

BOLTON PRIMARY SCHOOL
Conditional Use, Class I Design Review,
Non-Conforming Structure and Variance

March 23, 2010

APPLICATION SUMMARY

For Conditional Use, Class I Design Review, Alteration of a Non-Conforming Structure, and Variance approval to construct a 2,500 square-foot addition to an existing 44,822 square foot primary school located on a 3.3-acre site. The addition is for a library expansion and renovation.

GENERAL INFORMATION

Location

5933 Holmes St. (2S 2E Section 30 BC, Tax Lot 2300). Its location is shown in Figure 1.

Comprehensive Plan and Zoning Designations

The Comprehensive Plan designation is Low Density.

Consistent with the Comprehensive Plan, the property is zoned Single Family Residential Detached (R10).

Applicant and Owner

Tim Woodley, Director of Operations
West Linn-Wilsonville School District
P. O. Box 35
West Linn, OR 97068
Phone: 503-673-7976
E-mail: woodleyt@wlwv.K12.or.us

Applicant's Representatives

Keith Liden, AICP
Parsons Brinckerhoff
400 S. W. 6th Avenue, Suite 802
Portland, OR 97204
Phone: 503-478-2348
Fax: 503-274-1412
E-mail: liden@pbworld.com

Thea Wayburn
Dull Olson Weekes Architects
907 S. W. Stark Street
Portland, OR 97205
Phone: 226-6950
Fax: 273-9192
E-mail: TheaW@dowa.com

Plan Sheets and Supplemental Information

Cover Sheet

A1.00	Existing Site Plan
A2.01	Lower Level Floor Plans
A2.02	Upper Level Floor Plans
A3.01	Exterior Elevations
C101	Utility Plan
C102	Civil Details
L1.0	Landscape Plan

Materials Sheet

Preliminary Stormwater Drainage Design Memorandum

Figure 1: Aerial Photo



Source: Metro

BACKGROUND INFORMATION

Site Description

The site is developed with 44,822 square-foot primary school, driveway, parking, and play fields as shown in Figure 1 and Sheet A1.00. The entire site is approximately 3.3 acres. There currently are 309 students and 40 staff. In addition to the school building, a play area is located on the north side of the school. Access to the school is provided

March 23, 2010

by Holmes Street, which runs along the south and west sides of the site. Parking is provided on the north and south sides of the building. It includes 38 standard and 4 handicapped spaces for a total of 42. Twelve additional on-street parking spaces are available along Holmes Street. A small existing bike rack is located near the existing library. Regularly scheduled TriMet bus service is available (Route 35 Macadam/Greeley) along Willamette Drive.

Surrounding Area Description

The zoning designations and current land use of the surrounding area are summarized in Table 1.

**Table 1
Land Use Summary**

<i>Properties in the Vicinity</i>	<i>Zone Designation</i>	<i>Land Use</i>
<u>Subject Property</u> 2S 2E Section 30 BC, Tax Lot 2300 (3.3 acre school site owned by school district)	R10	Primary school building, ancillary facilities, and parking
<u>Surrounding Properties</u>		
North	R10	Single family residences
South	R10	Single family residences
East	R10	Hammerle Park (City of West Linn)
West	R10	Single family residences

SCHOOL BUILDING AND RELATED IMPROVEMENTS

The 2,500 square-foot addition is proposed on the northwest side of the existing school (Sheets A2.02 and C101) to create a larger and more versatile library. In addition, remodeling is also proposed for approximately 4,000 square feet of the existing interior to add a sprinkler system, improve mechanical equipment, and add a new window on the stage facing Hammerle Park. Adjacent to the addition, a small optional amphitheater is proposed, but constructing it will depend upon available funding. Associated interior remodeling will include:

- Remodel existing space and new construction to provide a centralized library space.
- Remodel of existing rooms to create a conference room, staff room/lounge, and production room.
- Conversion of existing library back into classrooms.
- Potential kitchen upgrades.
- Mechanical, electrical, and lighting upgrades.
- Addition of a fire sprinkler system throughout.

The improvements will provide an enhanced learning environment and a safer building. It will not change the existing enrollment capacity or staffing needs for the school.

An existing storm line, which drains from south to north, is located between the existing buildings. It needs to be replaced with a new line that redirects flow to the south to connect with an existing storm drain on the east side of the existing school.

A rain garden is being added per the City of Portland Stormwater Management Manual. It is sized using the simplified approach, which accounts for the required detention and water quality. The new impervious area is approximately 3,420 square feet requiring a rain garden of 205 square feet. The impervious area includes 2,500 square feet of rooftop from the library addition and 920 square feet of hardscape for the new amphitheater (Sheet C101).

The exterior finish of the addition will be consistent with the building's design, as shown on the materials sheet. The landscaping to be removed by the addition includes lawn and two trees. One tree is a Sweetgum (8" dbh) and a Japanese Maple (3" dbh). On February 16, 2010, the City Arborist, Mike Perkins, indicated these trees were not significant. Replacement landscaping will include trees and shrubs, as shown on Sheet L1.0.

The 3.3-acre site has no room to provide any additional on-site parking. However, the district does propose to provide 14 new bike parking spaces located under cover by the front entrance (2 spaces) and the northwest end of the school (Sheet L1.0). While this will not meet the city's requirement for the number of spaces (20 classrooms at 2/classroom), they will be more than adequate to satisfy the current bike parking demand, which is relatively low.

In addition to the conditional use and design review applications, one variance is necessary to allow the expansion of a nonconforming structure, which does not meet current on-site parking standards.

CONDITIONAL USE REVIEW CRITERIA

The relevant review criteria in the City of West Linn Community Development Code (CDC) include the Single Family Residential Detached, R-10 requirements (Chapter 11), Conditional Use evaluation criteria (Chapter 60), Non-Conforming Structures (Chapter 66), Variance Criteria (Chapter 75), Comprehensive Plan policies, and Design Review (Chapter 55). These criteria are addressed below.

Chapter 11 Single Family Residential Detached, R-10

Section 11.060 Conditional Uses

This section lists schools as a conditional use in the R-10 zone. The school building, play area, and parking are located within this zone. Schools are allowed as a conditional use in the R10 zone.

Section 11.080 Dimensional Requirements, Conditional Uses

This section gives the Planning Commission the authority to determine the appropriate dimensional requirements to satisfy Conditional Use criteria in Chapter 60. The primary school has successfully operated on this 3.3-acre site for many years, and the building

footprint will be expanded slightly. The school enrollment capacity will not be changed by the library addition or the interior remodeling. As shown on the attached site plan (Sheet A1.00), adequate area continues to be available for the school building, activity fields, parking, landscaping, and buffering. Because the addition will have an interior location on the site, building setbacks will remain the same, and it will have no meaningful affect on surrounding properties.

The school building currently covers 31.2% of the site, and the addition will expand the coverage to 33%. The enlarged building will continue to satisfy the maximum building coverage standard of 35%.

The maximum floor area ratio (FAR) allowed in the R-10 zone is 0.45. Based on the property area of 3.3 acres, a maximum floor area of over 64,000 square feet is allowed. With the library expansion, the building floor area of 47,322 square feet is well below the maximum allowed.

Chapter 60 Conditional Uses

Section 60.070 Approval Standards and Conditions

This code section states that the applicant must provide evidence substantiating that the proposed use satisfies seven criteria, which are addressed below:

A. The following criteria shall be satisfied.

1. The site size and dimensions provide:

a. Adequate area for the needs of the proposed use.

The school has been in continuous use for many years, and this site has proven to be adequate for the primary school and its associated facilities. The proposal will not increase the school's enrollment capacity. As shown on the site plan, the 2,500 square-foot addition will be located in a portion of the existing courtyard, and it will not reduce any existing setbacks from surrounding properties.

b. Adequate area for aesthetic design treatment to mitigate any possible adverse effect from the use on surrounding properties and uses.

As shown on the site plan information, the setback distances for buildings, parking, play areas, and related facilities from all property lines will be the same as the existing situation. The building, parking, and play areas will retain their current location and orientation, and therefore, the proposed addition and renovation will not have any adverse impact on surrounding properties.

2. The characteristics of the site are suitable for the proposed use considering size, shape, location, topography and natural features.

Built in 1955, the existing primary school site has proven to be suitable for the district and the community. The approval of the new bond measure to provide the funding for the improvements demonstrates continued community support for the proposed rejuvenation of the school. Although it is smaller than many of the existing primary

school sites in the district, the school has proven that it can operate in a manner, which is compatible with the surrounding neighborhood. Because the capacity of the school will be unchanged, the addition will not pose any new potential impacts for the surrounding neighborhood.

The area of the proposed addition has a moderate grade and has no physical limitations. The trees that are proposed for removal are not significant based on a review by Mike Perkins, City Arborist, and the benefit of landscaping on the site will be provided by the new plantings proposed in the landscaping plan (Sheet L101).

3. *The granting of the proposal will provide for a facility that is consistent with the overall needs of the community.*

The needs of the community are best expressed by its approval of the bond measure to finance these improvements. The relevant city policies are addressed under criterion 7 below.

4. *All required public facilities have adequate capacity to serve the proposal.*

Transportation

Because the capacity and operation of the primary school will not change, no additional traffic impacts will result. Ingress and egress to the school will not be modified.

Water

Water service is presently adequate, and because no additional demands will be placed on the system, it will adequately continue to serve the school.

Sanitary and Storm Sewer

Sanitary and storm sewer service is currently satisfactory. The building addition will replace an area occupied by lawn and sidewalks, resulting in net increase in impervious area of slightly less than 2,500 square feet of rooftop and 920 square feet of new hardscape. The existing and new systems will continue to provide appropriate treatment of storm and sanitary sewer discharges.

5. *The applicable requirements of the zone are met except as modified by the Conditional Use chapter.*

The applicable requirements of the R-10 zone for building setbacks, lot coverage and FAR will be met as explained above.

The appropriate lot size is confirmed as part of the conditional use review. Because the use is proposed to remain essentially as it is today, the 3.3-acre site continues to be adequate. No part of the school building will be over the 35-foot allowable height. Setbacks from the building will not be modified and all exceed the 20-foot minimum.

6. The supplementary requirements set forth in Chapters 52 to 55, if applicable, are met.

Chapter 52 - Signs

Not relevant because no signs are proposed.

