions of the following sections shall be met:

1. Section 55.100 B. (1-4) Relationship to the Natural Physical Environment

Section 55.100 B. 1. and 2. Do not apply because no significant or heritage trees will be affected. The project involves improvements to portions of the high school property that are presently developed. There are no trees within the area to be improved.

Section 55.100 B. 3. is not relevant because no grading is proposed. The existing grades on the site will remain.

Section 55.100 B. 4. is satisfied because the property is geologically stable. Furthermore, the construction proposed is within an area that is currently developed.

2. Section 55.100 B. (5-6) Architecture

Section 55.100 B. 5. is satisfied because the modest expansion of the track shed building and the new announcer's booth comply with all of the building height and setback requirements of the R 10 Zone. The buildings will be well under the 35-foot height limit and they will be located well beyond the minimum setback requirements of the R-10 Zone.

Section 55.100 B. 6. is met based on the findings below:

a. The modest buildings proposed either represent replacement improvements or an expansion for restrooms and a small concession stand. The fencing, screens, walkways, and lighting are presently provided and the replacement

facilities will continue to be consistent with the sports field function. Natural exterior colors will be used, and the improvements will not be visible from surrounding properties.

b/c. These subsections pertaining to building scale and transition is not relevant because the buildings are very small and well removed from any other buildings in the area. The high school building and auditorium, which are over 100 feet to the east are the closest buildings in the area.

d. As noted above, the proposed site is large enough to displace any contrasting architectural styles that the proposed building might add to the surrounding area.

e. The proposed improvements will enhance the human scale of the baseball field spectator area by providing a more comfortable walking environment, improved safety, restrooms, and concessions.

f. For security reasons, the restroom, concession stand, and announcer's booth will not be very transparent with multiple openings and windows. However, these buildings will be open when spectators are present. Because of their small size, the site will continue to be transparent and easily surveyed from many different vantage points.

g. The buildings will avoid expansive blank wall elevations.

h. There will not be any additional weather protection compared to the current improvements. Spectators expect to come prepared for the varied climatic conditions of the Northwest.

i. As noted above the improvements are designed to enhance the comfort, safety, and enjoyment of the spectators.

j. This subsection primarily deals with public street sidewalks. It calls for clear sidewalk widths of at least 4 feet. All proposed walkways will meet this standard.

55.090 A. (3) In addition, the provisions of the following sections shall be met:

3. Section 55.100 J. Crime Prevention

Access, pedestrian circulation, and lighting will be provided and arranged to maximize spectator safety. The baseball field and adjoining sports facilities will continue to be secured by the district to minimize the potential for crime and vandalism on the school grounds and the surrounding neighborhood.

4. Section 55.100 K. ADA Accessibility

City code criteria and ADA requirements will be satisfied during the final building and facility design. The restroom will be ADA accessible, and the existing gravel pathway from the southern parking lot will be improved to be ADA accessible

55.100 A. (1) Chapter 33, Storm Water Quality and Detention:

Because a minor modification is proposed for an existing storm drainage line, Chapter 33 applies. The approval criteria are found in Section 33.040.

Section 33.040 Approval Criteria

A. *Stormwater quality facilities shall meet non-point source pollution control standards.*

The proposed storm drainage system work only involves replacing a small portion of an existing underground pipe. The proposed storm drainage system improvement is designed using the City of Portland Storm Water Management Manual. Bioswales and a planter have been designed using the simplified approach.

B. *Design of stormwater detention and pollution reduction facilities and related detention and water quality calculations shall meet Public Works Design Standards and shall be prepared by a professional engineer licensed to practice in the state of Oregon.*

The existing facilities and the proposed storm line improvement have all been designed by a licensed engineer. This criterion is satisfied. The proposed storm drainage system is designed using the City of Portland Storm Water Management Manual. Bioswales and a flow thru-planter have been designed using the simplified approach to achieve pollution reduction and flow control requirements (per Chapter 2.2).

C. *Soil stabilization techniques, erosion control, and adequate improvements to accommodate the intended drainage through the drainage basin shall be used. Storm drainage shall not be diverted from its natural watercourse unless no feasible alternatives exist. Interbasin transfers of storm drainage will not be permitted.*

The project will involve only a minimal amount of disturbance to existing gravel and paved areas. This project will not alter a water course location or involve an inter-basin water transfer. This criterion is satisfied.

D. *Stormwater detention and treatment facilities shall encroach no further than 25 feet into the outside boundary of a water quality resource area. The area of encroachment must be replaced by adding an equal area to the water quality resource area on the subject property.*

This is not applicable because detention and treatment is not proposed as part of this minor line improvement. The proposed facilities are not within the 25-foot setback of the water quality resource area.

E. *Stormwater detention and treatment facilities shall be vegetated with plants from the Metro's native plant list as described in Section 33.070.*

The storm water facilities are planted per the requirements of the City of Portland Storm Water Management Manual as shown in the landscape plan.

F. Projects must either stockpile existing topsoil for re-use on the site or import topsoil, rather than amend subsoils.

This is not applicable because the disturbed construction area will only involve existing gravel and paved surfaces, which are of no environmental value, and it will be resurfaced once the new drainage improvements are made.

G. Interim erosion control measures, such as mulching, shall be placed immedia tely upon completion of grading of the facilities.

Erosion control measures are being proposed as shown in the erosion control plan. These measures consist of silt fencing, wattles, bio-bags, and inlet protection. Erosion control measures are consistent with City of West Linn design standards.

3. Section 55.100 J. Crime Prevention

Access, pedestrian circulation, and lighting will be provided and arranged to maximize spectator safety. The baseball field and adjoining sports facilities will continue to be secured by the district to minimize the potential for crime and vandalism on the school grounds and the surrounding neighborhood.

CONCLUSION

The proposed baseball field improvements satisfy all of the relevant criteria as demonstrated above.

WINZLER & KELLY
15575 SW Sequoia Pkwy, Ste. 140
Portland, OR 97224-7233

Date: 6-7-10

MEMORANDUM

Project No.: 10884-09007 Project Name: WLHS Baseball Seating

To: Khoi Le, P.E., City of West Linn

From: Patrick Tortora, P.E.

Copies To: M. Wharry, P.E.

Subject: Stormwater Drainage Design Memorandum

This memorandum is to address the proposed storm drainage improvement related to the proposed pedestrian infrastructure and seating upgrades at the WLHS baseball field.

Project Description:
Improvements to pedestrian infrastructure and spectator seating are proposed at the baseball field. The proposed improvements include a new hardscape path from the existing parking lot to the seating area, a new built-in spectator seating area, new hardscape pedestrian plaza, and new bathroom facilities. See Site Plan.

New impervious area summary (approximate): 7,200 sf

Existing Conditions:
The existing site includes a gravel path and spectator seating area with portable metal bleachers. There is an existing storm pipe network that consists of a series of catch basins and storm pipe that collect and convey runoff from the site as well as a large off-site tributary area of about 83 acres. The calculated peak flows from the off-site tributary area are summarized below:

Design Storm Event	Peak Flow
2-Year	4.8 cfs
5-Year	8.1 cfs
10-Year	12.3 cfs
25-Year	16.8 cfs
100-Year	21.7 cfs

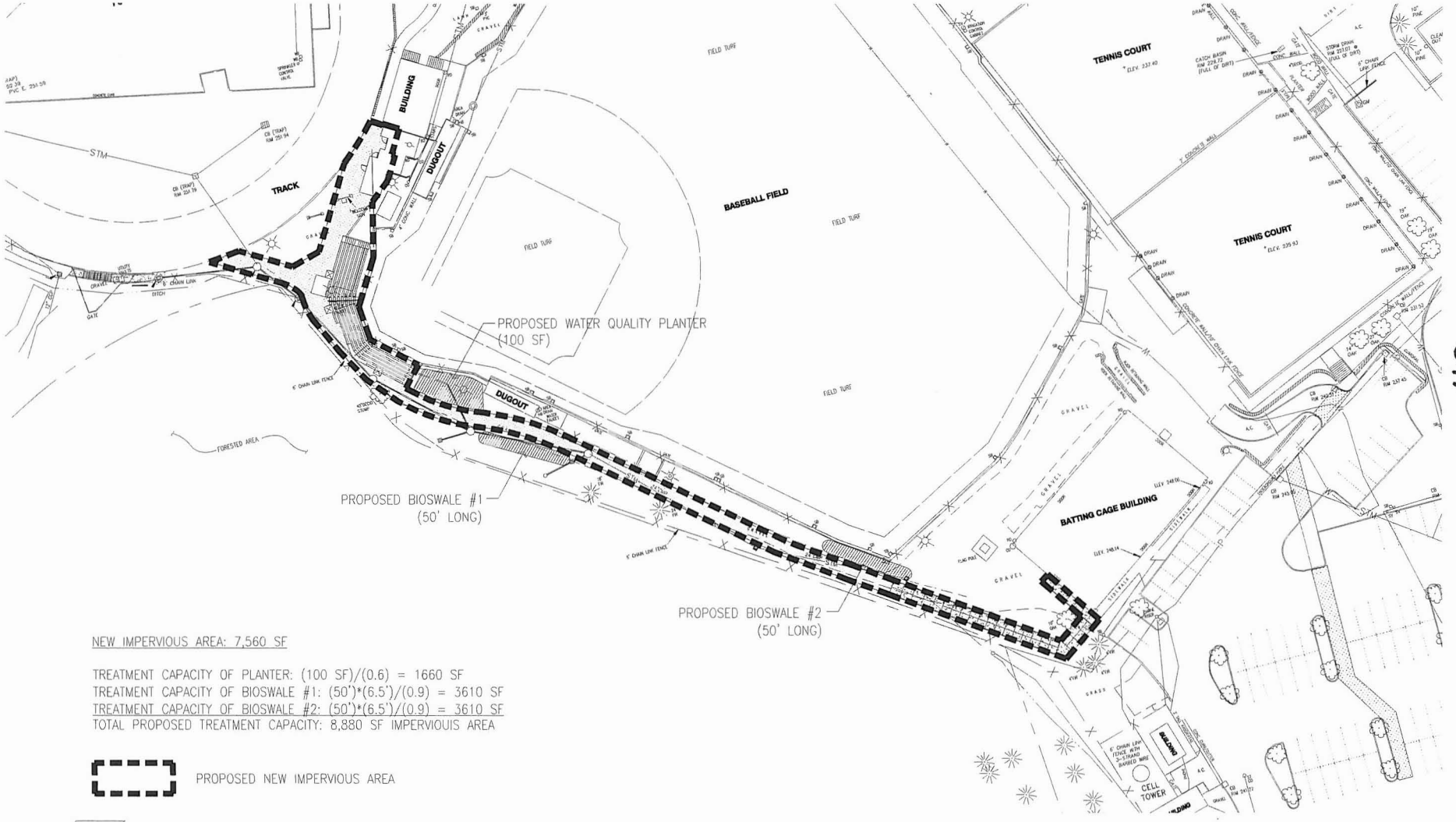
The pipe network consists mostly of 24" pipe, although there is a 12" section of pipe at the upstream end of the system that restricts the amount of flow that the system can accept. It was determined that the 24" pipe has the capacity to convey the 10-year peak flow.

The baseball field area is located at the downstream end of the pipe network, just upstream of its point of discharge into a drainage that ultimately outlets into the Willamette River.

Proposed Storm System:
The proposed improvements to the storm system include upsizing the existing 12" section of pipe with 24" pipe. A portion of the storm pipe network will be relocated to avoid the new spectator seating.

Detention is not proposed for the new impervious area. An analysis showed that the proposed impervious area will increase the peak 25-year flow leaving the site by about 0.03 cfs from its existing condition. This increase is considered negligible compared to the off-site flow that is routed through the system (16.8 cfs for 25-year design storm).

Stormwater treatment is planned to remove pollutants from the majority of the proposed impervious area. The proposed stormwater quality features include a planter to accept runoff from the new bleacher area, and two bioswales to accept runoff from the proposed pedestrian hardscape areas. These features have been designed using the City of Portland Stormwater Management Manual Simplified Approach – see attached Drainage Map. Per Chapter 2.2 these facilities provide both pollution reduction and flow control (detention).



NEW IMPERVIOUS AREA: 7,560 SF

TREATMENT CAPACITY OF PLANTER: (100 SF)/(0.6) = 1660 SF
TREATMENT CAPACITY OF BIOSWALE #1: (50')*(6.5')/(0.9) = 3610 SF
TREATMENT CAPACITY OF BIOSWALE #2: (50')*(6.5')/(0.9) = 3610 SF
TOTAL PROPOSED TREATMENT CAPACITY: 8,880 SF IMPERVIOUIS AREA

PROPOSED NEW IMPERVIOUS AREA

N

1" = 50'-0"

50' 0 50' 100' 150'

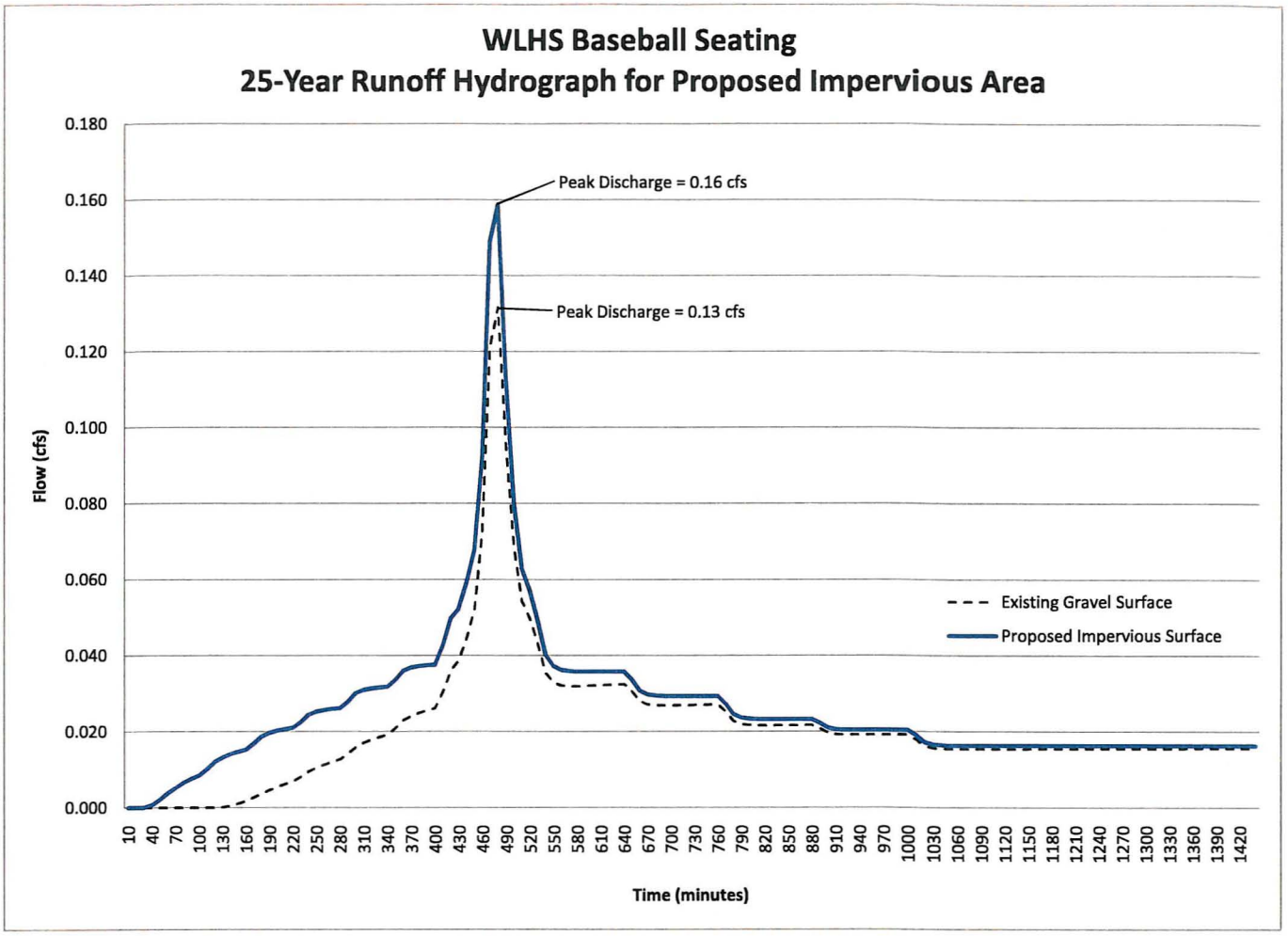
WINZLER & KELLY
15575 SW SEQUOIA PKWY, SUITE 140
PORTLAND, OR 97224
PH: 503-226-3921 FAX: 503-226-3926

PROJECT: WLHS BASEBALL SEATING

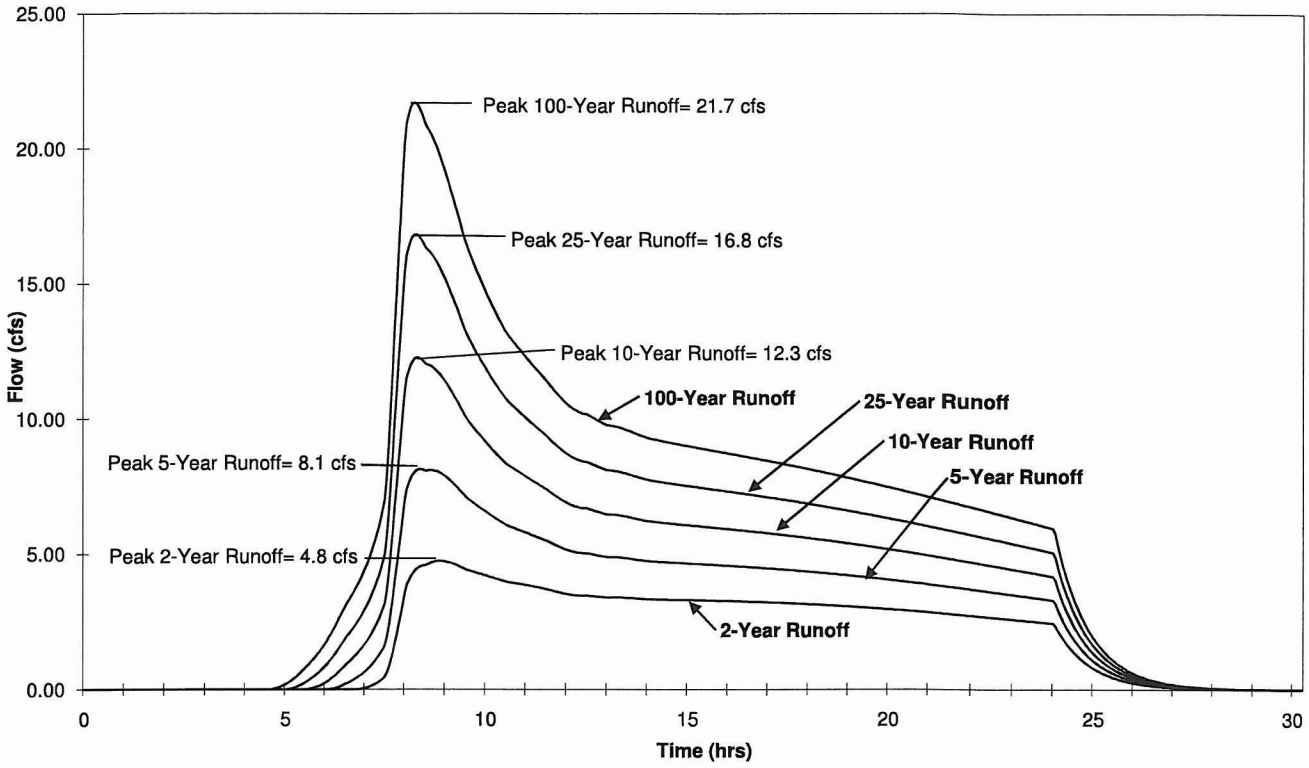
TITLE: DRAINAGE MAP - PROPOSED CONDITIONS

DESIGNED	DRAWN	APPROVED	DATE	PROJECT NO.	DWG NO.
–	–		3/31/10	10884-09007	FIGURE 1

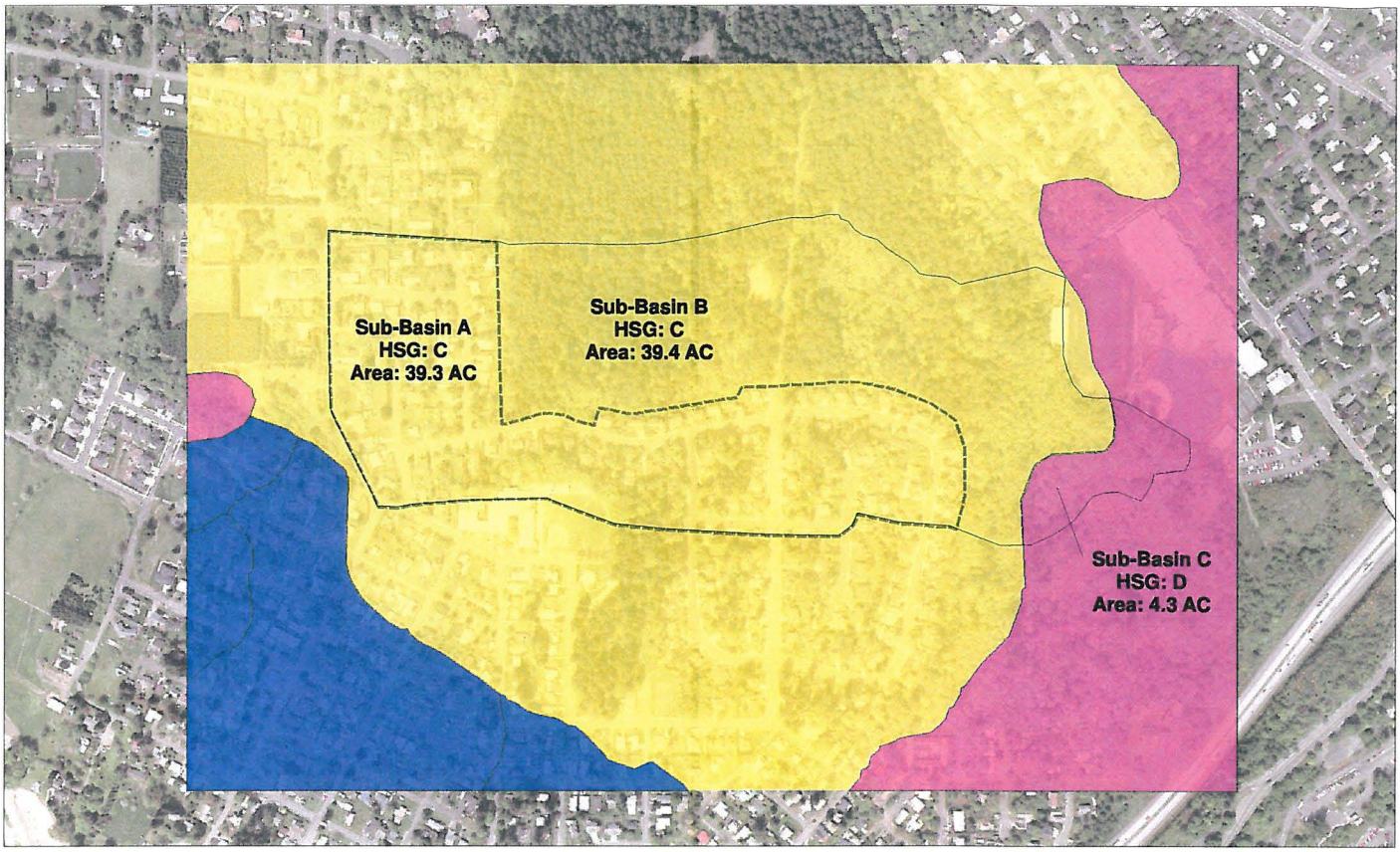
O:\10884 – DOWA (DULL OLSON WEEKES ARCHITECTS)\10884-09007 DOWA WLWSD WEST LINN HS\CAD\EXHIBITS\DRAINAGEMAP.DWG Seth Stevens 4/27/2010 4:19 PM


WLHS Baseball Seating
25-Year Runoff Hydrograph for Proposed Impervious Area
Peak Discharge = 0.16 cfs
Peak Discharge = 0.13 cfs
Existing Gravel Surface
Proposed Impervious Surface
Flow (cfs)
Time (minutes)
0.180
0.160
0.140
0.120
0.100
0.080
0.060
0.040
0.020
0.000
10 40 70 100 130 160 190 220 250 280 310 340 370 400 430 460 490 520 550 580 610 640 670 700 730 760 790 820 850 880 910 940 970 1000 1030 1060 1090 1120 1150 1180 1210 1240 1270 1300 1330 1360 1390 1420

WLHS Storm Pipe Analysis
Runoff Hydrographs



Hydrologic Soil Group



Hydrologic Soil Group

HSG_B
HSG_C
HSG_D

N

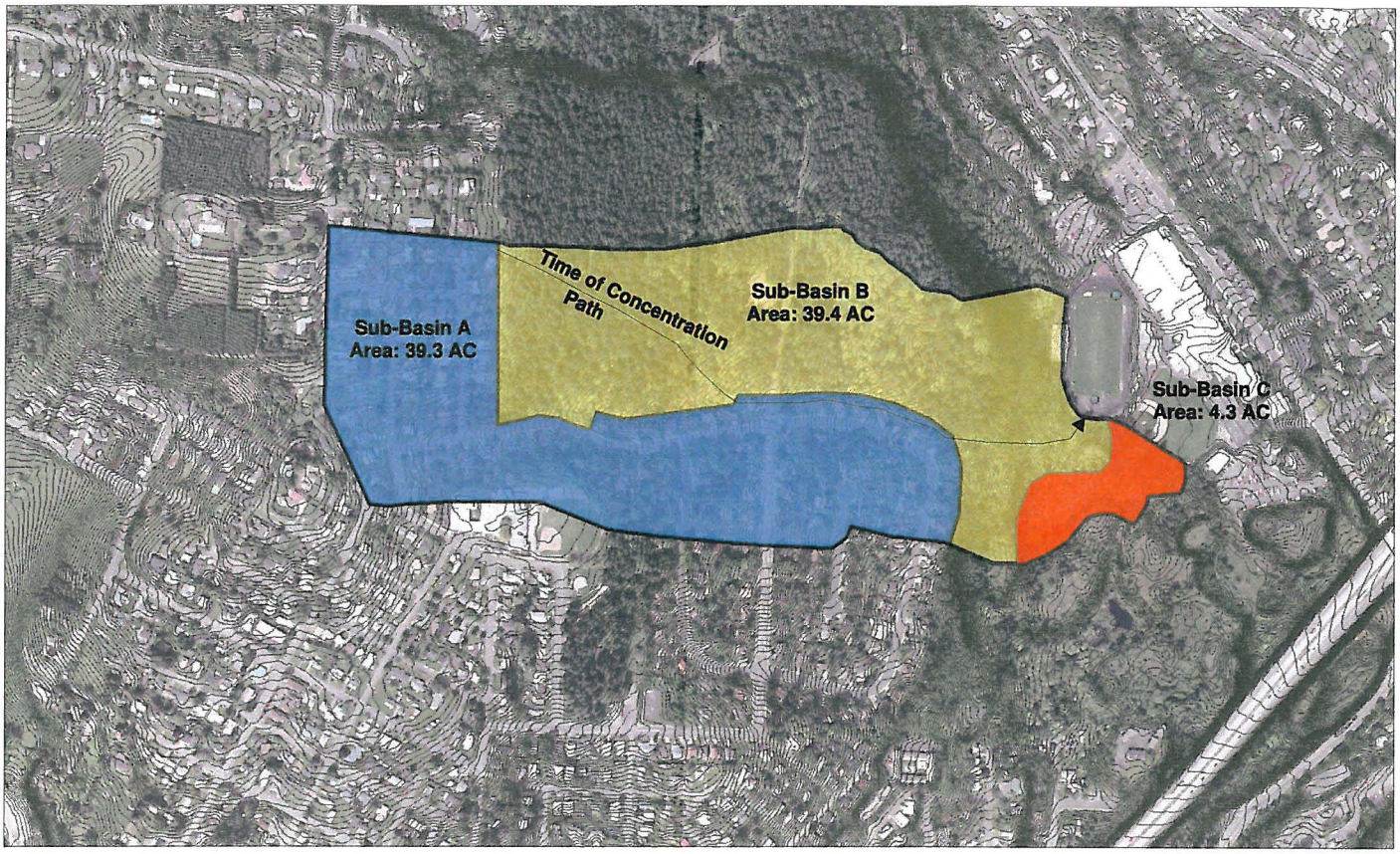
0 250 500 1,000 Feet

January 22, 2010

WINZLER & KELLY

Data Source: NRCS Web Soil Survey (http://websoilsurvey.nrcs.usda.gov/app/)

Watershed for WLHS Storm Pipe



N

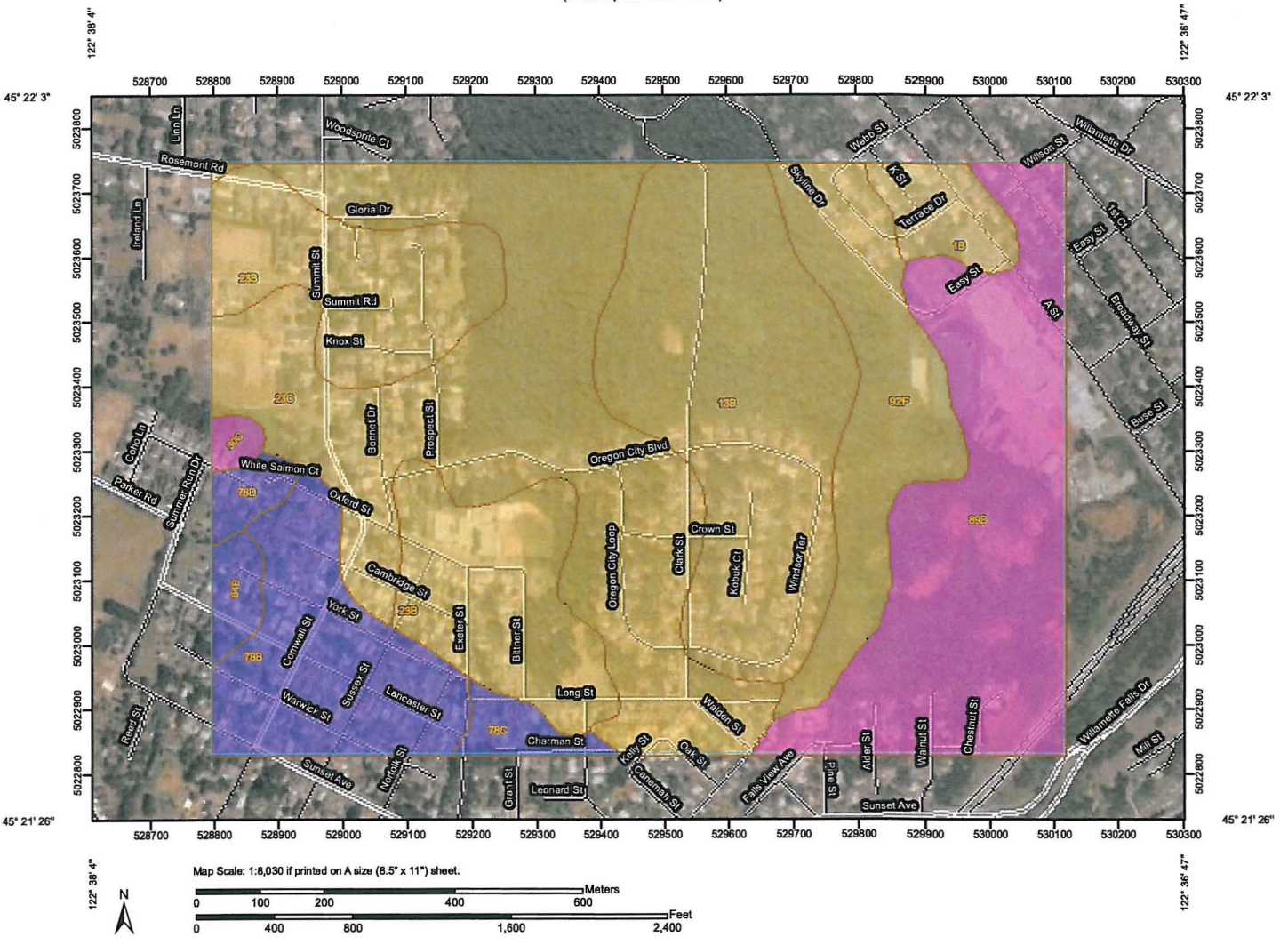
0 237.5 475 950 Feet

January 22, 2010

Data Source: Topograpy - City of West Linn 2 ft. Contours (2004) Received January 22, 2010

WINZLER & KELLY

Hydrologic Soil Group—Clackamas County Area, Oregon
(Soil Map for WLHS Area)



USDA Natural Resources Conservation Service

Web Soil Survey
National Cooperative Soil Survey

1/22/2010
Page 1 of 3

MAP LEGEND

Area of Interest (AOI)
- Area of Interest (AOI)

Soils
- Soil Map Units

Soil Ratings
- A
- A/D
- B
- B/D
- C
- C/D
- D
- Not rated or not available

Political Features
- Cities

Water Features
- Oceans
- Streams and Canals

Transportation
- Rails
- Interstate Highways
- US Routes
- Major Roads
- Local Roads

MAP INFORMATION

Map Scale: 1:8,030 if printed on A size (8.5" × 11") sheet.

The soil surveys that comprise your AOI were mapped at 1:20,000.

Please rely on the bar scale on each map sheet for accurate map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL: http://websoilsurvey.nrcs.usda.gov
Coordinate System: UTM Zone 10N NAD83

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Clackamas County Area, Oregon
Survey Area Data: Version 5, Aug 12, 2009

Date(s) aerial images were photographed: 8/3/2005

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Hydrologic Soil Group— Summary by Map Unit — Clackamas County Area, Oregon				
Map unit symbol	**Map unit name**	**Rating**	**Acres in AOI**	**Percent of AOI**
1B	Aloha silt loam, 3 to 6 percent slopes	C	6.6	2.2%
13B	Cascade silt loam, 3 to 8 percent slopes	C	52.9	17.7%
23B	Cornelius silt loam, 3 to 8 percent slopes	C	45.6	15.2%
23C	Cornelius silt loam, 8 to 15 percent slopes	C	78.6	26.2%
30C	Delena silt loam, 3 to 12 percent slopes	D	1.5	0.5%
64B	Nekia silty clay loam, 2 to 8 percent slopes	B	3.3	1.1%
78B	Saum silt loam, 3 to 8 percent slopes	B	25.0	8.4%
78C	Saum silt loam, 8 to 15 percent slopes	B	3.7	1.2%
78D	Saum silt loam, 15 to 30 percent slopes	B	2.9	1.0%
89D	Witzel very stony silt loam, 3 to 40 percent slopes	D	53.8	17.9%
92F	Xerochrepts and Haploxerolls, very steep	C	25.6	8.5%
Totals for Area of Interest			**299.5**	**100.0%**

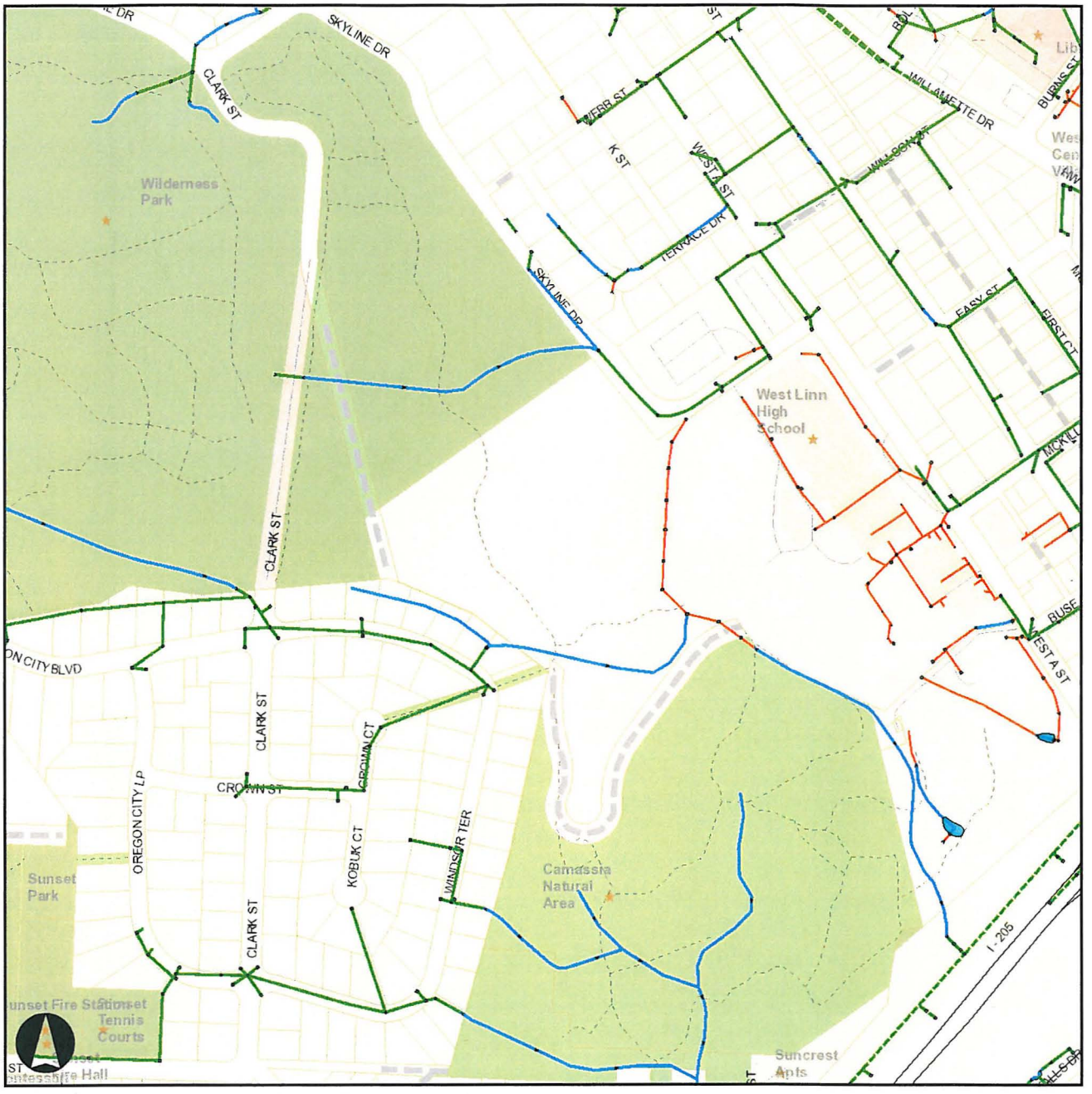
Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Lower

WLHS Drainage



2009 West Linn GIS Map Disclaimer, click here

WestLinnBaseMap_ex911v1

West Linn GIS Map Disclaimer: This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information.

