



**Parsons  
Brinckerhoff**

400 SW Sixth Avenue  
Suite 802  
Portland, OR 97204-1628  
503-274-8772  
Fax: 503-274-1412

May 12, 2010

Tom Soppe, Associate Planner  
West Linn Planning Department  
22500 Salamo Road  
West Linn, OR 97068

RE: CUP-10-02/DR-10-03/VAR-10-04/MIS-10-06 Bolton Primary School

Dear Mr. Soppe,

In response to your May 5<sup>th</sup> letter indicating the above Design Review application was incomplete, we made the requested changes. Attached are four sets of the replacement plan sheets A1.00, C1.00, C1.01, C1.02, and C1.03. The remaining sheets in our application submittal are unchanged. I have also attached reduced 11X17-inch versions of the plan sheets and a CD of the revised materials.

The four items in your letter have been provided in the following manner:

- **60.080(B)(1) & 75.070(B)(1)** - This information is provided on sheets C1.00 and C1.01.
- **55.120(K)** - Door locations are shown on sheet A1.00.
- **60.080(B)(5)(b)** - This information is provided on sheets C1.00 and C1.01.
- **Engineering Department** - The utility easements are shown on sheet C1.00 and C1.01.

I trust you will now be able to declare this application is complete. Please contact me if you need anything further.

Sincerely,

Keith S. Liden, AICP

cc: Bob Teeters, WLWV School District  
Thea Wayburn, DOWA

**LEGEND:**

- \* DOOR LOCATION
- ▭ WINDOW LOCATION



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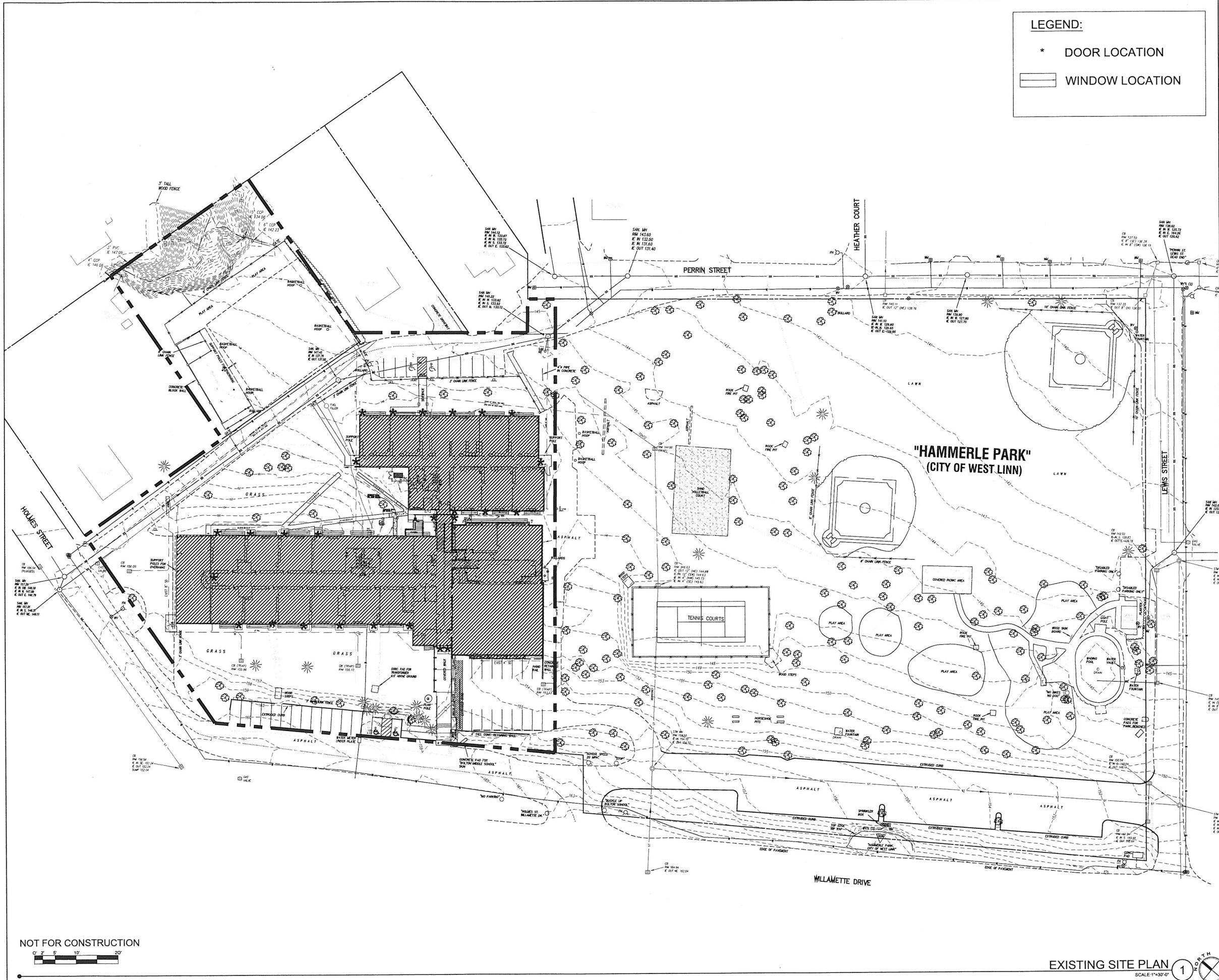
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**BOLTON PRIMARY SCHOOL REMODEL/ADDITION**