Chapter 53 - Sidewalk Use

This CDC chapter applies to commercial activities on public sidewalks. It is not applicable to this proposal.

Chapter 54 - Installation and Maintenance of Landscaping

This is addressed in the following section relating to Design Review.

Chapter 55 - Design Review

The Design Review criteria are addressed in the following section.

7. The use will comply with the applicable policies of the Comprehensive Plan.

The relevant city of West Linn policies for schools are found in the city's Comprehensive Plan. The relevant policies are addressed below.

The "Natural Environment" section contains one policy that is relevant to the request.

Specific Policy 10 (Water Quality):

Require that new development be designed and executed so as to avoid further degradation of surface and ground water quality by runoff, paying particular attention to the mitigation of soil erosion during and after the development process.

Appropriate erosion control and water quality measures will be taken to comply with this policy and related regulations. These measures will be reviewed by the city as part of the building permit process.

Specific Policy 13 (Water Quality):

Require that new development be connected to the City's sanitary sewer system.

The school will continue to be connected to sanitary sewer.

Specific Policy 19 (Noise Control)

Ensure that new commercial, industrial, and public facility development is landscaped and designed so that DEQ noise standards are met and neighboring noise sensitive properties are not negatively impacted by the new land use or associated activities.

The proposed improvements will not change use patterns on the site or associated

noise. Most important, the building function, orientation, and capacity will remain essentially as it is today.

Specific Policy 19 (Urban Forest):

Require that land development will maintain existing trees, which exceed six inches in diameter at breast height (DBH) except where:

- A roadway is being developed*
- A building site is being developed*
- Solar access is needed for a solar heating system.*

As noted above, two trees must be removed because they are in the footprint of the library addition. New landscaping will include two replacement trees, foundation planting at the building perimeter, and water quality plantings in the storm water and detention facilities.

The "Public Facilities and Services" section contains several relevant policies.

General Policy 3 (Public Facilities and Services):

Ensure development will coincide with the provision of adequate public facilities and services. The City recognizes the following public facilities and services as those services which shall be provided coincident with development:

- A. Access*
- B. Storm drainage*
- C. Water*
- D. Sewer services*

As discussed above, these facilities are currently provided.

General Policy 5 (Public Facilities and Services):

Monitor, coordinate with, and regulate the activities of the following, where appropriate, as they affect existing and future residents and businesses.

- a. Solid Waste Collection and Recycling*
- b. Utilities - Electricity, Natural Gas, Telephone, and Cable TV.*
- c. Schools.*
- d. Health Services.*

These services are available.

General Policy 1 (Energy Conservation):

Conserve energy through the appropriate location of land uses (through zoning).

General Policy 2 (Energy Conservation):

Ensure energy efficient provision of public facilities and services.

The new library expansion will offer significant energy savings through meeting current energy standards related to both increased insulation values and modern heating and cooling equipment.

B. Development review provisions in Chapter 55 shall be satisfied.

These criteria are addressed below.

C. The Planning Commission may impose conditions.

The District understands that the Planning Commission has the authority to impose conditions.

D. Aggregate extraction uses.

This subsection is not relevant because aggregate extraction is not proposed.

Chapter 66 Non-Conforming Structures

This chapter provides that any enlargement or alteration to a non-conforming structure containing a conforming use may be permitted if the enlargement or alteration will not change the non-conformity; and all other applicable ordinance provisions have been met. The existing structure is out of conformity because it does not meet the city's on-site parking requirements

If Bolton Primary School was build today, the CDC would require 85 off-street parking spaces (44,822 square feet and 40 staff). Currently, 42 off-street parking spaces and 12 on-street parking spaces are provided. Although this addition does not increase the capacity of the school or the current parking needs, the code standards require 3 more parking spaces due to the 2,500 square-foot floor area expansion.

The parking standards also call for 4 handicapped parking spaces for between 76 and 100 total parking spaces. This requirement is the same for the existing school square footage and the increased square footage. Currently, 4 handicapped parking spaces are provided. The addition does not worsen the current non-conformance of the school facility as it relates to handicapped parking.

Bicycle parking is required for primary schools at the rate of 2 spaces per classroom. With 20 classrooms, 40 spaces are required, but only 2 or 3 bicycles are typically parked at the school. The provision of 14 new, cover spaces represents a significant improvement over the existing uncovered bike parking located in the area that will accommodate the library addition.

Chapter 75 Variances

A variance is being sought for expansion of a non-conforming structure regarding off-street parking.

Chapter 75 requires that a variance will only be approved if it meets six criteria:

- 1. Exceptional or extraordinary circumstances apply to the property which do not apply generally to other properties in the same zone or vicinity, and result from lot size or shape, legally existing prior to the date of this ordinance, topography, or other circumstances over which the applicant has no control.*

The expansion of the non-conforming structure for parking is a result of the small lot size and configuration. The lot is 3.3 acres and is not physically able to accommodate more parking without sacrificing some of the outdoor play areas. This is a significant concern given the limited opportunities that students have for physical activity during the school day.

As one of the smallest of the school properties in the district, Bolton Primary School has extraordinary circumstances that do not apply to other school sites in the city. Other school facilities are on larger properties that can accommodate the required parking. As the only school in the neighborhood, these circumstances do not apply to other properties in the vicinity.

The district does propose some new bike parking as shown on Sheet L1.0. These spaces will all be covered, and will be conveniently located and visible. The 14 proposed spaces will be more than adequate to support current ridership (generally 2 or 3), and additional cyclists in the future. It is important to note that only 5th graders along with some 4th graders have appropriate skills to ride safely to school. The new parking represents a significant improvement over the current situation.

- 2. The variance is necessary for the preservation of a property right of the applicant, which is substantially the same as a right possessed by owners of other property in the same zone or vicinity.*

The school use was established in 1955. Since then, the use of the automobile has become more prevalent and parking requirements have increased, and the existing parking is now out of compliance. Since 1955, the faculty, parents and neighborhood have learned to make the best of the parking situation. The available school bus and TriMet service along with the walkable character of the neighborhood help alleviate some of the need to vehicle parking. In addition, the district does propose to provide better parking.

- 3. The authorization of the variance will not be materially detrimental to the purposes and standards of this Code, will not be inconsistent with all other regulatory requirements, and will not conflict with the goals and policies of the West Linn Comprehensive Plan.*

The school addition will not increase the enrollment capacity or staff needs. As a result, the parking demand will remain as it is today.

All other code requirements will be met. The addition will not result in non-compliance with any other code provisions, and it does not conflict with the goals and policies of the Comprehensive Plan.

4. *The variance request is the minimum variance, which would alleviate the exceptional and extraordinary circumstance.*

Although the site has proven to be suitable for the school, its ability to provide additional on-site parking is very constrained. The district has considered the trade-offs of adding more parking to the site and removing some of the existing outdoor play area. The elimination of outdoor school facilities was determined to not be appropriate given the benefit of the uses to the students and the community.

5. *The exceptional and extraordinary circumstance does not arise from the violation of this ordinance.*

The extraordinary circumstance creating the need for the variance is the small physical size of the lot. It is not a result of a violation of the ordinance.

6. *The variance will not impose physical limitations on other properties or uses in the area, and will not impose physical limitations on future use of neighboring vacant or underdeveloped properties as authorized by the underlying zoning classification.*

The proposed addition will not have any material effect on surrounding properties. In addition, no issues were mentioned during the neighborhood association meeting.

Chapter 99 Procedures for Decision-Making: Quasi-Judicial

This chapter requires that the neighborhood is contacted and the proposed development discussed with any affected neighborhood for conditional use permits for developments over 1,500 square feet. A neighborhood meeting with the Bolton Neighborhood Association was held on March 15, 2010. The minutes are provided with this application. No objections to the projects were raised.

DESIGN REVIEW CRITERIA

The Conditional Use requirements include compliance with Chapter 55 Design Review. Section 55.100 contains the applicable approval standards for a Class I Design Review. At the conclusion of the preapplication conference, the planning staff determined that the application must meet the following criteria in Chapter 55:

- 55.100(A)(1)
- 55.100(A)(7)
- 55.100(A)(10)
- 55.100(B)(1-6)
- 55.100(D)
- 55.100(G)
- 55.100 (I)(1-2)

- 55.100(J)
- 55.100(K)

These criteria are addressed below.

A. The provisions of the following chapters shall be met:

1. Chapter 33 - Storm Water Quality and Detention

As noted above, a rain garden is being added per the City of Portland Stormwater Management Manual. It is sized using the simplified approach, which accounts for the required detention and water quality. The new impervious area is approximately 3,420 square feet accommodated by a rain garden of 205 square feet. The impervious area includes 2,500 square feet of rooftop and 920 square feet of hardscape.

7. Chapter 46, Off-Street Parking and Loading

Section 46.090 B. 6. requires "one space for every employee, plus 1 space for each 1,000 square feet of floor area." The requirement for the school, before the proposed addition, is 85 parking spaces. The addition of 2,500 square feet will require 3 additional parking spaces. There are currently 42 off-street parking spaces provided at Bolton with 12 additional on-street spaces available adjacent to the school. As noted, the capacity of the school will not be enlarged, and the current parking needs for the school will not be changed. An expansion to the non-conforming structure is addressed above under Chapters 66 and 75.

Section 46.120 requires a 15-foot wide drive for loading and unloading passengers. The off-street loading facilities will not be affected by the proposal.

Section 46.130 requires one loading space for the school (10,000 - 100,000 sq. ft.). Sufficient loading space is currently provided and will not be affected.

Section 46.140 contains the design standards for parking areas. The existing parking facilities on the site will not be affected.

Section 46.150 A. contains a variety of standards pertaining to parking lot design, pavement, pedestrian access, handicapped parking, and grades. These standards do not apply because no modifications are proposed.

Section 46.150 B. contains standards for handicapped parking, including 4 handicapped parking spaces for the 85 required parking spaces. Currently, 4 handicapped parking spaces are provided. The proposal meets these requirements as noted in the site plan and below:

1. Existing spaces will be retained.
2. These spaces will continue to be provided close to the main school entrances.
3. ADA standards will continue to be satisfied.

4. Not applicable because no differences are identified between the code and federal standards.
5. The necessary 6 and 8-foot wide isles will continue to be provided.