WLHS Drainage 2

2009 West Linn GIS Map Disclaimer, click here

WestLinnBaseMap_ex911v1

West Linn GIS Map Disclaimer: This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information.

WINZLER & KELLY

DATE: 1/21/2010
JOB No: 10884-09007
JOB NAME: West Linn High School
CALC BY: STS

Time of Concentration

The following calculations are based on the procedures presented in the NRCS publication TR-55: *Urban Hydrology for Small Watersheds* (June 1986 edition)

Sheet Flow

$$T_{SF} = \frac{0.007(nL)^{0.8}}{(I_2)^{0.5}s^{0.4}} \text{ (60 min/hr)}$$

T_{SF} = Travel Time for Sheet Flow (min)
n = Manning's Roughness Coefficient (From Table 3-1)
I_2 = 2-year, 24-hour rainfall (in)
L = Flow Length (ft) - 300 ft maximum
s = Land Slope (ft/ft)

Parameters
n: 0.6
I_2: 2.4 in
L: 300 ft
s: 0.09 ft/ft

T_{SF} = 45 min

Table 3-1 Roughness coefficients (Manning's n) for sheet flow

Surface description	n [1]
Smooth surfaces (concrete, asphalt, gravel, or bare soil)	0.011
Fallow (no residue)	0.05
Cultivated soils:	
Residue cover ≤20%	0.06
Residue cover >20%	0.17
Grass:	
Short grass prairie	0.15
Dense grasses [2]	0.24
Bermudagrass	0.41
Range (natural)	0.13
Woods: [3]	
Light underbrush	0.40
Dense underbrush	0.80

[1] The n values are a composite of information compiled by Engman (1986).
[2] Includes species such as weeping lovegrass, bluegrass, buffalo grass, blue grama grass, and native grass mixtures.
[3] When selecting n, consider cover to a height of about 0.1 ft. This is the only part of the plant cover that will obstruct sheet flow.

Time of Concentration

Shallow Concentrated Flow

$$T_{SCF} = \frac{L}{3600V} \text{ (60 min/hr)}$$

T_{SCF} = Travel Time for Shallow Concentrated Flow (min)
L = Flow Length (ft)
V = Velocity (ft/s) (From Figure 3-1

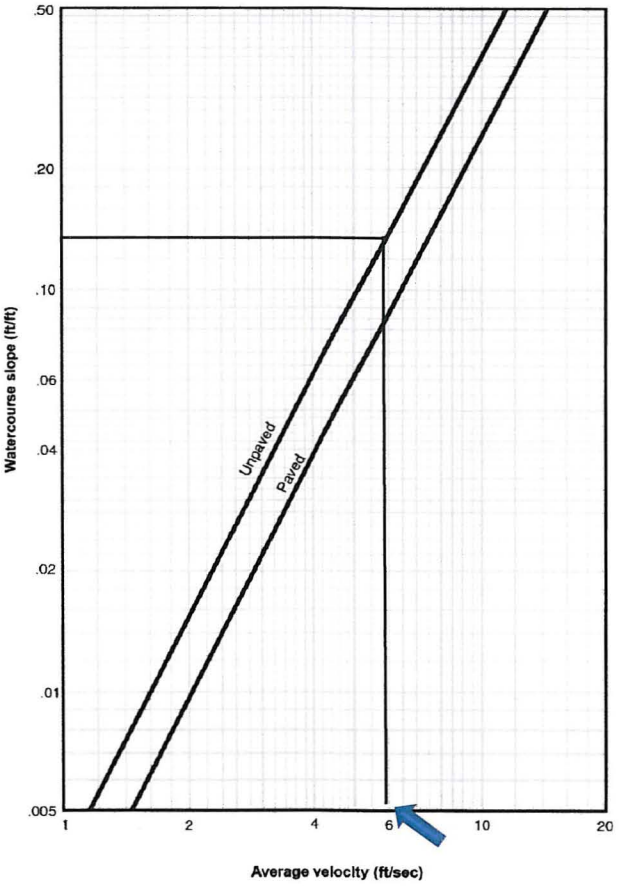
Parameters

L: 2400 ft
V: 6. ft/s

T_{SCF} = 7 min

Figure 3-1 from TR-55

Figure 3-1 Average velocities for estimating travel time for shallow concentrated flow



Total Time of Concentration

$T_C = T_{SF} + T_{SCF}$

T_C = 52 min

Table 2-2a Runoff curve numbers for urban areas [1/]

Cover description		Curve numbers for hydrologic soil group			
Cover type and hydrologic condition	Average percent impervious area [2/]	A	B	C	D
Fully developed urban areas (vegetation established)					
Open space (lawns, parks, golf courses, cemeteries, etc.) [3/]:					
Poor condition (grass cover < 50%)		68	79	86	89
Fair condition (grass cover 50% to 75%)		49	69	79	84
Good condition (grass cover > 75%)		39	61	74	80
Impervious areas:					
Paved parking lots, roofs, driveways, etc. (excluding right-of-way)		98	98	98	98
Streets and roads:					
Paved; curbs and storm sewers (excluding right-of-way)		98	98	98	98
Paved; open ditches (including right-of-way)		83	89	92	93
Gravel (including right-of-way)		76	85	89	91
Dirt (including right-of-way)		72	82	87	89
Western desert urban areas:					
Natural desert landscaping (pervious areas only) [4/]		63	77	85	88
Artificial desert landscaping (impervious weed barrier, desert shrub with 1- to 2-inch sand or gravel mulch and basin borders)		96	96	96	96
Urban districts:					
Commercial and business	85	89	92	94	95
Industrial	72	81	88	91	93
Residential districts by average lot size:					
1/8 acre or less (town houses)	65	77	85	90	92
1/4 acre	38	61	75	83	87
1/3 acre	30	57	72	81	86
1/2 acre	25	54	70	80	85
1 acre	20	51	68	79	84
2 acres	12	46	65	77	82
Developing urban areas					
Newly graded areas (pervious areas only, no vegetation) [5/]		77	86	91	94
Idle lands (CN's are determined using cover types similar to those in table 2-2c).					

1 Average runoff condition, and $I_a = 0.2S$.

2 The average percent impervious area shown was used to develop the composite CN's. Other assumptions are as follows: impervious areas are directly connected to the drainage system, impervious areas have a CN of 98, and pervious areas are considered equivalent to open space in good hydrologic condition. CN's for other combinations of conditions may be computed using figure 2-3 or 2-4.

3 CN's shown are equivalent to those of pasture. Composite CN's may be computed for other combinations of open space cover type.

4 Composite CN's for natural desert landscaping should be computed using figures 2-3 or 2-4 based on the impervious area percentage (CN = 98) and the pervious area CN. The pervious area CN's are assumed equivalent to desert shrub in poor hydrologic condition.

5 Composite CN's to use for the design of temporary measures during grading and construction should be computed using figure 2-3 or 2-4 based on the degree of development (impervious area percentage) and the CN's for the newly graded pervious areas.

Table 2-2c Runoff curve numbers for other agricultural lands [1/]

Cover description		Curve numbers for hydrologic soil group			
Cover type	Hydrologic condition	A	B	C	D
Pasture, grassland, or range—continuous forage for grazing. [2/]	Poor	68	79	86	89
	Fair	49	69	79	84
	Good	39	61	74	80
Meadow—continuous grass, protected from grazing and generally mowed for hay.	—	30	58	71	78
Brush—brush-weed-grass mixture with brush the major element. [3/]	Poor	48	67	77	83
	Fair	35	56	70	77
	Good	30 [4/]	48	65	73
Woods—grass combination (orchard or tree farm). [5/]	Poor	57	73	82	86
	Fair	43	65	76	82
	Good	32	58	72	79
Woods. [6/]	Poor	45	66	77	83
	Fair	36	60	73	79
	Good	30 [4/]	55	70	77
Farmsteads—buildings, lanes, driveways, and surrounding lots.	—	59	74	82	86

1 Average runoff condition, and $I_a = 0.2S$.

2 *Poor:* <50%) ground cover or heavily grazed with no mulch.
Fair: 50 to 75% ground cover and not heavily grazed.
Good: > 75% ground cover and lightly or only occasionally grazed.

3 *Poor:* <50% ground cover.
Fair: 50 to 75% ground cover.
Good: >75% ground cover.

4 Actual curve number is less than 30; use CN = 30 for runoff computations.

5 CN's shown were computed for areas with 50% woods and 50% grass (pasture) cover. Other combinations of conditions may be computed from the CN's for woods and pasture.

6 *Poor:* Forest litter, small trees, and brush are destroyed by heavy grazing or regular burning.
Fair: Woods are grazed but not burned, and some forest litter covers the soil.
Good: Woods are protected from grazing, and litter and brush adequately cover the soil.

Full Flow Capacity for 24" CMP Pipe, S=1%

Project Description

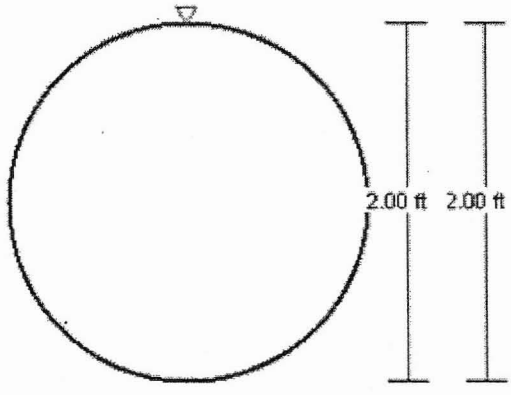
Friction Method	Manning Formula
Solve For	Full Flow Capacity

Input Data

Roughness Coefficient	0.024	
Channel Slope	0.01000	ft/ft
Normal Depth	2.00	ft
Diameter	2.00	ft
Discharge	12.25	ft^3/s

CAPACITY =

Cross Section Image



V: 1
H: 1

24" HDPE, S=1%, 100-yr Peak Flow

Project Description

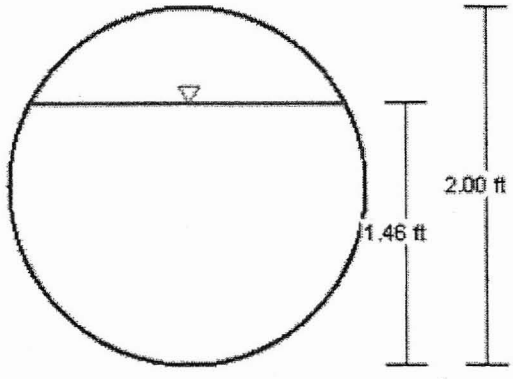
Friction Method	Manning Formula
Solve For	Normal Depth

Input Data

Roughness Coefficient	0.012	
Channel Slope	0.01000	ft/ft
Normal Depth	1.46	ft
Diameter	2.00	ft
Discharge	21.70	ft³/s

CAPACITY = 25 cfs

Cross Section Image



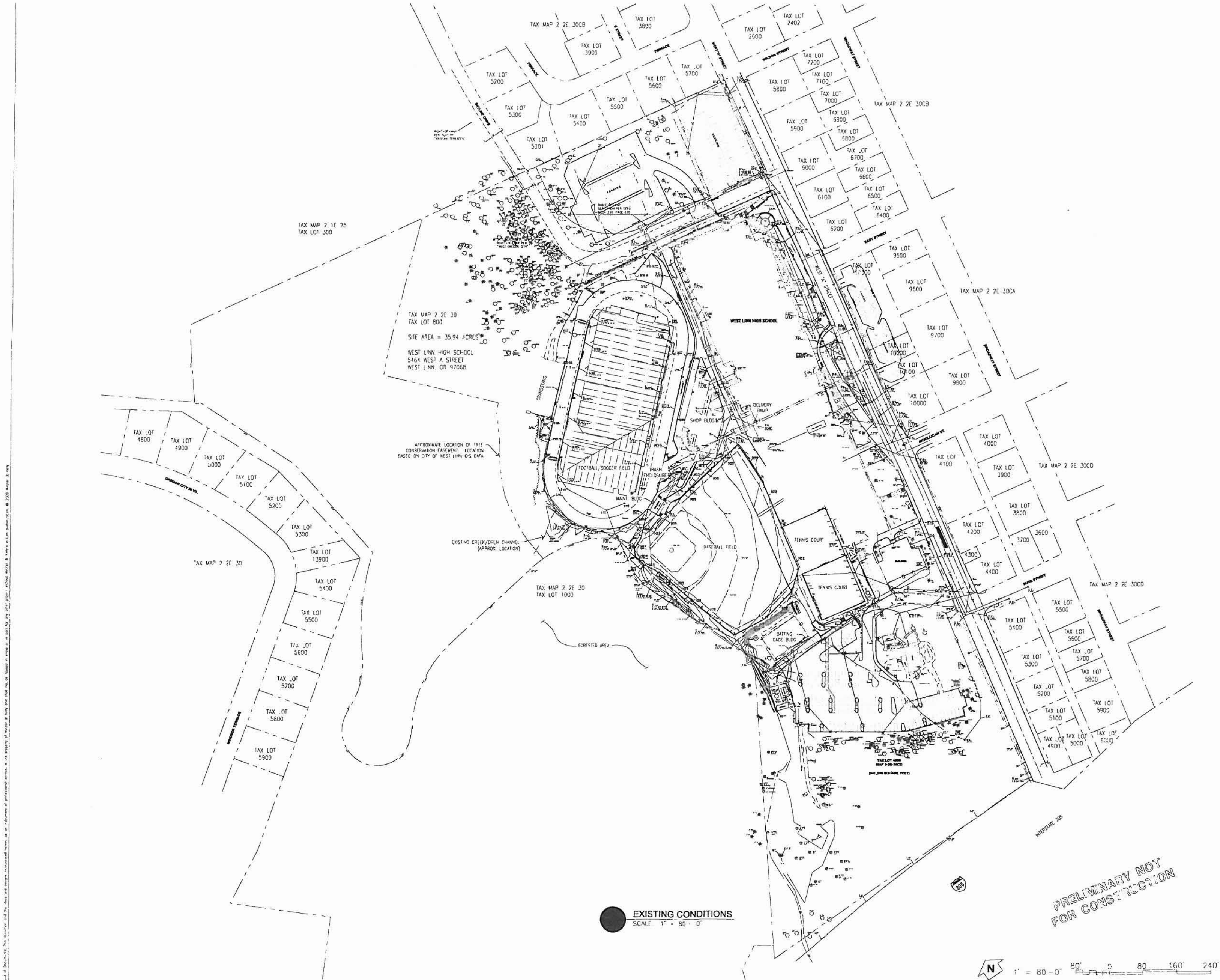
V: 1
H: 1

WLHS Storm Pipe Analysis

Hydrologic Summary

Sub-Basin	Land Use	Area (Acres)	Hydroloic Condition	Hydrologic Soil Group	CN
A	Residential (1/4 Acre Lots)	39.3	N/A	C	83
B	Woods	39.4	Good	C	70
C	Woods	4.3	Good	D	77
	Total:	**83.0**		**Composite CN:**	**77**

Reference: "Urban Hydrology for Small Watersheds", NRCS Technical Release 55, Second Edition, June 1986


TAX MAP 2 2E 30
TAX LOT 800
SITE AREA = 35.94 ACRES
WEST LINN HIGH SCHOOL
5464 WEST A STREET
WEST LINN, OR 97068
TAX MAP 2 1E 25
TAX LOT 300
TAX MAP 2 2E 30
TAX LOT 1000
TAX MAP 2 2E 30CB
TAX MAP 2 2E 30CA
TAX MAP 2 2E 30CD
APPROXIMATE LOCATION OF TREE CONSERVATION EASEMENT. LOCATION BASED ON CITY OF WEST LINN GIS DATA
EXISTING CREEK/OPEN CHANNEL (APPROX. LOCATION)
FORESTED AREA
GRANDSTAND
FOOTBALL/SOCCER FIELD
TRASH ENCLOSURE
MAINT. BLDG
SHOP BLDG
DELIVERY RAMP
WEST LINN HIGH SCHOOL
BASEBALL FIELD
TENNIS COURT
TENNIS COURT
BATTING CAGE BLDG
EXISTING CONDITIONS
SCALE: 1" = 80'-0"
PRELIMINARY NOT FOR CONSTRUCTION
1" = 80'-0"
80' 0 80 160' 240'

dowa

ARCHITECTURE • INTERIORS • PLANNING

DULL OLSON WEEKES architects inc

907 SW STARK STREET, PORTLAND OREGON 97205
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WLHS Baseball Seating

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f: (503) 673 7044

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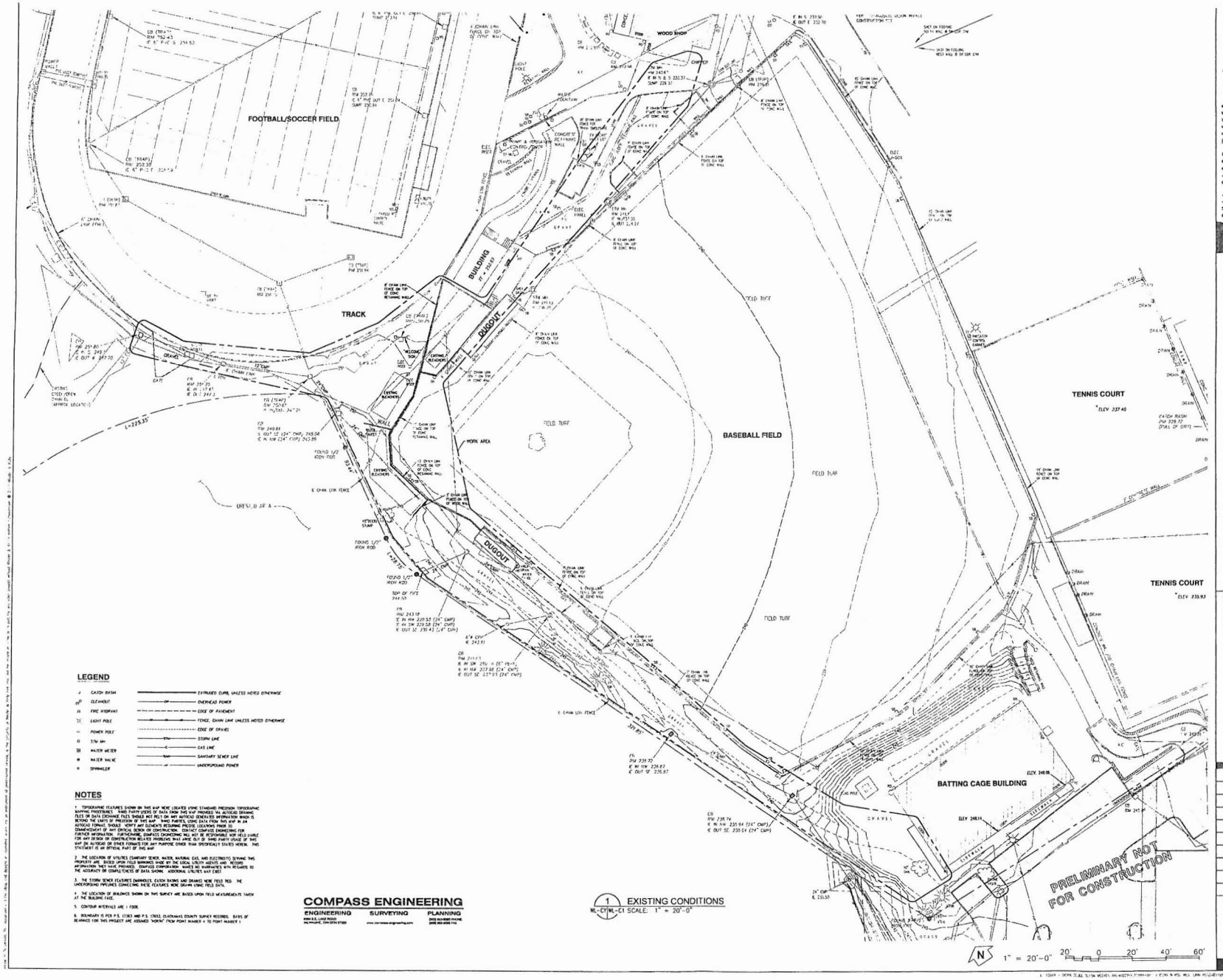
15575 SW SEQUOIA PARKWAY SUITE 140
PORTLAND, OR 97224
PH (503) 226-3921 • FAX (503) 226-3926
WWW.W-AND-K.COM

key plan

phase	design review
date	April 12, 2010
revisions	
project #	09001

EXISTING CONDITIONS

WL-C0



dull olson weekes architects inc.

ARCHITECTURE • INTERIORS • PLANNING

WLHS Baseball Seating

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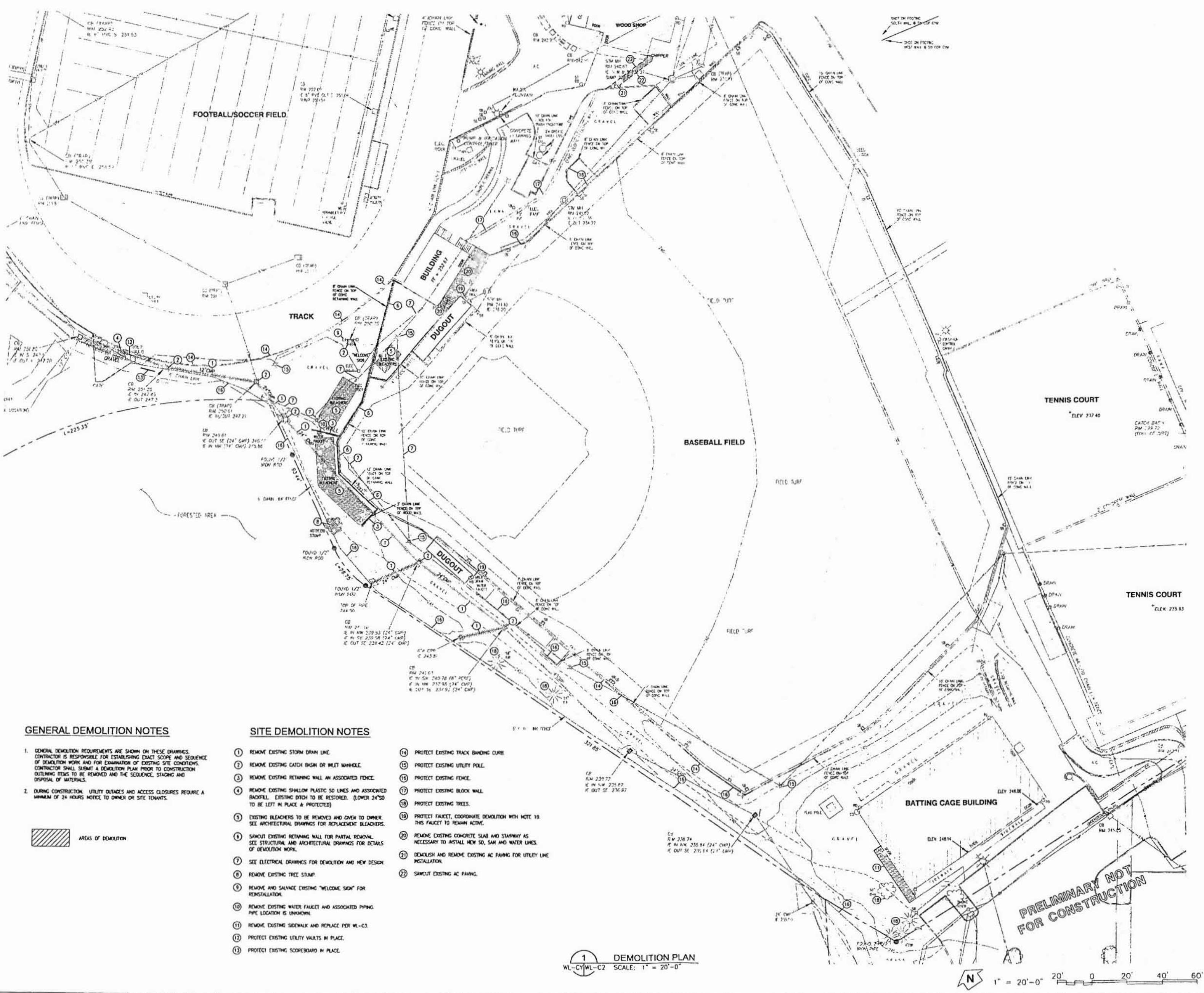
key plan

phase	design review
date	April 12, 2010
revisions	

project # 09001

EXISTING CONDITIONS

WL-C1



GENERAL DEMOLITION NOTES

1. GENERAL DEMOLITION REQUIREMENTS ARE SHOWN ON THESE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING EXACT SCOPE AND SEQUENCE OF DEMOLITION WORK AND FOR EXAMINATION OF EXISTING SITE CONDITIONS. CONTRACTOR SHALL SUBMIT A DEMOLITION PLAN PRIOR TO CONSTRUCTION OUTLINING ITEMS TO BE REMOVED AND THE SEQUENCE, STAGING AND DISPOSAL OF MATERIALS.
2. DURING CONSTRUCTION. UTILITY OUTAGES AND ACCESS CLOSURES REQUIRE A MINIMUM OF 24 HOURS NOTICE TO OWNER OR SITE TENANTS.

AREAS OF DEMOLITION

SITE DEMOLITION NOTES

(1) REMOVE EXISTING STORM DRAIN LINE.
(2) REMOVE EXISTING CATCH BASIN OR INLET MANHOLE.
(3) REMOVE EXISTING RETAINING WALL AN ASSOCIATED FENCE.
(4) REMOVE EXISTING SHALLOW PLASTIC SD LINES AND ASSOCIATED BACKFILL. EXISTING DITCH TO BE RESTORED. (LOWER 24"SD TO BE LEFT IN PLACE & PROTECTED)
(5) EXISTING BLEACHERS TO BE REMOVED AND GIVEN TO OWNER. SEE ARCHITECTURAL DRAWINGS FOR REPLACEMENT BLEACHERS.
(6) SAWCUT EXISTING RETAINING WALL FOR PARTIAL REMOVAL. SEE STRUCTURAL AND ARCHITECTURAL DRAWINGS FOR DETAILS OF DEMOLITION WORK.
(7) SEE ELECTRICAL DRAWINGS FOR DEMOLITION AND NEW DESIGN.
(8) REMOVE EXISTING TREE STUMP.
(9) REMOVE AND SALVAGE EXISTING "WELCOME SIGN" FOR REINSTALLATION.
(10) REMOVE EXISTING WATER FAUCET AND ASSOCIATED PIPING. PIPE LOCATION IS UNKNOWN.
(11) REMOVE EXISTING SIDEWALK AND REPLACE PER WL-C3.
(12) PROTECT EXISTING UTILITY VAULTS IN PLACE.
(13) PROTECT EXISTING SCOREBOARD IN PLACE.
(14) PROTECT EXISTING TRACK BANDING CURB.
(15) PROTECT EXISTING UTILITY POLE.
(16) PROTECT EXISTING FENCE.
(17) PROTECT EXISTING BLOCK WALL.
(18) PROTECT EXISTING TREES.
(19) PROTECT FAUCET, COORDINATE DEMOLITION WITH NOTE 10. THIS FAUCET TO REMAIN ACTIVE.
(20) REMOVE EXISTING CONCRETE SLAB AND STAIRWAY AS NECESSARY TO INSTALL NEW SD, SAN AND WATER LINES.
(21) DEMOLISH AND REMOVE EXISTING AC PAVING FOR UTILITY LINE INSTALLATION.
(22) SAWCUT EXISTING AC PAVING.

1 WL-C1/WL-C2 DEMOLITION PLAN
SCALE: 1" = 20'-0"

N 1" = 20'-0" 20' 0 20' 40' 60'

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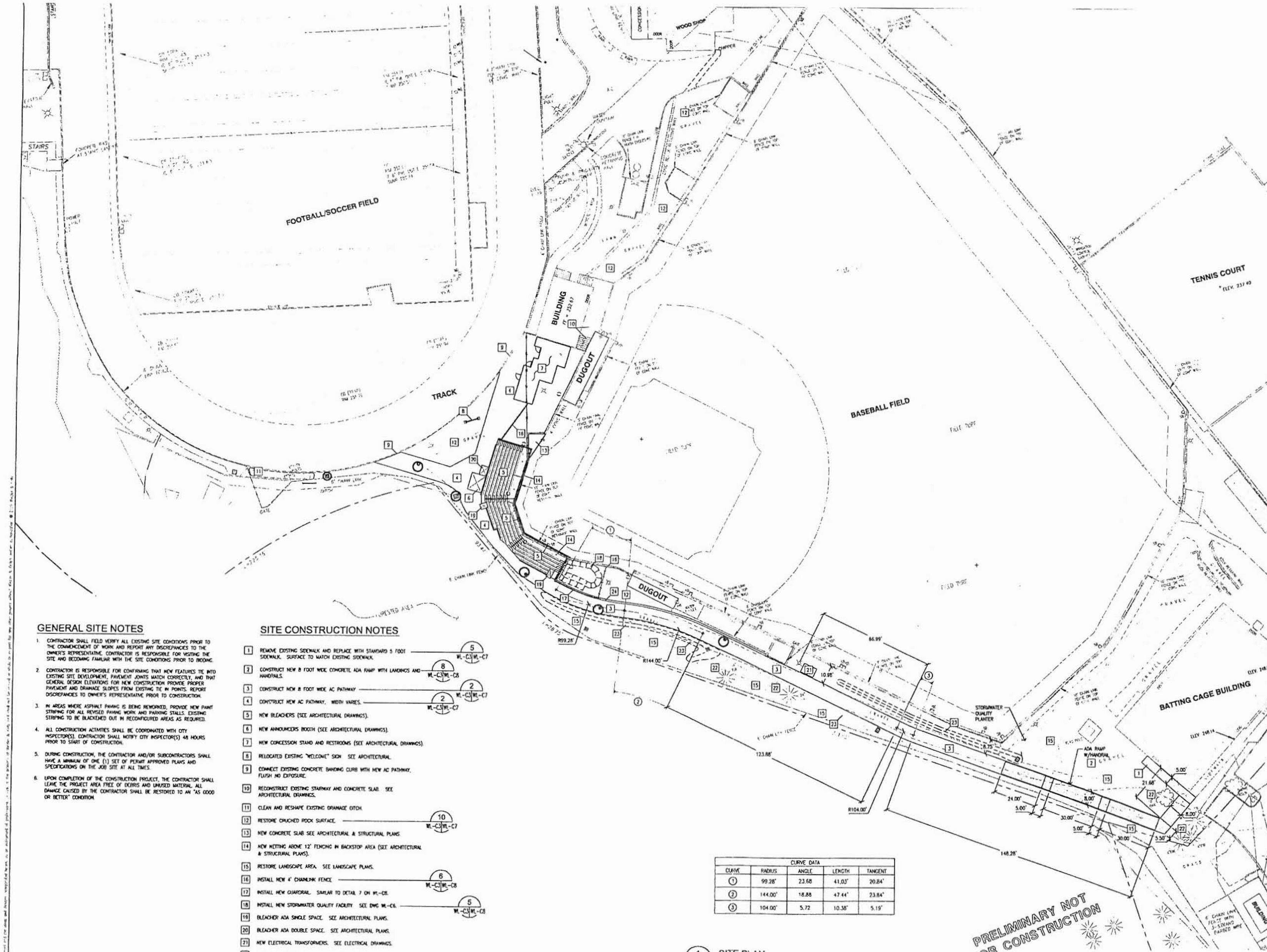
DEMOLITION PLAN

WL-C2

59



GENERAL SITE NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE. CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING.
2. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT NEW FEATURES TIE INTO EXISTING SITE DEVELOPMENT, PAVEMENT JOINTS MATCH CORRECTLY, AND THAT GENERAL DESIGN ELEVATIONS FOR NEW CONSTRUCTION PROVIDE PROPER PAVEMENT AND DRAINAGE SLOPES FROM EXISTING TIE IN POINTS. REPORT DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
3. IN AREAS WHERE ASPHALT PAVING IS BEING REWORKED, PROVIDE NEW PAINT STRIPING FOR ALL REVISED PAVING WORK AND PARKING STALLS. EXISTING STRIPING TO BE BLACKENED OUT IN RECONFIGURED AREAS AS REQUIRED.
4. ALL CONSTRUCTION ACTIVITIES SHALL BE COORDINATED WITH CITY INSPECTOR(S). CONTRACTOR SHALL NOTIFY CITY INSPECTOR(S) 48 HOURS PRIOR TO START OF CONSTRUCTION.
5. DURING CONSTRUCTION, THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL HAVE A MINIMUM OF ONE (1) SET OF PERMIT APPROVED PLANS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES.
6. UPON COMPLETION OF THE CONSTRUCTION PROJECT, THE CONTRACTOR SHALL LEAVE THE PROJECT AREA FREE OF DEBRIS AND UNUSED MATERIAL. ALL DAMAGE CAUSED BY THE CONTRACTOR SHALL BE RESTORED TO AN "AS GOOD OR BETTER" CONDITION.

SITE CONSTRUCTION NOTES

[1] REMOVE EXISTING SIDEWALK AND REPLACE WITH STANDARD 5 FOOT SIDEWALK. SURFACE TO MATCH EXISTING SIDEWALK. — 5 WL-C3 | WL-C7

[2] CONSTRUCT NEW 8 FOOT WIDE CONCRETE ADA RAMP WITH LANDINGS AND HANDRAILS. — 8 WL-C3 | WL-C8

[3] CONSTRUCT NEW 8 FOOT WIDE AC PATHWAY — 2 WL-C3 | WL-C7

[4] CONSTRUCT NEW AC PATHWAY. WIDTH VARIES. — 2 WL-C3 | WL-C7

[5] NEW BLEACHERS (SEE ARCHITECTURAL DRAWINGS).

[6] NEW ANNOUNCER'S BOOTH (SEE ARCHITECTURAL DRAWINGS).

[7] NEW CONCESSION STAND AND RESTROOMS (SEE ARCHITECTURAL DRAWINGS).

[8] RELOCATED EXISTING "WELCOME" SIGN. SEE ARCHITECTURAL.

[9] CONNECT EXISTING CONCRETE BANDING CURB WITH NEW AC PATHWAY. FLUSH NO EXPOSURE.

[10] RECONSTRUCT EXISTING STAIRWAY AND CONCRETE SLAB. SEE ARCHITECTURAL DRAWINGS.

[11] CLEAN AND RESHAPE EXISTING DRAINAGE DITCH.

[12] RESTORE CRUCHED ROCK SURFACE. — 10 WL-C3 | WL-C7

[13] NEW CONCRETE SLAB SEE ARCHITECTURAL & STRUCTURAL PLANS.

[14] NEW NETTING ABOVE 12' FENCING IN BACKSTOP AREA (SEE ARCHITECTURAL & STRUCTURAL PLANS).

[15] RESTORE LANDSCAPE AREA. SEE LANDSCAPE PLANS.

[16] INSTALL NEW 4' CHAINLINK FENCE — 6 WL-C3 | WL-C8

[17] INSTALL NEW GUARDRAIL. SIMILAR TO DETAIL 7 ON WL-C8.

[18] INSTALL NEW STORMWATER QUALITY FACILITY. SEE DWG WL-C6. — 5 WL-C3 | WL-C8

[19] BLEACHER ADA SINGLE SPACE. SEE ARCHITECTURAL PLANS.

[20] BLEACHER ADA DOUBLE SPACE. SEE ARCHITECTURAL PLANS.

[21] NEW ELECTRICAL TRANSFORMERS. SEE ELECTRICAL DRAWINGS.