West Linn-Wilsonville School District #3JT

2210 SW STAFFORD RD, TUALATIN, OR 97062  
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NOT FOR CONSTRUCTION

EXISTING SITE PLAN 1  
SCALE: 1"=30'-0"

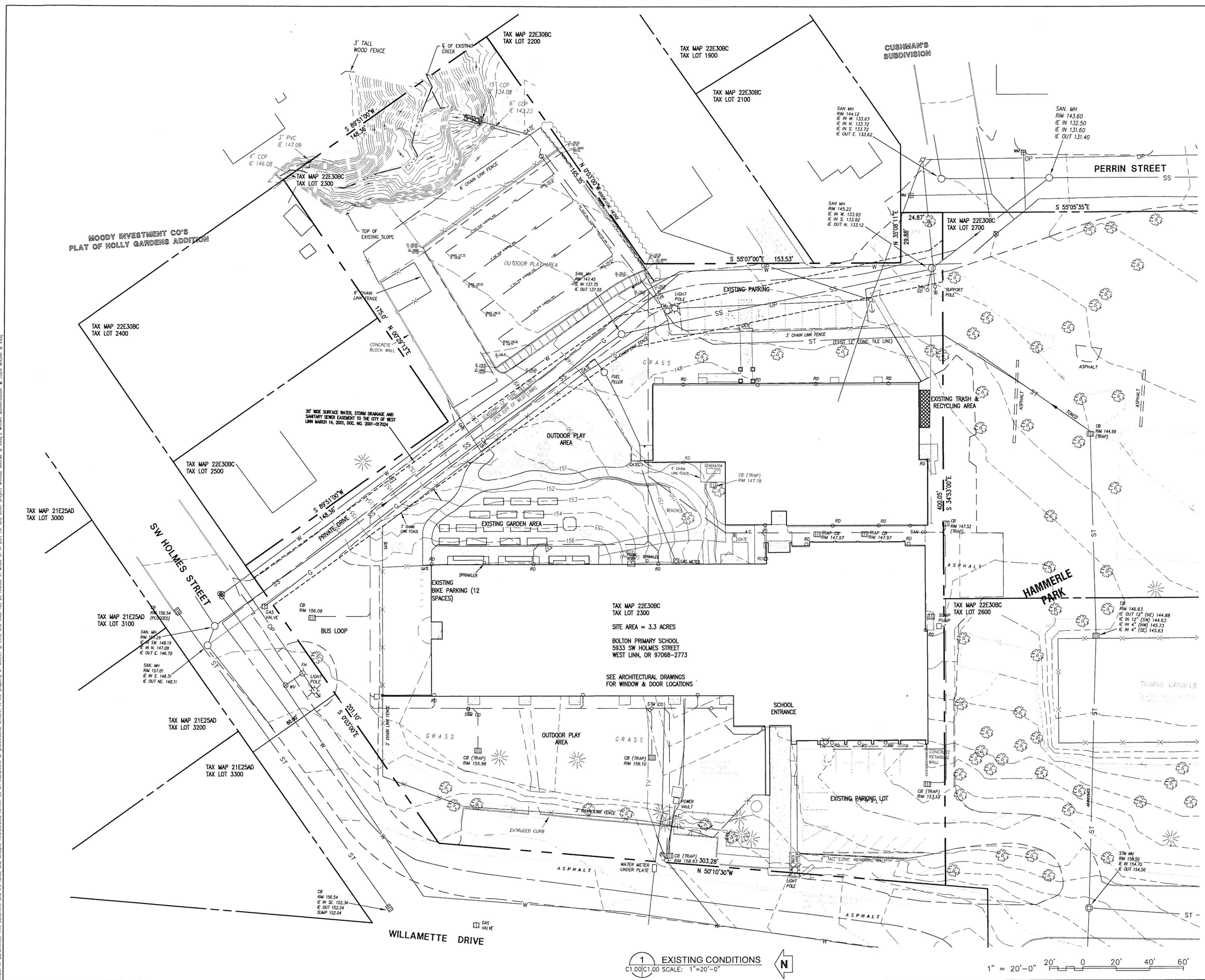
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date	03/16/10
revisions	

project # | 09002

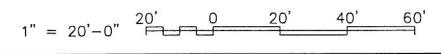
existing  
site plan

**A1.00**

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**1** EXISTING CONDITIONS  
 C1.00/C1.00 SCALE: 1"=20'-0"