Section 46.150 B. contains bicycle standards. As described above, the district proposes to significantly improve the bike parking by replacing the small existing bike rack with 14 bike parking spaces that are covered and conveniently located.

10. Chapter 54, Landscaping

Existing landscaping where the building site is being developed will be removed. This includes one Sweetgum Tree (8" dbh) and a Japanese Maple Tree (3" dbh).

Replacement landscaping will match the existing school planting character and include the following:

- Foundation shrub and groundcover plantings at the perimeter of the library. Plant species will match existing plantings at the school, and a permanent irrigation system will be provided.
- Water quality plantings in the storm water quality and detention facilities will meet applicable standards.
- Two replacement trees will match the existing trees that are to be removed.

B. Relationship to the Natural and Physical Environment

Section 55.100 B. 1. and 2. do not appear to be relevant because there are no heritage trees on the site. The City Arborist determined that no significant or heritage trees would be affected by the proposal. The impact of removing the trees noted in this application will be mitigated by the new landscaping proposed (Sheet L1.0).

Section 55.100 B. 3. is satisfied because grading will only involve the building footprint for the 2,500 square foot addition and a small hardscape area.

Section 55.100 B. 4. is satisfied because the property is essentially flat and geologically stable.

Section 55.100 B. 5. is satisfied because the school building will retain the same setbacks.

Section 55.100 B. 6. is met based on the findings below:

- a. The architectural design for the addition will be consistent with the architectural style of the existing building as shown on Sheet A3.01.
- b/c. The proposed design is compatible with the natural environment because only a minimum amount of area will be used for the addition. The proposed addition to Bolton Primary School is in the back of the school between two existing wings of the facility. The proposed library addition effectively transitions into the existing structure and the adjoining sites by using complementary rhythm of windows, rooflines, building lines, material, and colors as the existing primary school.

- d. The site size and the addition location are sufficient to displace any contrasting architectural styles that the proposed building might add to the surrounding area. As illustrated in the plan sheets, the addition is located in the approximate center of the site with the existing school building on three sides.
- e. The human scale of the proposed building is represented in the design approach, which is consistent with the existing building design.
- f. The criterion related to windows applies only to commercial and office buildings, not school structures.
- g. The addition at Bolton is curved in nature to compliment the contours of the existing landscape. The roofline steps down to create a bridge between the higher and lower classroom wing components and to keep with the low scale of the existing school structure. The exterior finishes will be the same or similar to existing building materials. Higher wall surfaces will be a ribbed metal panel in a neutral color. The window wall and clerestory windows will provide natural daylight into the new library as well as a visual connection to the existing and new landscape features.

In addition the new construction, window replacement will occur at the southwest classroom that faces Willamette Drive (Highway 43). Windows will also be added to the existing stage in the lower level to provide a view to the adjacent Hammerle Park. A new staff room, work room and remodel of existing spaces to create a larger, more centralized library are part of the scope of work.

- h. Climatic concerns are considered in the proposed building designs due to the public use associated with school buildings. The new addition will meet all current energy efficiency standards.
- i. The proposed site plan is consistent with the city of West Linn's vision statement to provide safe and attractive pedestrian-friendly site and building environments. The design of the addition and its internal location on the site will maintain the current pedestrian-friendly character of the neighborhood.

Section 55.100 B. 7. is not relevant because the library addition will not increase the enrollment capacity or staffing needs for the school. No traffic impact will be caused by the addition.

C. Compatibility Between Adjoining Uses, Buffering and Screening

The building entry and operation of the school will not be changed by the addition.

D. Privacy and Noise

School activities and associated noise will not be affected by this proposal.

G. Demarcation of Public, Semi-Public and Private Spaces

The operation and main entry for the school will not be amended.

I. Public Facilities

The proposed addition and hardscape will slightly increase the stormwater runoff rate. However, a rain garden is being added per the City of Portland Stormwater Management Manual to account for the required detention and water quality. This system will minimize the impact to the downstream system.

J. Crime Prevention and Safety/Defensible Space

Access, building entrance locations, and existing lighting will not be affected by the library addition. The windows on the library will face the courtyard and provide enhanced visibility to this area.

K. Provisions for Persons with Disabilities

City code criteria and ADA requirements will be satisfied during the final building and facility design for the addition and remodeling work.

L. Signs

Not applicable because new signs or sign modifications are not proposed.

M. Utilities

The addition and other remodeling will not require any change to the existing utility services for the school.

CONCLUSION

The proposed library addition and interior remodeling satisfy all of the relevant criteria as demonstrated above.



WINZLER & KELLY

15575 SW Sequoia Pkwy. Ste. 140
Portland, OR 97224-7233

Date: 3-12-10

MEMORANDUM

Project No.: 10884-09015 Project Name: Bolton Primary School Remodel
To: Khoi Le, City of West Linn
From: Patrick Tortora, P.E.
Copies To: M. Wharry, P.E.
Subject: Preliminary Stormwater Drainage Design Memorandum

This memorandum is to address the proposed storm drainage improvement related to the proposed library addition.

Project Description:

A 2,500 sf addition is proposed on the northwest side of the existing school to create a larger and more versatile library. In addition to the library addition is an amphitheatre on the northwest side of the library addition to be cut into the existing slope of the school yard. The amphitheatre has no associated building or canopy, it consists of concrete benches, pavers and lawn carved into the existing slope creating natural learning environment. See Site Plan.

New impervious area summary (approximate):
New library rooftop: 2,500 sf
New hardscape and amphitheatre: 535 sf

Existing Conditions:

There is an existing storm drain pipe line that drains from south to north between the existing buildings, crossing under the interconnecting breezeway. Due to the library addition, this storm drain pipe line will need to be re-laid to be redirected to flow to the south. The redirected storm drain will connect to the existing storm drain on the south east side of the existing school. All of the existing roof drains, area drains and foundation drains will be reconnected to the new storm drain system.

There is an existing storm drain that extends from west to east, passing through the new amphitheatre location. The depth of the existing storm is not known, and may need to be lowered to avoid conflicts with the new amphitheatre. The contractor is to verify the storm drain depth prior to final design and construction.

Proposed Storm System:

The proposed re-route storm system will consist of approximately 200 lf of storm drain as described above. Refer to the Utility Plan under separate cover.

The proposed storm drainage system for the library and amphitheatre addition is a raingarden. The raingarden is sized using the City of Portland Stormwater Management Manual Presumptive Approach. See attached calculations. The raingarden is sized for 3,035 sf., resulting in a raingarden size of 420 sf.



Presumptive Approach Calculator ver. 1.1

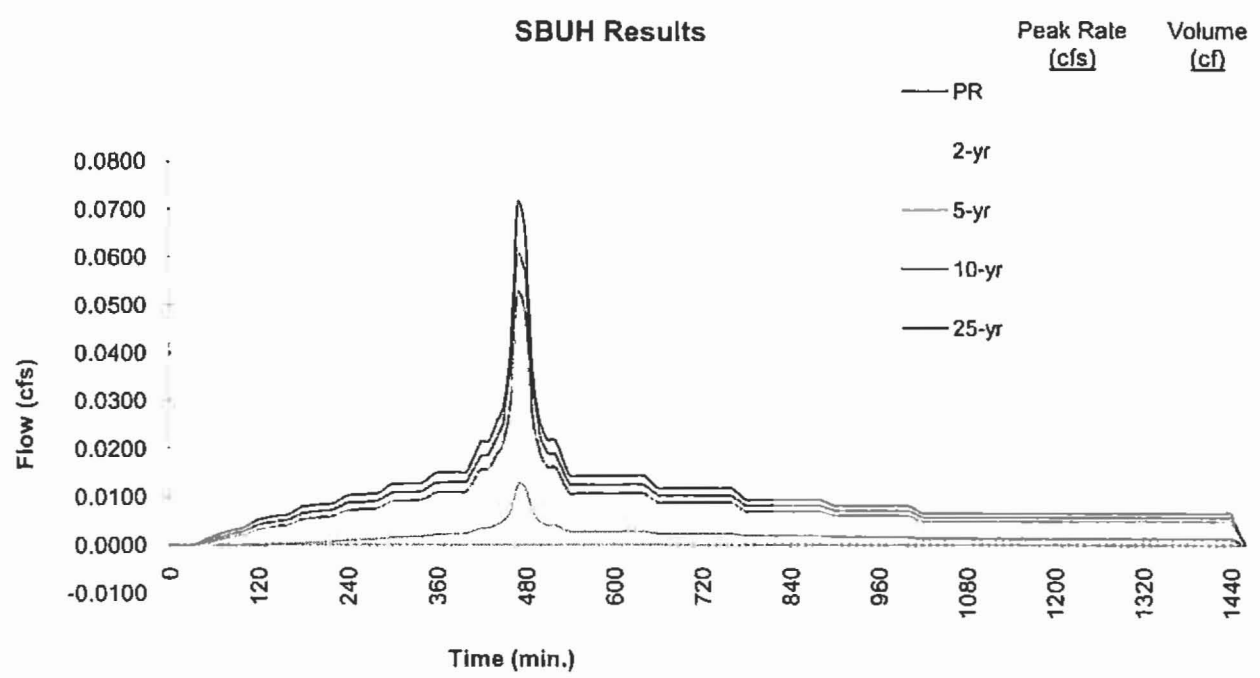
Catchment Data

Project Name: Bolton Primary School
 Project Address: 0
West Linn, Oregon
 Designer: PRT
 Company: Winzler & Kelly

Catchment ID: A
 Date: 03/12/10
 Permit Number: 0
 Run Time

Drainage Catchment Information	
Catchment ID	A
	Catchment Area
Impervious Area	3,035 SF
Impervious Area	0.07 ac
Impervious Area Curve Number, CN_{imp}	98
Time of Concentration, T_c , minutes	5 min.
Site Soils & Infiltration Testing Data	
Infiltration Testing Procedure:	Open Pit Falling Head
Native Soil Field Tested Infiltration Rate (I_{test}):	0.01 in/hr
Bottom of Facility Meets Required Separation From High Groundwater Per BES SWMM Section 1.4:	Yes
Correction Factor Component	
CF_{test} (ranges from 1 to 3)	2
Design Infiltration Rates	
I_{dsgn} for Native (I_{test} / CF_{test}):	0.01 in/hr
I_{dsgn} for Imported Growing Medium:	2.00 in/hr
	Design infiltration rate < 0.5 in/hr

Execute SBUH Calculations





Presumptive Approach Calculator ver. 1.1

Catchment ID: **A**

Run Time

Project Name: Bolton Primary School

Catchment ID: A

Date: 3/12/2010

Instructions:

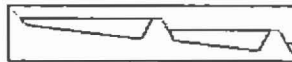
1. Identify which Stormwater Hierarchy Category the facility.
2. Select Facility Type.
3. Identify facility shape of surface facility to more accurately estimate surface volume, except for Swales and sloped planters that use the PAC Sloped Facility Worksheet to enter data.
4. Select type of facility configuration.
5. Complete data entry for all highlighted cells.