[22] PROTECT EXISTINGS TREES DURING CONSTRUCTION

[22] INSTALL NEW CURB AND HANDRAIL FLUSH TO PAVEMENT. — 1 WL-C3 | WL-C7

[23] STORMWATER BIOSWALE. — 4 WL-C3 | WL-C8

[24] INSTALL BLOCK WALL. — 11 WL-C3 | WL-C7

CURVE DATA				
CURVE	RADIUS	ANGLE	LENGTH	TANGENT
①	99.28'	23.68	41.03'	20.84'
②	144.00'	18.88	47.44'	23.84'
③	104.00'	5.72	10.38'	5.19'

1 SITE PLAN
WL-C3 | WL-C3 SCALE: 1" = 20'-0"

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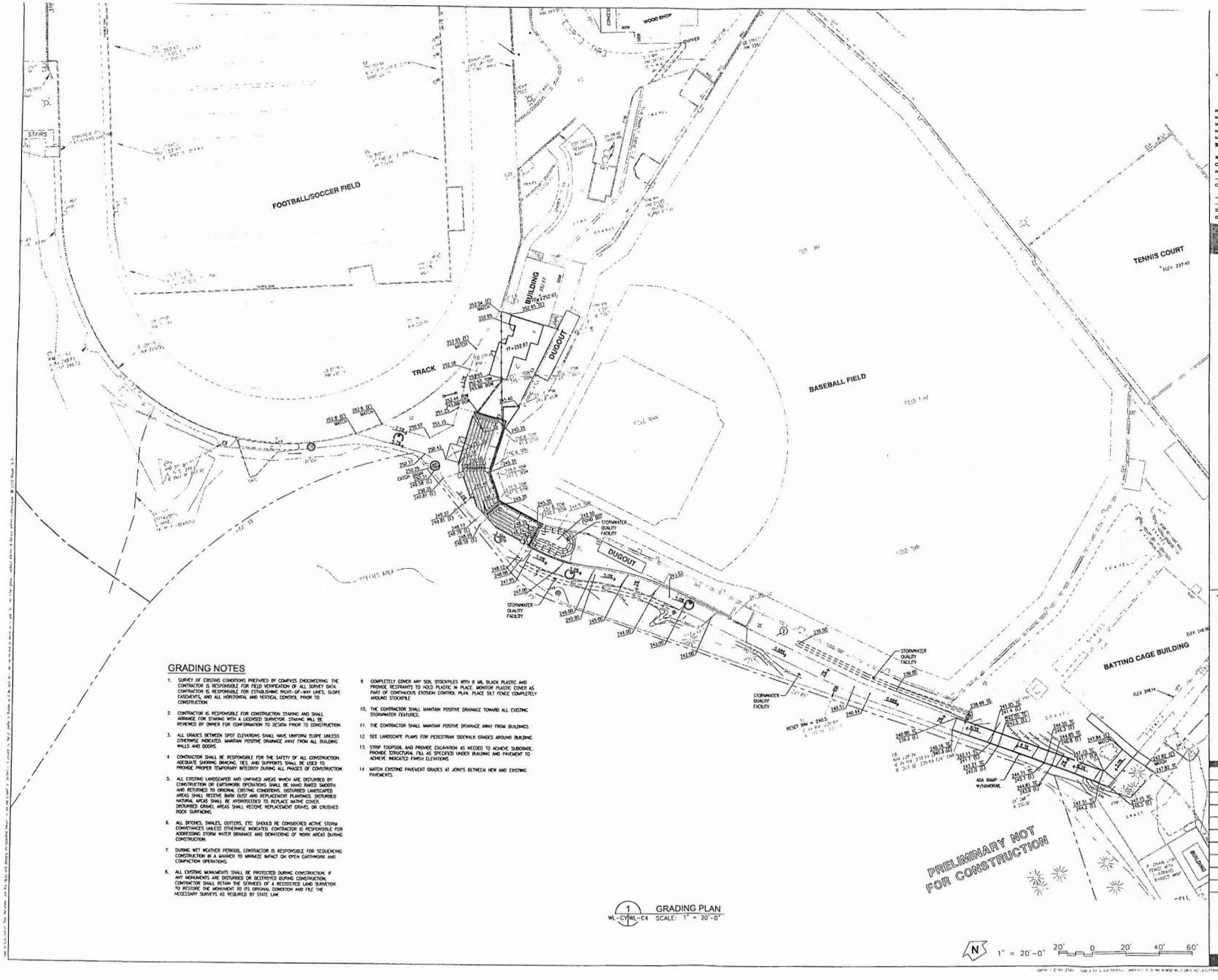
SITE PLAN
WL-C3

60



GRADING NOTES

1. SURVEY OF EXISTING CONDITIONS PREPARED BY COMPASS ENGINEERING. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL SURVEY DATA. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING RIGHT-OF-WAY LINES, SLOPE EASEMENTS, AND ALL HORIZONTAL AND VERTICAL CONTROL PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING AND SHALL ARRANGE FOR STAKING WITH A LICENSED SURVEYOR. STAKING WILL BE REVIEWED BY OWNER FOR CONFORMATION TO DESIGN PRIOR TO CONSTRUCTION.
3. ALL GRADES BETWEEN SPOT ELEVATIONS SHALL HAVE UNIFORM SLOPE UNLESS OTHERWISE INDICATED. MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING WALLS AND DOORS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION. ADEQUATE SHORING, BRACING, TIES, AND SUPPORTS SHALL BE USED TO PROVIDE PROPER TEMPORARY INTEGRITY DURING ALL PHASES OF CONSTRUCTION.
5. ALL EXISTING LANDSCAPED AND UNPAVED AREAS WHICH ARE DISTURBED BY CONSTRUCTION OR EARTHWORK OPERATIONS SHALL BE HAND RAKED SMOOTH AND RETURNED TO ORIGINAL EXISTING CONDITIONS. DISTURBED LANDSCAPED AREAS SHALL RECEIVE BARK DUST AND REPLACEMENT PLANTINGS. DISTURBED NATURAL AREAS SHALL BE HYDROSEEDED TO REPLACE NATIVE COVER. DISTURBED GRAVEL AREAS SHALL RECEIVE REPLACEMENT GRAVEL OR CRUSHED ROCK SURFACING.
6. ALL DITCHES, SWALES, GUTTERS, ETC. SHOULD BE CONSIDERED ACTIVE STORM CONVEYANCES UNLESS OTHERWISE INDICATED. CONTRACTOR IS RESPONSIBLE FOR ADDRESSING STORM WATER DRAINAGE AND DEWATERING OF WORK AREAS DURING CONSTRUCTION.
7. DURING WET WEATHER PERIODS, CONTRACTOR IS RESPONSIBLE FOR SEQUENCING CONSTRUCTION IN A MANNER TO MINIMIZE IMPACT ON OPEN EARTHWORK AND COMPACTION OPERATIONS.
8. ALL EXISTING MONUMENTS SHALL BE PROTECTED DURING CONSTRUCTION. IF ANY MONUMENTS ARE DISTURBED OR DESTROYED DURING CONSTRUCTION, CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO RESTORE THE MONUMENT TO ITS ORIGINAL CONDITION AND FILE THE NECESSARY SURVEYS AS REQUIRED BY STATE LAW.
9. COMPLETELY COVER ANY SOIL STOCKPILES WITH 6 MIL BLACK PLASTIC AND PROVIDE RESTRAINTS TO HOLD PLASTIC IN PLACE. MONITOR PLASTIC COVER AS PART OF CONTINUOUS EROSION CONTROL PLAN. PLACE SILT FENCE COMPLETELY AROUND STOCKPILE.
10. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE TOWARD ALL EXISTING STORMWATER FEATURES.
11. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS.
12. SEE LANDSCAPE PLANS FOR PEDESTRIAN SIDEWALK GRADES AROUND BUILDING.
13. STRIP TOPSOIL AND PROVIDE EXCAVATION AS NEEDED TO ACHIEVE SUBGRADE. PROVIDE STRUCTURAL FILL AS SPECIFIED UNDER BUILDING AND PAVEMENT TO ACHIEVE INDICATED FINISH ELEVATIONS.
14. MATCH EXISTING PAVEMENT GRADES AT JOINTS BETWEEN NEW AND EXISTING PAVEMENTS.

1 GRADING PLAN
WL-CYWL-C4 SCALE: 1" = 20'-0"

N 1" = 20'-0" 20' 0 20' 40' 60'

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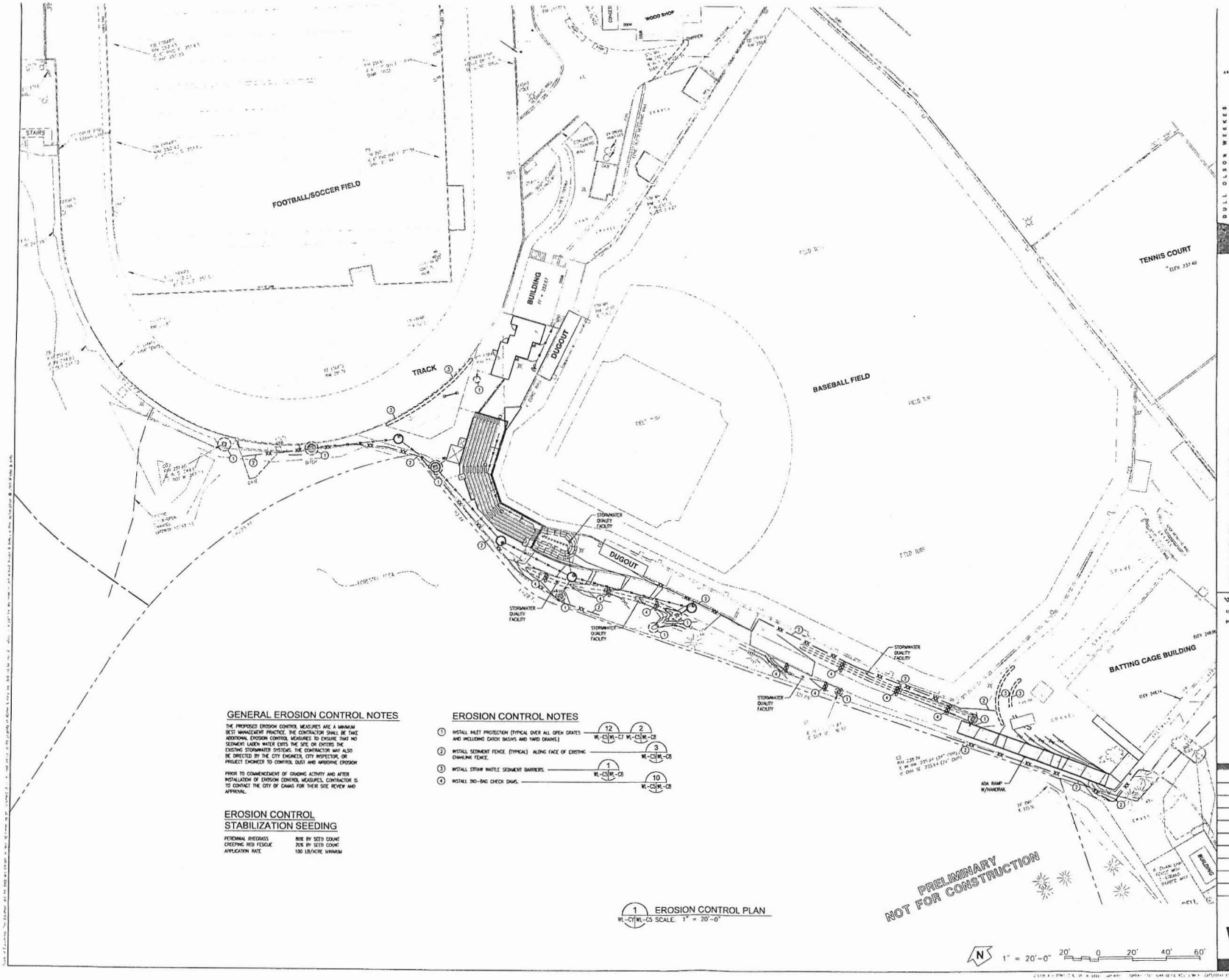
GRADING PLAN

WL-C4



GENERAL EROSION CONTROL NOTES

THE PROPOSED EROSION CONTROL MEASURES ARE A MINIMUM BEST MANAGEMENT PRACTICE. THE CONTRACTOR SHALL BE TAKE ADDITIONAL EROSION CONTROL MEASURES TO ENSURE THAT NO SEDIMENT LADEN WATER EXITS THE SITE OR ENTERS THE EXISTING STORMWATER SYSTEMS. THE CONTRACTOR MAY ALSO BE DIRECTED BY THE CITY ENGINEER, CITY INSPECTOR, OR PROJECT ENGINEER TO CONTROL DUST AND WINDBORNE EROSION

PRIOR TO COMMENCEMENT OF GRADING ACTIVITY AND AFTER INSTALLATION OF EROSION CONTROL MEASURES, CONTRACTOR IS TO CONTACT THE CITY OF CANBY FOR THEIR SITE REVIEW AND APPROVAL.

EROSION CONTROL STABILIZATION SEEDING

PERENNIAL RYEGRASS	80% BY SEED COUNT
CREEPING RED FESCUE	20% BY SEED COUNT
APPLICATION RATE	100 LB/ACRE MINIMUM

EROSION CONTROL NOTES

1. INSTALL INLET PROTECTION (TYPICAL OVER ALL OPEN GRATES AND INCLUDING CATCH BASINS AND YARD DRAINS) — WL-C5 | WL-C7 WL-C5 | WL-C8 — 12 | 2
2. INSTALL SEDIMENT FENCE (TYPICAL) ALONG FACE OF EXISTING CHAINLINK FENCE. — WL-C5 | WL-C8 — 3
3. INSTALL STRAW WATTLE SEDIMENT BARRIERS. — WL-C5 | WL-C8 — 1
4. INSTALL BIO-BAG CHECK DAMS. — WL-C5 | WL-C8 — 10

1 WL-C7 | WL-C5 EROSION CONTROL PLAN
SCALE: 1" = 20'-0"

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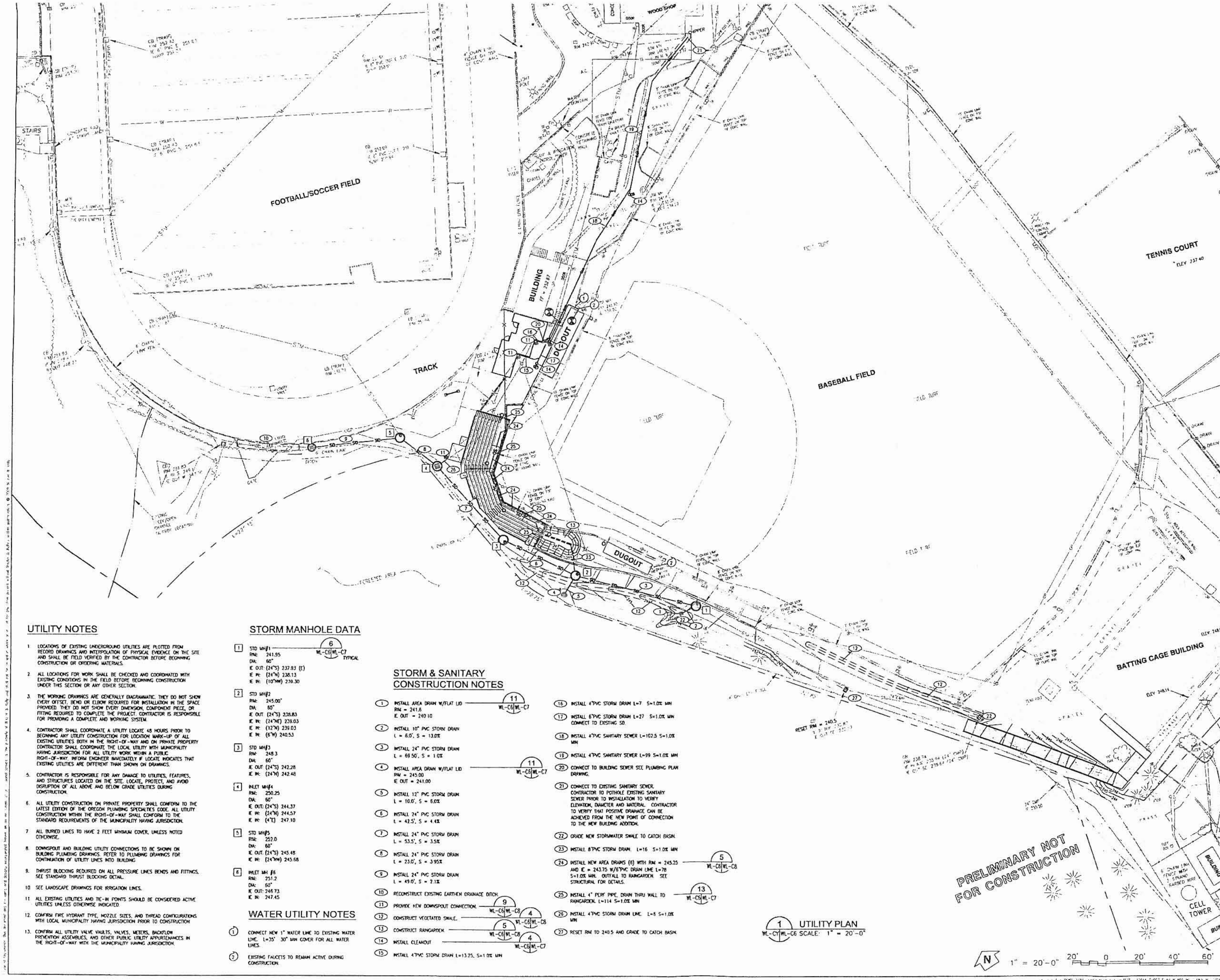
EROSION CONTROL PLAN

WL-C5



UTILITY NOTES

1. LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM RECORD DRAWINGS AND INTERPOLATION OF PHYSICAL EVIDENCE ON THE SITE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR BEFORE BEGINNING CONSTRUCTION OR ORDERING MATERIALS.
2. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION UNDER THIS SECTION OR ANY OTHER SECTION.
3. THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, OR FITTING REQUIRED TO COMPLETE THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE AND WORKING SYSTEM.
4. CONTRACTOR SHALL COORDINATE A UTILITY LOCATE 48 HOURS PRIOR TO BEGINNING ANY UTILITY CONSTRUCTION FOR LOCATION MARK-UP OF ALL EXISTING UTILITIES BOTH IN THE RIGHT-OF-WAY AND ON PRIVATE PROPERTY. CONTRACTOR SHALL COORDINATE THE LOCAL UTILITY WITH MUNICIPALITY HAVING JURISDICTION FOR ALL UTILITY WORK WITHIN A PUBLIC RIGHT-OF-WAY. INFORM ENGINEER IMMEDIATELY IF LOCATE INDICATES THAT EXISTING UTILITIES ARE DIFFERENT THAN SHOWN ON DRAWINGS.
5. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES, FEATURES, AND STRUCTURES LOCATED ON THE SITE. LOCATE, PROTECT, AND AVOID DISRUPTION OF ALL ABOVE AND BELOW GRADE UTILITIES DURING CONSTRUCTION.
6. ALL UTILITY CONSTRUCTION ON PRIVATE PROPERTY SHALL CONFORM TO THE LATEST EDITION OF THE OREGON PLUMBING SPECIALTIES CODE. ALL UTILITY CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE STANDARD REQUIREMENTS OF THE MUNICIPALITY HAVING JURISDICTION.
7. ALL BURIED LINES TO HAVE 2 FEET MINIMUM COVER, UNLESS NOTED OTHERWISE.
8. DOWNSPOUT AND BUILDING UTILITY CONNECTIONS TO BE SHOWN ON BUILDING PLUMBING DRAWINGS. REFER TO PLUMBING DRAWINGS FOR CONTINUATION OF UTILITY LINES INTO BUILDING.
9. THRUST BLOCKING REQUIRED ON ALL PRESSURE LINES BENDS AND FITTINGS. SEE STANDARD THRUST BLOCKING DETAIL.
10. SEE LANDSCAPE DRAWINGS FOR IRRIGATION LINES.
11. ALL EXISTING UTILITIES AND TIE-IN POINTS SHOULD BE CONSIDERED ACTIVE UTILITIES UNLESS OTHERWISE INDICATED.
12. CONFIRM FIRE HYDRANT TYPE, NOZZLE SIZES, AND THREAD CONFIGURATIONS WITH LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO CONSTRUCTION.
13. CONFIRM ALL UTILITY VALVE VAULTS, VALVES, METERS, BACKFLOW PREVENTION ASSEMBLIES, AND OTHER PUBLIC UTILITY APPURTENANCES IN THE RIGHT-OF-WAY WITH THE MUNICIPALITY HAVING JURISDICTION.

STORM MANHOLE DATA

(6 — WL-C6 | WL-C7 TYPICAL)

[1] STD MH#1
RIM: 241.95
DIA: 60"
IE OUT: (24"S) 237.93 (E)
IE IN: (24"N) 238.13
IE IN: (10"NW) 239.30

[2] STD MH#2
RIM: 245.00'
DIA: 60"
IE OUT: (24"S) 238.83
IE IN: (24"NE) 239.03
IE IN: (12"N) 239.03
IE IN: (6"W) 240.53

[3] STD MH#3
RIM: 248.3
DIA: 60"
IE OUT: (24"S) 242.28
IE IN: (24"N) 242.48

[4] INLET MH#4
RIM: 250.25
DIA: 60"
IE OUT: (24"S) 244.37
IE IN: (24"N) 244.57
IE IN: (4"E) 247.10

[5] STD MH#5
RIM: 252.0
DIA: 60"
IE OUT: (24"S) 245.48
IE IN: (24"NW) 245.68

[6] INLET MH #6
RIM: 251.2
DIA: 60"
IE OUT: 246.73
IE IN: 247.45

WATER UTILITY NOTES

(1) CONNECT NEW 1" WATER LINE TO EXISTING WATER LINE. L=35' 30" MIN COVER FOR ALL WATER LINES.
(2) EXISTING FAUCETS TO REMAIN ACTIVE DURING CONSTRUCTION.

STORM & SANITARY CONSTRUCTION NOTES

(1) INSTALL AREA DRAIN W/FLAT LID (11 — WL-C6 | WL-C7)
RIM = 241.6
IE OUT = 240.10
(2) INSTALL 10" PVC STORM DRAIN
L = 6.0', S = 13.0%
(3) INSTALL 24" PVC STORM DRAIN
L = 69.50', S = 1.0%
(4) INSTALL AREA DRAIN W/FLAT LID (11 — WL-C6 | WL-C7)
RIM = 245.00
IE OUT = 241.00
(5) INSTALL 12" PVC STORM DRAIN
L = 10.0', S = 6.0%
(6) INSTALL 24" PVC STORM DRAIN
L = 42.5', S = 4.4%
(7) INSTALL 24" PVC STORM DRAIN
L = 53.5', S = 3.5%
(8) INSTALL 24" PVC STORM DRAIN
L = 23.0', S = 3.95%
(9) INSTALL 24" PVC STORM DRAIN
L = 49.0', S = 2.1%
(10) RECONSTRUCT EXISTING EARTHEN DRAINAGE DITCH.
(11) PROVIDE NEW DOWNSPOUT CONNECTION. (9 — WL-C6 | WL-C8)
(12) CONSTRUCT VEGETATED SWALE. (4 — WL-C6 | WL-C8)
(13) CONSTRUCT RAINGARDEN. (5 — WL-C6 | WL-C8)
(14) INSTALL CLEANOUT (4 — WL-C6 | WL-C7)
(15) INSTALL 4"PVC STORM DRAIN L=13.25, S=1.0% MIN
(16) INSTALL 4"PVC STORM DRAIN L=7 S=1.0% MIN
(17) INSTALL 6"PVC STORM DRAIN L=27 S=1.0% MIN CONNECT TO EXISTING SD.
(18) INSTALL 4"PVC SANITARY SEWER L=102.5 S=1.0% MIN
(19) INSTALL 4"PVC SANITARY SEWER L=99 S=1.0% MIN
(20) CONNECT TO BUILDING SEWER SEE PLUMBING PLAN DRAWING.
(21) CONNECT TO EXISTING SANITARY SEWER. CONTRACTOR TO POTHOLE EXISTING SANITARY SEWER PRIOR TO INSTALLATION TO VERIFY ELEVATION, DIAMETER AND MATERIAL. CONTRACTOR TO VERIFY THAT POSITIVE DRAINAGE CAN BE ACHIEVED FROM THE NEW POINT OF CONNECTION TO THE NEW BUILDING ADDITION.
(22) GRADE NEW STORMWATER SWALE TO CATCH BASIN.
(23) INSTALL 8"PVC STORM DRAIN. L=16 S=1.0% MIN
(24) INSTALL NEW AREA DRAINS (6) WITH RIM = 245.25 AND IE = 243.75 W/6"PVC DRAIN LINE L=78 S=1.0% MIN. OUTFALL TO RAINGARDEN. SEE STRUCTURAL FOR DETAILS. (5 — WL-C6 | WL-C8)
(25) INSTALL 4" PERF PIPE, DRAIN THRU WALL TO RAINGARDEN. L=114 S=1.0% MIN (13 — WL-C6 | WL-C7)
(26) INSTALL 4"PVC STORM DRAIN LINE. L=6 S=1.0% MIN
(27) RESET RIM TO 240.5 AND GRADE TO CATCH BASIN.

(1 — WL-C7 | WL-C6) UTILITY PLAN
SCALE: 1" = 20'-0"

1" = 20'-0" 20' 0 20' 40' 60'

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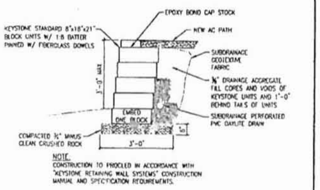
UTILITY PLAN

WL-C6

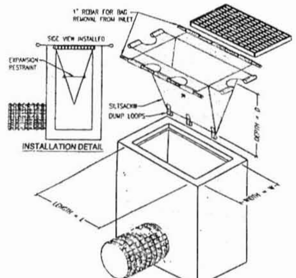
63



KEYSTONE STANDARD 8"x18"x21" BLOCK UNITS W/ 1:8 BATTER PINNED W/ FIBERGLASS DOWELS
EPOXY BOND CAP STOCK
NEW AC PATH
SUBDRAINAGE GEOTEXTILE FABRIC
3/4" DRAINAGE AGGREGATE FILL CORES AND VOIDS OF KEYSTONE UNITS AND 1'-0" BEHIND TAILS OF UNITS
SUBDRAINAGE PERFORATED PVC DAYLITE DRAIN
COMPACTED 3/4" MINUS CLEAN CRUSHED ROCK

NOTE:
CONSTRUCTION TO PROCEED IN ACCORDANCE WITH "KEYSTONE RETAINING WALL SYSTEMS" CONSTRUCTION MANUAL AND SPECIFICATION REQUIREMENTS.

11 BLOCK WALL DETAIL
WL-C3 | WL-C7 SCALE: N.T.S.

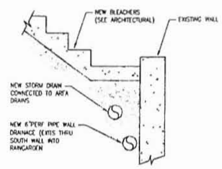


SILTSACK®
SPECIFICATIONS
(MANUFACTURED BY)
NOTE. THE SILTSACK® WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS

REGULAR FLOW SILTSACK®
(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

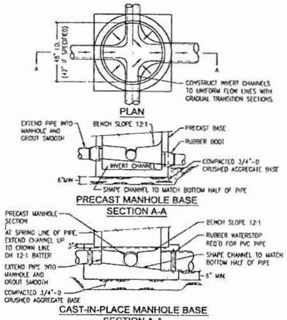
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20%
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80%
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1

12 INLET PROTECTION
WL-C5 | WL-C7 SCALE: N.T.S.



13 PERF PIPE WALL DRAIN
WL-C6 | WL-C7 SCALE: N.T.S.

14 NOT USED
WL-CY | WL-C7 SCALE: N.T.S.

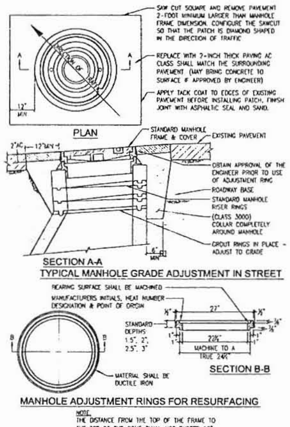


PLAN
CONSTRUCT INVERT CHANNELS TO UNIFORM FLOW LINES WITH GRADUAL TRANSITION SECTIONS
EXTEND PIPE INTO MANHOLE AND GROUT SMOOTH
BENCH SLOPE 12:1
PRECAST BASE
RUBBER BOOT
COMPACTED 3/4"-0 CRUSHED AGGREGATE BASE
SHAPE CHANNEL TO MATCH BOTTOM HALF OF PIPE
PRECAST MANHOLE BASE
SECTION A-A
PRECAST MANHOLE SECTION
AT SPRING LINE OF PIPE EXTEND CHANNEL UP TO CROWN LINE ON 12:1 BATTER
BENCH SLOPE 12:1
RUBBER WATERSTOP REQ'D FOR PVC PIPE
SHAPE CHANNEL TO MATCH BOTTOM HALF OF PIPE
6" MIN.
EXTEND PIPE INTO MANHOLE AND GROUT SMOOTH
COMPACTED 3/4"-0 CRUSHED AGGREGATE BASE

CAST-IN-PLACE MANHOLE BASE
SECTION A-A

NOTES:
1. CONCRETE SHALL BE CLASS 3000 COMMERCIAL GRADE
2. CHANNELS SHALL BE CONSTRUCTED TO PROVIDE SMOOTH SLOPES AND RADII TO OUTLET PIPE.
3. BASES MAY BE PRECAST OR POURED IN PLACE
4. THIS MANHOLE BASE SECTION SHALL BE USED FOR PIPE SIZES UP TO 24".
5. USE RUBBER BOOTS IF PIPE IS FLEXIBLE. BOOTS MAY BE KOR-N-SEAL OR EQUIVALENT
6. ALL CONNECTING PIPES SHALL HAVE A FLEXIBLE COMPRESSION JOINT WITHIN 18" OF MANHOLE WALL.

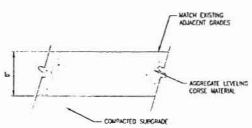
8 MANHOLE BASE SECTION DETAIL
WL-C6 | WL-C7 SCALE: N.T.S.



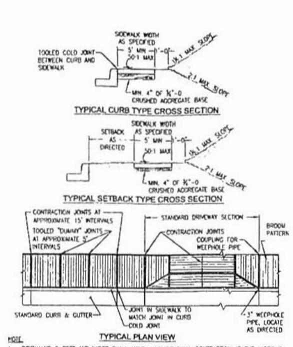
SAW CUT SQUARE AND REMOVE PAVEMENT 2-FOOT MINIMUM LARGER THAN MANHOLE FRAME DIMENSION. CONFIGURE THE SAWCUT SO THAT THE PATCH IS DIAMOND SHAPED IN THE DIRECTION OF TRAFFIC
REPLACE WITH 3-INCH THICK PAVING AC CLASS SHALL MATCH THE SURROUNDING PAVEMENT (MAY BRING CONCRETE TO SURFACE IF APPROVED BY ENGINEER)
APPLY TACK COAT TO EDGES OF EXISTING PAVEMENT BEFORE INSTALLING PATCH. FINISH JOINT WITH ASPHALTIC SEAL AND SAND.
PLAN
STANDARD MANHOLE FRAME & COVER
EXISTING PAVEMENT
OBTAIN APPROVAL OF THE ENGINEER PRIOR TO USE OF ADJUSTMENT RING
ROADWAY BASE
STANDARD MANHOLE RISER RINGS
(CLASS 3000) COLLAR COMPLETELY AROUND MANHOLE
GROUT RINGS IN PLACE - ADJUST TO GRADE
SECTION A-A
TYPICAL MANHOLE GRADE ADJUSTMENT IN STREET
BEARING SURFACE SHALL BE MACHINED
MANUFACTURERS INITIALS, HEAT NUMBER DESIGNATION & POINT OF ORIGIN
STANDARD DEPTHS 1.5", 2", 2.5", 3"
MACHINE TO A TRUE 24⅞"
MATERIAL SHALL BE DUCTILE IRON
SECTION B-B
MANHOLE ADJUSTMENT RINGS FOR RESURFACING

NOTE:
THE DISTANCE FROM THE TOP OF THE FRAME TO THE TOP OF THE CONE SHALL NOT EXCEED 18".

9 MANHOLE ADJUSTMENT DETAIL
WL-C6 | WL-C7 SCALE: N.T.S.



10 CRUSHED ROCK RESTORATION
WL-C3 | WL-C7 SCALE: N.T.S.

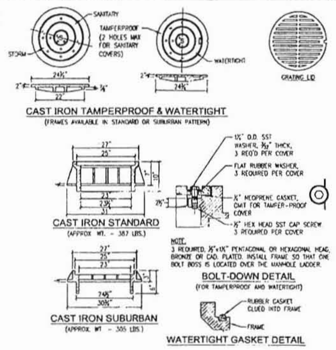


TOOLED COLD JOINT BETWEEN CURB AND SIDEWALK
SIDEWALK WIDTH AS SPECIFIED
TYPICAL CURB TYPE CROSS SECTION
CRUSHED AGGREGATE BASE
TYPICAL SETBACK TYPE CROSS SECTION
CONTRACTION JOINTS AT APPROXIMATE 15' INTERVALS
TOOLED "DUMMY" JOINTS AT APPROXIMATE 5' INTERVALS
STANDARD DRIVEWAY SECTION
CONTRACTION JOINTS
COUPLING FOR WEEPHOLE PIPE
BROOM PATTERN
STANDARD CURB & GUTTER
JOINT IN SIDEWALK TO MATCH JOINT IN CURB
COLD JOINT
3" WEEPHOLE PIPE, LOCATE AS DIRECTED

TYPICAL PLAN VIEW

NOTE:
1. SIDEWALKS 8 FEET AND WIDER SHALL HAVE A LONGITUDINAL CONTRACTION AT THE MIDPOINT.
2. CONCRETE DEPTH FOR STANDARD SIDEWALKS SHALL BE NOMINAL 4" MIN., THICKNESS IN DRIVEWAY SHALL MATCH EXISTING DRIVEWAY
3. INSTALL 3" PVC WEEPHOLE PIPES IN SIDEWALKS IN LOCATIONS AS DIRECTED BY THE ENGINEER. PLACE CONTRACTION JOINT OVER THE TOP OF THE PIPE
4. CONCRETE SHALL BE 3500 PSI COMMERCIAL GRADE

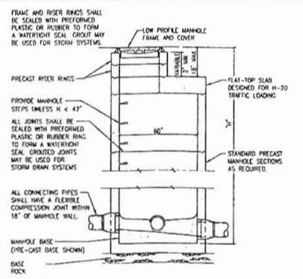
5 SIDEWALK
WL-CY | WL-C7 SCALE: N.T.S



SANITARY
STORM
TAMPERPROOF (2 HOLES MAX FOR SANITARY COVERS)
WATERTIGHT
GRATING LID
CAST IRON TAMPERPROOF & WATERTIGHT
(FRAMES AVAILABLE IN STANDARD OR SUBURBAN PATTERN)
CAST IRON STANDARD
(APPROX. WT. - 387 LBS.)
FLAT RUBBER WASHER, 3 REQUIRED PER COVER
BOLT-DOWN DETAIL
(FOR TAMPERPROOF AND WATERTIGHT)
CAST IRON SUBURBAN
(APPROX. WT - 305 LBS.)
RUBBER GASKET GLUED INTO FRAME
FRAME
WATERTIGHT GASKET DETAIL

NOTES:
1. TAMPERPROOF COVERS REQUIRED ON SANITARY OR STORM DRAIN MANHOLE WHERE LOCATED IN PEDESTRIAN WAYS OR EASEMENT AREAS. TAMPERPROOF COVERS FOR SANITARY MANHOLES SHALL HAVE 2 HOLES MAXIMUM
2. WATERTIGHT COVERS REQUIRED IF LOCATED WHERE COVER MAY BE SUBMERGED
3. FRAMES AND COVERS SHALL BE STAMPED WITH MANUFACTURER'S INITIALS, HEAT NUMBER AND POINT OF ORIGIN.

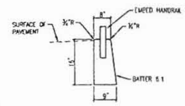
6 MANHOLE COVER & FRAME DETAIL
WL-C6 | WL-C7 SCALE: N.T.S



FRAME AND RISER RINGS SHALL BE SEALED WITH PREFORMED PLASTIC OR RUBBER TO FORM A WATERTIGHT SEAL. GROUT MAY BE USED FOR STORM SYSTEMS.
LOW PROFILE MANHOLE FRAME AND COVER
PRECAST RISER RINGS
FLAT-TOP SLAB DESIGNED FOR H-20 TRAFFIC LOADING
PROVIDE MANHOLE STEPS UNLESS H < 47"
ALL JOINTS SHALL BE SEALED WITH PREFORMED PLASTIC OR RUBBER RING TO FORM A WATERTIGHT SEAL. GROUTED JOINTS MAY BE USED FOR STORM DRAIN SYSTEMS
STANDARD PRECAST MANHOLE SECTIONS AS REQUIRED
ALL CONNECTING PIPES SHALL HAVE A FLEXIBLE COMPRESSION JOINT WITHIN 18" OF MANHOLE WALL.
MANHOLE BASE (PRE-CAST BASE SHOWN)
BASE ROCK

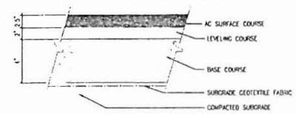
NOTE:
1. SEE MANHOLE BASE SECTION DRAWING FOR BASE DETAILS
2. ALL CONNECTING PIPES SHALL HAVE A FLEXIBLE JOINT WITHIN 18" OF MANHOLE WALL

7 FLAT-TOP MANHOLE DETAIL
WL-C6 | WL-C7 SCALE: N.T.S

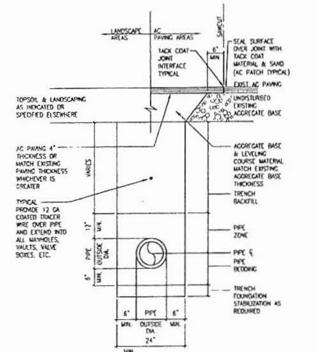


GENERAL NOTES:
1. CURB EXPOSURE "E" = 5" TYPICAL UNLESS OTHERWISE NOTED
2. CONST. CONTRACTION JOINT SPACING AT 15', AND AT ENDS OF EACH INLET AND RAMP
3. TRANSITIONS SHALL BE USED IN COMM. CURBS OF DIFFERENT EXPOSURES "E" ("E" IS THE TOTAL VERTICAL DIMENSIONS OF THOSE CURB SURFACES HAVING A SLOPE OF 1:1 OR STEEPER.) MIN DESIRABLE TRANSITION LENGTH SHALL BE 20' FOR EACH 1" DIFFERENCE IN "E"
4. TOPS OF ALL CURBS SHALL SLOPE TOWARD THE ROADWAY 2% NORMAL UNLESS OTHERWISE SHOWN OR AS DIRECTED.
5. DIMENSIONS NOM. VARY TO CONFORM WITH CURB MACHINE APPROVED BY THE ENGINEER.
6. ALL RADII SHALL BE ¾" EXCEPT AS OTHERWISE NOTED.
7. INSTALL CONTRACTION JOINT AT WEEP HOLES.