  
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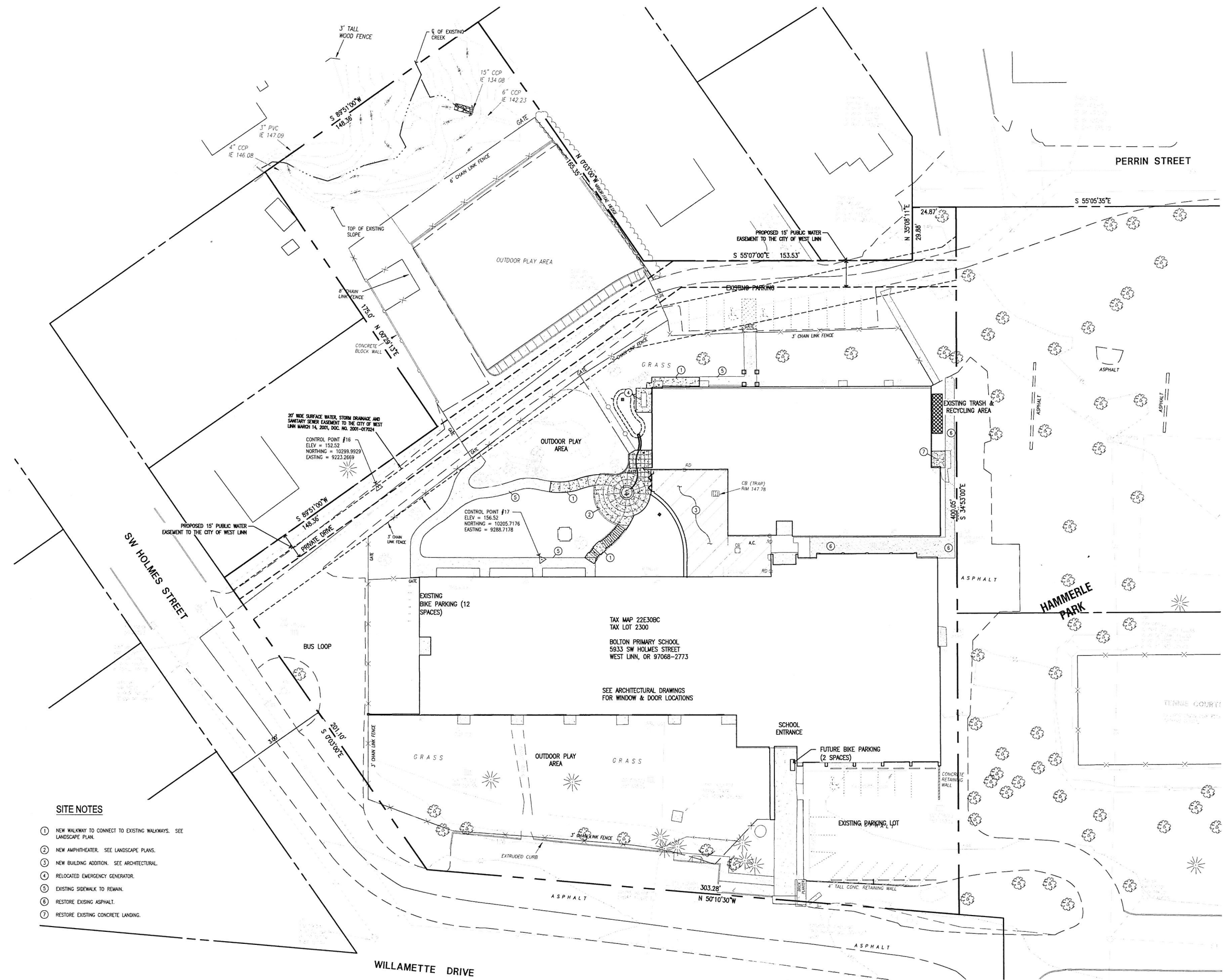
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 2210 SW STAFFORD RD, TUALATIN, OR 97062  
 T: (503) 673 7042

**WINZLER & KELLY**  
 15575 SW SEQUOIA PARKWAY, SUITE 140  
 PORTLAND, OR 97224  
 PH (503) 226-3021 • FAX (503) 226-3025  
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	class 1 design rev.
date	04/16/2010
revisions	

project # | 09002  
 EXISTING CONDITIONS  
 PROJECT AREA  
**C1.00**

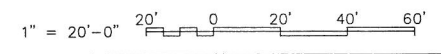
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**SITE NOTES**

- 1 NEW WALKWAY TO CONNECT TO EXISTING WALKWAYS. SEE LANDSCAPE PLAN.
- 2 NEW AMPHITHEATER. SEE LANDSCAPE PLANS.
- 3 NEW BUILDING ADDITION. SEE ARCHITECTURAL.
- 4 RELOCATED EMERGENCY GENERATOR.
- 5 EXISTING SIDEWALK TO REMAIN.
- 6 RESTORE EXISTING ASPHALT.
- 7 RESTORE EXISTING CONCRETE LANDING.