Catchment facility will meet Hierarchy Category: 3

Goal Summary:

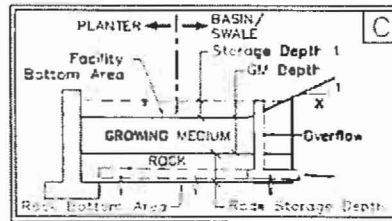
Hierarchy Category	SWIM Requirement	RESULTS box below needs to display		Facility configurations allowed
		Pollution Reduction as a	10-yr (aka disposal) as a	
3	On-site flow to drainage way, river, or storm-only pipe system	PASS	N/A	ALL

Facility Type = Swale



Facility Configuration: C

Refer to Sloped Facility Worksheet and enter Variable Parameters



Calculation Guide
Max. Rock Stor
Bottom Area
Per Swale Dims

DATA FOR ABOVE GRADE STORAGE COMPONENT

Infiltration Area = 248 sf
Surface Capacity Volume = 207.5 cf

Growing Medium Depth = 18 in
Freeboard Depth = N/A in

Surface Capacity at Depth 1 = 207 cf
GM Design Infiltration Rate = 2.00 in/hr
Infiltration Capacity = 0.011 cfs

BELOW GRADE STORAGE

Rock Storage Bottom Area = 132 sf
Rock Storage Depth = 18 in
Rock Void Ratio = 0.3
Storage Depth 3 = 12 in

Rock Storage Capacity = 40 cf
Native Design Infiltration Rate = 0.01 in/hr
Infiltration Capacity = 0.000 cfs

RESULTS		Overflow Volume			
Pollution Reduction	PASS	129 CF	0%	Surf. Cap. Used	
			100%	Rock Cap. Used	
Output File					
Peak cfs	2-yr	5-yr	10-yr	25-yr	
	0.011	0.011	0.011	0.011	

FACILITY FACTS	
Total Facility Area Including Freeboard =	420 SF
Sizing Ratio (Total Facility Area / Catchment Area) =	0.138

Presumptive Approach Calculator Ver 1.1



Instructions:

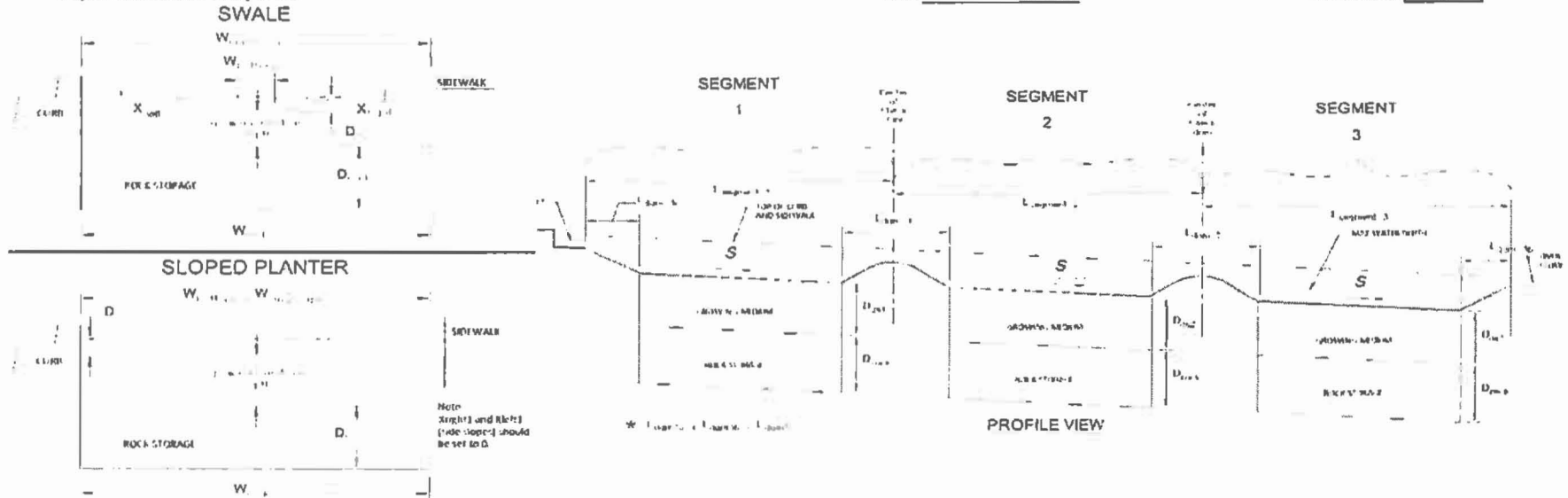
1. Refer to facility graphics and fill in all relevant facility parameters in the Data Entry table below. Data entry cells vary based on Facility Configuration selected on Facility Design Data tab.
2. Delete all facility parameters that may have been entered by the previous iteration that are no longer applicable.

Project Name: Bolton Primary School

Date: 3/12/2010

Run Time

Catchment ID: A



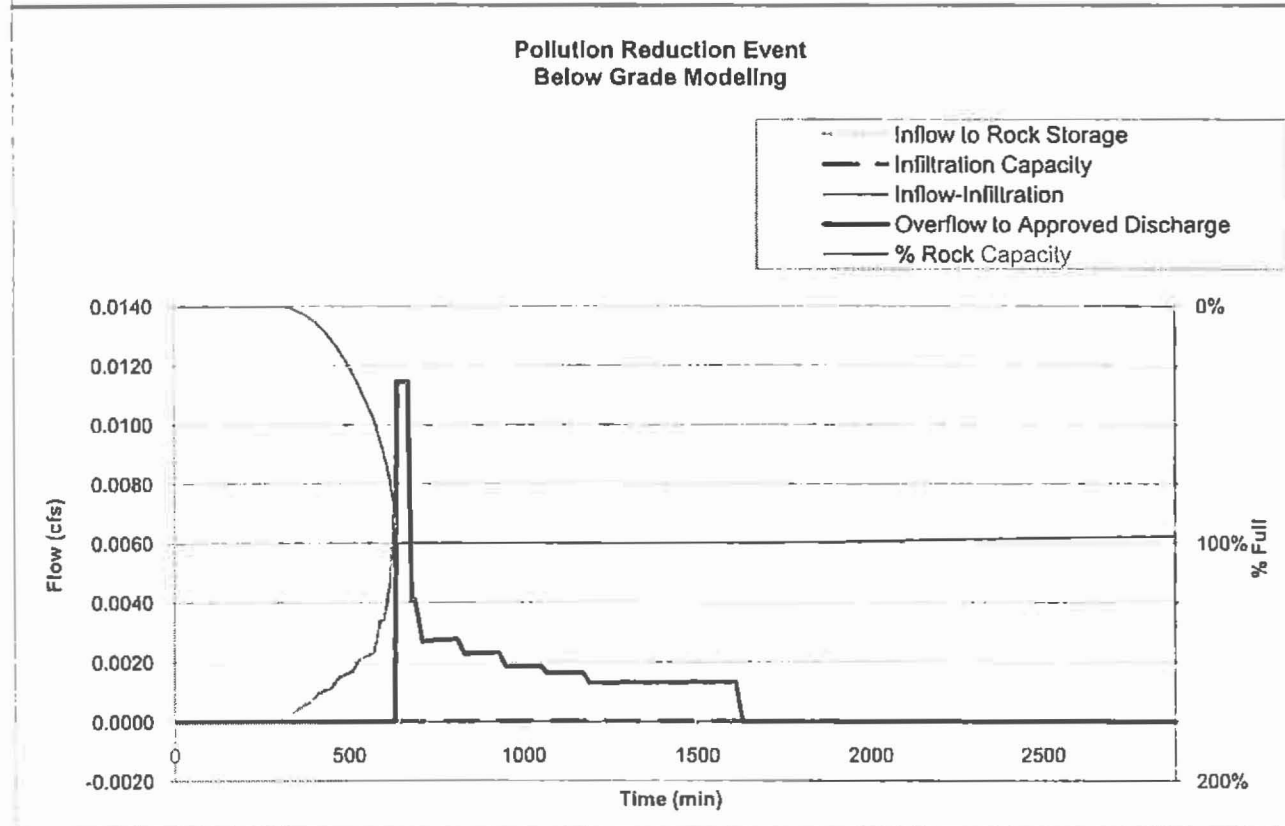
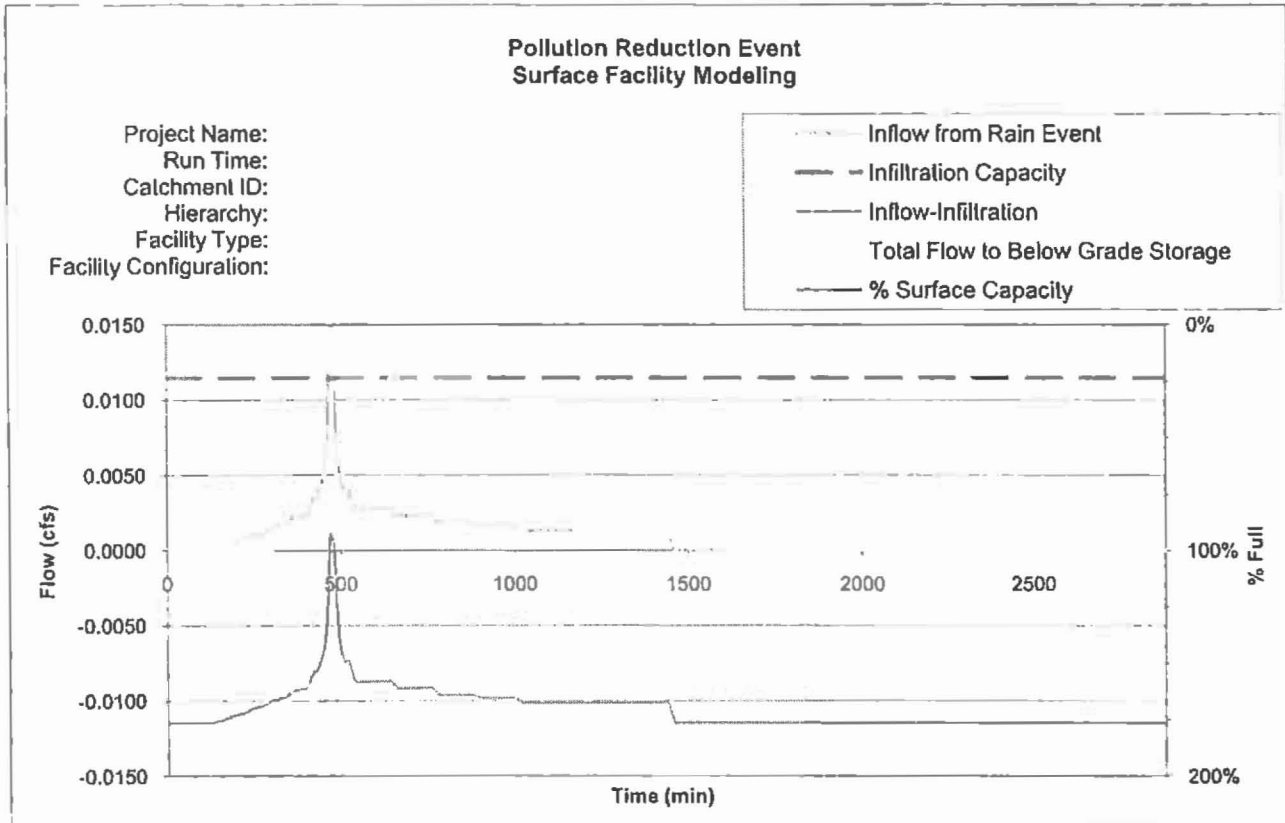
Data Entry