1 STANDARD CURB
WL-CY | WL-C7 SCALE: N.T.S.

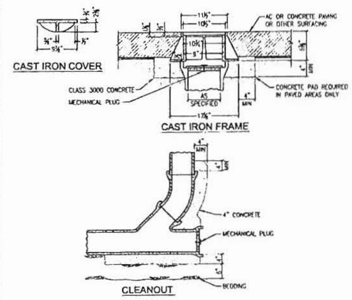


2 TYPICAL PAVING SECTION-LIGHT
WL-CY | WL-C7 SCALE: N.T.S.



LANDSCAPE AREAS
PAVING AREAS
SAWCUT
TACK COAT JOINT INTERFACE TYPICAL
SEAL SURFACE OVER JOINT WITH TACK COAT MATERIAL & SAND (AC PATCH TYPICAL)
EXIST. AC PAVING
TOPSOIL & LANDSCAPING AS INDICATED OR SPECIFIED ELSEWHERE
UNDISTURBED EXISTING AGGREGATE BASE
AC PAVING 4" THICKNESS OR MATCH EXISTING PAVING THICKNESS WHICHEVER IS GREATER
AGGREGATE BASE & LEVELING COURSE MATERIAL MATCH EXISTING AGGREGATE BASE THICKNESS
TRENCH BACKFILL
TYPICAL PROVIDE 12 GA COATED TRACER WIRE OVER PIPE AND EXTEND INTO ALL MANHOLES, VAULTS, VALVE BOXES, ETC.
PIPE ZONE
PIPE
PIPE BEDDING
TRENCH FOUNDATION STABILIZATION AS REQUIRED

3 UTILITY TRENCH SECTON
WL-C6 | WL-C7 SCALE: N.T.S.



NOTE:
ALL CLEANOUT MATERIAL TO BE SAME AS CARRIER PIPE

4 TYPICAL CLEANOUT
WL-C6 | WL-C7 SCALE: N.T.S.

CIVIL ABBREVIATIONS

AB	ANCHOR BOLT
AC	ASPHALTIC CONCRETE
ACP	ASBESTOS CONCRETE PIPE
BLDG	BUILDING
BOT	BOTTOM OF TRENCH
BOC	BOTTOM OF CONCRETE
BOS	BOTTOM OF SUMP
CA	COMPRESSED AIR
CB	CATCH BASIN
CJ	CONSTRUCTION JOINT
CI	CURB INLET
CIP	CAST IRON PIPE
CMP	CORRUGATED METAL PIPE
CND	CONDUIT
CO	CLEANOUT
CONC	CONCRETE
CR	CONDENSATE RETURN
DIA #	DIAMETER
DIP	DUCTILE IRON PIPE
DS	DOWNSPOUTS
DW	DRYWELL
DWG	DRAWING
E	ELECTRICAL POWER
ELEV	ELEVATION
ELEC	ELECTRICAL
EXIST	EXISTING
FA	FIRE ALARM
FD	FOUNDATION DRAIN
FF	FINISH FLOOR
FH	FIRE HYDRANT
FW	FIRE WATER
G	GUTTER
GR	GRADE
GV	GATE VALVE
HB	HOSE BIBB
HDPE	HIGH DENSITY POLYETHYLENE
HH	HAND HOLE
HPG	HIGH PRESSURE GAS
HC	HANDICAPPED
HYD	HYDRANT
IE	INVERT ELEVATION
IRR	IRRIGATION
L	LENGTH
LP	LIGHT POLE
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OH	OVERHEAD
OW	OIL/WATER SEPARATOR
PD	POLYDRAIN
LRF	PERFORATED STORM DRAIN
PIV	POST INDICTOR VALVE
POC	POINT OF CONNECTION
PVC	POLYVINYL CHLORIDE
PVMT	PAVEMENT
PW	POTABLE WATER
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RIM	RIM ELEVATION
RR	RAILROAD
S	SLOPE
SAN	SANITARY
SB	SPLASH BLOCK
SD	STORM DRAIN
SS	SANITARY SEWER
STM	STEAM
TB	THRUST BLOCK
TBM	TEMPORARY BENCH MARK
TC	TOP OF CURB
TEL	TELEPHONE
TOB	TOP OF BERM
TOC	TOP OF CONCRETE
TOG	TOP OF GRATE
TOP	TOP OF PIPE
TYP	TYPICAL
UGND	UNDERGROUND
UNO	UNLESS NOTED OTHERWISE
VCP	VITRIFIED CLAY PIPE
VT	VENT
VV	VALVE VAULT
WM	WATER METER
WTR	WATER
WV	WATER VALVE
WWF	WELDED WIRE FABRIC
XFMR	TRANSFORMER

CIVIL SYMBOLS

- CATCH BASIN
- STANDARD MANHOLE
- INLET MANHOLE
- DIRECTION OF FLOW
- HANDICAPPED RAMP
- HYDRANT
- WATER VALVE
- FENCING
- — XX — XX — EROSION CONTROL FENCING
- THRUST BLOCK
- — SD — STORM DRAIN
- — SS — SANITARY SEWER

PRELIMINARY NOT FOR CONSTRUCTION

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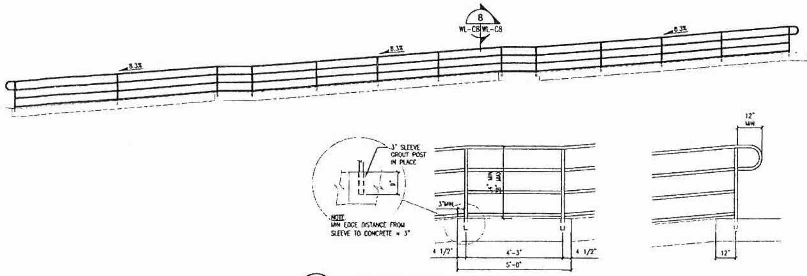
key plan

phase	design review
date	April 12, 2010
revisions	
project #	09001

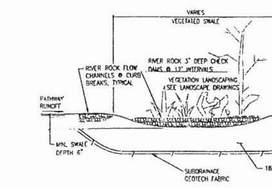
NOTES & DETAILS

WL-C7

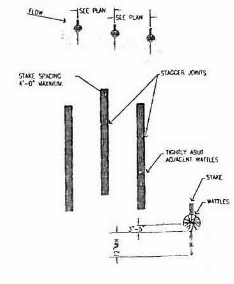
64



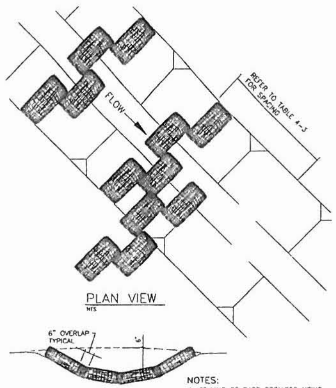
7 HANDRAIL DETAIL
WL-C3 | WL-C8 SCALE: N.T.S.



4 VEGETATED SWALE
WL-C3 | WL-C8 SCALE: N.T.S.

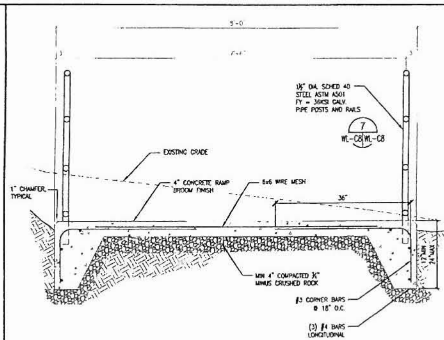


1 STRAW WATTLE SEDIMENT BARRIER
WL-C5 | WL-C8 SCALE: N.T.S.

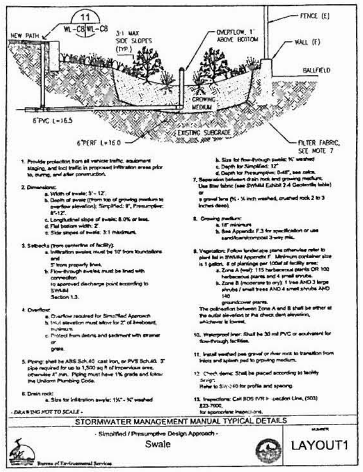


NOTES:
1. STAKING OF BAGS REQUIRED USING (2) 1"x2" WOOD STAKES OR APPROVED EQUAL PER BAG
2. SURFACE MUST BE SMOOTH BEFORE APPLICATION

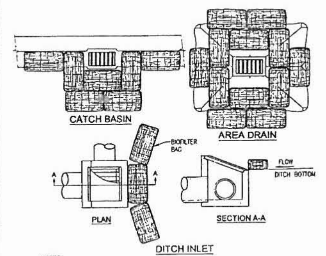
10 CHECK DAM BIO FILTER BAG
WL-C5 | WL-C8 SCALE: NONE



8 CONCRETE ADA RAMP WITH HANDRAIL
WL-C3 | WL-C8 SCALE: N.T.S.



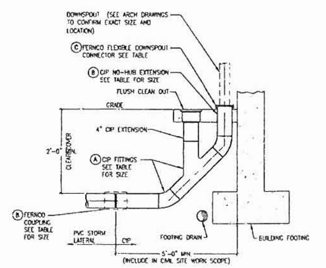
5 RAINWATER GARDEN SECTION
WL-C3 | WL-C8 SCALE: N.T.S.



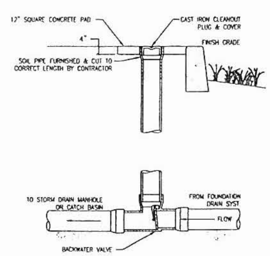
NOTES.
1. DRIVE STAKES FLUSH WITH TOP OF BAG AND INTO UNDISTURBED GROUND A MIN. OF 12" STAKE MAY BE OMITTED IF BAGS ARE PLACED ON PAVED SURFACE
2. INSPECT INLET PROTECTION ON A REGULAR BASIS BIOBAGS SHALL BE REPLACED ONCE THEY BECOME CLOGGED.
3. REPAIR ANY DAMAGED BALES, AREAS OF END RUNS, AND UNDERCUTTING BENEATH BALES. REPAIRS TO BALES OR BARRIERS SHALL BE MADE AS SOON AS POSSIBLE.
4. REMOVE SEDIMENT DEPOSITS WHEN THEY REACH APPROXIMATELY ONE THIRD THE HEIGHT OF THE BARRIER.
5. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE AND SEEDED

2 BIO-FILTER FOR TEMPORARY INLET POTECTION
WL-C5 | WL-C8 SCALE: N.T.S

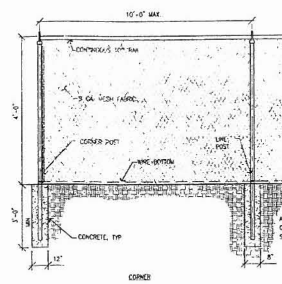
DOWNSPOUT SIZE	PVC STORM LATERAL	(A) CIP DOWNSPOUT PIPING	(B) FERNCO COUPLING	(C) FERNCO DOWNSPOUT CONNECTOR
2"x3"	6"	4"	4x6 CIP-PVC REDUCING COUPLING	FLEXIBLE DOWSPOUT CONNECTOR
3"x4"	6"	4"	4x6 REDUCING COUPLING	FLEXIBLE DOWSPOUT CONNECTOR
3"Ø	6"	4"	4x6 REDUCING COUPLING	FLEXIBLE DOWSPOUT CONNECTOR
4"Ø	6"	6"	6x6 CIP-PVC REDUCING COUPLING	UNIVERSAL DOWSPOUT CONNECTOR
3"x5"	6"	6"	6x6 CIP-PVC REDUCING COUPLING	UNIVERSAL DOWSPOUT CONNECTOR
6"Ø	6"	6"	6x6 CIP-PVC REDUCING COUPLING	UNIVERSAL DOWSPOUT CONNECTOR



9 DOWNSPOUT CONNECTION
WL-C6 | WL-C8 SCALE: N.T.S



11 BACKWATER VALVE
WL-C8 | WL-C8 SCALE: N.T.S.



6 CHAINLINK FENCE DETAIL
WL-C3 | WL-C8 SCALE: N.T.S

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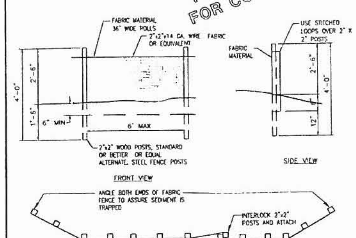

NOTES.
1. BURY BOTTOM OF FILTER FABRIC 6" VERTICALLY BELOW FINISHED GRADE.
2. 2" x 2" FIR, PINE, OR STEEL FENCE POSTS.
3. STITCHED LOOPS TO BE INSTALLED ON UPHILL SIDE OF SLOPE
4. COMPACT ALL AREAS OF FABRIC TRENCH.

3 SEDIMENT FENCE DETAILS
WL-C5 | WL-C8 SCALE: N.T.S.

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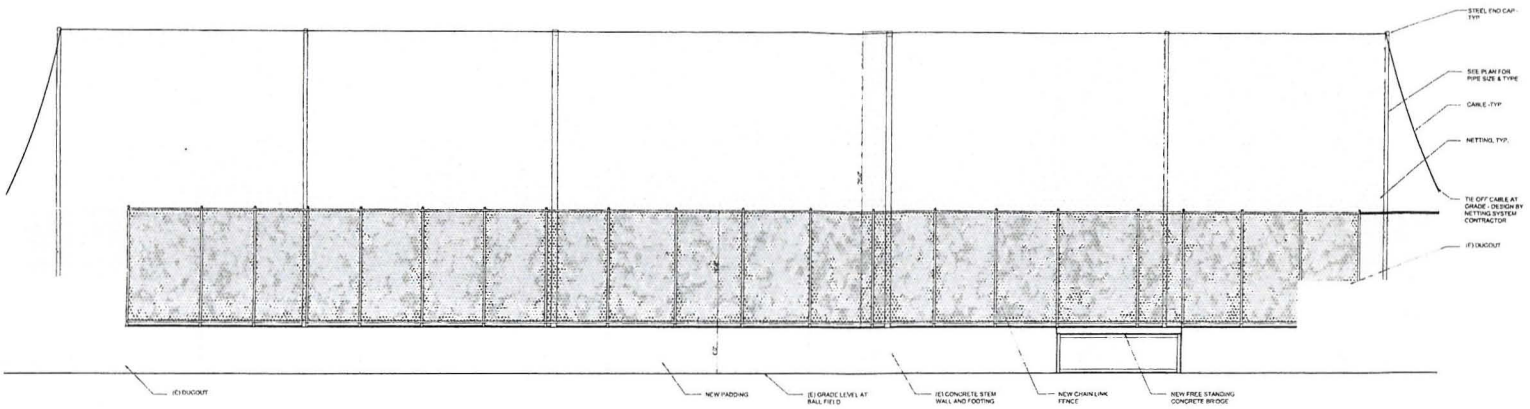
key plan

phase	design review
date	April 12, 2010
revisions	
project #	09001

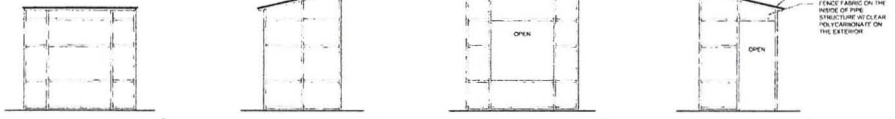
DETAILS

WL-C8

65

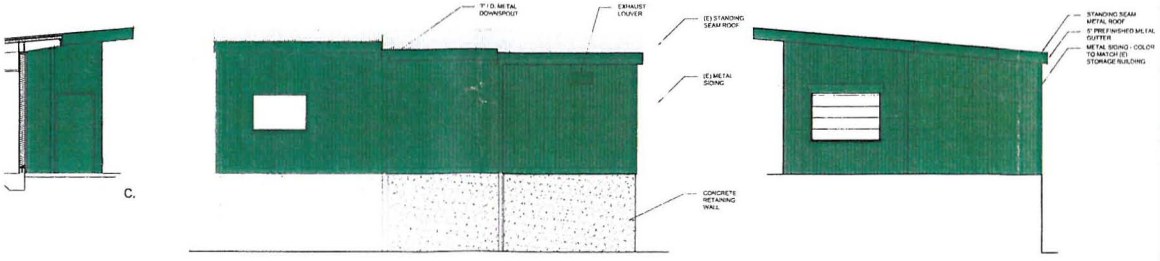


PROTECTIVE NETTING ELEVATION 3



ANNOUNCER BUILDING ELEVATION 2

CONSESSION BUILDING ELEVATION CONT. 1



CONSESSION BUILDING ELEVATION 1

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key plan

phase	permit review
date	June 3, 2010
revisions	
project #	09001
district project #	10054.001

ELEVATION

A3.00

CITY OF
West Linn
PLANNING AND DEVELOPMENT

FILE NO.: **DR-10-08**

REQUEST: **REQUEST TO CONSTRUCT ANNOUNCER'S BOOTH, EXPAND SHED WITH RESTROOM CONCESSION ADDITION, INSTALL NEW BLEACHERS, IMPROVE PATHS, AND OTHER OUTDOOR IMPROVEMENTS TO THE BASEBALL FIELD AND SURROUNDING AREAS AT WEST LINN HIGH SCHOOL AT 5464 WEST A STREET**

EXHIBIT PD-9 THROUGH PD-12

EMAIL DISCUSSION ON PUBLIC IMPROVEMENTS, PARKS COMPLETENESS EMAIL, APPLICANT'S REQUEST TO DO CLASS I DESIGN REVIEW, AND APPLICANT'S SUBMITTAL MINUS ITEMS RESUBMITTED LATER

Soppe, Tom

From: Soppe, Tom
Sent: Monday, June 21, 2010 9:30 AM
To: 'Liden, Keith S.'
Subject: RE: Willamette sidewalks and West Linn High baseball improvements

Thanks

Tom Soppe

Associate Planner

City of West Linn

22500 Salamo Road

West Linn, OR 97068

ph. (503) 742-8660

fax (503) 656-4106

tsoppe@westlinnoregon.gov

From: Liden, Keith S. [mailto:Liden@pbworld.com]
Sent: Monday, June 21, 2010 9:26 AM
To: Soppe, Tom
Subject: [BULK] FW: Willamette sidewalks and West Linn High baseball improvements
Importance: Low

Tom,

For your information. The WLHS application revisions (DR-10-08) will be coming your way later today.

Keith Liden, AICP

Lead Planner

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Parsons Brinckerhoff
400 SW 6th Avenue, Suite 802, Portland, OR 97204
Direct: 503-478-2348 | Office: 503-274-8772
www.pbworld.com/pbplacemaking

From: Le, Khoi [mailto:kle@westlinnoregon.gov]
Sent: Monday, June 21, 2010 9:20 AM
To: 'Pat McGough'
Cc: KarinaR@dowa.com; Liden, Keith S.; markwharry@w-and-k.com; sethstevens@w-and-k.com; Remo Douglas; Scott Perala; Tim Woodley
Subject: RE: Willamette sidewalks and West Linn High baseball improvements

Hi Pat,

Your meeting notes will work as an agreement on the improvements indicated in the emailed below for both the Willamette Primary School and West Linn High School between the City and the School District.

Thank you,

Khoi

Khoi Q. Le, PE
kle@westlinnoregon.gov
Public Improvement Program Manager
22500 Salamo Rd.
West Linn, OR, 97068
P: (503) 722-5517
F: (503) 656-4106
Web: westlinnoregon.gov

From: Pat McGough [mailto:mcgoughp@wlwv.k12.or.us]
Sent: Friday, June 18, 2010 10:04 AM
To: Le, Khoi
Cc: KarinaR@dowa.com; Liden@pbworld.com; markwharry@w-and-k.com; sethstevens@w-and-k.com; Remo Douglas; Scott Perala; Tim Woodley
Subject: Willamette sidewalks and West Linn High baseball improvements

Hi Khoi,
This email is intended to confirm our understanding of the agreements that were reached during our meeting on June 15, 2010. During this meeting, we discussed two projects: the conditional requirements for the playground improvement at Willamette Primary School and the conditional requirements identified for the improvements to the baseball seating area at West Linn High School.

At Willamette Primary School, the conditional requirements were to install ADA compliant ramps at each intersection and to repair and maintain all public sidewalks abutting the site. Due to the cost of total replacement of all sidewalks, we met to develop a plan to address the most urgent needs and outline a comprehensive plan to address all remaining items. We

agreed that all sidewalks on 6th Ave. would be replaced, including the driveway to the parking lot on 6th Ave. Additionally, the ADA ramp on the corner of 6th Ave. and 11th St. would be replaced as well. A retaining curb will be installed above the recently installed ADA ramp on the corner of 4th Ave. and 11th St. to prevent run-off debris from accumulating on the new ramp. As a part of this work, a new concrete pad will be cast for the installation of a new trash compactor by the kitchen entrance on 12th St. (This is a separate project from the playground improvement, but this work will become a part of the sidewalk replacement project.)

To address the most urgent repairs to the sidewalk along 12th St., the District will replace selected concrete panels and grind the expansion joints that create tripping hazards. This is only a temporary solution and the District will commit to securing funding for total replacement of all sidewalks along 12th St. That funding will likely be through a future Capital Bond ballot measure to be placed before the voters. The District will ensure that any Capital Bond measure placed on the ballot will include this project.

We also discussed the project at West Linn High School to improve the seating area at the baseball field. In the comments made during the completeness review, the Engineering Department noted that the District would need to bring all existing curb ramps and crosswalks around the school up to current ADA standards, as well as make repairs to any damaged sidewalks. During our meeting on June 15th, I recommended that this condition be removed from this project due to budget constraints for this modest improvement to the baseball seating area. The conditions identified would be assigned to another project to be constructed in June, 2011. In the 2008 Capital Bond measure, the District identified the reconstruction of the upper and lower parking lots at West Linn High School on "A" St. and Skyline Dr. Because the work is similar to the parking lot reconstruction and funding is available, the District can accommodate those conditions within that project's budget. We agreed that this would be an acceptable approach to make those necessary corrections.

I believe that this accurately reflects our conversation during our meeting. Please let me know if there are any items that you feel need correction or clarification. I want to thank you for your willingness to help us keep our projects moving forward. The partnership between the City and the District truly servers our community well and together, we can meet our shared goals. Please feel free to give me a call if you have any questions at 503-572-6251.

Thanks you,

Pat McGough
Facilities Manager
West Linn-Wilsonville School District
503-673-7979
****

****

Soppe, Tom

From: Perkins, Michael

Sent: Wednesday, June 02, 2010 4:23 PM

To: Soppe, Tom

In looking at the High School project plans for the baseball bleachers, it doesn't appear that any conflicts exist with trees at the site.

Mike Perkins
City Arborist/Park Development Coordinator
503-723-2554
mperkins@westlinnoregon.gov

Michael Perkins, City Arborist/Park Development Coordinator
Parks and Recreation, #1554

Parsons Brinckerhoff
400 SW Sixth Avenue
Suite 802
Portland, OR 97204-1628
503-274-8772
Fax: 503-274-1412

May 12, 2010

John Sonnen, Planning Director
West Linn Planning Department
22500 Salamo Road
West Linn, OR 97068

RE: DR-10-05 West Linn High School Baseball Field

Dear Mr. Sonnen,

On April 29th the West Linn-Wilsonville School District submitted a Class I Design Review application to make a variety of minor improvements in and around the West Linn High School baseball field. On May 4th, the application was rejected by Tom Soppe for two reasons:

1. The expansion of the track equipment shed with a 620 square-foot addition for the ADA restroom and concession stand would exceed the 5% threshold for a Class I Design Review (CDC 55.020 7).
2. A Water Resource Area permit is required because a section of 12-inch storm line is proposed (at the city's request) to be replaced with a 24-inch line, and a portion of the proposed sidewalk improvements between the track and baseball field would be within a 100-foot water resource area buffer.

On behalf of the West Linn-Wilsonville School District, I request that the application be accepted for completeness review for Class I Design Review based on the following:

Design Review

Section 55.020 17. states that other land uses and activities may be considered under the Class I Design Review process "if the Planning Director makes written findings that the activity/use will not increase off-site impacts and is consistent with the type and/or scale of activities/uses listed above."

The proposed 620 square-foot building expansion for an ADA restroom and small concession stand is a very minor change in land use by any measure. Although this would result in more than a 5% expansion of the existing equipment storage building, it is inconsequential when considering the entire high school facility of which it is a part. In this context, it represents less than a 1% expansion, would generate no additional vehicular traffic, would not create additional noise associated with sports activities, and would not be visible from surrounding properties. Processing the application using a Class I Design Review would be comparable with other activities and uses that are subject to this process.

Water Resource Area

I have attached an exhibit that shows the location of the proposed storm line and sidewalk improvements and their relationship to the 100-foot water resource buffer area. The proposed sidewalk (shaded area on the right side of the drawing near the baseball field) is outside of the water resource area. In addition, it is presently surfaced with gravel (see attached photos), and the sidewalk is intended to provide improved pedestrian and ADA access.

The storm drainage facility maintenance and improvement is within the 100-foot buffer. However, a minor improvement such as this to a properly established utility should qualify for an exception under 32.020 D. 3. This section states: "Routine repair and maintenance of legally established structures, utilities, roads, and manmade water control facilities such as constructed ponds or lakes, wastewater facilities, and stormwater treatment facilities that do not alter the location or footprint of the structure, utility, or road."

The proposed storm drainage facility work is very minor and is consistent with the above exception provision because: 1) it is routine; 2) the facility was previously permitted and approved by the city; 3) it is a utility; and 4) other than having a slightly larger pipe underground, it will be located in its present alignment.

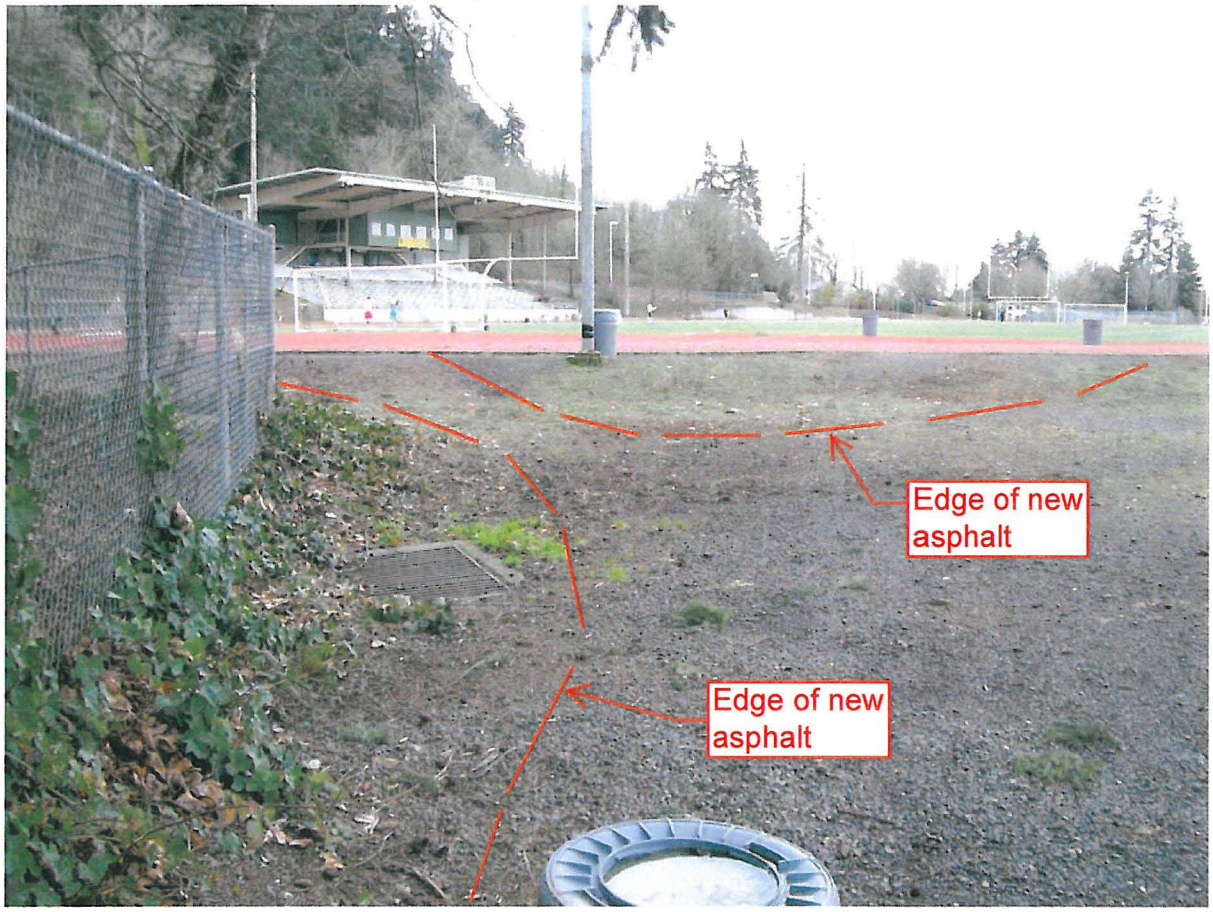
Based on the above, the district requests that the application for the WLHS baseball field improvements be accepted for completeness review as a Class I Design Review application. Please feel free to contact me if you have any questions. Thank you for your consideration.

Sincerely,

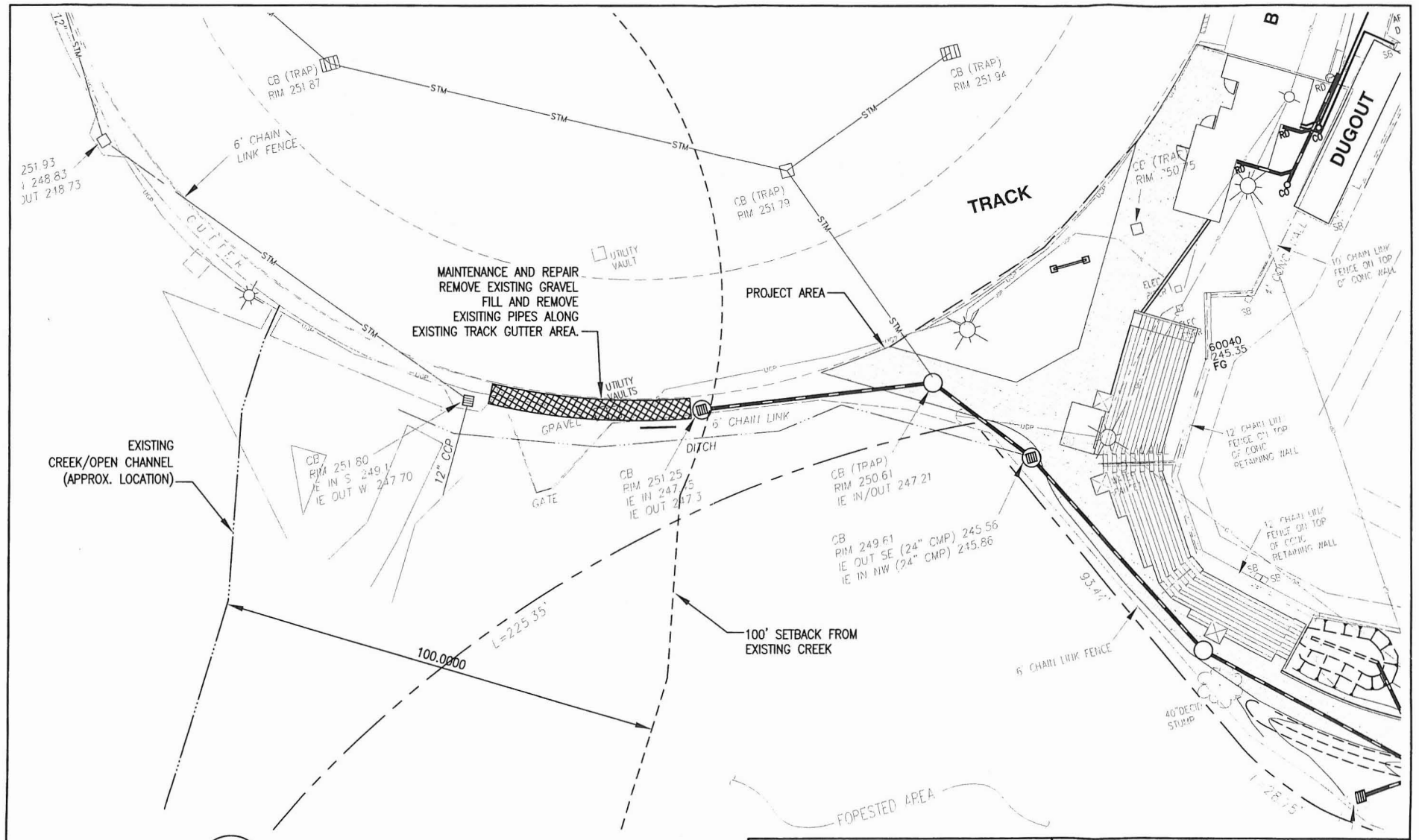
Keith S. Liden, AICP

cc: Tim Woodley, WLWV School District
Remo Douglas, WLWV School District
Steve Winkle, DOWA
Pat Tortora, Winzler & Kelly
Tom Soppe

Existing gravel area to be overlaid with asphalt. (west portion)



Existing gravel area to be overlaid with asphalt. (east portion) new concessions is adjacent to the existing green building.



1/1 WATER RESOURCE PROTECTION AREA

SCALE: 1" = 20'– 0"

15575 SW SEQUOIA PKWY, SUITE 140
PORTLAND, OR 97224
PH: 503-226-3921 FAX: 503-226-3926

PROJECT	WEST LINN HIGH SCHOOL				
TITLE	WATER RESOURCE PROTECTION AREA				
DESIGNED	DRAWN	APPROVED	DATE	PROJECT NO.	DWG NO.
PRT	PRT	MBW	5/10/10	10884	1

O:\10884 - DOWA (DULL OLSON WEEKES ARCHITECTS)\10884-09007 DOWA WLWSD WEST LINN HS\CAD\10844-09007_EXHIBIT_1.DWG Patrick Tortora 5/11/2010 9:34 AM

DEVELOPMENT REVIEW APPLICATION

DR-10-05

TYPE OF REVIEW (Please check all boxes that apply):

[ ]	Annexation	[ ]	Non-Conforming Lots, Uses & Structures
[ ]	Appeal and Review *	[ ]	One-Year Extension *
[ ]	Conditional Use	[ ]	Planned Unit Development
[X]	Design Review	[ ]	Pre-Application Meeting *
[ ]	Easement Vacation	[ ]	Quasi-Judicial Plan or Zone Change
[ ]	Extraterritorial Ext. of Utilities	[ ]	Street Vacation
[ ]	Final Plat or Plan	[ ]	Subdivision
[ ]	Flood Plain Construction	[ ]	Temporary Uses *
[ ]	Hillside Protection and Erosion Control	[ ]	Tualatin River Greenway
[ ]	Historic District Review	[ ]	Variance
[ ]	Legislative Plan or Change	[ ]	Water Resource Area Protection/Wetland
[ ]	Lot Line Adjustment * /**	[ ]	Willamette River Greenway
[ ]	Minor Partition (Preliminary Plat or Plan)	[ ]	Other/Misc

RECEIVED
APR 29
PLANNING & BUILDING
CITY OF WEST LINN
TIME

Home Occupation / Pre-Application / Sidewalk Use Application * / Permanent Sign Review * / Temporary Sign Application require individual application forms available in the forms and application section of the City Website or at City Hall.

TOTAL FEES/DEPOSIT CLASS I 850-

*** No CD required / ** Only one copy needed**

West Linn-Wilsonville Sch. Dist. P.O. Box 35 West Linn, OR 97062 503-673-7976

OWNER'S	ADDRESS	CITY	ZIP	PHONE(res.& bus.)
Tim Woodley	Same as above			

APPLICANT'S	ADDRESS	CITY	ZIP	PHONE(res.& bus.)
Keith Liden, Parsons Brinckerhoff,	400 SW 6th Ave., Suite 802	Portland, OR	97204	503-478-2348

CONSULTANT	ADDRESS	CITY	ZIP	PHONE

SITE LOCATION West Linn High School 5464 West "A" Street

Assessor's Map No.: 2S 2E Section 30 **Tax Lot(s):** 800 **Total Land Area:** 33 acres

1. All application fees are non-refundable (excluding deposit).
2. The owner/applicant or their representative should be present at all public hearings.
3. A denial or grant may be reversed on appeal.. No permit will be in effect until the appeal period has expired.
4. **Four (4) complete hard-copy sets (single sided) of application materials must be submitted with this application. One (1) complete set of digital application materials must also be submitted on CD in PDF format.**

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application.

SIGNATURE OF PROPERTY OWNER(S)

X Tim Woodley Date 12.3.09

SIGNATURE OF APPLICANT(S)

X Keith Liden Date 4.26.10

BY SIGNING THIS APPLICATION, THE CITY IS AUTHORIZED REASONABLE ACCESS TO THE PROPERTY.
ACCEPTANCE OF THIS APPLICATION DOES NOT INFER A COMPLETE SUBMITTAL.
COMPLETENESS WILL BE DETERMINED WITHIN 30 DAYS OF SUBMITTAL.

76

CITY OF WEST LINN
22500 Salamo Rd.
West Linn, OR. 97068
(503) 656-4211

PLANNING RECEIPT
Receipt: # 935711
Date : 05/17/2010
Project: #DR-10-08
BY: JN

****

NAME : WL/WV SCHOOL DISTRICT/TIM WOODLEY

ADDRESS : PO BOX 35

CITY/STATE/ZIP: WEST LINN OR 97068

PHONE # : 673-7196

SITE ADD. : **5464 WEST A ST (WL HIGH SCHOOL)**

****

TYPE I HOME OCCUPATIONS		HO	$
PRE-APPLICATIONS	Level I ( ), Level II ( )	DR	$
HISTORIC REVIEW	Residential Major ( ), Minor ( ), New ( )	DR	$
	Commercial Major ( ), Minor ( ), New ( )		
SIGN PERMIT	Face ( ), Temporary ( ), Permanent ( )	DR	$
SIDEWALK USE PERMIT		DR	$
APPEALS	Plan. Dir. Dec. ( ), Subdivsion ( ), Plan Comm./City Coun. ( ), Nbhd ( )	DR	$
LOT LINE ADJUSTMENT		LA	$
CITY/METRO BUSINESS LICENSE		BL	$

****

The following items are paid by billing against the up-front deposit estimate. If the amount of time billed to your project exceeds the amount coverered by the deposit, additional payment may be required.