1 SITE PLAN  
 C1.01/C1.01 SCALE: 1"=20'-0"



**lowa**

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 P: 503 226 8850 F: 503 223 9192 www.dow.com

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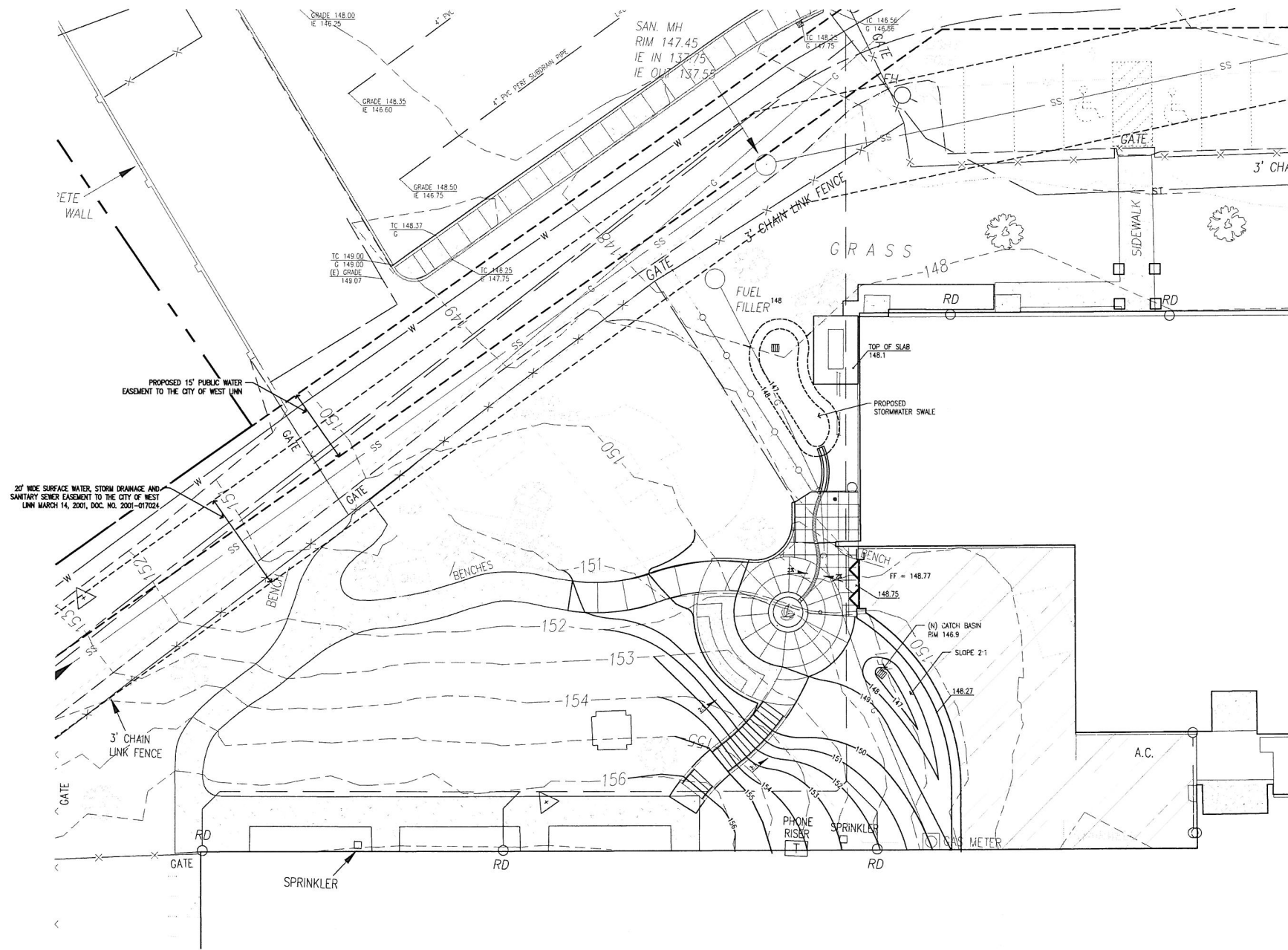
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 PORTLAND, OR 97224  
 PH (503) 226-3021 • FAX (503) 226-3026  
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SITE PLAN  
**C1.01**

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**1 GRADING PLAN**  
C1.02/C1.02 SCALE: 1"=10'-0"



1" = 10'-0" 10' 0 10' 20' 30'



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T: 503.226.8100 F: 503.273.9192 www.dow.com

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PORTLAND, OR 97224  
PH (503) 226-3621 • FAX (503) 226-3628  
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GRADING PLAN