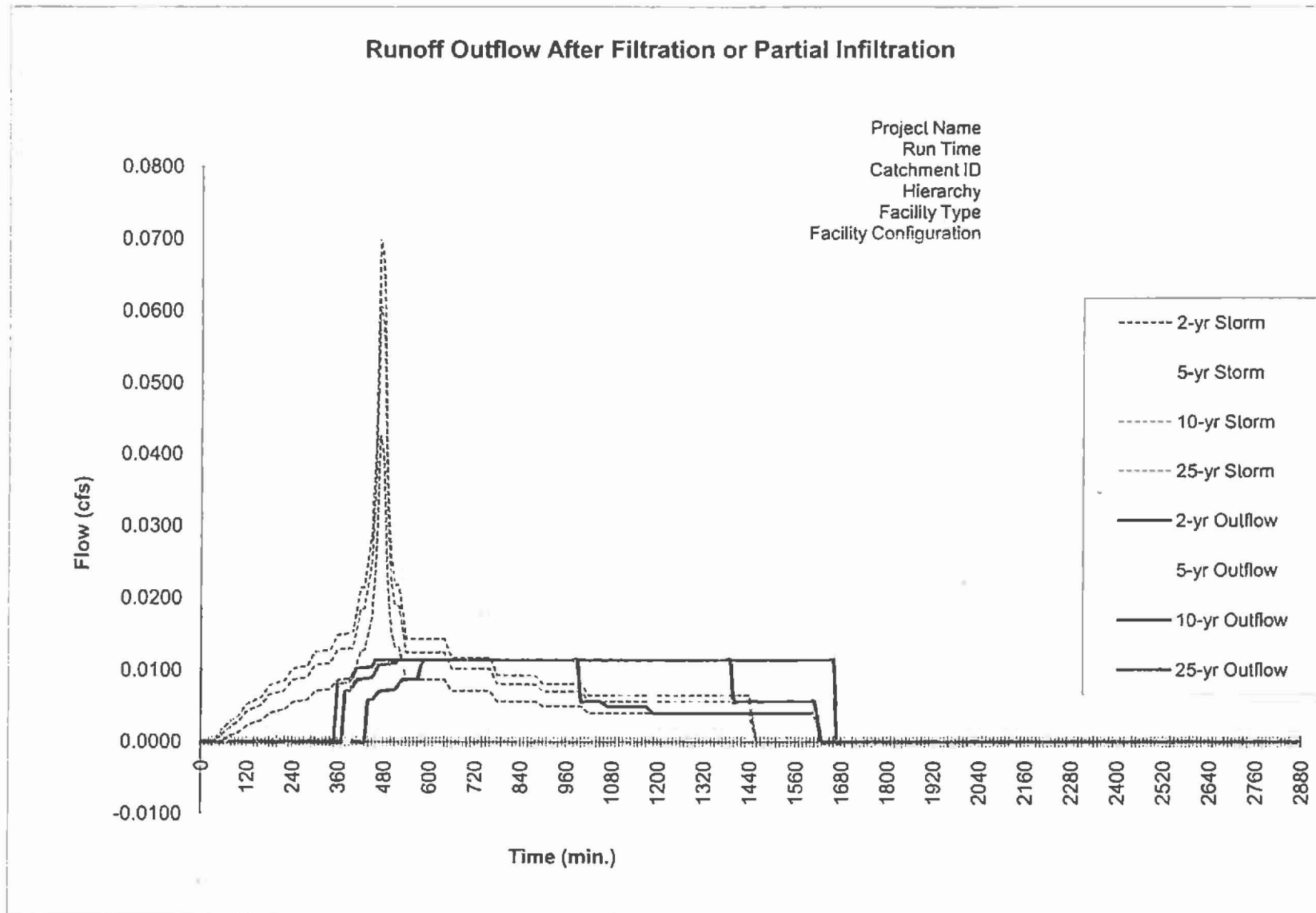
Parameters										Rock Storage Parameters		
Variable Description	Facility Segment	Length of Facility Segment (ft)	Downstream Check Dam Length (ft)	Longitudinal Facility Slope (ft/ft)	Bottom Width (ft)	Side Slope Ratio	Side Slope Feet	Downstream Depth (inches)	Landscape Width (ft)	Rock Storage Width (ft)	Rock Storage Depth (inches)	Rock Void Ratio
Unit		(ft)	(ft)	(ft/ft)	(ft)			(inches)	(ft)	(ft)	(inches)	
Variable Symbol	L _{segment}		L _{dam}	S	W _{bottom}	X _{right:1}	X _{left:1}	D _{dr}	W _{landscape}	W _{rock}	D _{rock}	v
1	13	2	0.005	6	3	3	12	12	6	18	0.3	
2	13	2	0.005	6	3	3	12	12	6	18	0.3	
3												
4												
5												
6												
7												
8												
9												
10												

Error Messages

Worksheet Calculations

Depth 3 = 12







West Linn – Wilsonville Schools

PUBLIC NOTICE

THE PUBLIC IS INVITED to attend a Bolton Neighborhood Association meeting to discuss the proposed Library Addition Project at West Linn-Wilsonville School District's Bolton Primary School Site

**March 15, 2010 at 7:00 pm
Bolton Primary School
5933 SW Holmes Street
West Linn, OR 97068**

Property Information:

- **LOCATION:** Bolton Primary School
- **ADDRESS:** 5933 SW Holmes Street
West Linn, OR 97068
- **DESCRIPTION:** Parcel Number 00564543
Assessor's Map 22E30BC02300

Site Improvement Description:

The major elements of this site improvement work include:

- Construction of a new library addition.

This is an informal meeting to discuss the site improvements planned for the Bolton Primary School site. This meeting is in support of a Conditional Use and Class I Design Review application to the city of West Linn. The plan may be modified or altered prior to actual submittal.

For further information, please contact Amy Berger, West Linn-Wilsonville School District 503-673-7195; or visit us on the web at www.bond.wlww.k12.or.us

Notice dated February 22, 2009

AFFIDAVIT

I, Robert Teters so hereby solemnly attest that the following statement is true.

A copy of the letter to officers of the Bolton Neighborhood Association and property owners within 500 feet of the proposed structure was mailed on February 23, 2010. A copy of the mailing list with names and addresses is attached.

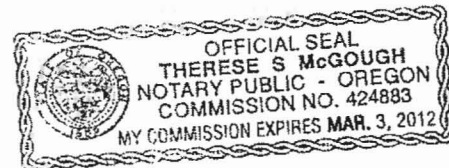
Robert Teters:  Date: 2/26/2010

State of Oregon

County of Clackamas

Signed or attested before me on February 26, 2010
by Therese S. McGough, Notary Public State of Oregon.
My Commission expires: March 3, 2012

Notary: Therese S. McGough



AFFIDAVIT

I, Remo Douglas so hereby solemnly attest that the following statement is true.

Signage for the public notice of the West Linn – Wilsonville School District land use application presentation to the Bolton Neighborhood Association meeting was posted on February 23, 2010. A copy of the sign is attached.

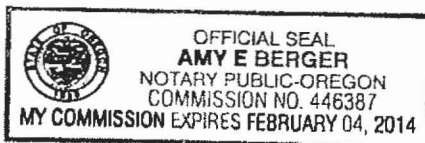
Remo Douglas: *R. D. G.* Date: 3-4-10

State of Oregon

County of Clackamas

Signed or attested before me on March 4, 2010
by Amy E. Berger, Notary Public State of Oregon.
My Commission expires: February 4, 2014

Notary: *Amy Berger*



Amy Berger - Neighborhood association officers for Bolton

From: Bob Teters
To: Amy Berger
Date: 12/21/2009 11:06 AM
Subject: Neighborhood association officers for Bolton
CC: Scott Perala

Amy

There are only 2 officers for the Bolton Neighborhood Association. They are Sally McLary (President) 19575 River Road, #64; Gladstone, OR 97027 and Gordon Bryck (Vice President) 5888 W A Street, West Linn, OR 97068.