DESIGN REVIEW	Class I (X), Class II ( )	RD	$	850.00
VARIANCE	Class I ( ), Class II ( )	RD	$	
SUBDIVISION	Standard ( ), Expedited ( )	RD	$	
ANNEXATION	"Does Not Include Election Cost"	RD	$	
CONDITIONAL USE		RD	$	
ZONE CHANGE		RD	$	
MINOR PARTITION		RD	$	
MISCELLANEOUS PLANNING		RD	$	

Boundry Adjustments	( )		
Modification to approval	( )	Water Resource	
Code Amendments	( )	Area Protection	( )
Comp. Plan Amendments	( )	Street Vacations	( )
Temporary Permit Admin.	( )	Easement Vacations	( )
Temporary Permit Council	( )	Will. River Greenway	( )
Flood Management	( )	Tualatin River Grwy.	( )
Inter-Gov. Agreements N/C	( )	Street Name Change	( )
Alter Non-Conforming Res.	( )	Code Interpretations	( )
Alter Non-Conforming Comm.	( )	Type II Home Occ.	( )
Measure 37 Claims	( )	Planned Unit Dev. PUD	( )

TOTAL REFUNDABLE DEPOSIT		RD	$ 850.00
GENERAL MISCELLANEOUS Type:		PM	$

****

TOTAL Check # Credit Card (X) Cash ( ) $ 850.00

WLHS BASEBALL SEATING

West Linn Wilsonville School District

22210 SW Stafford Rd, Tualatin, OR 97062

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civil

C0 EXISTING CONDITIONS
C1 EXISTING CONDITIONS & DEMOLITION
C2 SITE PLAN
C3 GRADING & EROSION CONTROL PLAN
C4 UTILITY PLAN
C5 NOTES AND DETAILS
C6 DETAILS

architectural

A1.00 OVERALL SITE PLAN
A1.01 SITE PLAN
A2.00 CONSESSION PLANS
A2.01 ANNOUNCER BOOTH PLANS
A2.02 SEATING PLAN
A3.00 ELEVATION
A3.01 SECTION
A3.02 SECTION/ELEVATION DETAILS
A3.03 SECTION/ELEVATION DETAILS
A4.00 INTERIOR ELEVATION

structural

S0.2 GENERAL STRUCTURAL NOTES
S1.1 SITE PLAN AND FRAMING PLANS
S2.1 CONCRETE DETAILS
S3.1 WOOD DETAILS

mechanical

M0.01 SYMBOLS, LEGENDS & ABBREVIATIONS - MECHANICAL
M2.01 FLOOR PLAN MECHANICAL
M6.01 DETAILS MECHANICAL

plumbing

electrical

E0.01 SYMBOLS, LEGENDS & ABBREVIATIONS - ELECTRICAL
E0.10 SITE PLANS - DEMOLITION ELECTRICAL
E0.20 SITE PLAN - ELECTRICAL
E2.01 FLOOR PLANS ELECTRICAL
E5.01 ONE-LINE DIAGRAMS - ELECTRICAL
E6.01 DETAILS AND SCHEDULES - ELECTRICAL

owner
West Linn Wilsonville School District
22210 SW Stafford Rd,
Tualatin, OR 97062
t (503) 673 7000 f (503) 673 7001

civil engineer
Wrazier & Kelly
22210 SW Stafford Road
Tualatin, OR 97062
t (503) 673 7875

architect
Dull Olson Weekes Architects Inc
907 SW Stark Street
Portland, Oregon 97205
t (503) 226 6950 f (503) 273 9192

structural engineer
KPFF, Consulting Engineers
111 SW 5th Avenue
Portland, OR 97204
t (503) 727 3251

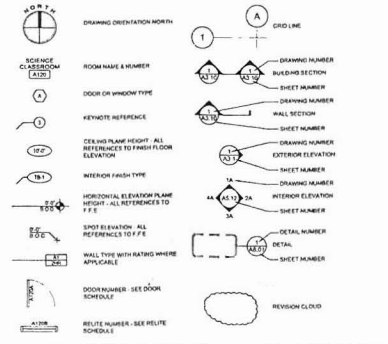
mechanical/plumbing/electrical engineer
PAE, Consulting Engineers Inc.
808 SW Third Ave, Suite 300
Portland, OR 97204-2425
t (503) 226 2921 f (503) 226 2930

5464 West A Street,
West Linn, OR

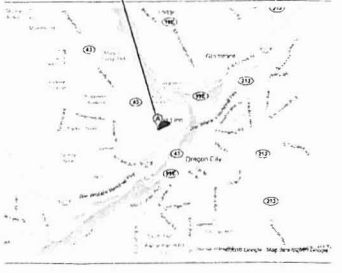
ARCHITECTURAL ABBREVIATIONS

∠	ANGLE	EA	EACH	GA	GAUGE	NA	NOT APPLICABLE	T	TEMPERED GLAZING
&	AND	EF	EXHAUST FAN	GALV	GALVANIZED	NIC	NOT IN CONTRACT	TC	TOP OF CURB
AB	ANCHOR BOLT	EJ	EXPANSION JOINT	GB	GRAB BAR	NOM	NOMINAL	TEL	TELEPHONE
ACT	ACOUSTICAL CEILING TILE	EL	ELEVATION	GC	GENERAL CONTRACTOR	NS	NELSON STUD	T&G	TONGUE AND GROOVE
ADD	ADDENDUM	ELEC	ELECTRICAL	GL	GLASS	NTS	NOT TO SCALE	THK	THICK
A.F.F.	ABOVE FINISH FLOOR	E.O.S.	EDGE OF SLAB	GND	GROUND			TJ	TOOL JOINT
ALS	AREA LIGHT STANDARD	ENGR	ENGINEER	GWB	GYPSUM VENEER PLASTER	OA	OVERALL	TP	TOP OF PAVEMENT
ALUM	ALUMINUM	EP	ELECTRICAL PANEL	GWB	GYPSUM WALL BOARD	OC	ON CENTER	TYP	TYPICAL
ANOD	ANODIZED	EQ	EQUAL			O.D	OVERFLOW DRAIN	TOS	TOP OF (MATERIAL)
		EQUIP	EQUIPMENT	HB	HOSE BIB	OD	OUTSIDE DIAMETER		
BC	BOTTOM OF CURB	ES	EACH SIDE	HC	HANDICAP	OH	OVERHEAD	UNFIN	UNFINISHED
BD	BOARD	EW	EACH WAY	HDWR	HARDWARE	OPNG	OPENING	UNO	UNLESS NOTED OTHERWISE
BLDG	BUILDING	EXST	EXISTING	HM	HOLLOW METAL	OPP	OPPOSITE		
BLKG	BLOCKING	(E)	EXISTING	HW	HOT WATER	OS	OUTSIDE	VB	VAPOR BARRIER
B.M	BENCH MARK	EXP	EXPANSION	HVAC	HEATING, VENTILATION AND AIR CONDITIONING			VERT	VERTICAL
BM	BEAM	EXT	EXTERIOR			PP	POURED IN PLACE	VEST	VESTIBULE
BOT	BOTTOM			INSUL	INSULATION	PL	PROPERTY LINE	VFY	VERIFY
BTU	BRITISH THERMAL UNIT	FA	FIRE ALARM	INT	INTERIOR	PLAS	PLASTER		
BTWN	BETWEEN	FBO	FURNISHED BY OTHERS			PLYWD	PLYWOOD	WI	WITH
		FD	FLOOR DRAIN	JAN	JANITOR	PSF	PER SQUARE FOOT	WC	WATER CLOSET
COR C	CHANNEL	FDN	FOUNDATION	JT	JOINT	PT	PRESSURE TREATED	WD	WOOD
CB	CATCH BASIN	FE	FIRE EXTINGUISHER	JST	JOIST	PVMT	PAVEMENT	WF	WIDE FLANGE
CCTV	CLOSED CIRCUIT TV	FEC	FIRE EXTINGUISHER CABINET					WG	WIRE GLASS
CG	CORNER GUARD	FF	FINISH FLOOR	R	RADIUS			WH	WATER HEATER
CLG	CEILING	FFE	FINISH FLOOR ELEVATION	L	LENGTH	R.D	ROOF DRAIN	WO	WITHOUT
CLR	CLEAR	FIN	FINISH	LAV	LAVATORY	REF	REFERENCE	WP	WATERPROOFING
CJ	CONTROL JOINT	FL	FLOOR	LB	LAG BOLT	REFR	REFRIGERATOR	WT	WEIGHT
CMU	CONCRETE MASONRY UNIT	FO	FACE OF	LKR	LOCKER	REQD	REQUIRED		
CONT	CONTINUOUS	FOC	FACE OF CONCRETE	LS	LANDSCAPING	REV	REVISE OR REVISION		
CORR	CORRUGATED	FOF	FACE OF FINISH	LVR	LOUVER	RM	ROOM		
CSJ	CONSTRUCTION JOINT	FOM	FACE OF MASONRY			R.O	ROUGH OPENING		
CSMT	CASEMENT	FOS	FACE OF STUD	MATL	MATERIAL	RCP	REFLECTED CEILING PLAN		
CT	CERAMIC TILE	FOIC	FURNISHED BY OWNER INSTALLED BY CONTRACTOR	MAX	MAXIMUM				
CTR	CENTER			MECH	MECHANICAL	SC	SOLID CORE		
℄	CENTERLINE	FOIO	FURNISHED BY OWNER INSTALLED BY OWNER	MED	MEDIUM	SECT	SECTION		
				MEZZ	MEZZANINE	SF	SQUARE FOOT		
DBL	DOUBLE	FRT	FIRE RETARDANT TREATED	MFR	MANUFACTURER	SHTG	SHEATHING		
DTL	DETAIL	FTG	FOOTING	MH	MANHOLE	SHWR	SHOWER		
DF	DRINKING FOUNTAIN	FURR	FURRING	MIN	MINIMUM	SHT	SHEET		
DIA	DIAMETER			MIR	MIRROR	SIM	SIMILAR		
DIAG	DIAGONAL			MISC	MISCELLANEOUS	SJ	SEISMIC JOINT		
DIM	DIMENSION			MTD	MOUNTED	SM	SHEET METAL		
DISP	DISPENSER			MTL	METAL	SPEC	SPECIFICATION		
DN	DOWN					SQ	SQUARE		
DP	DAMPPROOFING					SS	STAINLESS STEEL		
DR	DOOR					STD	STANDARD		
DS	DOWN SPOUT					STL	STEEL		
DT	DRAIN TILE					STOR	STORAGE		
DWG	DRAWING					STRUCT	STRUCTURAL		
						SUSP	SUSPENDED		

ARCHITECTURAL SYMBOLS

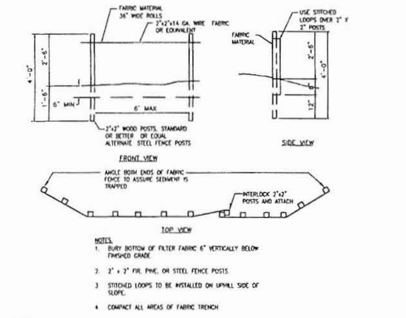


VICINITY MAP

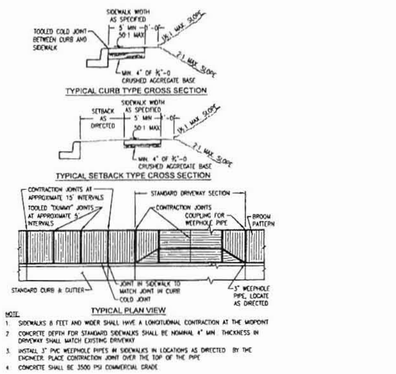


DESIGN REVIEW

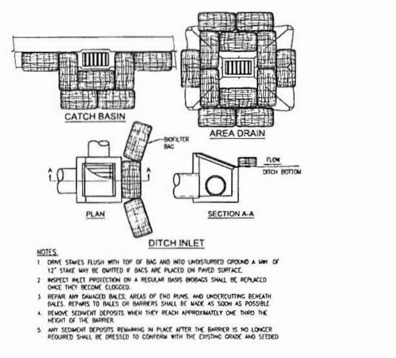
WLHS BASEBALL SEATING | project # 09001
Design Review | march 2010



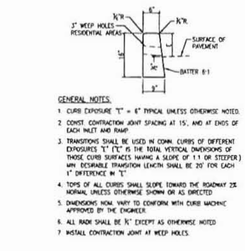
5 SEDIMENT FENCE DETAILS
C5 SCALE: NONE



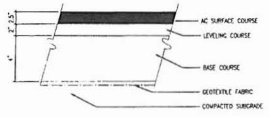
6 SIDEWALK
C5 SCALE: NONE



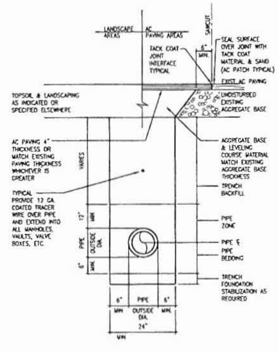
7 BIO-FILTER FOR TEMPORARY INLET PROTECTION
C5 SCALE: NONE



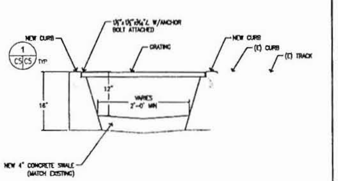
1 STANDARD CURB
C5 SCALE: NONE



2 TYPICAL PAVING SECTION-LIGHT
C5 SCALE: NONE



3 UTILITY TRENCH SECTION
C5 SCALE: NONE



4 NEW CONCRETE STORM CHANNEL W/GRATE COVER
C5 SCALE: NONE

GENERAL SITE NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE. CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING.
2. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT NEW FEATURES TIE INTO EXISTING SITE DEVELOPMENT, PAVEMENT JOINTS MATCH CORRECTLY, AND THAT GENERAL DESIGN ELEVATIONS FOR NEW CONSTRUCTION PROVIDE PROPER PAVEMENT AND DRAINAGE SLOPES FROM EXISTING TIE IN POINTS. REPORT DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
3. IN AREAS WHERE ASPHALT PAVING IS BEING REWORKED, PROVIDE NEW PAINT STRIPING FOR ALL REVISED PAVING WORK AND PARKING STALLS. EXISTING STRIPING TO BE BLACKENED OUT IN RECONFIGURED AREAS AS REQUIRED.
4. ALL CONSTRUCTION ACTIVITIES SHALL BE COORDINATED WITH CITY INSPECTOR(S). CONTRACTOR SHALL NOTIFY CITY INSPECTOR(S) 48 HOURS PRIOR TO START OF CONSTRUCTION.
5. DURING CONSTRUCTION, THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL HAVE A MINIMUM OF ONE (1) SET OF PERMIT APPROVED PLANS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES.
6. UPON COMPLETION OF THE CONSTRUCTION PROJECT, THE CONTRACTOR SHALL LEAVE THE PROJECT AREA FREE OF DEBRIS AND UNUSED MATERIAL. ALL DAMAGE CAUSED BY THE CONTRACTOR SHALL BE RESTORED TO AN "AS GOOD OR BETTER" CONDITION.

DEMOLITION NOTES

1. DEMOLITION REQUIREMENTS ARE NOT SHOWN ON THESE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING SCOPE OF DEMOLITION WORK FROM OWNER AND FOR EXAMINATION OF EXISTING SITE CONDITIONS. CONTRACTOR SHALL SUBMIT A DEMOLITION PLAN PRIOR TO CONSTRUCTION OUTLINING ITEMS TO BE REMOVED. ALL UTILITY LINES AND STRUCTURES SHOWN WITHIN THE LIMITS OF
2. DEMOLITION SHALL BE REMOVED EXCEPT THOSE INDICATED AS "TO REMAIN". ALL LINES THAT ARE CUT AT LIMITS OF DEMOLITION OR POINTS OF DISCONNECTION WITHIN THE WORK AREA, ARE TO BE CAPPED OR PLUGGED. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TEMPORARY ACCESS.
3. DURING CONSTRUCTION, UTILITY OUTAGES AND ACCESS CLOSURES REQUIRE A MINIMUM OF 24 HOURS NOTICE TO OWNER OR SITE TENANTS.

GRADING NOTES

1. SURVEY OF EXISTING CONDITIONS PREPARED BY COMPASS ENGINEERING. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL SURVEY DATA. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING RIGHT-OF-WAY LINES, SLOPE EASEMENTS, AND ALL HORIZONTAL AND VERTICAL CONTROL PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING AND SHALL ARRANGE FOR STAKING WITH A LICENSED SURVEYOR. STAKING WILL BE REVIEWED BY OWNER FOR CONFORMATION TO DESIGN PRIOR TO CONSTRUCTION.
3. ALL GRADES BETWEEN SPOT ELEVATIONS SHALL HAVE UNIFORM SLOPE UNLESS OTHERWISE INDICATED. MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING WALLS AND DOORS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION. ADEQUATE SHORING, BRACING, TIES, AND SUPPORTS SHALL BE USED TO PROVIDE PROPER TEMPORARY INTEGRITY DURING ALL PHASES OF CONSTRUCTION.
5. ALL EXISTING LANDSCAPED AND UNPAVED AREAS WHICH ARE DISTURBED BY CONSTRUCTION OR EARTHWORK OPERATIONS SHALL BE HAND RAKED SMOOTH AND RETURNED TO ORIGINAL EXISTING CONDITIONS. DISTURBED LANDSCAPED AREAS SHALL RECEIVE BARK DUST AND REPLACEMENT PLANTINGS. DISTURBED NATURAL AREAS SHALL BE HYDROSEEDED TO REPLACE NATIVE COVER. DISTURBED GRAVEL AREAS SHALL RECEIVE REPLACEMENT GRAVEL OR CRUSHED ROCK SURFACING.
6. ALL DITCHES, SWALES, GUTTERS, ETC. SHOULD BE CONSIDERED ACTIVE STORM CONVEYANCES UNLESS OTHERWISE INDICATED. CONTRACTOR IS RESPONSIBLE FOR ADDRESSING STORM WATER DRAINAGE AND DEWATERING OF WORK AREAS DURING CONSTRUCTION.
7. DURING WET WEATHER PERIODS, CONTRACTOR IS RESPONSIBLE FOR SEQUENCING CONSTRUCTION IN A MANNER TO MINIMIZE IMPACT ON OPEN EARTHWORK AND COMPACTION OPERATIONS.
8. ALL EXISTING MONUMENTS SHALL BE PROTECTED DURING CONSTRUCTION. IF ANY MONUMENTS ARE DISTURBED OR DESTROYED DURING CONSTRUCTION, CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO RESTORE THE MONUMENT TO ITS ORIGINAL CONDITION AND FILE THE NECESSARY SURVEYS AS REQUIRED BY STATE LAW.
9. COMPLETELY COVER ANY SOIL STOCKPILES WITH 6 MIL BLACK PLASTIC AND PROVIDE RESTRAINTS TO HOLD PLASTIC IN PLACE. MONITOR PLASTIC COVER AS PART OF CONTINUOUS EROSION CONTROL PLAN. PLACE SILT FENCE COMPLETELY AROUND STOCKPILE.

UTILITY NOTES

1. LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM RECORD DRAWINGS AND INTERPOLATION OF PHYSICAL EVIDENCE ON THE SITE AND ARE SUBJECT TO FIELD VERIFICATION BY THE CONTRACTOR.
2. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION UNDER THIS SECTION OR ANY OTHER SECTION.
3. THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, OR FITTING REQUIRED TO COMPLETE THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE AND WORKING SYSTEM.
4. CONTRACTOR SHALL COORDINATE A UTILITY LOCATE 48 HOURS PRIOR TO BEGINNING ANY UTILITY CONSTRUCTION FOR LOCATION MARK-UP OF ALL EXISTING UTILITIES BOTH IN THE RIGHT-OF-WAY AND ON PRIVATE PROPERTY. CONTRACTOR SHALL COORDINATE THE UTILITY LOCAL WITH MUNICIPALITY HAVING JURISDICTION FOR ALL UTILITY WORK WITHIN A PUBLIC RIGHT-OF-WAY. INFORM ENGINEER IMMEDIATELY IF LOCATE INDICATES THAT EXISTING UTILITIES ARE DIFFERENT THAN SHOWN ON DRAWINGS.
5. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES, FEATURES, AND STRUCTURES LOCATED ON THE SITE. LOCATE, PROTECT, AND AVOID DISRUPTION OF ALL ABOVE AND BELOW GRADE UTILITIES DURING CONSTRUCTION.
6. ALL UTILITY CONSTRUCTION ON PRIVATE PROPERTY SHALL CONFORM TO THE LATEST EDITION OF THE UNIFORM PLUMBING CODE (UPC). ALL UTILITY CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE STANDARD REQUIREMENTS OF THE MUNICIPALITY HAVING JURISDICTION.
7. ALL BURIED LINES TO HAVE 2 FEET MINIMUM COVER, UNLESS NOTED OTHERWISE.
8. DOWNSPOUT AND BUILDING UTILITY CONNECTIONS TO BE SHOWN ON BUILDING PLUMBING DRAWINGS. REFER TO PLUMBING DRAWINGS FOR CONTINUATION OF UTILITY LINES INTO BUILDING.
9. THRUST BLOCKING REQUIRED ON ALL PRESSURE LINES BENDS AND FITTINGS. SEE STANDARD THRUST BLOCKING DETAIL.
10. SEE LANDSCAPE DRAWINGS FOR IRRIGATION LINES.
11. ALL EXISTING UTILITIES AND TIE-IN POINTS SHOULD BE CONSIDERED ACTIVE UTILITIES UNLESS OTHERWISE INDICATED.
12. CONFIRM FIRE HYDRANT TYPE, NOZZLE SIZES, AND THREAD CONFIGURATIONS WITH LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO CONSTRUCTION.
13. CONFIRM ALL UTILITY VALVE VAULTS, VALVES, METERS, BACKFLOW PREVENTION ASSEMBLIES, AND OTHER PUBLIC UTILITY APPURTENANCES IN THE RIGHT-OF-WAY WITH THE MUNICIPALITY HAVING JURISDICTION.

EROSION CONTROL

1. ALL EROSION, SEDIMENT, AND POLLUTION CONTROL PLAN (ESPCP) MEASURES SHALL BE INSTALLED AS PER THE DETAIL DRAWINGS IN THE CITY OF PORTLAND EROSION CONTROL MANUAL.
2. TEMPORARY ESPCP MEASURES SHALL BE INSTALLED, INSPECTED, AND APPROVED BY A CITY INSPECTOR BEFORE STARTING GROUND DISTURBING ACTIVITIES.
3. ESPCP MEASURES SHALL NOT BE REMOVED UNTIL PERMANENT LANDSCAPING HAS BEEN INSTALLED AND FINAL INSPECTION HAS BEEN REQUESTED AND APPROVED BY A CITY INSPECTOR.
4. INSPECTIONS MAY BE REQUESTED BY TELEPHONING THE INSPECTION REQUEST NUMBER 823-7000 ONE DAY PRIOR TO THE TIME OF INSPECTION.
5. APPROVAL OF THIS ESPCP PLAN DOES NOT CONSTITUTE APPROVAL OF PERMANENT OR DRAINAGE DESIGN (I.E. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITES, ETC.)
6. THE IMPLEMENTATION OF THIS ESPCP AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESPCP FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
7. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
8. THE BOUNDARIES OF THE CLEARING LIMITS (IF REQUIRED BY THE CITY) SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF THE CONSTRUCTION.
9. THE ESPCP FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR THE ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESPCP FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
10. THE ESPCP FACILITIES SHALL BE INSPECTED DAILY BETWEEN OCTOBER 1 AND APRIL 30 BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. ALL INSPECTIONS SHALL BE NOTED IN AN INSPECTION LOG WHICH SHALL BE MADE AVAILABLE TO THE CITY INSPECTOR UPON REQUEST.
11. ESPCP FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 24 HOURS FOLLOWING A STORM EVENT.
12. A SIGN WITH THE CITY'S EROSION CONTROL HOTLINE NUMBER, PROJECT ADDRESS, AND PERMIT NUMBER SHALL BE POSTED AT A LOCATION CLEARLY VISIBLE FROM THE RIGHT OF WAY AND MAINTAINED UNTIL PROJECT COMPLETION.
13. EXPOSED SOILS THAT REMAIN UNWORKED FOR 14 DAYS OR MORE SHALL BE IMMEDIATELY PROTECTED BY APPROPRIATE GROUND COVER. DISTURBED LAND THAT WILL REMAIN UNWORKED FOR 2 MONTHS OR LONGER SHALL ALSO BE SEEDED WITH AN APPROVED SEED MIXTURE.
14. PUBLIC STREETS WILL BE SWEPT DAILY, IF NECESSARY, TO ALLEVIATE SEDIMENT DISCHARGE TO THE STORM WATER MANAGEMENT SYSTEM. UNFILTERED WASH WATER CANNOT BE DISCHARGED TO STORM DRAINS.
15. ALL EROSION CONTROL SEEDING FOR SITE STABILIZATION WILL BE PERFORMED NO LATER THAN SEPTEMBER 1ST TO ALLOW TIME FOR VEGETATIVE ESTABLISHMENT PRIOR TO THE ONSET OF THE WET WEATHER SEASON.
16. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THEY ARE NO LONGER NEEDED.
17. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL SHALL BE REPAIRED AND PROTECTED WITH ADEQUATE GROUND COVER (2" STRAW, COMPOST, MULCH, ETC.)
18. SEEDING SHALL BE SUPPLIED WITH ADEQUATE MOISTURE. SUPPLY WATER AS NEEDED. WATER SHOULD BE CONTROLLED TO PREVENT RUNOFF. AREAS WHICH FAIL TO ESTABLISH VEGETATIVE COVER ADEQUATE TO PREVENT EROSION SHALL BE RESEEDED AS SOON AS AREAS ARE IDENTIFIED.
19. DISTURBED AREAS OF SLOPE GREATER THAN 2:1 WILL BE STABILIZED THROUGH SEEDING AND THE INSTALLATION OF NORTH AMERICAN GREEN SC150BN MATTING OR EQUIVALENT PRODUCT.
20. THE PROPOSED EROSION CONTROL MEASURES ARE A MINIMUM BEST MANAGEMENT PRACTICE. THE CONTRACTOR MAY BE REQUIRED TO MAKE ADDITIONAL EROSION CONTROL MEASURES TO ENSURE THAT NO SEDIMENT LADEN WATER EXITS THE SITE OR ENTERS THE EXISTING STORMWATER SYSTEM.
21. IN THE CASE OF STABILIZATION SEEDING AND PLANTINGS FOR SWALES & SLOPES, IT IS THE CONTRACTORS RESPONSIBILITY TO SEQUENCE THE WORK SUCH THAT THE PLANTINGS ARE ESTABLISHED AS FAR AS POSSIBILE PRIOR TO OCTOBER 1.
22. CONTRACTOR SHALL DESIGNATE AN ONSITE EROSION & SEDIMENT CONTROL INSPECTOR AND SHALL SUBMIT THE NAME TO THE OWNER'S REPRESENTATIVE FOR SUBMITTAL TO DEQ AS PART OF THE DEQ 1200C PERMIT REQUIREMENTS.
23. AN EROSION AND SEDIMENT CONTROL PERMIT HAS BEEN ISSUED BY OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ 1200C PERMIT). CONTRACTOR IS RESPONSIBLE FOR ADMINISTRATION AND CONFORMANCE OF ALLEROSION AND SEDIMENT CONTROL REQUIREMENTS STIPULATED IN THIS PERMIT INCLUDING MAINTENANCE & MONITORING.

CIVIL ABBREVIATIONS

AB	ANCHOR BOLT
AC	ASPHALTIC CONCRETE
ACP	ASBESTOS CONCRETE PIPE
BLDG	BUILDING
BOT	BOTTOM OF TRENCH
BOC	BOTTOM OF CONCRETE
BOS	BOTTOM OF SUMP
CA	COMPRESSED AIR
CB	CATCH BASIN
CJ	CONSTRUCTION JOINT
CI	CURB INLET
CIP	CAST IRON PIPE
CMP	CORRUGATED METAL PIPE
CND	CONDUIT
CO	CLEANOUT
CONC	CONCRETE
CR	CONDENSATE RETURN
DIA #	DIAMETER
DIP	DUCTILE IRON PIPE
DS	DOWNSPOUTS
DW	DRYWELL
DWG	DRAWING
E	ELECTRICAL POWER
ELEV	ELEVATION
ELEC	ELECTRICAL
EXIST	EXISTING
FA	FIRE ALARM
FD	FOUNDATION DRAIN
FF	FINISH FLOOR
FH	FIRE HYDRANT
FW	FIRE WATER
G	GUTTER
GR	GRADE
GV	GATE VALVE
HB	HOSE BIBB
HDPE	HIGH DENSITY POLYETHYLENE
HH	HAND HOLE
HPG	HIGH PRESSURE GAS
HC	HANDICAPPED
HYD	HYDRANT
IE	INVERT ELEVATION
IRR	IRRIGATION
L	LENGTH
LP	LIGHT POLE
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OH	OVERHEAD
OW	OIL/WATER SEPARATOR
PD	POLYDRAIN
ERF	PERFORATED STORM DRAIN
PIV	POST INDICTOR VALVE
POC	POINT OF CONNECTION
PVC	POLYVINYL CHLORIDE
PVMT	PAVEMENT
PW	POTABLE WATER
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RIM	RIM ELEVATION
RR	RAILROAD
S	SLOPE
SAN	SANITARY
SB	SPLASH BLOCK
SD	STORM DRAIN
SS	SANITARY SEWER
STM	STEAM
TB	THRUST BLOCK
TBM	TEMPORARY BENCH MARK
TC	TOP OF CURB
TEL	TELEPHONE
TOB	TOP OF BERM
TOC	TOP OF CONCRETE
TOG	TOP OF GRATE
TOP	TOP OF PIPE
TYP	TYPICAL
UGND	UNDERGROUND
UNO	UNLESS NOTED OTHERWISE
VCP	VITRIFIED CLAY PIPE
VT	VENT
VV	VALVE VAULT
WM	WATER METER
WTR	WATER
WV	WATER VALVE
WWF	WELDED WIRE FABRIC
XFMR	TRANSFORMER

CIVIL SYMBOLS

- CATCH BASIN
- STANDARD MANHOLE
- INLET MANHOLE
- DIRECTION OF FLOW
- HANDICAPPED RAMP
- HYDRANT
- WATER VALVE
- FENCING
- EROSION CONTROL FENCING
- THRUST BLOCK

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key plan

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NOTES & DETAILS

C5

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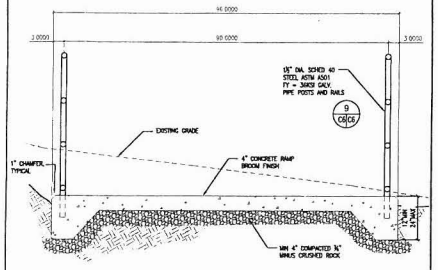
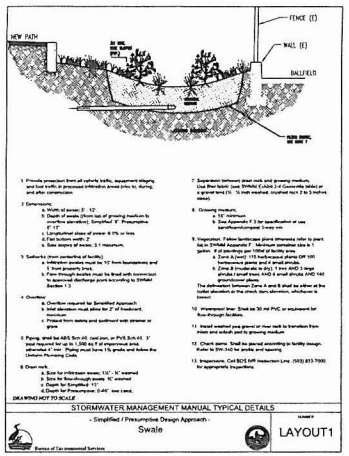
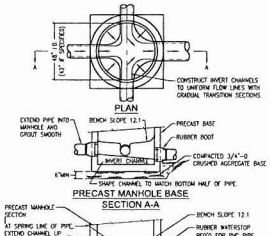


10 C6 CONCRETE ADA RAMP WITH HANDRAIL
SCALE: NONE

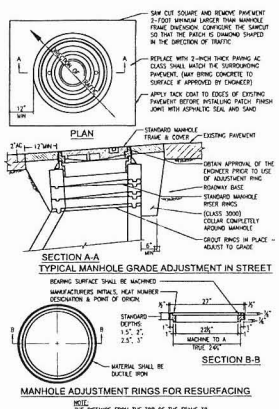


11 C6 RAINWATER GARDEN SECTION
SCALE: NONE



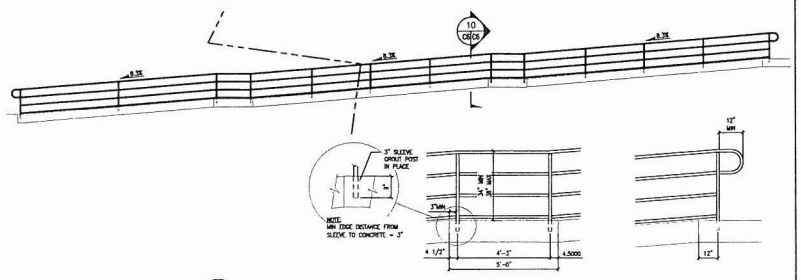
NOTES:
1. CONCRETE SHALL BE CLASS 3000 CONVERCIAL GRADE.
2. CHANNELS SHALL BE CONSTRUCTED TO PROVIDE SMOOTH SLOPES AND FLOW TO OUTLET PIPE.
3. BASES MAY BE PRECAST OR POURED IN PLACE.
4. THIS MANHOLE BASE SECTION SHALL BE USED FOR PIPE SIZES UP TO 24".
5. USE RUBBER BOOTS IF PIPE IS FLEXIBLE. BOOTS MAY BE KOR-N-SEAL OR EQUIVALENT.
6. ALL CONNECTING PIPES SHALL HAVE A FLEXIBLE COMPRESSION JOINT WITHIN 18" OF MANHOLE WALL.

7 C6 MANHOLE BASE SECTION DETAIL
SCALE: NONE

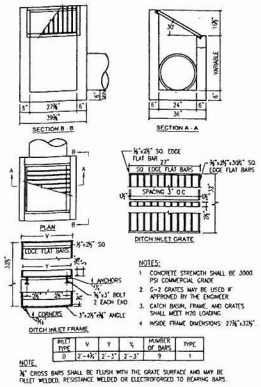


NOTE:
MIN. THE DISTANCE FROM THE TOP OF THE FRAME TO THE TOP OF THE CONE SHALL NOT EXCEED 18".

8 C6 MANHOLE ADJUSTMENT DETAIL
SCALE: NONE



9 C6 HANDRAIL DETAIL
SCALE: NONE

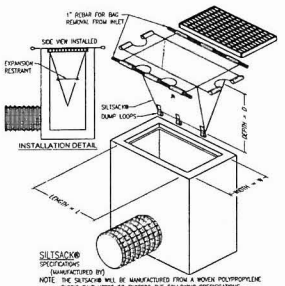


MARK TYPE	V	Y	¾	NUMBER OF BARS	TYPE
D	2'-4¾"	2'-3"	2'-3"	9	1

NOTE:
¾" CROSS BARS SHALL BE FLUSH WITH THE GRATE SURFACE AND MAY BE FILLET WELDED. RESISTANCE WELDED OR ELECTROFORGED TO BEARING BARS.

NOTES:
1. CONCRETE STRENGTH SHALL BE 3000 PSI COMMERCIAL GRADE
2. G-2 GRATES MAY BE USED IF APPROVED BY THE ENGINEER
3. CATCH BASIN, FRAME, AND GRATES SHALL MEET H20 LOADING.
4. INSIDE FRAME DIMENSIONS: 27⅜"x32⅜"

4 C6 DITCH INLET DETAIL
SCALE: NONE

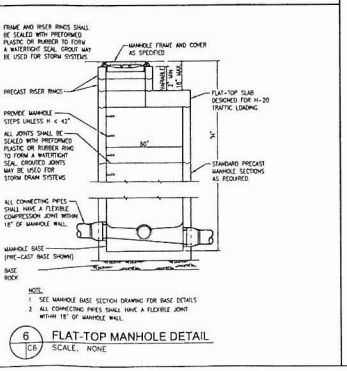


NOTE: THE SILTSACK® WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

REGULAR FLOW SILTSACK®
(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

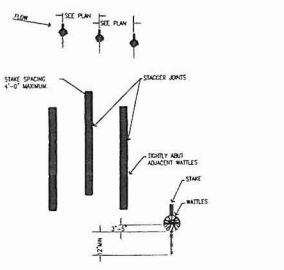
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20%
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80%
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC⁻¹

5 C6 INLET PROTECTION
SCALE: NONE

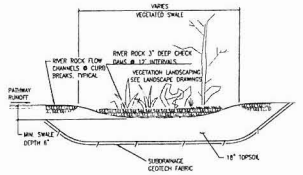


NOTE:
1. SEE MANHOLE BASE SECTION DRAWING FOR BASE DETAILS
2. ALL CONNECTING PIPES SHALL HAVE A FLEXIBLE JOINT WITHIN 18" OF MANHOLE WALL.

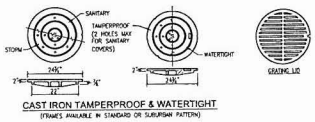
6 C6 FLAT-TOP MANHOLE DETAIL
SCALE: NONE

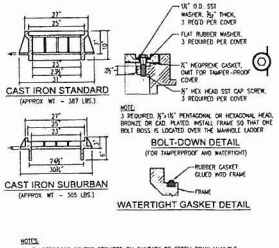


1 C6 STRAW WATTLE SEDIMENT BARRIER
SCALE: NONE



2 C6 VEGETATED SWALE
SCALE: NONE





NOTES:
1. TAMPERPROOF COVERS REQUIRED ON SANITARY OR STORM DRAIN MANHOLE WHERE LOCATED IN PEDESTRIAN WAYS OR EASEMENT AREAS. TAMPERPROOF COVERS FOR SANITARY MANHOLES SHALL HAVE 2 HOLES MAXIMUM.
2. WATERTIGHT COVERS REQUIRED IF LOCATED WHERE COVER MAY BE SUBMERGED
3. FRAMES AND COVERS SHALL BE STAMPED WITH MANUFACTURER'S INITIALS, HEAT NUMBER AND POINT OF ORIGIN

3 C6 MANHOLE COVER & FRAME DETAIL
SCALE: NONE

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key plan

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DETAILS

C6

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GENERAL NOTES

1. ELIMINATE OVERHEAD POWER LINES
2. ELIMINATE TRANSFORMERS AND POWER POLES
3. PROVIDE ACCESS TO SEATING, CONCESSIONS AND ADA RESTROOMS FROM UPPER TRACK LEVEL.