**C1.02**

**UTILITY NOTES**

- LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM RECORD DRAWINGS AND INTERFERED WITH BY THE CONTRACTOR. LOCATIONS ARE SUBJECT TO FIELD VERIFICATION BY THE CONTRACTOR.
- ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION UNDER THIS SECTION OR ANY OTHER SECTION.
- THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT SIZE, OR FITTING REQUIRED TO COMPLETE THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE AND WORKING SYSTEM.
- CONTRACTOR SHALL COORDINATE A UTILITY LOCATE 48 HOURS PRIOR TO BEGINNING ANY UTILITY CONSTRUCTION FOR LOCATION MARK-UP OF ALL EXISTING UTILITIES BOTH IN THE RIGHT-OF-WAY AND ON PRIVATE PROPERTY. CONTRACTOR SHALL COORDINATE THE UTILITY LOCAL WITH MUNICIPALITY HAVING JURISDICTION FOR ALL UTILITY WORK WITHIN A PUBLIC RIGHT-OF-WAY. INFORM ENGINEER IMMEDIATELY IF LOCATE INDICATES THAT EXISTING UTILITIES ARE DIFFERENT THAN SHOWN ON DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES, FEATURES, AND STRUCTURES LOCATED ON THE SITE. LOCATE, PROTECT, AND AVOID DISRUPTION OF ALL ABOVE AND BELOW GRADE UTILITIES DURING CONSTRUCTION.
- ALL UTILITY CONSTRUCTION ON PRIVATE PROPERTY SHALL CONFORM TO THE LATEST EDITION OF THE UNIFORM PLUMBING CODE (UPC). ALL UTILITY CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE STANDARD REQUIREMENTS OF THE MUNICIPALITY HAVING JURISDICTION.
- ALL BURIED LINES TO HAVE 2 FEET MINIMUM COVER, UNLESS NOTED OTHERWISE.
- DOWNSPOUT AND BUILDING UTILITY CONNECTIONS TO BE SHOWN ON BUILDING PLUMBING DRAWINGS. REFER TO PLUMBING DRAWINGS FOR CONTINUATION OF UTILITY LINES INTO BUILDING.
- SEE LANDSCAPE DRAWINGS FOR IRRIGATION LINES.
- ALL EXISTING UTILITIES AND TIE-IN POINTS SHOULD BE CONSIDERED ACTIVE UTILITIES UNLESS OTHERWISE INDICATED.
- CONFIRM FIRE HYDRANT TYPE, NOZZLE SIZES, AND THREAD CONFIGURATIONS WITH LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO CONSTRUCTION.
- CONFIRM ALL UTILITY VALVE VAULTS, VALVES, METERS, BACKFLOW PREVENTION ASSEMBLIES, AND OTHER PUBLIC UTILITY APPURTENANCES IN THE RIGHT-OF-WAY WITH THE MUNICIPALITY HAVING JURISDICTION.