Bob

GRAY DANIEL P or current resident
1305 HEATER CT
WEST LINN 97068

STREETER SANDRA J or current
resident
1310 HEATER CT
WEST LINN 97068

ASHCRAFT JONATHAN CO-TRUSTEE or
current resident
1325 HEATER CT
WEST LINN 97068

BANY ALBERT J & CHRISTINE A or
current resident
1340 HEATER CT
WEST LINN 97068

CLARK PETER G & LAURIE W or
current resident
1345 HEATER CT
WEST LINN 97068

ANDERSON LEE C & YIN YING CHEN or
current resident
1350 HEATER CT
WEST LINN 97068

STAAB M ANDREW or current resident
1355 CUSHMAN DR
WEST LINN 97068

JONES ALICE M TRUSTEE or current
resident
1375 CUSHMAN DR
WEST LINN 97068

WRIGHT H JEFFERY & CYNTHIA E or
current resident
1378 CUSHMAN DR
WEST LINN 97068

CROW STEVEN D TRUSTEE or current
resident
1381 BUCK ST
WEST LINN 97068

HARDWICK K ANDREW or current
resident
1385 HEATER CT
WEST LINN 97068

RUTTEN JON & TRACY or current
resident
1395 HEATER CT
WEST LINN 97068

DAVISSON GISELA A or current
resident
1410 BUCK ST
WEST LINN 97068

WANKER WILLIAM W TRUSTEE or
current resident
1415 BUCK ST
WEST LINN 97068

CONLEY DENNIS M or current resident
1420 LEWIS ST
WEST LINN 97068

BLACK REBECCA E or current resident
1448 BUCK ST
WEST LINN 97068

MCGUIRE JANICE C or current resident
1464 BUCK ST
WEST LINN 97068

GUVENIR DWON K & BRIA M or current
resident
1478 BUCK ST
WEST LINN 97068

ZACUR VERLE M TRSTE or current
resident
1481 BUCK ST
WEST LINN 97068

STONEKING SCOTT L or current
resident
1516 BUCK ST
WEST LINN 97068

MEYERS PATRICIA R or current
resident
1535 BUCK ST
WEST LINN 97068

PATTERSON RONALD L & PEGGY J or
current resident
1540 BUCK ST
WEST LINN 97068

STREITBERGER SCOTT D or current
resident
1562 BUCK ST
WEST LINN 97068

STUCKY D MICHAEL & NESJA G or
current resident
1580 BOLTON ST
WEST LINN 97068

PERRINE TERESA or current resident
1583 BOLTON ST
WEST LINN 97068

NAVE KATHLEEN S & THOMAS E or
current resident
1588 BOLTON ST
WEST LINN 97068

FIALA LAUREN or current resident
1592 LEWIS ST
WEST LINN 97068

NAKANO STEVEN M & AMY E or
current resident
1594 BOLTON ST
WEST LINN 97068

PKF-1 LLC or current resident
1595 BOLTON ST
WEST LINN 97068

RODICH LALIT KRISTINA or current
resident
1595 BUCK ST
WEST LINN 97068

LEE DONNIE & CARRIE or current resident 1596 BUCK ST WEST LINN 97068	PANICHELLO JOHNNY S TRUSTEE or current resident 1596 LEWIS ST WEST LINN 97068	DAVISSON CAROL J or current resident 1610 BUCK ST WEST LINN 97068
HERGET JAMES L & ILENE M or current resident 1615 BUCK ST WEST LINN 97068	DAVISSON GISELA A or current resident 1646 BUCK ST WEST LINN 97068	BROOKS KATHERINE J or current resident 1651 BUCK ST WEST LINN 97068
HANSEN SAMANTHA FORD or current resident 1670 BUCK ST WEST LINN 97068	DAVISSON GISELA A or current resident 1690 BUCK ST WEST LINN 97068	CORONA MARCO & STEFANI M or current resident 1691 BUCK ST WEST LINN 97068
LACY PETER M & LISA C or current resident 1712 BUCK ST WEST LINN 97068	TALBERT LARRY K or current resident 1742 BUCK ST WEST LINN 97068	BRADY SUSAN A or current resident 1792 BUCK ST WEST LINN 97068
KIRKENDALL MARGARET A & ROBERT L or current resident 1825 WEBB ST WEST LINN 97068	CARTER RUSSELL E or current resident 1900 WEBB ST WEST LINN 97068	CULLISON BRUCE M & ALICE R or current resident 1915 WEBB ST WEST LINN 97068
MOYER JOHN T or current resident 21530 WILLAMETTE DR WEST LINN 97068	MOYER JOHN T or current resident 21550 WILLAMETTE DR WEST LINN 97068	STONEKING RAYMOND D & GERALDINE or current resident 21605 WILLAMETTE DR WEST LINN 97068
HOLE TRISHA D or current resident 21615 MT HOOD TER WEST LINN 97068	MOCHON MARK F or current resident 21625 MT HOOD TER WEST LINN 97068	HAMPTON GREGORY S & JACQUELINE R or current resident 21635 MT HOOD TER WEST LINN 97068
SCHULD DON LEE & DORIS SHELDON or current resident 21635 WILLAMETTE DR WEST LINN 97068	DIGNAN TODD C & TWYLA M or current resident 21645 MT HOOD TER WEST LINN 97068	SANDERS WENDELL EDWIN TRUSTEE or current resident 21655 WILLAMETTE DR WEST LINN 97068
MENNE TREVOR or current resident 21665 WILLAMETTE DR WEST LINN 97068	STOREY JAQUELINE I or current resident 21685 WILLAMETTE DR WEST LINN 97068	PETERS VERNON A CO-TRUSTEE or current resident 21695 WILLAMETTE DR WEST LINN 97068
NOLAND CARTER & JOAN L or current resident 21715 WILLAMETTE DR WEST LINN 97068	WAGMAN GARY & SO YOUNG or current resident 21730 WILLAMETTE DR WEST LINN 97068	REISCHE DAMON W & JENNIFER or current resident 21735 WILLAMETTE DR WEST LINN 97068

BIERMAN CHARLOTTE or current
resident
21745 WILLAMETTE DR
WEST LINN 97068

COOKE GREGORY S & SUSAN R or
current resident
21765 WILLAMETTE DR
WEST LINN 97068

HILL KATHLEEN A & ALLEN POPPERT
or current resident
21775 WILLAMETTE DR
WEST LINN 97068

HUTCHISON JOHN C or current resident
21790 WILLAMETTE DR
WEST LINN 97068

CLYMAN SHERRY GOLD TRUSTEE or
current resident
21795 WILLAMETTE DR
WEST LINN 97068

VILLASAN LLC or current resident
21810 WILLAMETTE DR
WEST LINN 97068

FEIN LARRY S & KRISTIN E or current
resident
21815 WILLAMETTE DR
WEST LINN 97068

ELLINGTON MARK W & JULIE A or
current resident
5725 ROBERT MOORE ST
WEST LINN 97068

KOVRT BRENT R or current resident
5739 PERRIN ST
WEST LINN 97068

MULLINS WILLIAM H & MARLENE A or
current resident
5740 PERRIN ST
WEST LINN 97068

NOYE STEVEN H or current resident
5741 PERRIN ST
WEST LINN 97068

MOLKENTHIN KENNETH C or current
resident
5741 ROBERT MOORE ST
WEST LINN 97068

BROWN JASMIN A or current resident
5746 PERRIN ST
WEST LINN 97068

HAYWOOD SUZANNE TRUSTEE or
current resident
5750 PERRIN ST
WEST LINN 97068

WILLHITE JEFFREY W or current
resident
5755 PERRIN ST
WEST LINN 97068

SODERQUIST MAE MARIE or current
resident
5770 PERRIN ST
WEST LINN 97068

BEZNER MICHAEL B & RACHEL or
current resident
5775 PERRIN ST
WEST LINN 97068

WAND SUSAN K or current resident
5779 BROADWAY ST
WEST LINN 97068

CARPENTER LIZ or current resident
5782 PERRIN ST
WEST LINN 97068

ALARCON BRENDA D or current
resident
5785 PERRIN ST
WEST LINN 97068

CITY OF WEST LINN or current resident
5785 RIVER ST
WEST LINN 97068

NICHOLSON WESLEY E JR & PAMELA
or current resident
5789 BROADWAY ST
WEST LINN 97068

GILMER TIMOTHY MYLES&PATRICIA
or current resident
5794 ROBERT MOORE ST
WEST LINN 97068

WHISLER LIONETTE C TRUSTEE or
current resident
5795 PERRIN ST
WEST LINN 97068

GRYGIEL KATARZYNA or current
resident
5795 ROBERT MOORE ST
WEST LINN 97068

WEAVER JAMES H & CONSTANCE
BERRY or current resident
5796 ROBERT MOORE ST
WEST LINN 97068

HOME LOAN SERVICES INC or current
resident
5797 PERRIN ST
WEST LINN 97068

SUCEVICH VAUGHN A SR&J or current
resident
5797 ROBERT MOORE ST
WEST LINN 97068

FOULLON ARTHUR C or current
resident
5799 PERRIN ST
WEST LINN 97068

EISELE TRAVIS J or current resident
5807 PERRIN ST
WEST LINN 97068

RUTHERFORD ASHLEY & FELICIA G or current resident 5813 WEST A ST WEST LINN 97068	KAST THOMAS L & VERONIKA V or current resident 5815 WEST A ST WEST LINN 97068	GRAY DANIEL P or current resident 5825 PERRIN ST WEST LINN 97068
BRASEL WILLIAM B & LADORA A or current resident 5831 WEST A ST WEST LINN 97068	MUDDER ROXIE D or current resident 5835 BROADWAY ST WEST LINN 97068	THREEFOOT HENRY MARSHALL & or current resident 5835 PERRIN ST WEST LINN 97068
CHRISTENSEN KATHRYN A or current resident 5835 WEST A ST WEST LINN 97068	COTE DENNIS R & JANET R or current resident 5845 PERRIN ST WEST LINN 97068	SHEPHERD ROGER L & M A or current resident 5845 WEST A ST WEST LINN 97068
HOFFMAN ROBERT L & SALLY A or current resident 5860 WEST A ST WEST LINN 97068	ALFORD MICHAEL W or current resident 5879 PERRIN ST WEST LINN 97068	BRYCK CATHARINE C or current resident 5888 WEST A ST WEST LINN 97068
MITCHELL ROBERT R & NICOLE C or current resident 5889 PERRIN ST WEST LINN 97068	COCHRAN ROY E TRUSTEE or current resident 5891 WEST A ST WEST LINN 97068	ALONSO LUIS R & MARTHA R or current resident 5895 PERRIN ST WEST LINN 97068
CARVER DONALD G & CONNIE L or current resident 5899 WEST A ST WEST LINN 97068	BELLUCHE SHIRLEY or current resident 5900 WEST A ST WEST LINN 97068	PADDON TERRY LEE or current resident 5901 WEST A ST WEST LINN 97068
WENDLING JOSEPH A & MARY E or current resident 5903 WEST A ST WEST LINN 97068	BRAY TRACI C & GREGORY W or current resident 5905 PERRIN ST WEST LINN 97068	MUEHE ROBERT C or current resident 5905 WEST A ST WEST LINN 97068
CHAMBERS MARK J or current resident 5909 WEST A ST WEST LINN 97068	OSBURN DWAYNE HOWARD TRSTEE or current resident 5910 WEST A ST WEST LINN 97068	HEFTY ROBERT A J & J or current resident 5915 PERRIN ST WEST LINN 97068
BAISCH DORIS E or current resident 5940 WEST A ST WEST LINN 97068	STOWERS LOYD A & LILLIAN B or current resident 5955 WEST A ST WEST LINN 97068	LORD JEREMY W or current resident 5965 WEST A ST WEST LINN 97068
PEDERSEN BUELL C & THELMA C or current resident 5970 WEST A ST WEST LINN 97068	DOUGLAS KENNETH D or current resident 5977 WEST A ST WEST LINN 97068	COLLINS ESTHER FAYE or current resident 5980 WEST A ST WEST LINN 97068