KEYNOTES

1. SCREEN TO PREVENT BASEBALLS FROM BEING HIT INTO THE ADJACENT PARK
2. PROVIDE ADA PATH FROM SOUTH PARKING LOT FROM FIRST BASE SIDE OF FIELD TO THE FOOTBALL FIELD (WITH LIGHTING)
3. PROVIDE SCREENING FOR SAFE SPECTATOR SEATING AT BLEACHERS
4. MODIFY EXISTING CONCRETE WALL AT BACKSTOP. START FIRST TOWARD THE BACKSTOP AT THE LEVEL OF BASEBALL FIELD
5. EXPAND TRACK LEVEL TO INCORPORATE RESTROOMS (ACCESS FROM UPPER LEVEL / TRACK LEVEL)
6. PROVIDE ACCESS TO ADA RESTROOMS
7. SEATING FOR 350
8. PROVIDE ANNOUNCER'S BOOTH
9. NEW 8' FREE STANDING CONCRETE SLAB TO CREATE A BRIDGE BETWEEN TWO ADJACENT RETAINING WALL. EXTEND CHAIN LINK FENCE UNDER BRIDGE TO CLOSE OFF OPENING
10. NEW CONCRETE STAIRS
11. NEW CONTINUOUS PADDING ATTACHED TO RETAINING WALL BEHIND HOME BASE
12. SALVAGE BRONZE FACIAL DETAIL FROM (E) MEMORIAL SIGN

BASEBALL FIELD SITE PLAN (1)

SCALE: 1/16" = 1'-0"

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key plan

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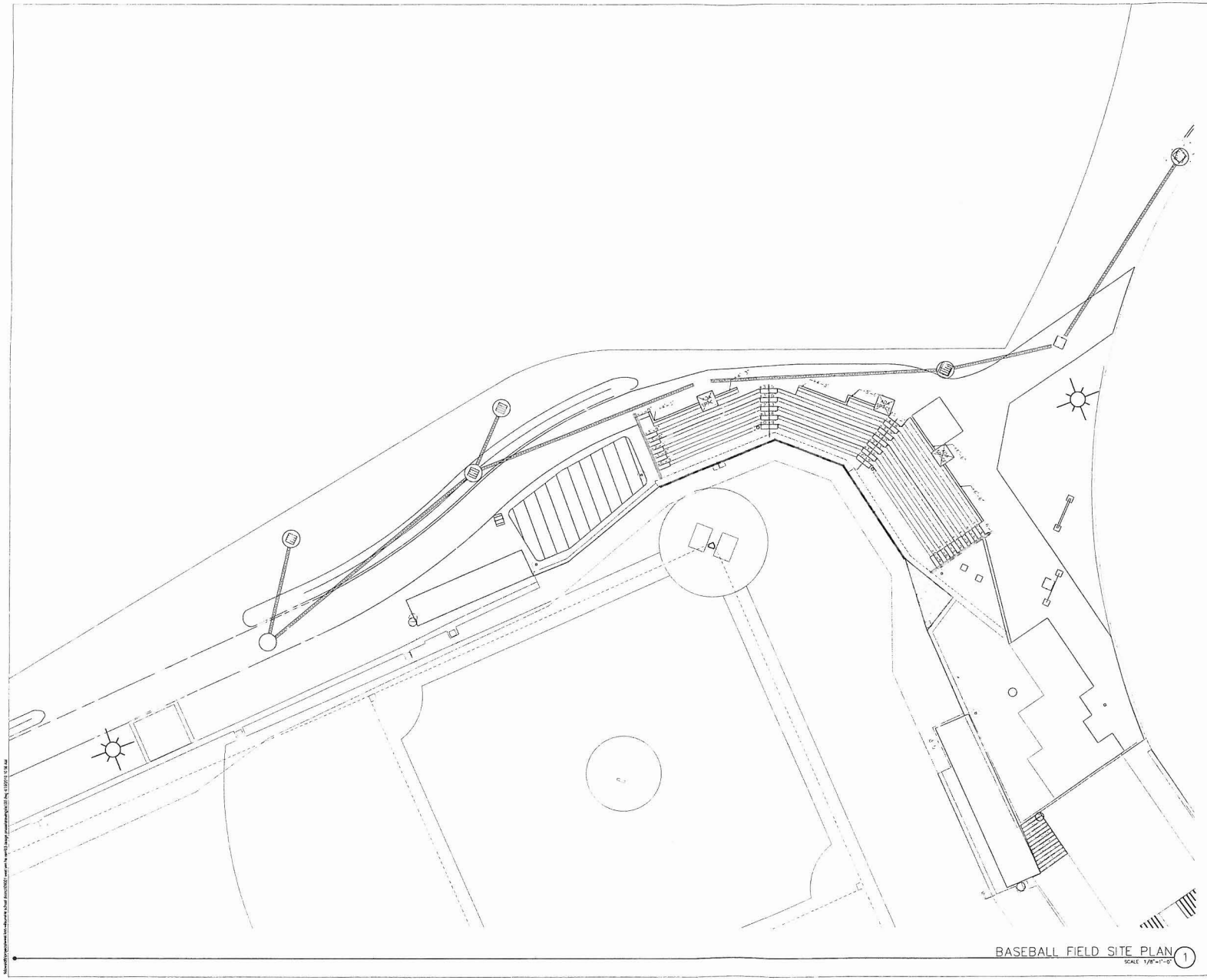
OVERALL SITE PLAN

A1.00



BASEBALL FIELD SITE PLAN (1)
SCALE 1/16"=1'-0"

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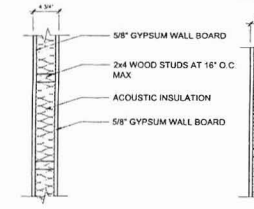
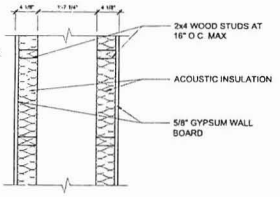
project # 09001
SITE PLAN

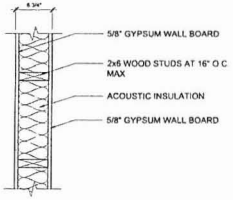
A1.01



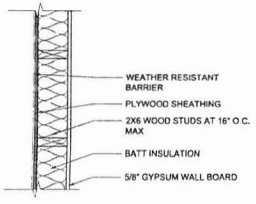
WALL TYPE A4 (8)
SCALE 1 1/2" = 1'-0"



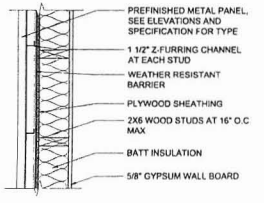
WALL TYPE A3 (7)
SCALE 1 1/2" = 1'-0"



WALL TYPE A2 (6)
SCALE 1 1/2" = 1'-0"



WALL TYPE A5 (5)
SCALE 1 1/2" = 1'-0"



WALL TYPE A1 (4)
SCALE 1 1/2" = 1'-0"

CONSESSION FLOOR FINISH PLAN (3)
SCALE 1/4" = 1'-0"

RCP LEGEND:

- 2X4 FIXTURE
- STRIP FIXTURE
- LINEAR FIXTURE
- OTS — OPEN TO STRUCTURE
- SUPPLY AIR DIFFUSER
- RETURN AIR DIFFUSER
- ACCESS PANEL-SEE MECH. FOR FINAL SIZE AND LOCATION. (NOTE ADDITIONAL ACCESS PANELS MAY BE REQUIRED-COORD. WITH MECH. AND ELECT.)
- ACOUSTICAL CEILING TILE PANEL PENETRATION DETAIL — SUPPLY OR RETURN AIR GRILL OR DIFFUSER; SPRINKLER HEAD
- ACT-1
- PAINTED GYP. BOARD CEILING

GENERAL SHEET NOTES

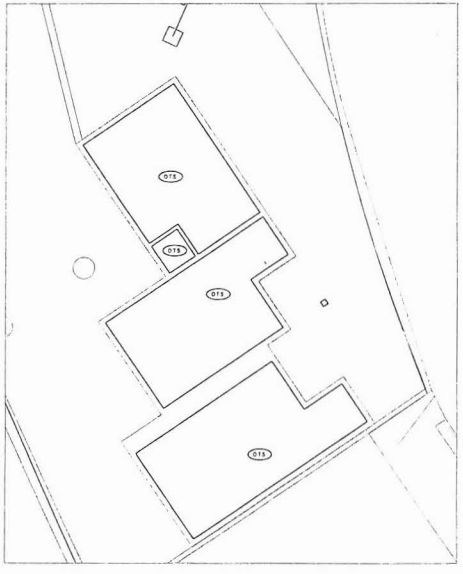
A. MATERIALS IN SIMILAR LOCATIONS NOT NOTED AT EVERY OCCURRENCE.

B. FLOOR MATERIALS TYPICALLY EXTEND UNDER CABINETS TO TOE KICK AND EXTEND TO WALL UNDER OPEN COUNTERS, UNLESS NOTED OTHERWISE

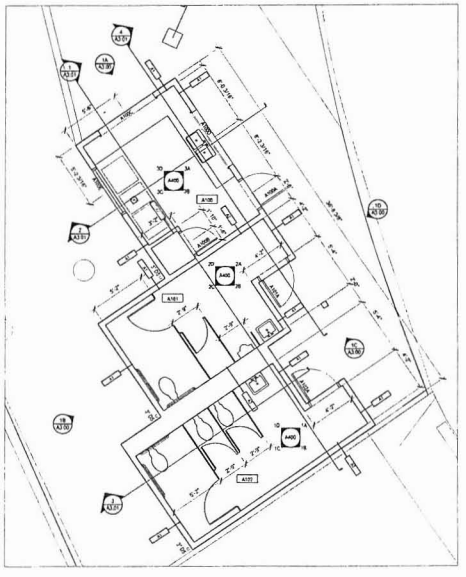
C. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION

FLOOR FINISH LEGEND

- SEALED CONCRETE



CONSESSION RCP PLAN (2)
SCALE 1/4" = 1'-0"



CONSESSION PLAN (1)
SCALE 1/4" = 1'-0"

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FLOOR PLAN

A2.00

RCP LEGEND:

- 2X4 FIXTURE
- STRIP FIXTURE
- LINEAR FIXTURE
- OTS — OPEN TO STRUCTURE
- SUPPLY AIR DIFFUSER
- RETURN AIR DIFFUSER
- ACCESS PANEL-SEE MECH. FOR FINAL SIZE AND LOCATION. [NOTE ADDITIONAL ACCESS PANELS MAY BE REQUIRED/COORD. WITH MECH. AND ELECT.]
- ACOUSTICAL CEILING TILE PANEL PENETRATION DETAIL:
  - Q — SUPPLY OR RETURN AIR GRILL OR DIFFUSER
  - SPRINKLER HEAD
- ACT-1
- PAINTED GYP BOARD CEILING

GENERAL SHEET NOTES

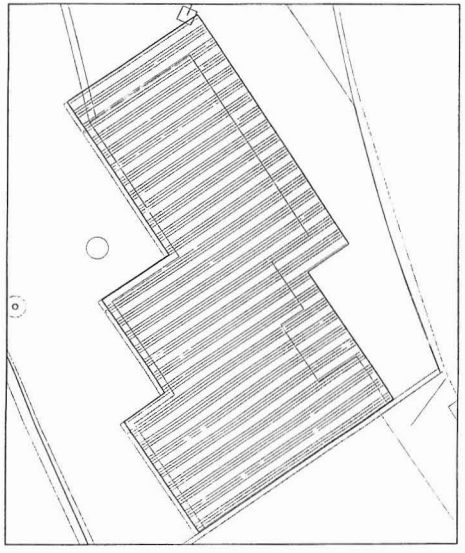
A. MATERIALS IN SIMILAR LOCATIONS NOT NOTED AT EVERY OCCURRENCE.

B. FLOOR MATERIALS TYPICALLY EXTEND UNDER CABINETS TO TOE KICK AND EXTEND TO WALL UNDER OPEN COUNTERS. UNLESS NOTED OTHERWISE

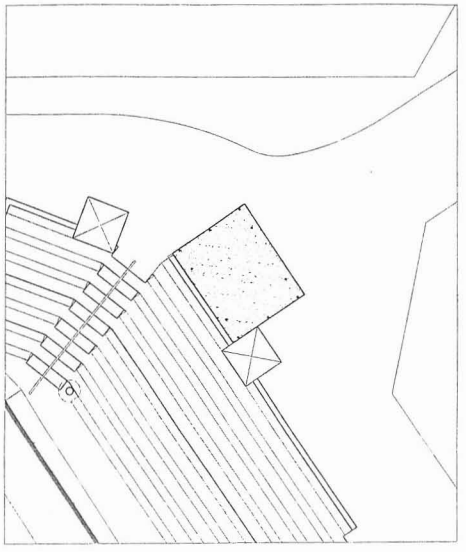
C. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION

FLOOR FINISH LEGEND

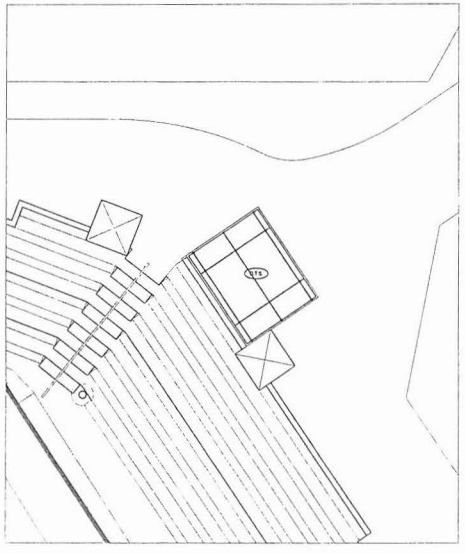
- SEALED CONCRETE



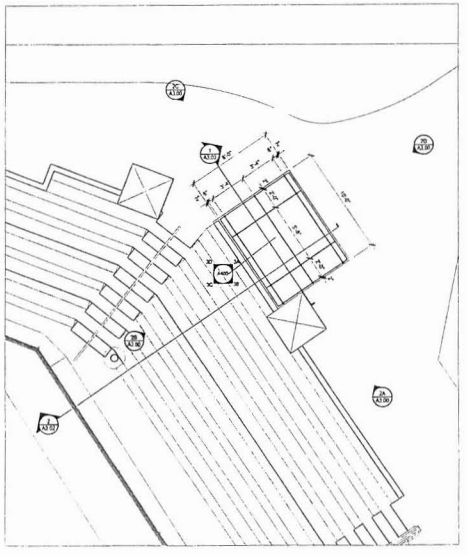
CONSESSION ROOF PLAN 4
SCALE: 1/4" = 1'-0"



ANNOUNCER BOOTH FLOOR FINISHPLAN 3
SCALE: 1/4" = 1'-0"



ANNOUNCER BOOTH RCP PLAN 2
SCALE: 1/4" = 1'-0"



ANNOUNCER BOOTH PLAN 1
SCALE: 1/4" = 1'-0"

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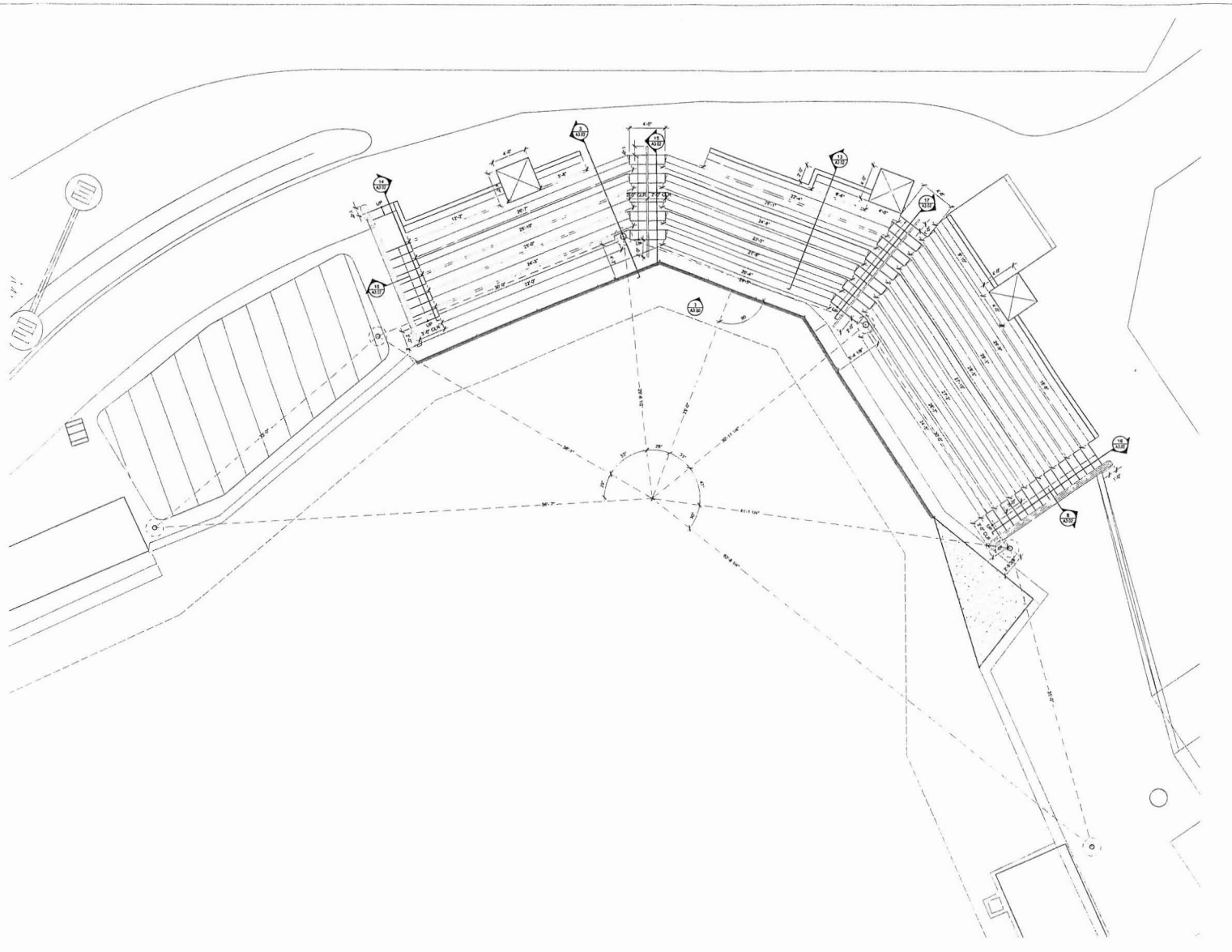
ANNOUNCER BOOTH PLANS

A201



BASEBALL SEATING PLAN (1)

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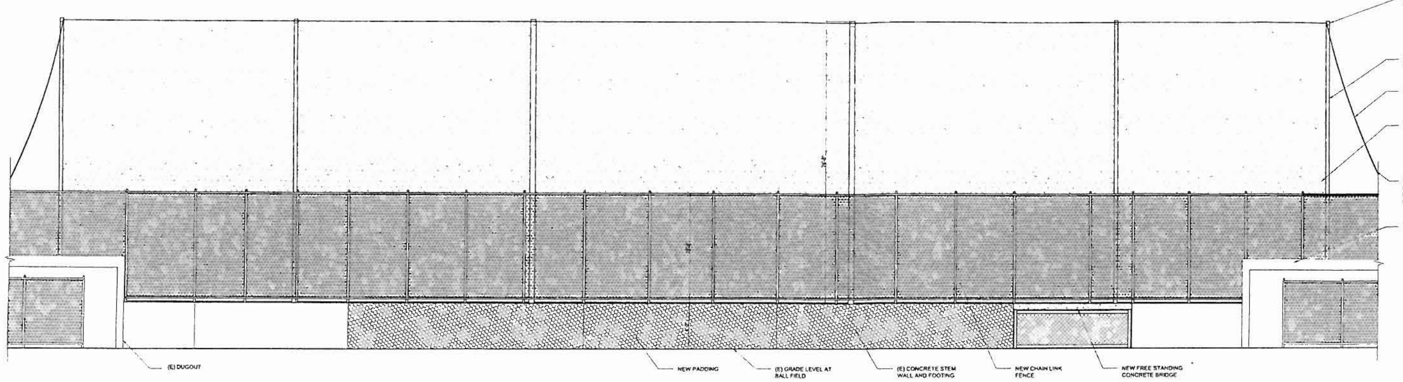
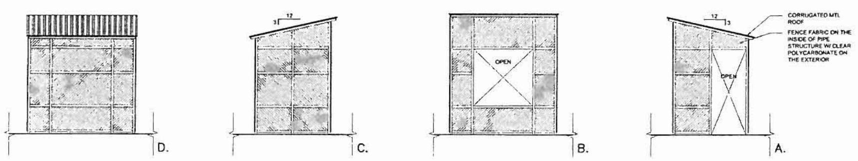
SEATING PLAN

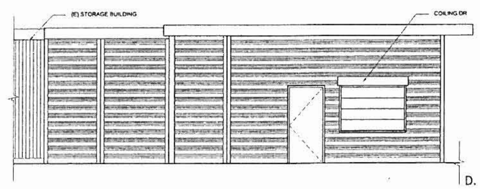
A202


STEEL END CAP - TYP
SEE PLAN FOR PIPE SIZE & TYPE
CABLE - TYP
NETTING, TYP
TIE OFF CABLE AT GRADE - DESIGN BY NETTING SYSTEM CONTRACTOR
(E) DUGOUT
(E) DUGOUT
NEW PADDING
(E) GRADE LEVEL AT BALL FIELD
(E) CONCRETE STEM WALL AND FOOTING
NEW CHAIN LINK FENCE
NEW FREE STANDING CONCRETE BRIDGE

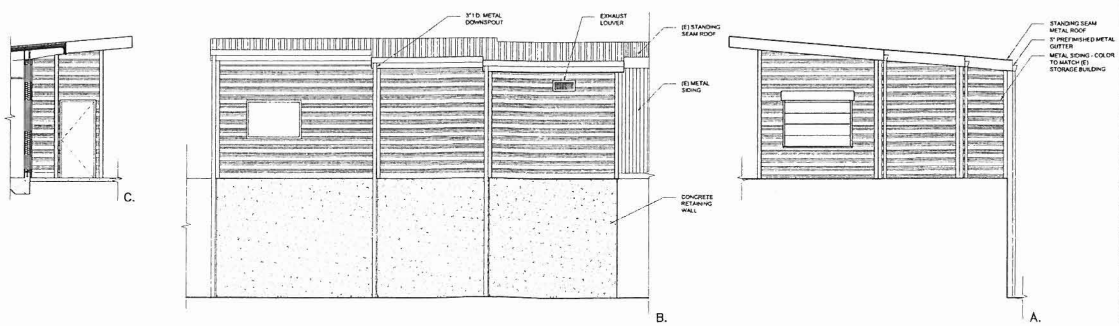
PROTECTIVE NETTING ELEVATION (3)
SCALE 1/4" = 1'-0"



ANNOUNCER BUILDING ELEVATION (2)
SCALE 1/4" = 1'-0"



CONSESSION BUILDING ELEVATION CONT. (1)
SCALE 1/4" = 1'-0"



CONSESSION BUILDING ELEVATION (1)
SCALE 1/4" = 1'-0"

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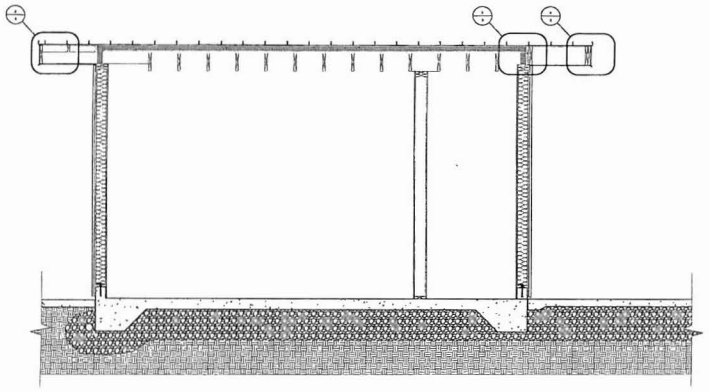
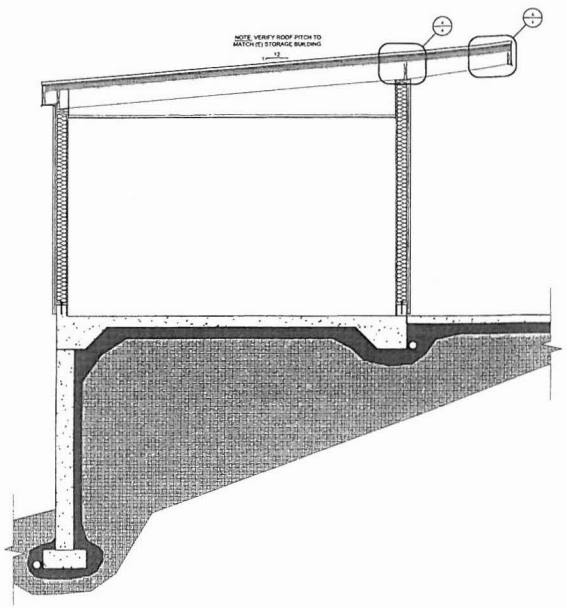
ELEVATION

A3.00

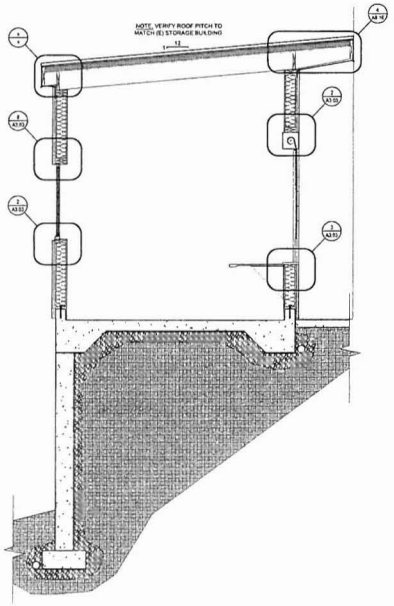
86



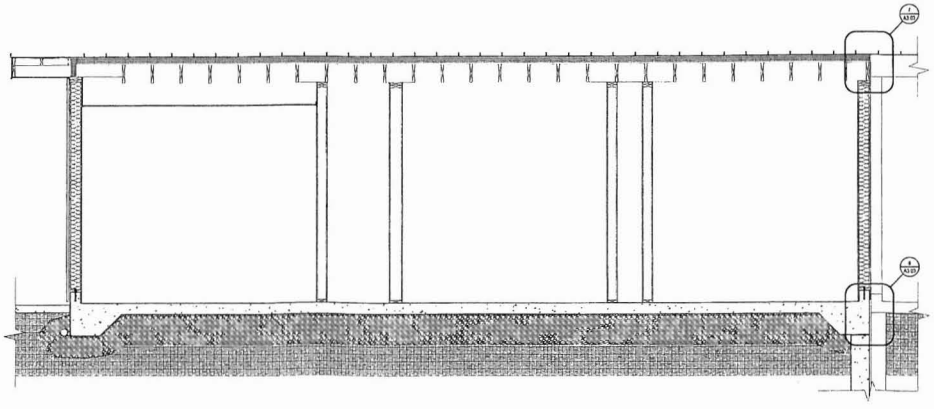
CONSESSION BUILDING SECTION 4
SCALE 1/2" = 1'-0"



CONSESSION BUILDING SECTION 3
SCALE 1/2" = 1'-0"



CONSESSION BUILDING SECTION 2
SCALE 1/2" = 1'-0"



CONSESSION BUILDING SECTION 1
SCALE 1/2" = 1'-0"

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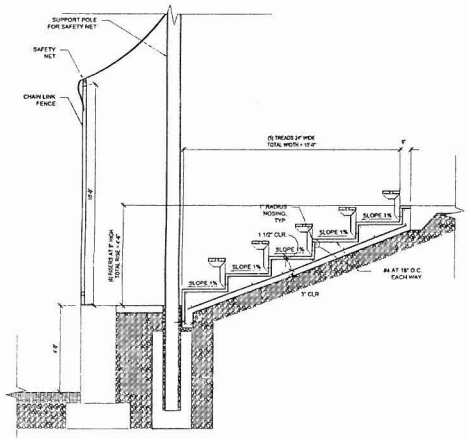
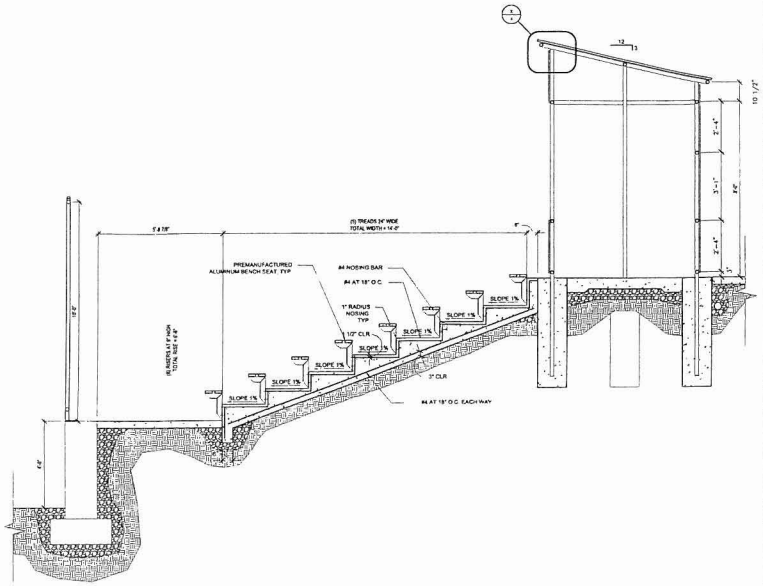
SECTION

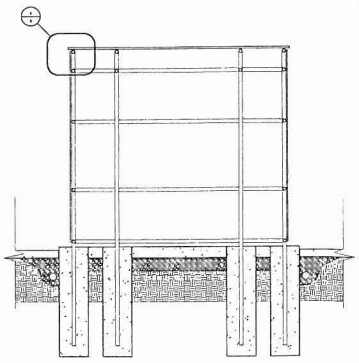
A3.01



SEATING SECTION 3
SCALE 1/2" = 1'-0"



ANOUNCER BOOTH SECTION 2
SCALE 1/2" = 1'-0"



ANOUNCER BOOTH SECTION 1
SCALE 1/2" = 1'-0"

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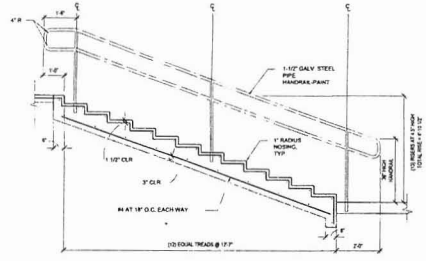
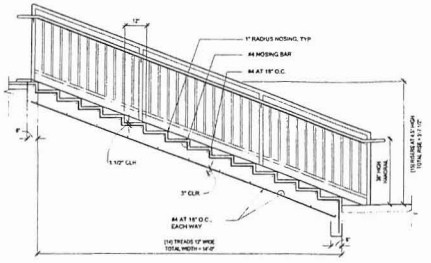
SECTION/ELEVATION DETAILS

A3.02

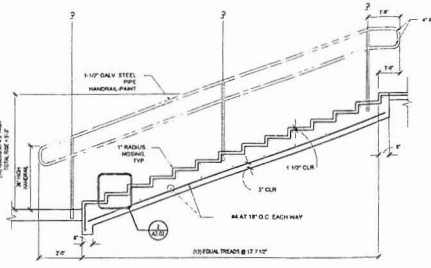
88



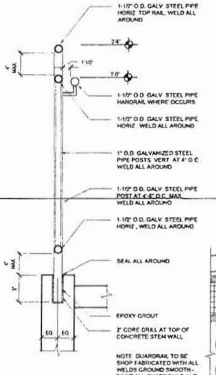
STAIR SECTION 17
SCALE: 1/2" = 1'-0"



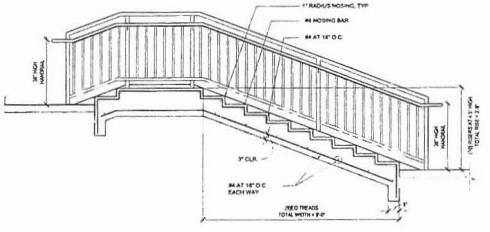
STAIR SECTION 16
SCALE: 1/2" = 1'-0"



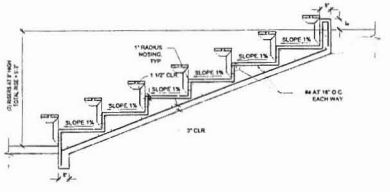
STAIR ELEVATION 15
SCALE: 1/2" = 1'-0"



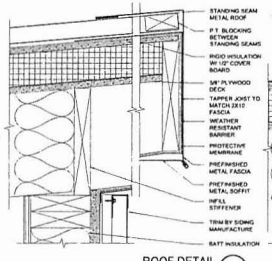
GUARD RAIL DETAIL 12
SCALE: 1 1/2" = 1'-0"



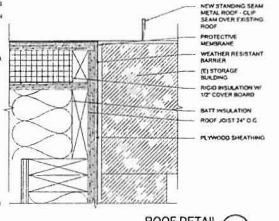
STAIR SECTION 14
SCALE: 1/2" = 1'-0"



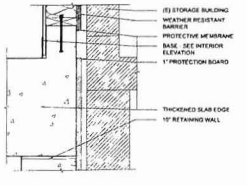
STAIR SECTION 13
SCALE: 1/2" = 1'-0"



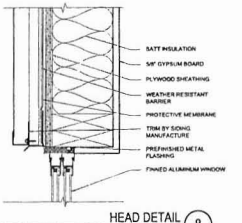
ROOF DETAIL 11
SCALE: 3" = 1'-0"



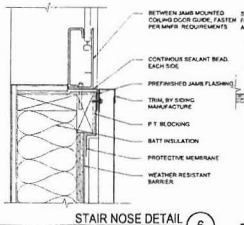
ROOF DETAIL 10
SCALE: 3" = 1'-0"



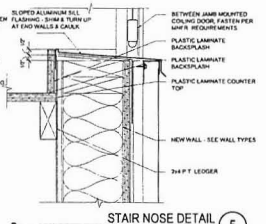
FOUNDATION DETAIL 9
SCALE: 1 1/2" = 1'-0"



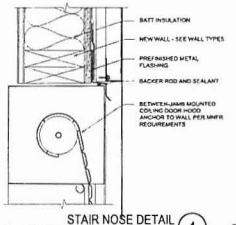
HEAD DETAIL 8
SCALE: 3" = 1'-0"



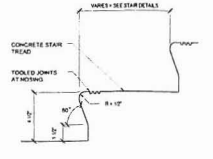
STAIR NOSE DETAIL 6
SCALE: 3" = 1'-0"



STAIR NOSE DETAIL 5
SCALE: 3" = 1'-0"



STAIR NOSE DETAIL 4
SCALE: 3" = 1'-0"



STAIR NOSE DETAIL 3
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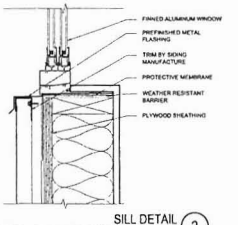

SILL DETAIL 2
SCALE: 3" = 1'-0"

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SECTION/ELEVATION DETAILS

A3.03

INTERIOR FINISH LEGEND.

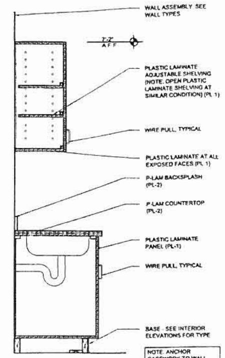
1. Vynle Composite Tile
   VCT-1
2. Base.
   B-1 Rubber Base - Roppe P100 Black
3. Paint
   P-1 General Walls & Ceilings -
   P-2 Hollow Metal Door & Frames -
4. Plastic Laminate
   PL-1
   PL-2

DOOR SCHEDULE:

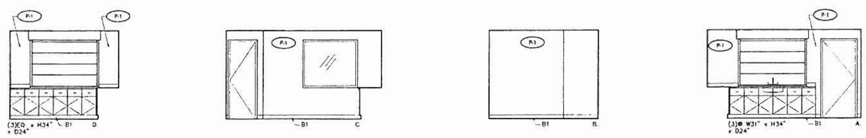
DOOR					FRAME	
NO	SIZE	MATERIAL	FINISH	GLASS	MATERIAL	FINISH
A100A	3'-0"x7'-0"	Metal	Paint	–	Metal	Paint
A100B	2'-8"x7'-0"	Wood	Clear	–	Wood	Paint
A101A	3'-0"x7'-0"	Metal	Paint	–	Metal	Paint
A102A	3'-0"x7'-0"	Metal	Paint	–	Metal	Paint

WINDOW SCHEDULE:

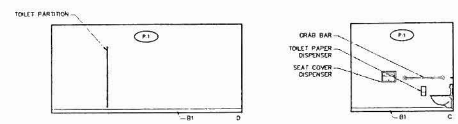
WINDOW		FRAME		
NO.	SIZE	TYPE	MATERIAL	FINISH
A100C	6'-2"x4'-4"	Coiling	Metal	Factory
A100D	6'-2"x4'-4"	Coiling	Metal	Factory
A100E	5'-0"x3'-6"	Finned Aluminum	Aluminum	Anodized



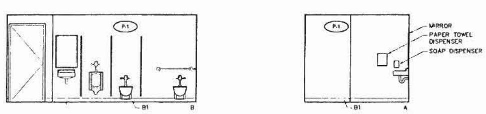
CASEWORK SECTION (4)
SCALE 1" = 1'-0"



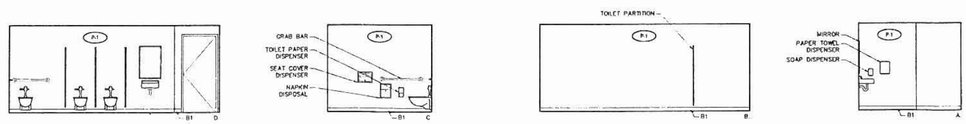
INTERIOR ELEVATION (3)
SCALE 1/4" = 1'-0"



INTERIOR ELEVATION (2)
SCALE 1/4" = 1'-0"

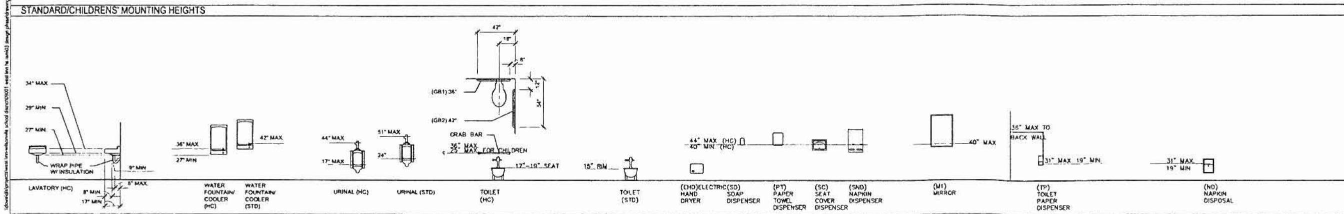


INTERIOR ELEVATION (2)
SCALE 1/4" = 1'-0"



INTERIOR ELEVATION (1)
SCALE 1/4" = 1'-0"

STANDARD/CHILDRENS' MOUNTING HEIGHTS



NOTES

TOILET ROOM LAYOUT NOTES.

1. NO DOOR SWING INTO ANY CLEAR FLOOR AREA.
2. CLEAR FLOOR AREAS CAN OVERLAP
3. FLOOR DRAINS CAN NOT BE IN ANY CLEAR FLOOR AREA
4. CLEAR FLOOR AREAS & TURNING CIRCLE CAN OVERLAP
5. WALL MOUNTED LAV MAY OVERLAP WATER CLOSET CLEAR FLOOR AREA 18" MAX. - SEE OSSC
6. DOOR TO TOILET ROOM MAY ENCROACH INTO TURNING CIRCLE 12 MAX. IN ANY POSITION.
7. MAX. FLOOR SLOPE IS 2%.
8. ALL PLACEMENT DIMENSIONS ARE FROM FACE OF FINISHED SURFACE

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key plan

phase	design review
date	April 12, 2010
revisions	
project #	09001

INTERIOR ELEVATION

A400

90

GENERAL STRUCTURAL NOTES

STRUCTURAL DRAWINGS ARE A PORTION OF THE CONTRACT DOCUMENTS AND ARE INTENDED TO BE USED WITH ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REQUIREMENTS FROM THESE DRAWINGS INTO THEIR SHOP DRAWINGS AND WORK.

THESE GENERAL NOTES SUPPLEMENT THE PROJECT SPECIFICATIONS. REFER TO THE PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS. NOTES AND DETAILS ON THE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER THE GENERAL NOTES AND TYPICAL DETAILS, WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.

CODE REQUIREMENTS:
CONFORM TO THE 2007 OREGON STRUCTURAL SPECIALTY CODE (OSSC), BASED ON THE 2006 INTERNATIONAL BUILDING CODE (IBC).

TEMPORARY CONDITIONS:
THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL TEMPORARY BRACING AND/OR SUPPORT THAT MAY BE REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND/OR SEQUENCES.

CONTRACTOR'S CONSTRUCTION AND/OR ERECTION SEQUENCES SHALL RECOGNIZE AND CONSIDER THE EFFECTS OF THERMAL MOVEMENTS OF STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PERIOD.

RETAINING WALLS ARE DESIGNED TO CANTILEVER WITH 250 PSF SURCHARGE LOAD DURING BACKFILL.

EXISTING CONDITIONS:
ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS SHALL BE FIELD VERIFIED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY SIGNIFICANT DISCREPANCIES FROM CONDITIONS SHOWN ON THE DRAWINGS.

ASSUMED FUTURE CONSTRUCTION:
VERTICAL: NONE
HORIZONTAL: NONE

DESIGN CRITERIA:
DESIGN WAS BASED ON THE STRENGTH AND DEFLECTION CRITERIA OF THE OSSC. IN ADDITION TO THE DEAD LOADS, THE FOLLOWING LOADS AND ALLOWABLES WERE USED FOR DESIGN, WITH LIVE LOADS (L.L.) REDUCED PER OSSC.