**EROSION CONTROL**

- ALL EROSION, SEDIMENT, AND POLLUTION CONTROL PLAN (ESPCP) MEASURES SHALL BE INSTALLED AS PER THE DETAIL DRAWINGS IN THE CITY OF PORTLAND EROSION CONTROL MANUAL.
- TEMPORARY ESPCP MEASURES SHALL BE INSTALLED, INSPECTED, AND APPROVED BY A CITY INSPECTOR BEFORE STARTING GROUND DISTURBING ACTIVITIES.
- ESPCP MEASURES SHALL NOT BE REMOVED UNTIL PERMANENT LANDSCAPING HAS BEEN INSTALLED AND FINAL INSPECTION HAS BEEN REQUESTED AND APPROVED BY A CITY INSPECTOR.
- INSPECTIONS SHALL BE REQUESTED ONE DAY PRIOR TO THE TIME OF INSPECTION.
- APPROVAL OF THIS ESPCP PLAN DOES NOT CONSTITUTE APPROVAL OF PERMANENT OR DRAINAGE DESIGN (I.E. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- THE IMPLEMENTATION OF THIS ESPCP AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESPCP FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- THE BOUNDARIES OF THE CLEARING LIMITS (IF REQUIRED BY THE CITY) SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF THE CONSTRUCTION.
- THE ESPCP FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR THE ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESPCP FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO INSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
- THE ESPCP FACILITIES SHALL BE INSPECTED DAILY BETWEEN OCTOBER 1 AND APRIL 30 BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO INSURE THEIR CONTINUED FUNCTIONING. ALL INSPECTIONS SHALL BE NOTED IN AN INSPECTION LOG WHICH SHALL BE MADE AVAILABLE TO THE CITY INSPECTOR UPON REQUEST.
- ESPCP FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 24 HOURS FOLLOWING A STORM EVENT.
- A SIGN WITH THE CITY'S EROSION CONTROL HOTLINE NUMBER, PROJECT ADDRESS, AND PERMIT NUMBER SHALL BE POSTED AT A LOCATION CLEARLY VISIBLE FROM THE RIGHT OF WAY AND MAINTAINED UNTIL PROJECT COMPLETION.
- EXPOSED SOILS THAT REMAIN UNWORKED FOR 14 DAYS OR MORE SHALL BE IMMEDIATELY PROTECTED BY APPROPRIATE GROUND COVER. DISTURBED LAND THAT WILL REMAIN UNWORKED FOR 2 MONTHS OR LONGER SHALL ALSO BE SEEDED WITH AN APPROVED SEED MIXTURE.
- PUBLIC STREETS WILL BE SWEEPED DAILY, IF NECESSARY, TO ALLEVATE SEDIMENT DISCHARGE TO THE STORM WATER MANAGEMENT SYSTEM. UNFILTERED WASH WATER CANNOT BE DISCHARGED TO STORM DRAINS.
- ALL EROSION CONTROL SEEDING FOR SITE STABILIZATION WILL BE PERFORMED NO LATER THAN SEPTEMBER 1ST TO ALLOW TIME FOR VEGETATIVE ESTABLISHMENT PRIOR TO THE ONSET OF THE WET WEATHER SEASON.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THEY ARE NO LONGER NEEDED.
- TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL SHALL BE REPAIRED AND PROTECTED WITH ADEQUATE GROUND COVER (2" STRAW, COMPOST, MULCH, ETC.).
- SEEDING SHALL BE SUPPLIED WITH ADEQUATE MOISTURE. SUPPLY WATER AS NEEDED. WATER SHOULD BE CONTROLLED TO PREVENT RUNOFF AREAS WHICH FAIL TO ESTABLISH VEGETATIVE COVER ADEQUATE TO PREVENT EROSION SHALL BE RESEED AS SOON AS AREAS ARE IDENTIFIED.
- DISTURBED AREAS OF SLOPE GREATER THAN 2:1 WILL BE STABILIZED THROUGH SEEDING AND THE INSTALLATION OF NORTH AMERICAN GREEN SCOOB MATTING OR EQUIVALENT PRODUCT.
- THE PROPOSED EROSION CONTROL MEASURES ARE A MINIMUM BEST MANAGEMENT PRACTICE. THE CONTRACTOR MAY BE REQUIRED TO MAKE ADDITIONAL EROSION CONTROL MEASURES TO INSURE THAT NO SEDIMENT LADEN WATER EXITS THE SITE OR ENTERS THE EXISTING STORMWATER SYSTEM.
- IN THE CASE OF STABILIZATION SEEDING AND PLANTINGS FOR SWALES & SLOPES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO SEQUENCE THE WORK SUCH THAT THE PLANTINGS ARE ESTABLISHED AS FAR AS POSSIBLE PRIOR TO OCTOBER 1.
- CONTRACTOR SHALL DESIGNATE AN ONSITE EROSION & SEDIMENT CONTROL INSPECTOR AND SHALL SUBMIT THE NAME TO THE OWNER'S REPRESENTATIVE FOR SUBMITTAL TO DEQ AS PART OF THE DEQ 1200C PERMIT REQUIREMENTS.
- AN EROSION AND SEDIMENT CONTROL PERMIT HAS BEEN ISSUED BY OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ 1200C PERMIT). CONTRACTOR IS RESPONSIBLE FOR ADMINISTRATION AND CONFORMANCE OF ALL EROSION AND SEDIMENT CONTROL REQUIREMENTS STIPULATED IN THIS PERMIT INCLUDING MAINTENANCE & MONITORING.