SANFORD FREDRICK E CO-TRSTE or current resident 5983 WEST A ST WEST LINN 97068	WARTENA MICHAEL SCOTT or current resident 5986 WEST A ST WEST LINN 97068	HERMENS LAWRENCE C & ELAINE D or current resident 5989 WEST A ST WEST LINN 97068
TOMA BENYAMEN & LINDA RAMZI or current resident 6020 HOLMES ST WEST LINN 97068	VANMOURIK JASON & JENNIFER M or current resident 6021 GEER ST WEST LINN 97068	JOSEY ANNE C or current resident 6024 HOLMES ST WEST LINN 97068
BLAKLEY STEVEN or current resident 6025 WEST A ST WEST LINN 97068	WAINSCOTT JANICE L or current resident 6043 GEER ST WEST LINN 97068	BLAKLEY STEVEN or current resident 6049 WEST A ST WEST LINN 97068
EDWARDS MICHAEL J or current resident 6055 WEST A ST WEST LINN 97068	ALLMEYER LYNN MICHAEL & DEBORAH or current resident 6070 HOLMES ST WEST LINN 97068	BREHIO JOSH BEN & SHELA LANE or current resident 6075 HOLMES ST WEST LINN 97068
PIXTON J THOMAS & KAAREN or current resident 6085 HOLMES ST WEST LINN 97068	FARLEIGH DELL S & LOIS MAE or current resident 6090 HOLMES ST WEST LINN 97068	STONEKING SCOTT L or current resident 6105 HOLMES ST WEST LINN 97068
PIXTON J THOMAS & KAAREN or current resident 6116 HOLMES ST WEST LINN 97068	MACOM THURSTON H & BRITTNAY or current resident 6120 GEER ST WEST LINN 97068	HMF LLC or current resident 6121 GEER ST WEST LINN 97068
LAIRSON KATHLEEN or current resident 6126 IRVING ST WEST LINN 97068	DAVISSON PAUL or current resident 6140 GEER ST WEST LINN 97068	ESSIG WILLIAM R & LAURIE K or current resident 6141 HOLMES ST WEST LINN 97068
KEMP DEBRA LUCILLE or current resident 6144 IRVING ST WEST LINN 97068	EBERHARD JEFFREY D or current resident 6265 GEER ST WEST LINN 97068	GARTNER GERDA or current resident 6270 IRVING ST WEST LINN 97068
MIESEN STEVEN R or current resident 6275 HOLMES ST WEST LINN 97068	RICH CHRISTOPHER A & HEATHER B or current resident 6280 HOLMES ST WEST LINN 97068	NELSON KENT or current resident 6282 HOLMES ST WEST LINN 97068
GUSTAFSON ERNEST CARL & JEANNE M or current resident 6282 IRVING ST WEST LINN 97068	DAVISSON PAUL W & CAROL J or current resident 6285 HOLMES ST WEST LINN 97068	BOLTON NEIGHBORHOOD ASSOCIATION PRESIDENT SALLY MCLARTY 19575 RIVER RD #64 GLADSTONE 97027

BOLTON NEIGHBORHOOD
ASSOCIATION VICE PRESIDENT
GORDON BRYCK
5888 WEST A ST
WEST LINN 97068

BOLTON NEIGHBORHOOD
ASSOCIATION DESIGNEE GORDON
BRYCK
5888 WEST A ST
WEST LINN 97068



West Linn – Wilsonville Schools

PUBLIC NOTICE

THE PUBLIC IS INVITED to attend a Bolton Neighborhood Association meeting to discuss the proposed Library Addition Project at West Linn-Wilsonville School District's Bolton Primary School Site

**March 15, 2010 at 7:00 pm
Bolton Primary School
5933 SW Holmes Street
West Linn, OR 97068**

Property Information:

- LOCATION: Bolton Primary School
- ADDRESS: 5933 SW Holmes Street
West Linn, OR 97068
- DESCRIPTION: Parcel Number 00564543
Assessor's Map 22E30BC02300

Site Improvement Description:

The major elements of this site improvement work include:

- Construction of a new library addition.

This is an informal meeting to discuss the site improvements planned for the Bolton Primary School site. This meeting is in support of a Conditional Use and Class I Design Review application to the city of West Linn. The plan may be modified or altered prior to actual submittal.

For further information, please contact Amy Berger, West Linn-Wilsonville School District 503-673-7195; or visit us on the web at www.bond.wlww.k12.or.us

Notice dated February 22, 2009

Department of Operations

Mail: P.O. Box 35 • West Linn, Oregon 97068 • 503-673-7995 Fax 503-638-9143 • www.wlww.k12.or.us
Location: 2755 SW Borland Road, Tualatin, Oregon 97062

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Bolton Neighborhood
 association Des.
 Gordon Blyck
 0888 West A St -
 West Linn, Or.
 97068

2. Article Number (Copy from service label)

7009 0820 0000 9577 3465

COMPLETE THIS SECTION ON DELIVERY

A. Received by (Please Print Clearly) *Cathy Boyle* B. Date of Delivery *2/25/10*

C. Signature *Cathy Boyle* Agent Addressee

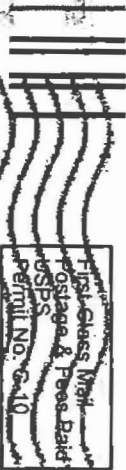
D. Is delivery address different from item 1? Yes No
 If YES, enter delivery address below:

3. Service Type
 Certified Mail Express Mail
 Registered Return Receipt for Merchandise
 Insured Mail C.O.D.

4. Restricted Delivery? (Extra Fee) Yes

UNITED STATES POSTAL SERVICE OR SERVICE

25 FEB 2010 PM 5



• Sender: Please print your name, address, and ZIP+4 in this box •

West Juni Wilsonville School
Dept.

PO Box 35

West June, OR 97148

Attn: Amy D.



SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

*Bolton Neighborhood
Association President
Sally McClarty
19575 River RD #6
Gladstone, OH
97027*

COMPLETE THIS SECTION ON DELIVERY

A. Received by (Please Print Clearly) B. Date of Delivery

Sally J. McClarty 2-26-201

C. Signature

X Sally J. McClarty Agent Addressee

D. Is delivery address different from item 1? Yes

If YES, enter delivery address below: No

3. Service Type

- Certified Mail Express Mail
 Registered Return Receipt for Merchandise
 Insured Mail C.O.D.

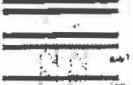
4. Restricted Delivery? (Extra Fee)

 Yes

2. Article Number (Copy from service label)

7009 0820 0000 9577 3472

UNITED STATES POSTAL SERVICE AND OK



First-Class Mail
Postage and Fees Paid
Permit No. 649
Portland, OR

17 FEB 2010 5M 51
17 FEB 2010 5M 51

• Sender: Please print your name, address, and ZIP+4 in this box

West Linn Wilsonville
School Dist.

P.O. Box 35

West Linn, OR

97068

#Amyb-



U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only - No Insurance Coverage Provided)

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 44
Certified Fee	2.80
Return Receipt Fee (Endorsement Required)	2.30
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 5.54

Postmark Here
FEB 23 2010
ATKINS MA

Sent to
Belton Neighborhood Association President
Street, Apt. No.,
or PO Box No. *19575 Kevin RD #64*
City, State, ZIP+4
Atkins MA 01702

7009 0820 0000 9577 3472

Certified Mail Provides:

- A mailing receipt
- A unique identifier for your mailpiece
- A record of delivery kept by the Postal Service for two years

Important Reminders:

- Certified Mail may **ONLY** be combined with First-Class Mail® or Priority Mail®.
- Certified Mail is *not* available for any class of International mail.
- **NO INSURANCE COVERAGE IS PROVIDED** with Certified Mail. For valuables, please consider insured or Registered Mail.
- For an additional fee, a *Return Receipt* may be requested to provide proof of delivery. To obtain Return Receipt service, please complete and attach a Return Receipt (PS Form 3811) to the article and add applicable postage to cover the fee. Endorse mailpiece "Return Receipt Requested". To receive a fee waiver for a duplicate return receipt, a USPS® postmark on your Certified Mail receipt is required.
- For an additional fee, delivery may be restricted to the addressee or addressee's authorized agent. Advise the clerk or mark the mailpiece with the endorsement "*Restricted Delivery*".
- If a postmark on the Certified Mail receipt is desired, please present the article at the post office for postmarking. If a postmark on the Certified Mail receipt is **not** needed, detach and affix label with postage and mail.

IMPORTANT: Save this receipt and present it when making an inquiry.