DESIGN CRITERIA:

GRAVITY SYSTEM CRITERIA

ROOF LIVE/SNOW LOAD	25 PSF L.L. (ALSO SEE SNOW LOAD CRITERIA BELOW)	
FLOOR LIVE LOADS:	UNIFORM LOAD	CONCENTRATED LOAD
FLOOR	100 PSF L.L.	2,000 LBS
SIDEWALKS AND DRIVEWAYS	250 PSF L.L.	8,000 LBS
NOTES:	1. LIVE LOADS REDUCED PER OSSC. 2. MEMBER DESIGNED FOR MORE CRITICAL OF UNIFORM OR CONCENTRATED LOAD.	

SNOW CRITERIA

DESIGN ROOF SNOW LOAD	25 PSF MINIMUM IN ACCORDANCE WITH OSSC
SNOW DRIFT	PER OSSC AS SHOWN ON PLANS
GROUND SNOW LOAD	P_g= 10 PSF IN ACCORDANCE WITH 2007 SNOW LOAD ANALYSIS FOR OREGON
FLAT ROOF SNOW LOAD	P_f= 11 PSF
SNOW EXPOSURE FACTOR	C_e = 1.0
SNOW LOAD IMPORTANCE FACTOR	I = 1.1
THERMAL FACTOR	C_t = 1.0

GEOTECHNICAL CRITERIA

DESIGN BASED ON REPORT BY	GEODESIGN, INC. DATED DECEMBER 31, 2007
RETAINING WALLS - CANTILEVERED	35 PCF (EQUIVALENT FLUID PRESSURE)
RETAINING WALLS - BRACED AT TOP	45 PCF (EQUIVALENT FLUID PRESSURE)
RETAINING WALLS - SEISMIC	30% INCREASE IN ABOVE EQUIVALENT FLUID PRESSURE (SEISMIC LATERAL EARTH PRESSURE)
ALLOWABLE SOIL PRESSURE:	
DIRECTLY ON BASALT	5,000 PSF
NATIVE SOIL	3,000 PSF
STRUCTURAL FILL	1,500 PSF *

* ASSUMED FOR DESIGN CONTRACTOR TO NOTIFY EOR IF OTHER CONDITION OCCURS

WIND CRITERIA

BASIC WIND SPEED	
MAIN WIND FORCE RESISTING SYSTEM	95 MPH (3-SECOND GUST) PER ASCE 7-05 80 MPH (FASTEST MILE) PER 1996 OSSC
COMPONENTS AND CLADDINGS	95 MPH (3-SECOND GUST) PER ASCE 7-05
EXPOSURE	B
IMPORTANCE FACTOR	I_w = 1.0
GUST/INTERNAL PRESSURE	GCpi = +/- 0.18

DESIGN BASE SHEAR X DIRECTION = 8.1K Y DIRECTION = 3.3K

SEISMIC CRITERIA

OCCUPANCY CATEGORY	II	
SEISMIC DESIGN CATEGORY	D	
SITE CLASS	C	
IMPORTANCE FACTOR	I_E = 1.0	
MCE SPECTRAL ACCELERATION	S_S = 0.98	S_1 = 0.35
SITE COEFFICIENT	F_a = 1.01	F_v = 1.45
DESIGN SPECTRAL ACCELERATION	S_{DS} = 0.66	S_{D1} = 0.34
ANALYSIS PROCEDURE	EQUIVALENT LATERAL FORCE PER ASCE 7-05, SECTION 12.8	
	X DIRECTION (E/W)	Y DIRECTION (N/S)
SEISMIC LATERAL RESISTING SYSTEM (SLRS)	LIGHT-FRAMED WALLS WITH PLYWOOD SHEAR WALLS	LIGHT-FRAMED WALLS WITH PLYWOOD SHEAR WALLS
RESPONSE MODIFICATION FACTOR	R = 6½	R = 6½
SEISMIC RESPONSE COEFFICIENT	C_s = 0.132	C_s = 0.132
DESIGN BASE SHEAR	1K	1K
REDUNDANCY FACTOR	ρ_X = 1.0	ρ_N = 1.0
DESIGN INELASTIC STORY DRIFT	Δ = 1.00"	Δ = 1.00"

DESIGN AND DETAILING WAS BASED ON CRITERIA FOR SEISMIC DESIGN CATEGORY D, EXCEPT...

SEISMIC LOAD RESISTING SYSTEM:
THE SEISMIC LOAD RESISTING SYSTEM (SLRS) FOR THE COMPLETED STRUCTURE IS AS FOLLOWS:

PLYWOOD ROOF DIAPHRAGM AND PLYWOOD SHEAR WALLS OVER WOOD STUDS.

REFERENCE SHEETS S3.1 FOR SLRS DETAILS. REFERENCE PLANS FOR ADDITIONAL SLRS COMPONENTS AND DETAILS.

STRUCTURAL OBSERVATION:
THE STRUCTURAL ENGINEER OF RECORD (SER) WILL PERFORM STRUCTURAL OBSERVATION BASED ON THE REQUIREMENTS OF THE OSSC AT THE STAGES OF CONSTRUCTION LISTED BELOW. CONTRACTOR SHALL PROVIDE SUFFICIENT NOTICE AND ACCESS FOR THE SER TO PERFORM THESE OBSERVATIONS.

STRUCTURAL OBSERVATION PROGRAM

ITEM	OBSERVED BY (2)		COMMENTS
	AOR	SER	
PRIOR TO FIRST CONCRETE POUR		x	REF. NOTES 1, 3, 4, 5
DURING PLYWOOD NAILING		x	REF. NOTES 1, 3, 4
AS REQUIRED TO ADDRESS STRUCTURAL ISSUES		x	REF. NOTES 1, 3, 4

PROGRAM FOOTNOTES:

1. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE SER IN ADVANCE.
2. SER - STRUCTURAL ENGINEER OF RECORD
   AOR - ARCHITECT OF RECORD.
3. A FIELD REPORT WILL BE SUBMITTED TO THE BUILDING DEPARTMENT FOLLOWING EACH SITE VISIT.
4. STRUCTURAL OBSERVATION IS FOR THE GENERAL CONFORMANCE OF THE STRUCTURAL DRAWING. SPECIAL INSPECTION IS STILL REQUIRED.
5. AFTER REINFORCING STEEL HAS BEEN INSTALLED.

SPECIAL INSPECTION:
SPECIAL INSPECTION WILL BE PROVIDED BY THE OWNER BASED ON THE REQUIREMENTS OF THE OSSC AS SUMMARIZED IN THE SPECIAL INSPECTION PROGRAM ON SHEET S001. CONTRACTOR SHALL PROVIDE SUFFICIENT NOTICE AND ACCESS FOR THE SPECIAL INSPECTOR TO PERFORM THESE INSPECTIONS.

SUBMITTALS:
SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION AND CONSTRUCTION OF ALL STRUCTURAL ITEMS, INCLUDING THE FOLLOWING:

ITEM	SUBMITTALS (1, 4)	DEFERRED SUBMITTALS (2, 4)	COMMENTS
CONCRETE MIX DESIGNS	X		
CONCRETE REINFORCEMENT	X		
MASONRY REINFORCEMENT	X		
CONCRETE ANCHORAGES	X		
EMBEDDED STEEL ITEMS	X	X	
STAIRS AND RAILINGS	X	X	

FOOTNOTES:
1. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION AND CONSTRUCTION OF STRUCTURAL ITEMS. IF THE SHOP DRAWINGS DIFFER FROM OR ADD TO THE DESIGN OF THE STRUCTURAL DRAWINGS, THEY SHALL BEAR THE SEAL AND SIGNATURE OF A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF OREGON. ANY CHANGES TO THE STRUCTURAL DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT AND ARE SUBJECT TO REVIEW AND ACCEPTANCE OF THE STRUCTURAL ENGINEER.
2. DESIGN DRAWINGS, SHOP DRAWINGS, AND CALCULATIONS FOR THE DESIGN AND FABRICATION OF ITEMS THAT ARE DESIGNED BY OTHERS SHALL BEAR THE SEAL AND SIGNATURE OF A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF OREGON, AND SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION. CALCULATIONS SHALL BE INCLUDED FOR ALL CONNECTIONS TO THE STRUCTURE CONSIDERING LOCALIZED EFFECTS ON STRUCTURAL ELEMENTS INDUCED BY THE CONNECTION LOADS. DESIGN SHALL BE BASED ON THE REQUIREMENTS OF THE OSSC AND AS NOTED UNDER "DESIGN CRITERIA".
3. THE CONTRACTOR SHALL COORDINATE ALL SEISMIC RESTRAINTS OF MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT, MACHINERY, AND ASSOCIATED PIPING WITH THE STRUCTURE. CONNECTIONS TO STRUCTURE SHALL CONFORM TO ASCE 7-05 CHAPTER 13. BE DESIGNED BY AN ENGINEER REGISTERED IN THE STATE OF OREGON, AND SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION.
4. FIELD ENGINEERED DETAILS DEVELOPED BY THE CONTRACTOR THAT DIFFER FROM OR ADD TO THE STRUCTURAL DRAWINGS SHALL BEAR THE SEAL AND SIGNATURE OF A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF OREGON AND SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO CONSTRUCTION.

CONCRETE:
CONCRETE WORK SHALL CONFORM TO CHAPTER 19 OF THE OSSC. CONCRETE STRENGTHS SHALL BE VERIFIED BY STANDARD 28-DAY CYLINDER TESTS PER ASTM C39, AND SHALL BE AS FOLLOWS:

f'_c (PSI)	ABSOLUTE WATER-CEMENT RATIO BY WEIGHT NON AIR-ENTRAINED	AIR-ENTRAINED	USE
4,000	50	45	FOOTINGS, SLAB ON GRADE WALLS AND ALL USES, U.N.O.

VERIFY WATER/CEMENT RATIO WITH FLOOR COVERING MANUFACTURER FOR CONCRETE FLOORS WITH MOISTURE SENSITIVE FLOOR COVERINGS.

MINIMUM CEMENT CONTENT PER CUBIC YARD SHALL BE AS FOLLOWS:

f'_c (PSI)	MINIMUM CEMENT PER CUBIC YARD
4,000	550 LBS

FLYASH CONFORMING TO ASTM C618 (INCLUDING TABLE 2A) TYPE F OR TYPE C, MAY BE USED TO REPLACE UP TO 20% OF THE CEMENT CONTENT, PROVIDED THAT THE MIX STRENGTH IS SUBSTANTIATED BY TEST DATA.

THE CONTRACTOR SHALL SUBMIT CONCRETE MIX DESIGNS, ALONG WITH TEST DATA COMPLIANT WITH OSSC SECTION 1905, A MINIMUM OF TWO WEEKS PRIOR TO PLACING CONCRETE. NO WATER MAY BE ADDED TO CONCRETE IN THE FIELD UNLESS SPECIFICALLY APPROVED IN WRITING BY THE CONCRETE SUPPLIER IN CONJUNCTION WITH THE CONCRETE MIX DESIGN.

A WATER-REDUCING ADMIXTURE CONFORMING TO ASTM C494, USED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, SHALL BE INCORPORATED IN CONCRETE DESIGN MIXES. A HIGH RANGE WATER-REDUCING (HRWR) ADMIXTURE CONFORMING TO ASTM C494, TYPE F OR G, MAY BE USED IN CONCRETE MIXES PROVIDING THAT THE SLUMP DOES NOT EXCEED 10". AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260 SHALL BE USED IN CONCRETE MIXES FOR EXTERIOR HORIZONTAL SURFACES EXPOSED TO WEATHER. THE AMOUNT OF ENTRAINED AIR SHALL BE 5% ± 1% BY VOLUME.

SLEEVES, OPENINGS, CONDUIT, AND OTHER EMBEDDED ITEMS NOT SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE APPROVED BY THE STRUCTURAL ENGINEER BEFORE POURING. CONDUITS EMBEDDED IN SLABS SHALL NOT BE LARGER IN OUTSIDE DIMENSION THAN ONE THIRD OF THE THICKNESS OF THE SLAB AND SHALL NOT BE SPACED CLOSER THAN THREE DIAMETERS ON CENTER.

WHERE NEW CONCRETE IS PLACED AGAINST EXISTING CONCRETE, THE EXISTING CONCRETE SURFACE SHALL BE CLEANED AND ROUGHENED TO A MINIMUM 1/4" AMPLITUDE. PROVIDE 3/4" CHAMFERS ON ALL EXPOSED CONCRETE EDGES, UNLESS NOTED OTHERWISE.

VERIFY ALL BLOCKOUTS WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING REQUIREMENTS.

SHORING AND RESHORING:
SHORING AND RESHORING DESIGN IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL CONFORM TO ACI 347R-05. IN ADDITION, SHORING SHALL NOT BE REMOVED SOONER THAN THE FOLLOWING:

ELEMENT	MINIMUM REMOVAL TIME	COMMENTS
WALLS	12 HR, CUMULATIVE WITH 50° F SURROUNDING TEMPERATURE	WHERE FORMS ALSO SUPPORT FORMWORK FOR SLAB OR SOFFITS, THE REMOVAL TIME OF THE LATTER GOVERNS.

REINFORCING STEEL:
REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, FOR DEFORMED BARS. UNLESS OTHERWISE NOTED, REINFORCING STEEL TO BE WELDED SHALL CONFORM TO ASTM A706. REINFORCING STEEL SHALL BE SECURELY TIED IN PLACE WITH #18 ANNEALED IRON WIRE.

BARS IN SLABS SHALL BE SUPPORTED ON WELL-CURED CONCRETE BLOCKS OR APPROVED METAL CHAIRS, AS SPECIFIED BY THE CRSI MANUAL OF STANDARD PRACTICE, MSP-1. REINFORCING STEEL SHALL BE DETAILED IN ACCORDANCE WITH THE "ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES," ACI 315. SHOP DRAWINGS SHALL INCLUDE ELEVATIONS OF ALL BEAMS AND COLUMNS SHOWING BAR LOCATIONS. LAP ALL REINFORCING BARS PER THE TYPICAL LAP SPLICE LENGTH SCHEDULE, EXCEPT AS NOTED. USE LAP LENGTH FOR SMALLER BAR WHEN SPLICING DIFFERENT BAR SIZES.

TYPICAL WALL AND SLAB LAP SLICE LENGTH SCHEDULE (IN.)
(DOES NOT APPLY TO VERTICAL SHEAR WALL BOUNDARY REINFORCEMENT)

BAR SIZE	4000 P.S.I.	
	CASE 1	CASE 2
#3	16	16
#4	20	18
#5	28	24
#6	37	29
#7	80	40
#8	74	48
#9	90	57
#10	108	70
#11	127	83

NOTES:
1. CASE 1 APPLIES TO BAR WITH CLEAR COVER < 1 1/2"
   CASE 2 APPLIES TO BAR WITH CLEAR COVER ≥ 1 1/2"
2. FOR CENTER-TO-CENTER SPACING LESS THAN 4db MULTIPLY LAP LENGTHS ABOVE BY 1.3
3. FOR TOP BARS, CAST ABOVE 12" OF CONCRETE, MULTIPLY LAP LENGTHS ABOVE BY 1.3

REINFORCING STEEL SHALL HAVE PROTECTION AS FOLLOWS:

USE	COVER
SLAB BARS	1"
WALL BARS, INTERIOR FACES	3/4"
EXPOSED TO EARTH OR WEATHER	1 1/2" (#5 AND SMALLER) 2" (#6 AND LARGER)
FOOTING BARS	3"

CONCRETE WALL REINFORCING (UNLESS OTHERWISE NOTED):

WALL THICKNESS	HORIZONTAL BARS	VERTICAL BARS	LOCATION
8"	#4 @ 18" O.C.	#4 @ 18" O.C.	AT CL OF WALL
8"	#4 @ 12" O.C.	#4 @ 18" O.C.	AT CL OF WALL
10"	#4 @ 18" O.C.	#4 @ 18" O.C.	AT EACH FACE
12"	#4 @ 18" O.C.	#4 @ 18" O.C.	AT EACH FACE

CONCRETE REINFORCING DETAILS:
CONTINUE HORIZONTAL WALL BARS THROUGH PILASTERS, COLUMNS AND INTERSECTING WALLS. SLAB BARS SHALL BE HOOKED INTO WALLS, OR HOOKED DOWELS SHALL BE PROVIDED TO MATCH SLAB REINFORCING. PROVIDE TWO #4, 4'-0" LONG DIAGONALLY AT EACH RE-ENTRANT CORNER IN SLABS. PROVIDE HOOKED DOWELS FROM FOOTINGS TO MATCH VERTICAL WALL REINFORCING.

CONCRETE ACCESSORIES:
EXPANSION BOLTS SHALL BE HILTI KWIK BOLT TZ, SIMPSON STRONG-BOLT, OR APPROVED WITH EQUAL ICC ALLOWABLE TENSION AND SHEAR VALUES. EXPANSION BOLTS SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS. DO NOT CUT REINFORCING IN NEW OR EXISTING CONCRETE DURING INSTALLATION.

EPOXY ADHESIVE SHALL BE HILTI HIT-RE 500-SD OR APPROVED WITH EQUAL ICC ALLOWABLE TENSION AND SHEAR VALUES. EPOXY ADHESIVE SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS. DO NOT CUT REINFORCING IN NEW OR EXISTING CONCRETE DURING INSTALLATION.

PERMANENTLY EXPOSED EMBEDDED PLATES AND ANGLES SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION, UNLESS OTHERWISE NOTED. NO LOADS OR WELDS SHALL BE PLACED ON EMBEDDED PLATES OR ANGLES FOR A MINIMUM OF 7 DAYS AFTER CASTING.

SAWN LUMBER:
SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. LUMBER SHALL BE KILN DRIED AND BE THE SPECIES AND GRADE NOTED BELOW:

USE	SPECIES/GRADE	Fb (PSI) (BASE VALUE)
DIM. LUMBER 2" TO 4" THICK POSTS	DOUGLAS FIR-LARCH NO. 2 DOUGLAS FIR-LARCH NO. 1	900 1350

ALL LUMBER IN CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED, UNLESS AN APPROVED MOISTURE BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG TIE (OR APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. ALL NAIL HOLES SHALL BE FILLED WITH STRUCTURAL FASTENERS, UNLESS NOTED OTHERWISE ON THE DRAWINGS AND FASTENERS SHALL BE INSTALLED FOLLOWING ALL MANUFACTURERS REQUIREMENTS. IF A SUBSTITUTION IS MADE, A DOCUMENT SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL OUTLINING THE FRAMING ACCESSORIES BEING REPLACED AND THE SUBSTITUTED FRAMING ACCESSORIES. ALLOWABLE LOADS FOR THE SIMPSON ACCESSORIES SHALL BE TABULATED ALONG WITH ALLOWABLE LOADS FOR THE SUBSTITUTED ACCESSORIES, WHICH CLEARLY INDICATE THE SUBSTITUTED ACCESSORIES HAVING AN EQUAL OR GREATER CAPACITY. HANGERS NOT SHOWN SHALL BE SIMPSON U-TYPE OR B-TYPE OF SIZE RECOMMENDED FOR THE MEMBER.

ALL FRAMING NAILS SHALL BE OF THE SIZE AND NUMBER INDICATED ON THE DRAWINGS AND CONFORM TO ASTM F 1667, "STANDARD SPECIFICATION OF DRIVEN FASTENERS: NAILS, SPIKES, AND STAPLES" AND NER 272 "POWER-DRIVEN STAPLES AND NAILS FOR USE IN ALL TYPES OF BUILDING CONSTRUCTION." NAILS SHALL BE IDENTIFIED BY LABELS (ATTACHED TO THEIR CONTAINERS) THAT SHOW THE MANUFACTURER'S NAME AND NES REPORT NUMBER, NAIL SHANK DIAMETER, AND LENGTH AND SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FRAMING. NAILING NOT SHOWN SHALL BE AS INDICATED ON OSSC TABLE 2304.9.1 OR NER-272. THE FOLLOWING NAIL SIZES SHALL BE USED:

NAIL TYPE (COMMON, U.N.O.)	SHANK DIAMETER (IN.)	MINIMUM PENETRATION INTO FRAMING MEMBER (IN.)
6	0.113	1.25
8	0.131	1.5
10	0.148	1.625
12	0.148	1.625
16d (BOX)	0.135	1.625

BOLTS AND LAG SCREWS SHALL CONFORM TO ANSI/ASME STANDARD B18.2.1-1981. ALL BOLTS AND LAG SCREWS SHALL BE INSTALLED WITH STANDARD CUT WASHERS. ALL A307 BOLTS SHALL HAVE CUT THREADS.

CUTTING AND NOTCHING OF JOISTS AND STUDS SHALL CONFORM TO OSSC SECTIONS 2308.8.2, 2308.9.10 AND 2308.10.4.2.

SALVAGED LUMBER SHALL BE GRADED BY AN APPROVED GRADING AGENCY PRIOR TO USE AND SHALL MEET THE MINIMUM BENDING STRESSES SHOWN ABOVE.

WOOD STRUCTURAL PANELS:
WOOD STRUCTURAL PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR WOOD STRUCTURAL PANELS: STRUCTURAL PLYWOOD", "U.S. PRODUCT STANDARD PS 2 PERFORMANCE STANDARD FOR WOOD-BASED STRUCTURAL-USE PANELS", OR "APA PRP-108 PERFORMANCE STANDARDS". UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS.

WOOD STRUCTURAL PANEL INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES. UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

ALL ROOF SHEATHING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. SHEAR WALL SHEATHING SHALL BE INSTALLED EITHER HORIZONTALLY OR VERTICALLY AND BE BLOCKED WITH 2x FRAMING AT ALL PANEL EDGES. NAILING NOT SHOWN SHALL BE AS INDICATED ON OSSC TABLE 2304.9.1. ALL NAILS SHALL BE COMMON NAILS U.N.O., EXCEPT USE RING SHANK FOR ROOF SHEATHING.

WOOD STRUCTURAL PANEL SHEAR WALLS:
SHEAR WALL SHEATHING TO BE PLYWOOD OR OSB PANELS CONFORMING TO THE REQUIREMENTS FOR ITS TYPE SPECIFIED IN DOC PS1 OR PS2. SHEATHING SHALL BE APPLIED EITHER HORIZONTALLY OR VERTICALLY. SHEET SIZES SHALL BE 4x8 UNLESS AT BOUNDARIES OR FRAMING CHANGES.

NAIL HEADS SHALL BE DRIVEN FLUSH WITH SHEATHING. DO NOT PENETRATE SURFACE PLY WITH NAIL HEADS. IF NAIL HEADS ARE NOT FLUSH, NOTIFY E.O.R.

ALL SHEAR WALL PANEL SHEATHING EDGES SHALL BE BLOCKED. EDGE NAILS SHALL BE AT LEAST 3/8" FROM EDGES AND ENDS OF PANELS. STAGGER NAILING ON EDGES.

ABBREVIATIONS

A.B.	ANCHOR BOLT	LL	LIVE LOAD
ACI	AMERICAN CONCRETE INSTITUTE	LOC.	LOCATION
ADDL.	ADDITIONAL	LONG.	LONGITUDINAL
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION INCORPORATED	MAX.	MAXIMUM
		MECH.	MECHANICAL
ALT.	ALTERNATE	MFR.	MANUFACTURER
ARCH.	ARCHITECT	MIN.	MINIMUM
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS	MISC.	MISCELLANEOUS
		(N)	NEW
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	N.I.C.	NOT IN CONTRACT
		NOM.	NOMINAL
AWS	AMERICAN WELDING SOCIETY	NO.	NUMBER
BLDG.	BUILDING	N.T.S.	NOT TO SCALE
BOT.	BOTTOM	o.c.	ON CENTER
C.G.	CENTER OF GRAVITY	O.D.	OUTSIDE DIAMETER
C.I.P.	CAST IN PLACE	OPP.	OPPOSITE
C.J.	CONTROL JOINT	PART.	PARTITION
C.J.P.	COMPLETE JOINT PENETRATION	PCF	POUNDS PER CUBIC FOOT
CL.	CENTERLINE	PERIM.	PERIMETER
CLR.	CLEAR	PL.	PLATE
CMU	CONCRETE MASONRY UNIT	P.P.	PARTIAL PENETRATION
COL.	COLUMN	PSF	POUNDS PER SQUARE FOOT
CONC.	CONCRETE	PSI	POUNDS PER SQUARE INCH
CONN.	CONNECTION	P.T.	PRESSURE TREATED
CONST.	CONSTRUCTION	PVC	POLYVINYL CHLORIDE
CONT.	CONTINUOUS	R. RAD.	RADIUS
DET.	DETAIL	REF.	REFERENCE
DIA. Ø	DIAMETER	RET.	RETURN
DIAG.	DIAGONAL	REINF.	REINFORCING
D.L.	DEAD LOAD	REQ'D	REQUIRED
DWG.	DRAWING	REQ'MTS	REQUIREMENTS
ELEC.	ELECTRICAL	SCHED.	SCHEDULE
EL.	ELEVATION	SIM.	SIMILAR
EQ.	EQUAL	SLRS	SEISMIC LOAD RESISTING SYSTEM
EXIST. (E)	EXISTING	S.O.G.	SLAB ON GRADE
EXP.	EXPANSION	SPEC.	SPECIFICATION
EXT.	EXTERIOR	SQ.	SQUARE
FDN.	FOUNDATION	SS	STAINLESS STEEL
FIN.	FINISH	STD.	STANDARD
FLR.	FLOOR	STRUCT.	STRUCTURAL
FT.	FOOT	SYM.	SYMMETRICAL
FTG.	FOOTING	THRU	THROUGH
GA.	GAUGE	TRANS.	TRANSVERSE
GALV.	GALVANIZED	TYP.	TYPICAL
HORIZ.	HORIZONTAL	U.N.O.	UNLESS NOTED OTHERWISE
IBC	INTERNATIONAL BUILDING CODE	VERT.	VERTICAL
ICBO	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS	w/	WITH
		WF	WIDE FLANGE
ICC	INTERNATIONAL CODE COUNCIL	w/o	WITHOUT
I.D.	INSIDE DIAMETER	W.P.	WORK POINT
IN.	INCH	WWF	WELDED WIRE FABRIC
INT.	INTERIOR		
K	KIPS		
KSF	KIPS PER SQUARE FOOT		
KSI	KIPS PER SQUARE INCH		
LB	POUND		

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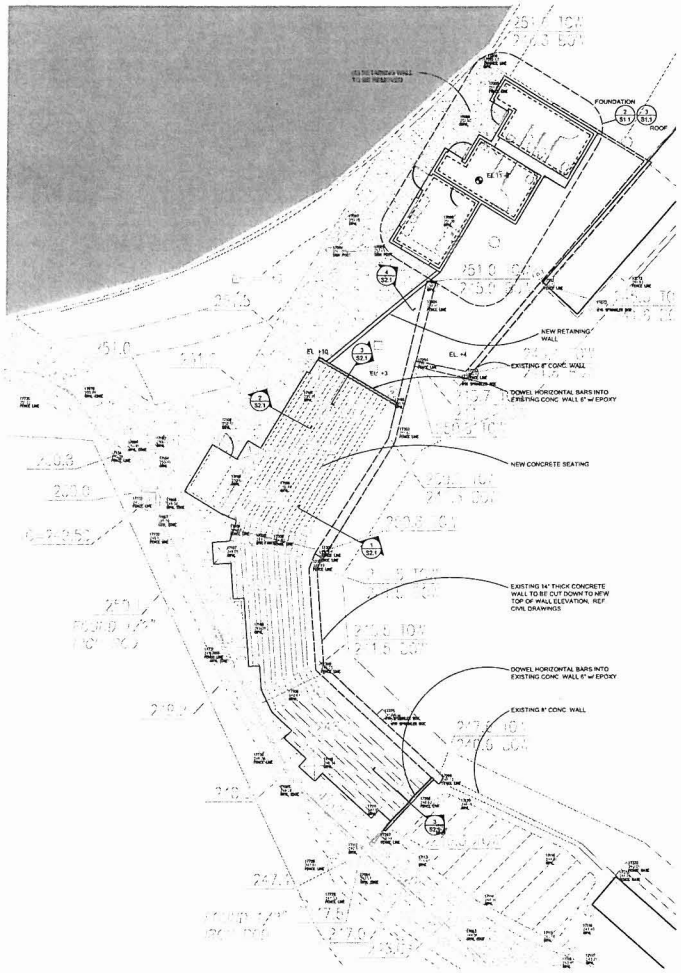
revisions	

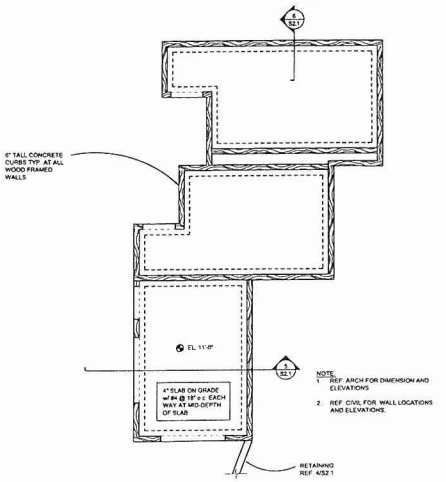
project # 209614

General Structural Notes

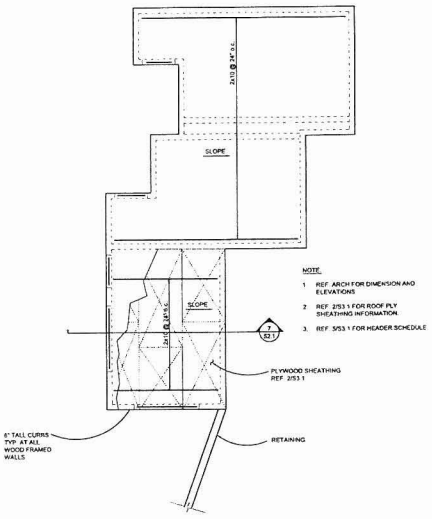
S0.2



a PARTIAL PLAN
1/8"=1'-0"



2 CONSESSION BUILDING FOUNDATION PLAN
1/4"=1'-0"



3 CONSESSION BUILDING ROOF PLAN
1/4"=1'-0"

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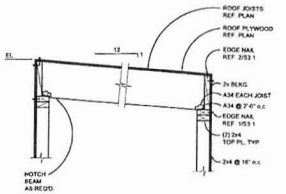
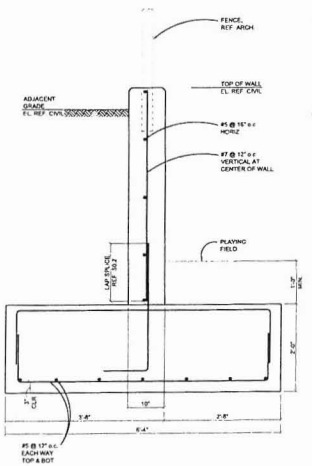
SITE PLAN AND FRAMING PLANS

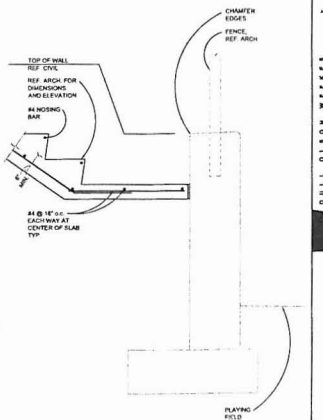
S1.1



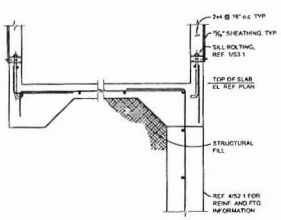
7 ROOF SECTION
1"=1'-0" S1.1



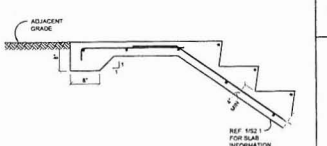
4 RETAINING WALL
1"=1'-0" S1.1



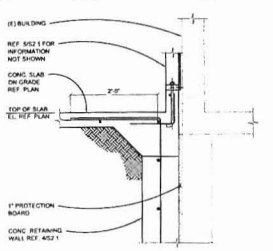
1 EXISTING RETAINING WALL
1"=1'-0" S1.1



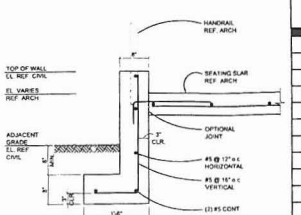
5 BUILDING SECTION
1"=1'-0" S1.1



2 SEATING SECTION
1"=1'-0" S1.1



6 BUILDING SECTION
1"=1'-0" S1.1



3 SEATING SECTION
1"=1'-0" S1.1

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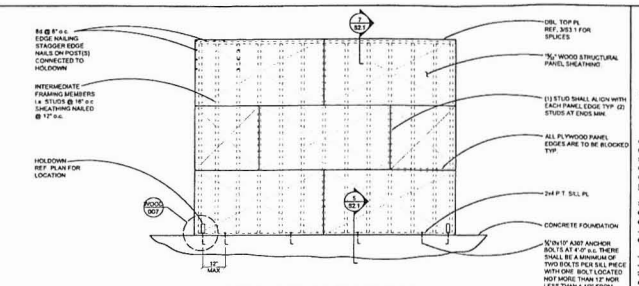
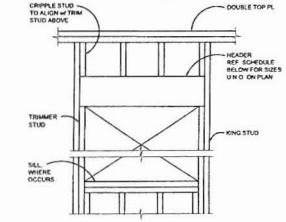
Concrete Details

S2.1

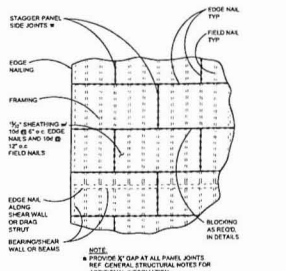


1 SHEAR WALL ELEVATION
1"=1'-0" S1.1



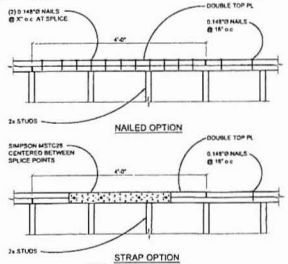
HEADER SCHEDULE				
OPENING WIDTH	HEADER	KING	TRIMMER	SILL
0'-0" TO 4'-0"	(2) 2x6	2x4	2x4	
5'-1" AND LARGER	(2) 2x10	(2) 2x4	2x4	(2) 2x4

5 TYPICAL HEADER/SILL DETAIL
1"=1'-0" S1.1



NOTE:
* PROVIDE 1/8" GAP AT ALL PANEL JOINTS
REF. GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION

2 PLYWOOD DIAPHRAGM NAILING
1"=1'-0" S1.1



NOTE:
SPLICE SHALL OCCUR OVER A STUD.

3 TYPICAL TOP PLATE SPLICE
1"=1'-0" S1.1

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Wood Details

S3.1

SYMBOLS

Symbol	Description
(A)	ACCESS PANEL
(B)	BELOW GRADE / FLOOR
(C)	CONNECT TO EXISTING
(E)	EXISTING TO REMAIN
(K)	CAP EXISTING / CAP FOR FUTURE
(R)	RELOCATE EXISTING
(X)	REMOVE EXISTING
(1)	NOTE

STANDARD MECHANICAL ABBREVIATIONS

AF	AIRFOIL	ID	INSIDE(DIAMETER/DIMENSION)
AFF	ABOVE FINISHED FLOOR	IE	INVERT ELEVATION
AHP	APPARATUS HOUSING PLENUM	IN	INCH(ES)
ALT	ALTERNATIVE	INSUL	INSULATION
AL	ALUMINUM	ISOL	ISOLAT(OR)(ION)
APD	AIR PRESSURE DROP	KW	KILOWATT
APPROX	APPROXIMATELY	KWH	KILOWATT HOUR
ARCH	ARCHITECT(URAL)	L	LENGTH
AUTO	AUTOMATIC	LAT	LEAVING AIR TEMP
BDD	BACKDRAFT DAMPER	LB	POUND
BI	BACKWARD INCLINED	LDB	LEAVING DRY BULB
BLDG	BUILDING	LF	LINEAR FEET
BSMT	BASEMENT	LFT	LEAVING FLUID TEMPERATURE
BTU	BRITISH THERMAL UNIT	LVG	LEAVING
BTUH	BRITISH THERMAL UNITS PER HOUR	LWB	LEAVING WET BULB
CFH	CUBIC FEET PER HOUR	LWT	LEAVING WATER TEMPERATURE
CFM	CUBIC FEET PER MINUTE	MAX	MAXIMUM
CFS	CUBIC FEET PER SECOND	MBH	THOUSAND BTU PER HOUR
CLG	CEILING OR COOLING	MECH	MECHANICAL
CONC	CONCRETE	MFR	MANUFACTURER
CONN	CONNECT(ION)	MIN	MINIMUM
CONT	CONTINUE(ED)(UATION)	MISC	MISCELLANEOUS
CL	CENTERLINE	MTD	MOUNTED
DDC	DIRECT DIGITAL CONTROL	NC	NORMALLY CLOSED
DEFL	DEFLECTION	NIC	NOT IN CONTRACT
DN	DOWN	NO	NORMALLY OPEN
DP	DEW POINT	OAD	OUTSIDE AIR DAMPER
DWDI	DOUBLE WIDTH DOUBLE INLET	OC	ON CENTER DISTANCE
DWG	DRAWING	OSA	OUTSIDE AIR
EA	EXHAUST AIR	PH	PHASE
EAD	EXHAUST AIR DAMPER	PP	POLYPROPYLENE
EAT	ENTERING AIR TEMPERATURE	PSI	POUNDS PER SQUARE INCH
EDB	ENTERING DRY BULB	PVC	POLYVINYL CHLORIDE
EFF	EFFICIENCY	PVS	PVC COATED STEEL
EFT	ENTERING FLUID TEMPERATURE	R (RAD)	RADIUS
ELEC	ELECTRIC(AL)	RA	RETURN AIR
ELEV	ELEVATION	RAD	RETURN AIR DAMPER
ENGR	ENGINEER	REV	REVISION
EQ	EQUAL	RH	RELATIVE HUMIDITY
EQUIP	EQUIPMENT	RPM	REVOLUTIONS PER MINUTE
ESP	EXTERNAL STATIC PRESSURE	SA	SUPPLY AIR
EWB	ENTERING WET BULB	SCFM	STANDARD CUBIC FEET PER MINUTE
EWT	ENTERING WATER TEMPERATURE	SD	SMOKE DAMPER
EX	EXTRACTOR	SECT	SECTION
EXH	EXHAUST	SENS	SENSIBLE
EXIST	EXISTING	SIM	SIMILAR
EXP	EXPANSION	SP	STATIC PRESSURE
F	DEGREES FAHRENHEIT	SPEC	SPECIFICATION
FC	FORWARD CURVED	SQ	SQUARE
FIG	FIGURE	SF	SQUARE FOOT(FEET)
FILT	FILTER	SQ IN	SQUARE INCH(ES)
FLEX	FLEXIBLE	SS	STAINLESS STEEL
FPD	FLUID PRESSURE DROP	STL	STEEL
FPM	FEET PER MINUTE	STRUCT	STRUCTUR(E)(AL)
FPS	FEET PER SECOND	SWP	SINGLE WALL PLENUM
FT	FEET/FOOT	SWSI	SINGLE WIDTH SINGLE INLET
FTR	FINNED TUBE RADIATOR	TEMP	TEMPERATURE
FU	FIXTURE UNIT	TSP	TOTAL STATIC PRESSURE
FUT	FUTURE	TYP	TYPICAL
FV	FACE VELOCITY	V	VOLTS
GA	GAGE/GAUGE	VD	VOLUME DAMPER
GAL	GALLON	VEL	VELOCITY
GALV	GALVANIZED	VERT	VERTICAL
GLY	GLYCOL	VFD	VARIABLE FREQUENCY DRIVE
GPH	GALLONS PER HOUR	VTR	VENT THROUGH ROOF
GPM	GALLONS PER MINUTE	W	WIDTH
H	HEIGHT	WG	WATER GAUGE
HORIZ	HORIZONTAL	WPD	WATER PRESSURE DROP
HP	HORSEPOWER	W/	WITH
HTG	HEATING	W/O	WITHOUT

PLUMBING DESIGN CRITERIA (Oregon)

DOMESTIC WATER PIPING SYSTEM
BASIS OF DESIGN: 2008 OREGON PLUMBING SPECIALTY CODE APPENDIX A "RECOMMENDED RULES FOR SIZING WATER SYSTEMS". PIPING SIZED ON 3 PSI/100 FT. DROP, VELOCITIES NOT TO EXCEED 8 FT./SEC. (COLD WATER) AND NOT TO EXCEED 5 FT./SEC. (HOT WATER).