**GRADING NOTES**

- SURVEY OF EXISTING CONDITIONS PREPARED BY THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL SURVEY DATA. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING RIGHT-OF-WAY LINES, SLOPE EASEMENTS, AND ALL HORIZONTAL AND VERTICAL CONTROL PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING AND SHALL ARRANGE FOR STAKING WITH A LICENSED SURVEYOR. STAKING WILL BE REVIEWED BY OWNER FOR CONFORMANCE TO DESIGN PRIOR TO CONSTRUCTION.
- ALL GRADES BETWEEN SPOT ELEVATIONS SHALL HAVE UNIFORM SLOPE UNLESS OTHERWISE INDICATED. MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING WALLS AND DOORS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION. ADEQUATE SHORING BRACING, TIES, AND SUPPORTS SHALL BE USED TO PROVIDE PROPER TEMPORARY INTEGRITY DURING ALL PHASES OF CONSTRUCTION.
- ALL EXISTING LANDSCAPED AND UNPAVED AREAS WHICH ARE DISTURBED BY CONSTRUCTION OR EARTHWORK OPERATIONS SHALL BE HAND PAVED SMOOTH AND RETURNED TO ORIGINAL EXISTING CONDITIONS. DISTURBED LANDSCAPED AREAS SHALL RECEIVE BARK DUST AND REPLACEMENT PLANTINGS. DISTURBED NATURAL AREAS SHALL BE HYDROSEED TO REPLACE NATIVE COVER. DISTURBED GRAVEL AREAS SHALL RECEIVE REPLACEMENT GRAVEL OR CRUSHED ROCK SURFACING.
- ALL DITCHES, SWALES, GUTTERS, ETC. SHOULD BE CONSIDERED ACTIVE STORM CONVEYANCES UNLESS OTHERWISE INDICATED. CONTRACTOR IS RESPONSIBLE FOR ADDRESSING STORM WATER DRAINAGE AND DETERMINING OF WORK AREAS DURING CONSTRUCTION.
- DURING WET WEATHER PERIODS, CONTRACTOR IS RESPONSIBLE FOR SEQUENCING CONSTRUCTION IN A MANNER TO MINIMIZE IMPACT ON OPEN EARTHWORK AND COMPACTION OPERATIONS.
- ALL EXISTING MONUMENTS SHALL BE PROTECTED DURING CONSTRUCTION. IF ANY MONUMENTS ARE DISTURBED OR DESTROYED DURING CONSTRUCTION CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO RESTORE THE MONUMENT TO ITS ORIGINAL CONDITION AND FILE THE NECESSARY SURVEYS AS REQUIRED BY STATE LAW.
- COMPLETELY COVER ANY SOIL STOCKPILES WITH 6 MIL BLACK PLASTIC AND PROVIDE RESTRAINTS TO HOLD PLASTIC IN PLACE. MONITOR PLASTIC COVER AS PART OF CONTINUOUS EROSION CONTROL PLAN. PLACE Silt FENCE COMPLETELY AROUND STOCKPILE.

**DEMOLITION NOTES**

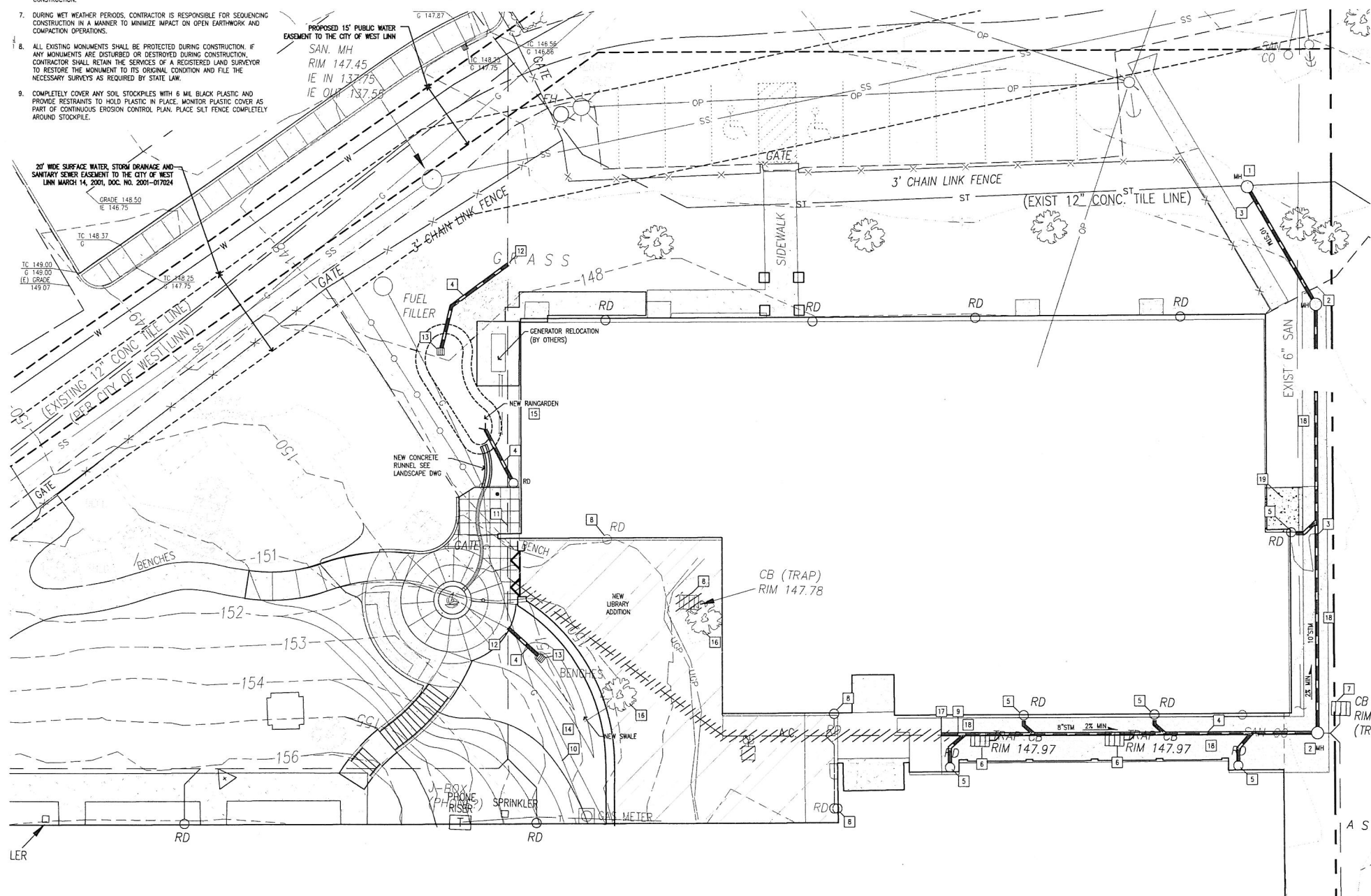
- DEMOLITION REQUIREMENTS ARE NOT SHOWN ON THESE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING SCOPE OF DEMOLITION WORK FROM OWNER AND FOR EXAMINATION OF EXISTING SITE CONDITIONS. CONTRACTOR SHALL SUBMIT A DEMOLITION PLAN PRIOR TO CONSTRUCTION OUTLINING ITEMS TO BE REMOVED. ALL UTILITY LINES AND STRUCTURES SHOWN WITHIN THE LIMITS OF.
- DEMOLITION SHALL BE REMOVED EXCEPT THOSE INDICATED AS "TO REMAIN". ALL LINES THAT ARE CUT AT LIMITS OF DEMOLITION OR POINTS OF DISCONNECTION WITHIN THE WORK AREA ARE TO BE CAPPED OR PLUGGED. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TEMPORARY ACCESS.
- DURING CONSTRUCTION, UTILITY OUTAGES AND ACCESS CLOSURES REQUIRE A MINIMUM OF 24 HOURS NOTICE TO OWNER OR SITE TENANTS.