WASTE AND VENT PIPING SYSTEM
BASIS OF DESIGN: 2008 OREGON PLUMBING SPECIALTY CODE, CHAPTER 7 "SANITARY DRAINAGE". ALL WASTE PIPING SIZED AT ?"/FT. UNLESS OTHERWISE NOTED.

PLUMBING FIXTURE SCHEDULE

ITEM	DESCRIPTION	ROUGH-IN SIZE - INCHES				NOTES
		W	V	CW	HW	
WC-1	WATER CLOSET	4	2	1?	–	WALL HUNG
WC-2	WATER CLOSET	4	2	1?	–	WALL HUNG, ADA
L-1	LAVATORY	2	1?	?	?	COUNTERTOP, OVAL, ADA, TEMPERATURE SELECTION/METERING
S-1	SINK	2	1?	?	?	COUNTERTOP, DOUBLE BOWL, ADA
WH-1	WALL HYDRANT	–	–	?	–	BOX/FLUSH TYPE w/LOCKING COVER VACUUM BREAKER, NON-FREEZE

PLUMBING EQUIPMENT SCHEDULE

ITEM	DESCRIPTION	ELECTRICAL
DET-1	DOMESTIC WATER EXPANSION TANK 3.2 GALLONS ACCEPTANCE VOLUME 6.7 GALLONS TANK VOLUME BASED ON: AMTROL ST-12-C	–
EWH-1	ELECTRIC WATER HEATER 20 GALLON STORAGE 35 GPH RECOVERY @ 70 F RISE BASED ON: AO SMITH DSE	6 KW 240 V, 1 PH

EXHAUST FANS

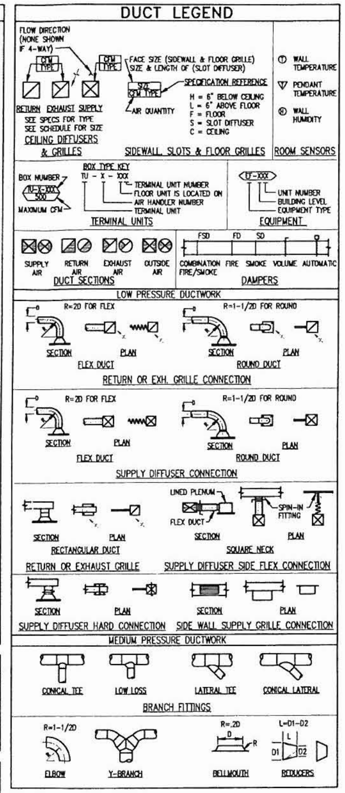
TAG NUMBER	LOCATION	SERVICE	TYPE	CFM	TSP (IN. WG.)	FAN RPM	ELECTRICAL		DRIVE	VIBRATION ISOLATION		APPROX. WEIGHT (LBS)	BASED ON	NOTES
							MOTOR WATTS	VOLTS/Ø		TYPE	DEFLECTION (IN.)			
EF-1	CONCESSIONS	CONC. TOILET ROOMS	CABINET	500	0.75	1050	350	115/1	DIRECT	2	0.25	55	GREENHECK CSP-A700	(1)

NOTES:
(1) PROVIDE SCR CONTROL

ELECTRIC INFRARED RADIANT HEATER PANELS

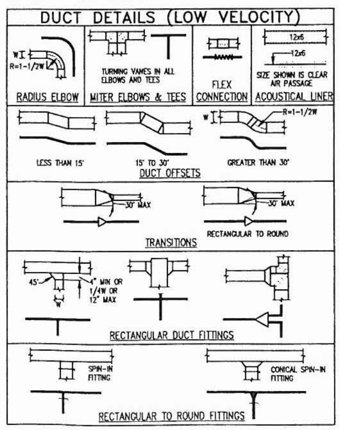
TAG NUMBER	LOCATION	SERVICE	TYPE	HEATING WATTS	LENGTH x WIDTH (IN)	ELECTRICAL		BASED ON	NOTES
						FLA (AMPS)	VOLTS/Ø		
IRH-1	CONCESSION	CONCESSION	COVE	520	48x18	3.8	115/1	QMARK QT M18481	–
IRH-2	ANNOUNC BOOTH	ANNOUNC BOOTH	COVE	520	48x18	3.8	115/1	QMARK QT M18481	–

DUCT LEGEND



FLOW DIRECTION (NONE SHOWN IF 4-WAY)
FACE SIZE (SIDEWALL & FLOOR GRILLE) SIZE & LENGTH OF (SLOT DIFFUSER)
SPECIFICATION REFERENCE
AIR QUANTITY
H = 6" BELOW CEILING
L = 6" ABOVE FLOOR
F = FLOOR
S = SLOT DIFFUSER
C = CEILING
RETURN EXHAUST SUPPLY
SEE SPECS FOR TYPE
SEE SCHEDULE FOR SIZE
CEILING DIFFUSERS & GRILLES
SIDEWALL, SLOTS & FLOOR GRILLES
WALL TEMPERATURE
PENDANT TEMPERATURE
WALL HUMIDITY
ROOM SENSORS
BOX TYPE KEY
BOX NUMBER
MAXIMUM CFM
TERMINAL UNIT NUMBER
FLOOR UNIT IS LOCATED ON
AIR HANDLER NUMBER
TERMINAL UNIT
TERMINAL UNITS
UNIT NUMBER
BUILDING LEVEL
EQUIPMENT TYPE
EQUIPMENT
SUPPLY AIR
RETURN AIR
EXHAUST AIR
OUTSIDE AIR
DUCT SECTIONS
COMBINATION FIRE/SMOKE
FIRE
SMOKE
VOLUME
AUTOMATIC
DAMPERS
LOW PRESSURE DUCTWORK
R=20 FOR FLEX
R=1-1/2D FOR ROUND
SECTION
PLAN
FLEX DUCT
ROUND DUCT
RETURN OR EXH. GRILLE CONNECTION
SUPPLY DIFFUSER CONNECTION
LINED PLENUM
SPIN-IN FITTING
FLEX DUCT
RECTANGULAR DUCT
SQUARE NECK
RETURN OR EXHAUST GRILLE
SUPPLY DIFFUSER SIDE FLEX CONNECTION
SUPPLY DIFFUSER HARD CONNECTION
SIDE WALL SUPPLY GRILLE CONNECTION
MEDIUM PRESSURE DUCTWORK
CONICAL TEE
LOW LOSS
LATERAL TEE
CONICAL LATERAL
BRANCH FITTINGS
R=1-1/2D
R=.2D
L=D1-D2
ELBOW
Y-BRANCH
BELLMOUTH
REDUCERS

DUCT DETAILS (LOW VELOCITY)



R=1-1/2W
RADIUS ELBOW
TURNING VANES IN ALL ELBOWS AND TEES
MITER ELBOWS & TEES
FLEX CONNECTION
12x6
SIZE SHOWN IS CLEAR AIR PASSAGE
ACOUSTICAL LINER
LESS THAN 15°
15° TO 30°
GREATER THAN 30°
DUCT OFFSETS
30° MAX
RECTANGULAR TO ROUND
TRANSITIONS
45°
1" MIN OR 1/4W OR 12" MAX
RECTANGULAR DUCT FITTINGS
SPIN-IN FITTING
CONICAL SPIN-IN FITTING
RECTANGULAR TO ROUND FITTINGS

GENERAL NOTE

THIS IS A STANDARD LEGEND SHEET, THEREFORE, SOME SYMBOLS MAY APPEAR ON THIS SHEET THAT DO NOT APPEAR ON THE DRAWINGS.

PLUMBING PIPING

W	WASTE (ABOVE GRADE OR FLOOR)
W	WASTE (BELOW GRADE OR FLOOR)
SD	STORM DRAIN (ABOVE GRADE OR FLOOR)
SD	STORM DRAIN (BELOW GRADE OR FLOOR)
OD	OVERFLOW DRAIN (ABOVE GRADE OR FLOOR)
OD	OVERFLOW DRAIN (BELOW GRADE OR FLOOR)
D	DRAIN (CONDENSATE/INDIRECT)
V	VENT
CW	COLD WATER
HW	HOT WATER
RHW	RECIRCULATING HOT WATER

MISC. VALVES & COCKS

- SHUT-OFF VALVE
- CHECK VALVE
- BALANCING VALVE
- AIR VENT (MANUAL/AUTOMATIC)
- RELIEF VALVE
- STRAINER
- STRAINER W/ BLOWDOWN
- DRAIN VALVE
- HOSE BIBB
- WALL HYDRANT
- PRESSURE GAUGE
- PRESSURE/TEMPERATURE TEST PLUG
- THERMOMETER
- SHOCK ARRESTOR
- VACUUM BREAKER

MISC. FITTINGS & SYMBOLS

- DIRECTION OF FLOW
- DIRECTION OF SLOPE
- PIPE SLEEVE
- REDUCER
- ANCHOR
- ELBOW (90°)
- ELBOW (45°)
- TEE
- CROSS
- PIPING CONNECTIONS
- JOINT OR COUPLING POINT
- UNION
- FLANGED CONNECTION
- CAP
- PLUG OR BLIND FLANGE
- RISER
- ELBOW UP
- ELBOW DOWN
- TEE UP
- TEE DOWN
- HORIZONTAL TEE
- FLEXIBLE CONNECTION
- BALL JOINT
- MECHANICAL COUPLING

PLUMBING SYMBOLS

CO	CLEANOUT
WCO	WALL CLEANOUT
FCO	FLOOR CLEANOUT
CTG	CLEANOUT TO GRADE
FD	FLOOR DRAIN
FS	FLOOR SINK

NEW AND EXISTING WORK

- EXISTING WASTE(BELOW GRADE OR FLOOR)
- EXISTING COLD WATER
- EXISTING DUCT WORK
- NEW WASTE(BELOW GRADE OR FLOOR)
- NEW COLD WATER
- NEW DUCT WORK

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PAE CONSULTING ENGINEERS, INC.

key plan

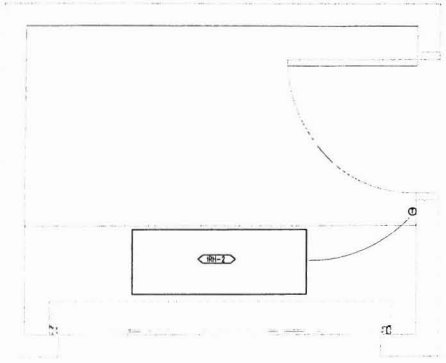
phase	
date	Feb 26, 2010
revisions	
project #	09001

SYMBOLS, LEGENDS & ABBREVIATIONS - MECHANICAL

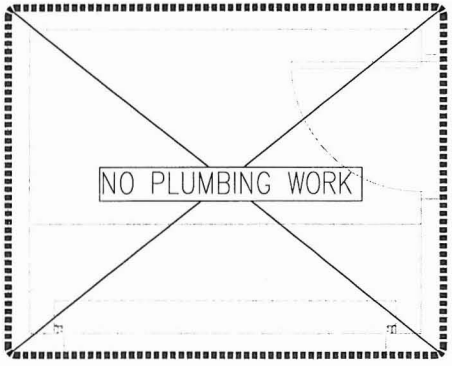
M001

GENERAL NOTES:
1. XXX

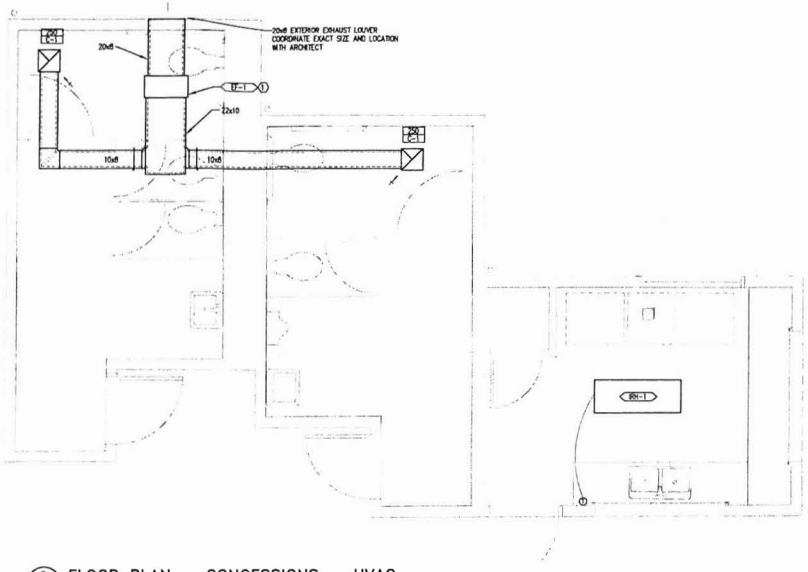
NOTES:
① PROVIDE FLEXIBLE DUCT CONNECTORS ON INLET AND OUTLET OF FAN. PROVIDE SPRING HANGER ISOLATION FOR FAN.



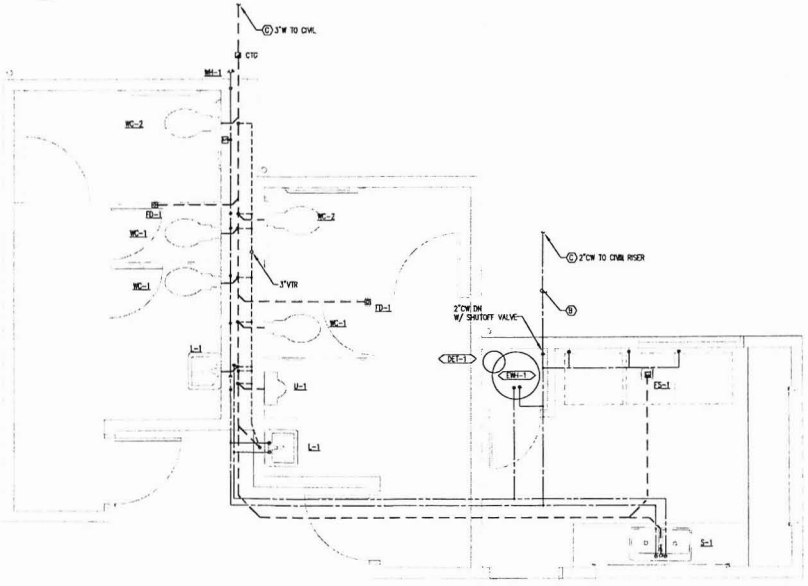
1 M201 FLOOR PLAN – ANNOUNCER BOOTH – HVAC
SCALE: 1" = 1'-0"



3 M201 FLOOR PLAN – ANNOUNCER BOOTH – PLUMBING
SCALE: 1" = 1'-0"



2 M201 FLOOR PLAN – CONCESSIONS – HVAC
SCALE: 1" = 1'-0"



4 M201 FLOOR PLAN – CONCESSIONS – PLUMBING
SCALE: 1" = 1'-0"

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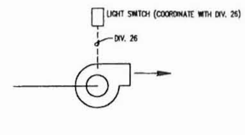
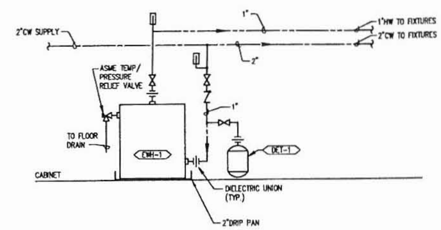
FLOOR PLANS
MECHANICAL

M201

96



1 EXHAUST FAN CONTROL
M601 SCALE: NONE



2 WATER HEATER
M601 SCALE: NONE

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DETAILS - MECHANICAL

M601

GENERAL NOTES:

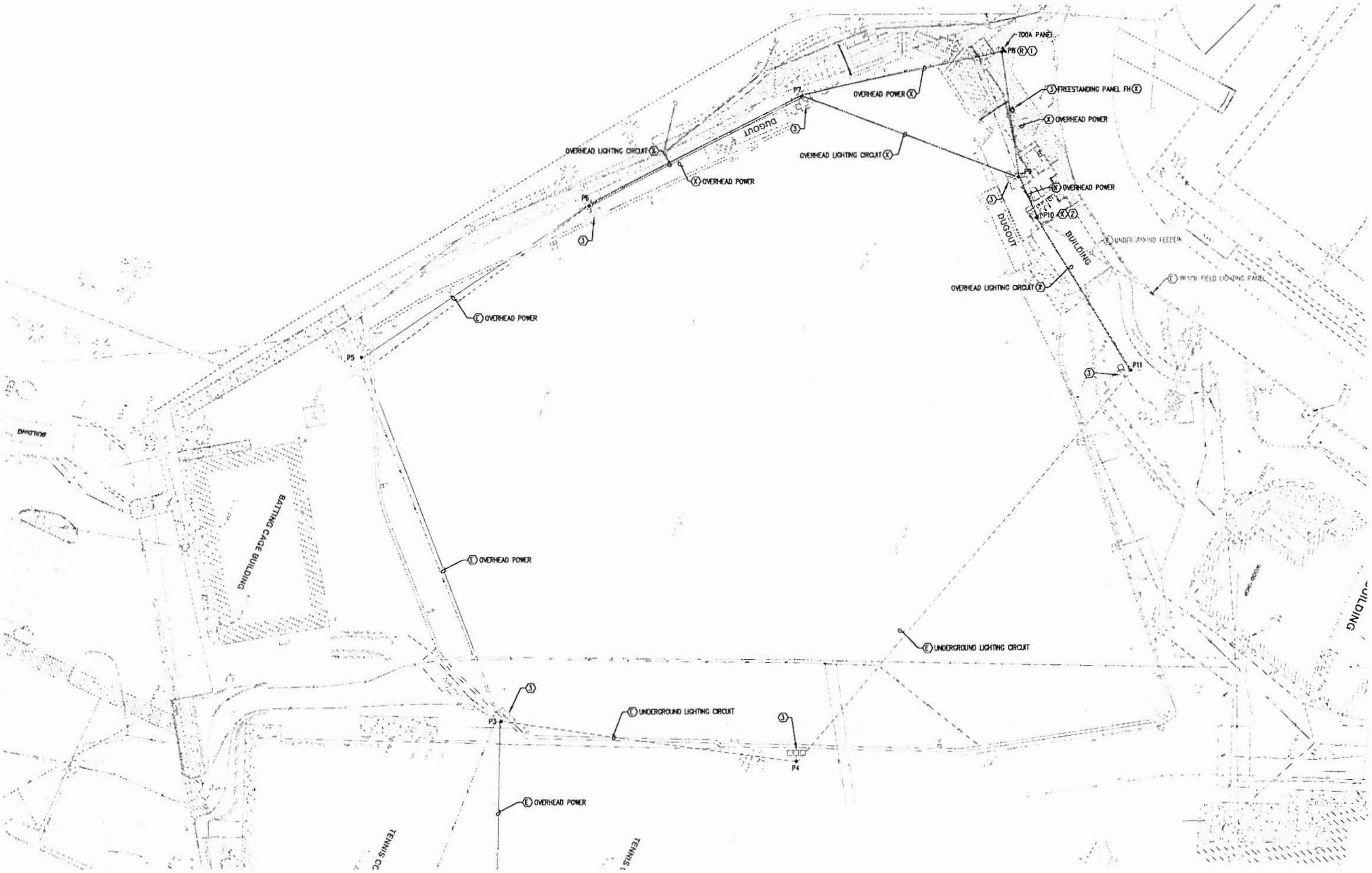
1. XXX

NOTES:

(1) REMOVE EXISTING POLE AND TRANSFORMER, RELOCATE EXISTING PANEL TO EXTERIOR OR ANNOUNCERS BOOTH BUILDING.

(2) REMOVE POLE AND TRANSFORMERS, SEE ONE-LINE DIAGRAM FOR ADDITIONAL INFORMATION.

(3) EXISTING FIELD LIGHTING AND POLE TO REMAIN. REFER TO E501 FOR REWORK OF LIGHTING CIRCUIT.



1 SITE PLAN – DEMOLITION – ELECTRICAL
E010 1"=20'-0"

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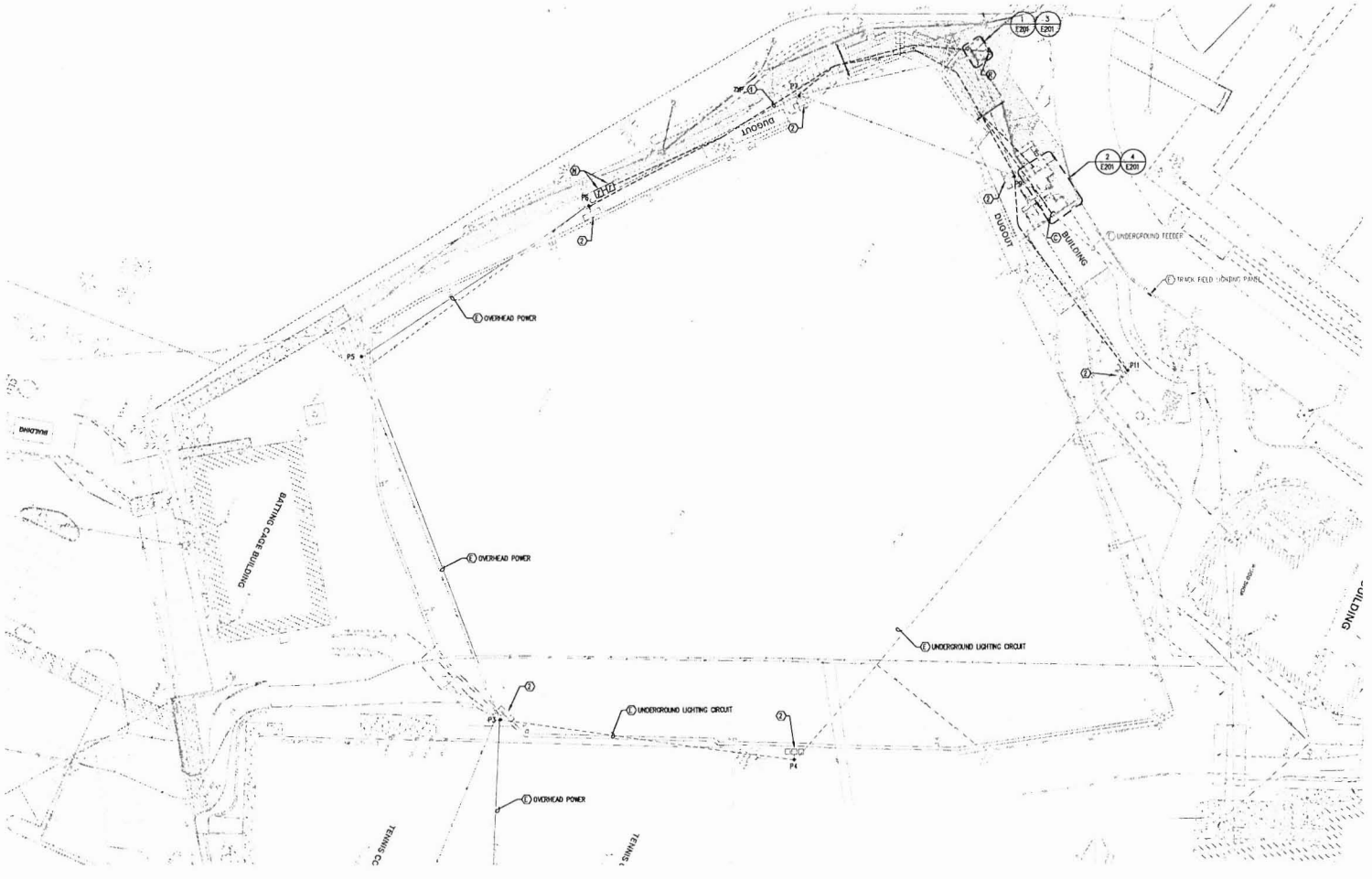
SITE PLANS - DEMOLITION ELECTRICAL

E010

GENERAL NOTES:
1. XXX

NOTES:
1. NEW UNDERGROUND CONDUIT, SEE ONE-LINE DIAGRAM FOR SIZING.
2. EXISTING FIELD LIGHTING AND POLE TO REMAIN. REFER TO ES01 FOR REWORK OF LIGHTING CIRCUIT.



1 / E020 SITE PLAN – ELECTRICAL
1"=20'-0"

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SITE PLAN - ELECTRICAL

E020

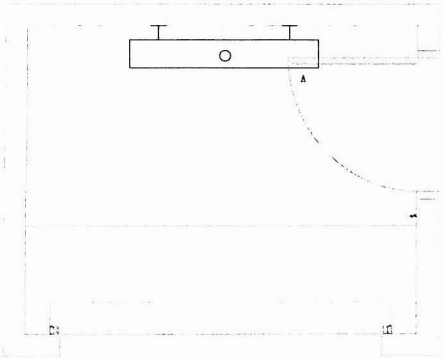
100

GENERAL NOTES:

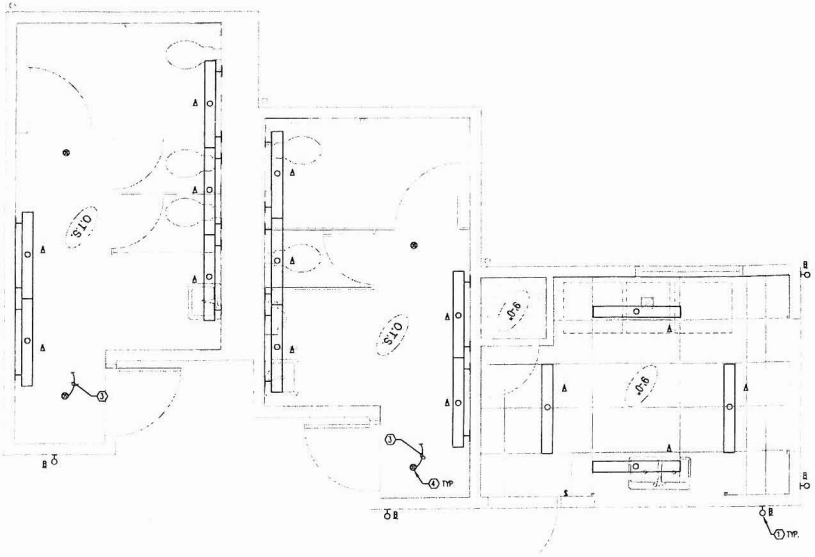
1. REFER TO ARCHITECTURAL ELEVATIONS FOR LUMINAIRE MOUNTING HEIGHTS.
2. ROUTE CONDUITS UNDERGROUND AND SURFACE MOUNTED AT WALLS AND CEILING. CONDUITS AND WALL BOXES ARE NOT TO BE ROUTED OR INSTALLED WITHIN THE CMU WALLS.

NOTES:

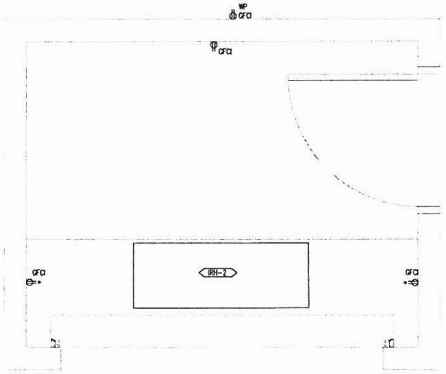
1. CONNECT EXTERIOR LIGHTING CIRCUIT TO PANEL BOARD VIA EXTERIOR LIGHTING CONTACTOR, REFER TO DETAIL 4/E2.1.
2. PROVIDE 120VAC POWER CONNECTION TO TOILET AND SINK SENSORS.
3. PROVIDE CONNECTION TO EF-1 STARTER TO TURN EXHAUST FAN ON WITH LIGHTS.
4. PROVIDE A OUTDOOR RATED OCCUPANCY SENSOR, WATTSTOPPER DI SERIES, 90T COVERAGE OR APPROVED EQUAL, AIM FOR PICKUP AT ENTRY DOOR AND SHUTOFF OF LIGHTS AND FAN AFTER 30 MINUETS OF NO OCCUPANCY.



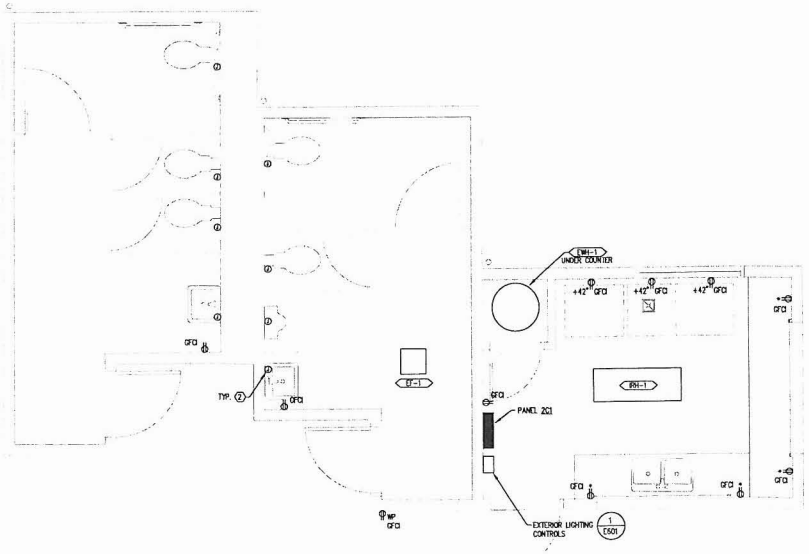
1 E201 FLOOR PLAN – ANNOUNCER BOOTH – LIGHTING
SCALE: 1" = 1'-0"



2 E201 FLOOR PLAN – CONCESSIONS – LIGHTING
SCALE: 1" = 1'-0"



3 E201 FLOOR PLAN – ANNOUNCER BOOTH – POWER AND SIGNAL
SCALE: 1" = 1'-0"



4 E201 FLOOR PLAN – CONCESSIONS – POWER AND SIGNAL
SCALE: 1" = 1'-0"

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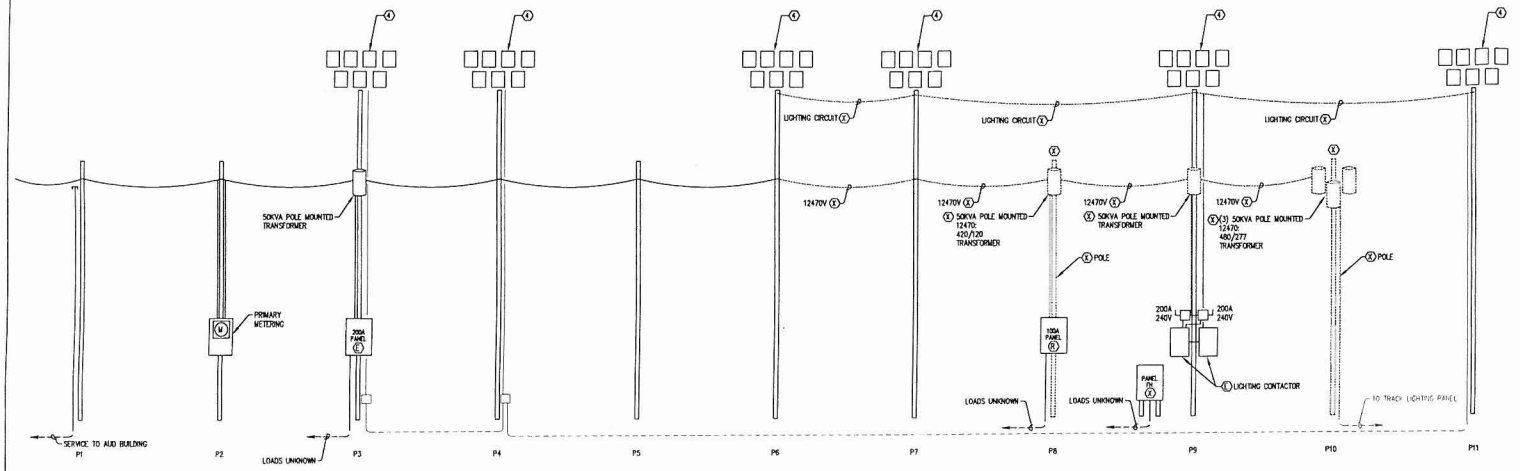
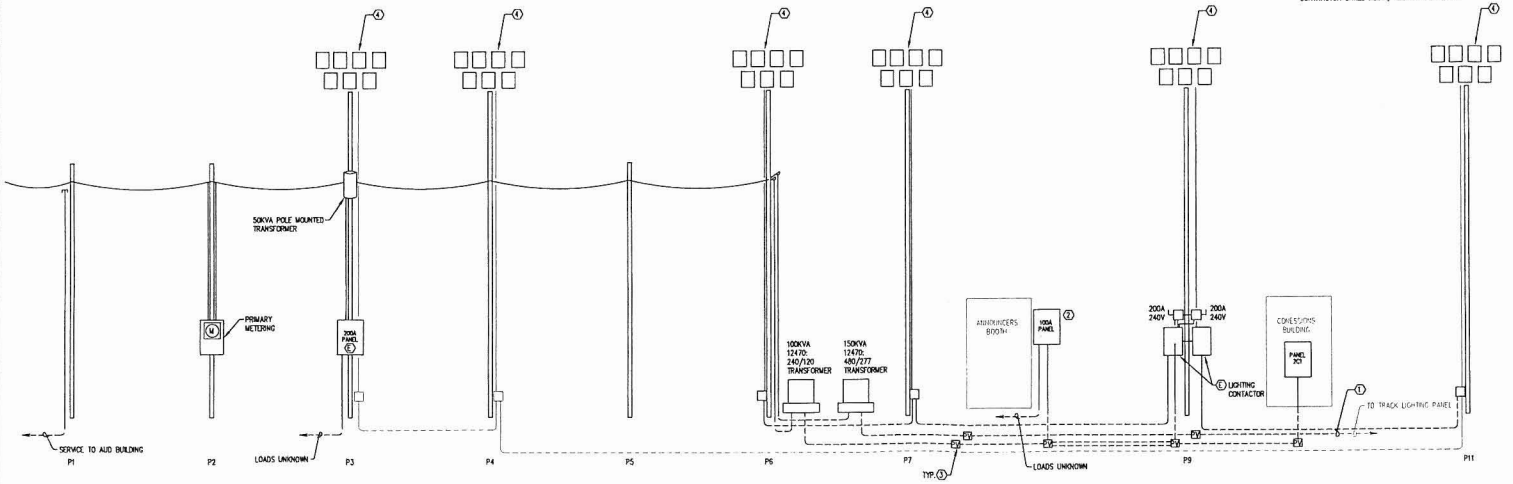
FLOOR PLANS
ELECTRICAL

E201



1 E501 ONE-LINE DIAGRAM – EXISTING
NONE

NOTES:
1. LOCATE AND INTERCEPT EXISTING UNDERGROUND CONDUIT.
2. RELOCATE EXISTING PANEL TO EXTERIOR OR ANNOUNCERS BOOTH BUILDING.
3. PULL VAULT, SIMILAR TO UTILITY VAULT 3030–LA SERIES, OR APPROVED EQUAL.
4. EXISTING FIELDING LIGHTING FIXTURES AND POLES TO REMAIN. CONTRACTOR SHALL CLEAN, RELAMP AND REAM.



1 E501 ONE-LINE DIAGRAM – NEW
NONE

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ONE-LINE DIAGRAMS - ELECTRICAL

E501

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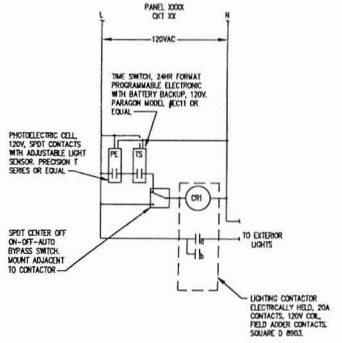

1 E6.01 EXTERIOR LIGHTING CONTROL DIAGRAM
SCALE: NONE

MECHANICAL EQUIPMENT CONNECTION SCHEDULE

EQUIPMENT DESCRIPTIONS			ELECTRICAL CHARACTERISTICS							CONNECTION CHARACTERISTICS					FEEDER CHARACTERISTICS						PANEL INFORMATION		NOTES
TAG	DESCRIPTION	LOCATION	KW	HP	FLA	MCA	MOCP	VOLTS	PHASE	VFD	STANDBY POWER	1-POINT CONNECT	STARTER DIVISION	DISCONNECT DIVISION	CONDUIT DIA (INCH)	OCP (AMPS)	OCP (POLES)	PHASE CONDUCTOR	GROUND CONDUCTOR	PANEL	CIRCUIT	
EF-1	Exhaust Fan	Concessions	0.6					120	1	NONE	NO	YES	23	26	1/2"	20	1	2#12	1#12	2C1		
RH-1	Infared Heater	Concessions	0.52					120	1	NONE	NO	YES		26	1/2"	20	1	2#12	1#12	2C1		
RH-2	Infared Heater	Announcers Booth	0.52					120	1	NONE	NO	YES		26	1/2"	20	1	2#12	1#12	2C1		
EWH-1	Electrical Water Heater	Concessions	6					240	1	NONE	NO	YES		26	1/2"	30	1	2#10	1#10	2C1		
Tstat Primary		Concessions	0.25					120	1	NONE	NO	YES			1/2"	20	1	2#12	1#12	2C1		

2 E6.01 MECHANICAL EQUIPMENT CONNECTION SCHEDULE
SCALE: NONE

3 E6.01 PANEL SCHEDULE 2C1 – ELECTRICAL
SCALE: NONE

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DETAILS AND SCHEDULES - ELECTRICAL

E601