**GENERAL SITE NOTES**

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE. CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING.
- CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT NEW FEATURES TIE INTO EXISTING SITE DEVELOPMENT. PAVEMENT JOINTS MATCH CORRECTLY, AND THAT GENERAL DESIGN ELEVATIONS FOR NEW CONSTRUCTION PROVIDE PROPER PAVEMENT AND DRAINAGE SLOPES FROM EXISTING TIE IN POINTS. REPORT DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- IN AREAS WHERE ASPHALT PAVING IS BEING REWORKED, PROVIDE NEW PAINT STRIPING FOR ALL REVISED PAVING WORK AND PARKING STALLS. EXISTING STRIPING TO BE BLACKENED OUT IN RECONFIGURED AREAS AS REQUIRED.
- ALL CONSTRUCTION ACTIVITIES SHALL BE COORDINATED WITH CITY INSPECTOR(S). CONTRACTOR SHALL NOTIFY CITY INSPECTOR(S) 48 HOURS PRIOR TO START OF CONSTRUCTION.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL HAVE A MINIMUM OF ONE (1) SET OF PERMIT APPROVED PLANS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES.

**UTILITY CONSTRUCTION NOTES**

- INSTALL NEW MANHOLE OVER EXISTING 12" CONCRETE STORM LINE. CONTRACTOR TO VERIFY IE, AND SLOPE. INFORM ENGINEER PRIOR TO INSTALLATION.
- INSTALL NEW MANHOLE.
- INSTALL NEW 10" STORM DRAIN LINE.
- INSTALL NEW 6" STORM DRAIN LINE.
- RECONNECT EXISTING ROOF DRAIN.
- PROVIDE NEW AREA DRAIN AND CONNECT.
- RECONNECT EXISTING CATCH BASIN.
- DEMOLISH THIS SECTION OF STORM DRAIN AND EXISTING CATCH BASIN. ROOF DRAINS TO BE REDUCED BY BUILDING FLUMBER.
- DEMOLISH SECTION OF EXISTING STORM DRAIN UNDER NEW 6" STORM DRAIN ROUTING.
- LOWER EXISTING GAS LINE. COORDINATE WITH MECHANICAL ENGINEER.
- LOWER EXISTING STORM DRAIN. MATCH EXISTING PIPE SIZE. CONTRACTOR TO VERIFY IE'S AND SLOPES PRIOR TO INSTALLATION. COORDINATE WITH ENGINEER.
- CONNECT TO EXISTING STORM LINE.
- INSTALL NEW DITCH INLET.
- INSTALL NEW VEGETATED SWALE.
- INSTALL NEW SWALE/RANGARDEN.
- REMOVE EXISTING TREE.
- STUB OUT 8" STM FOR CONNECTION BY OTHERS.
- RESTORE EXISTING ASPHALT AREA.
- RESTORE EXISTING CONCRETE LANDING OUTSIDE DOOR.



**1 UTILITY PLAN**  
C1.03/C1.03 SCALE: 1"=10'-0"



1" = 10'-0" 0' 10' 20' 30'



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UTILITY PLAN  
**C1.03**

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