PS Form 3800, August 2006 (Reverse) PSN 7530-02-000-9047

7009 0820 0000 9577 3465

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 44
Certified Fee	2.82
Return Receipt Fee (Endorsement Required)	2.30
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 5.54



Sent To: Bolton Neighborhood Ass. Dev.
 Street, Apt. No., or PO Box No. 5888 West A St.
 City, State, ZIP+4 West Linn, OR. 97008

PS Form 3800, August 2006

Certified Mail Provides:

- A mailing receipt
- A unique identifier for your mailpiece
- A record of delivery kept by the Postal Service for two years

Important Reminders:

- Certified Mail may **ONLY** be combined with First-Class Mail® or Priority Mail®.
- Certified Mail is **not** available for any class of International mail.
- **NO INSURANCE COVERAGE IS PROVIDED** with Certified Mail. For valuables, please consider Insured or Registered Mail.
- For an additional fee, a *Return Receipt* may be requested to provide proof of delivery. To obtain Return Receipt service, please complete and attach a Return Receipt (PS Form 3811) to the article and add applicable postage to cover the fee. Endorse mailpiece "Return Receipt Requested". To receive a fee waiver for a duplicate return receipt, a USPS® postmark on your Certified Mail receipt is required.
- For an additional fee, delivery may be restricted to the addressee or addressee's authorized agent. Advise the clerk or mark the mailpiece with the endorsement "Restricted Delivery".
- If a postmark on the Certified Mail receipt is desired, please present the article at the post office for postmarking. If a postmark on the Certified Mail receipt is not needed, detach and affix label with postage and mail.

IMPORTANT: Save this receipt and present it when making an inquiry.

PS Form 3800, August 2006 (Reverse) PSN 7530-02-000-9047

Clackamas County School District 3Jt
West Linn-Wilsonville Public Schools
ADMINISTRATION BUILDING
P.O. Box 35
West Linn, Oregon 97068

NMR


MCGUIRE JANICE C or current resident
1464 BUCK ST
WEST LINN 97068



NIXIE 970 DE 1 00 02/28/10

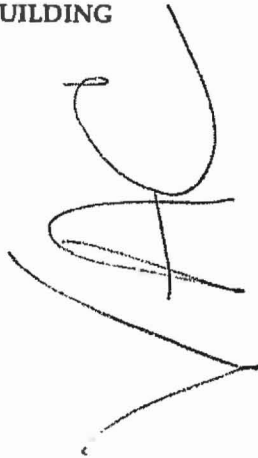
RETURN TO SENDER
NO MAIL RECEPTACLE
UNABLE TO FORWARD

BC: 97068003535 *0229-00335-23-38

97068003535



Clackamas County School District 3Jt
West Linn-Wilsonville Public Schools
ADMINISTRATION BUILDING
P.O. Box 35
West Linn, Oregon 97068

WAC


ESSIG WILLIAM R & LAURIE K or
current resident
6141 HOLMES ST
WEST LINN 97068



NIXIE 970 DE 1 00 02/28/10

RETURN TO SENDER
VACANT
UNABLE TO FORWARD

BC: 97068003535 *0229-00338-23-38

97068003535



Clackamas County School District 3Jt
West Linn-Wilsonville Public Schools
ADMINISTRATION BUILDING
P.O. Box 35
West Linn, Oregon 97068

VAC

FEDERSEN BUELL C & THELMA C or
current resident
5970 WEST A ST
WEST LINN 97068



NIXIE 970 DE 1 00 02/28/10

RETURN TO SENDER
VACANT
UNABLE TO FORWARD

BC: 97068003533 *0229-00387-23-38

97068003533 97068003533



Clackamas County School District 3Jt
West Linn-Wilsonville Public Schools
ADMINISTRATION BUILDING
P.O. Box 35
West Linn, Oregon 97068

STC

STAAB M ANDREW or current resident
1355 CUSHMAN DR
WEST LINN 97068



UNANVED

NIXIE 970 DE 1 00 03/04/10

RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

BC: 97068003533 *0229-00214-23-38

97068003533 97068003533



Clackamas County School District 3Jt
West Linn-Wilsonville Public Schools
ADMINISTRATION BUILDING
P.O. Box 35
West Linn, Oregon 97068

VAC

WANKER WILLIAM W TRUSTEE or
current resident
1415 BUCK ST
WEST LINN 97068



NIXIE 970 DE 1 00 02/26/10

RETURN TO SENDER
VACANT
UNABLE TO FORWARD

BC: 97068003535 *0229-00363-23-98

97068003535



Clackamas County School District 3Jt
West Linn-Wilsonville Public Schools
ADMINISTRATION BUILDING
P.O. Box 35
West Linn, Oregon 97068

VAC

ASHCRAFT JONATHAN CO-TRUSTEE or
current resident
1325 HEATER CT
WEST LINN 97068



NIXIE 970 DE 1 00 02/26/10

RETURN TO SENDER
VACANT
UNABLE TO FORWARD

BC: 97068003535 *0229-00210-23-98

97068003535



Clackamas County School District 3Jt
West Linn-Wilsonville Public Schools
ADMINISTRATION BUILDING
P.O. Box 35
West Linn, Oregon 97068

CTK

THREEFOOT HENRY MARSHALL & or
current resident
5835 PERRIN ST
WEST LINN 97068



NIXIE 970 DE 1 00 03/04/10

RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

BC: 97068003535 *0229-00403-23-38

97068003535 0002
97068003535



Clackamas County School District 3Jt
West Linn-Wilsonville Public Schools
ADMINISTRATION BUILDING
P.O. Box 35
West Linn, Oregon 97068

NSW

CULLISON BRUCE M & ALICE R or
current resident
1915 WEBB ST
WEST LINN 97068



NIXIE 970 DE 1 00 02/25/10

RETURN TO SENDER
NO SUCH NUMBER
UNABLE TO FORWARD

BC: 97068003535 *0229-00375-23-38

97068003535 0003
97068003535



Clackamas County School District 3Jt
West Linn-Wilsonville Public Schools
ADMINISTRATION BUILDING
P.O. Box 35
West Linn, Oregon 97068

WAL

LORD JEREMY W or current resident
5965 WEST A ST
WEST LINN 97068



02 1A \$ 00.440
0004332646 FEB 23 2010
MAILED FROM ZIP CODE 97068

9706833917 0011
9706800035

NIXIE 970 DE 1 00 02/26/10
RETURN TO SENDER
VACANT
UNABLE TO FORWARD

BC: 970680003593 *0229-00386-23-38



BOLTON NEIGHBORHOOD ASSOCIATION March 15, 2010 Minutes

The meeting was called to order at 7 PM in the Bolton Primary School Cafeteria.

Bolton Principal, Holly Omlin-Rubeck updated us on the progress of the school's new garden project planned to provide fresh produce for West Linn's Food Bank as well as instruction for the students. She also invited us to stop by and check it out!

Our District 2 Metro Councilor, Carlotta Collette came to speak to us about Metros People places. Open spaces.. She brought copies of the 9/15/09 report and the urban/rural reserves map dated 2/25/2010. Our request was for a discussion of the urban designation of the Stafford Triangle.

There was concern that West Linn's infrastructure improvements or upgrading not enable a push into the Triangle. The single qualification for rural designation seems to be soil quality--which they have determined to be minimum in this area. Providing infrastructure to the triangle because of terrain is thought to be a deterrant to high density development.

Wildlife disturbance and displacement was also a concern, projected population projections were questioned. Metro land purchases to preserve habitat were discussed. Presently way over ten thousand acres of vacant or underutilized employment land is inside the present Urban Growth Boundary. This is Metro's priority. It was pointed out that there is a great pool of residential real estate for sale in all 3 counties. Metro is trying to work with developers presently to use these available areas.

Representatives from the School District returned for a second appearance as during the planning process the city's "notification rules" changed and an additional Neighborhood Association designee was required to receive a registered notification. Our designee is Vice-president Gordon Bryck.

The presentation of the Bolton School addition for a new library was by visuals, floor plans and sketches as well as explanations of this first phase of the projects. Other future plans for repurposing other areas

of the buildings were shared. The library addition will connect the two existing buildings. Funding is in place from the last bond measure. This information provided us with the detailed plans for "our school". Time line: construction begins end of Summer 2010--completion Fall 2011. No objections were voiced.

Upcoming events were discussed: Lockfest and Take Care of W.L. Day, May 15, Concerts in Hammerle Park: June 30 and July 21 and Concert at the W.L Fair July 17. Celebrate Bolton Day July 31 (Garden Club Plant Sale April 24 at Hammerle Park)

Submitted by Sally McLarty

Pres. Bolton N.A.

23 people signed in

NEXT MEETING : April 19, 2010

Galton Neighborhood Association
 March 15, 2010

23

Name	Address	E-Mail	Phone
Betty Johnson	5910 Sabet G St		656-4046
Judy McCarthy	19575 River Rd #64 97027		722-2137
Robert [unclear]	19775 SW 56th CE, Traktin 97062		724-0883
[unclear]	907 SW Stark St. PORTLAND OR 97205	KARINAR@DONA.COM	226-6950
Mary Jew	2380 DILLON		387-3365
Angela R. Dreher	5767 Terrace Dr.		656-2491
Hoddy M. Peim			503 387-3365
Eileen Willia	5714 Terrace Dr	eileenwilliams77@comcast.net	650-0720
Carlotta Collette	600 NE Grand Ave	carlotta.collette@coragon.com	503 797-1887
MIKE BOND-WILD	22825 WILLAMETTE DR. W/L	mboyd@westlinn.oregon.gov	503-655-6214
ROGER SHERMAN	5815 WEST A ST		557-8905
Maria Coarenstrom			
Ther Napurr	DONA (Architect)	threanadona.com	503-226-6950
ROBERT MCCARTHY	1535 BURNS STREET	R MCCARTHY@ MCCARTHYCONSULTANTS.COM	503-557-0941
Hannah Benkowitz	1519 Holly St.	hannahleah@yahoo.com If don't click it off our com	503-655-0689 TI : a better way to

Name	Address	E-Mail	Phone
Dell Farleigh	6090 Holmes St		503 656-6662
Lois Farleigh	6090 Holmes St Westbing on		503-656-6662
CONSTANCE WENKUC	5796 Robert Mook SA.	WENKUC5796@hotmail.com	503 655-7884
Kathryn Jernstedt	6540 Lowry Drive		503 457-8237
Kathy Leirson	6126 Irving SA	Kal132@Comcast.net	503-657-0550
STEVE MIESEN	6275 HOLMES ST	SMIESEN@HOTMAIL.COM	722-9581
Gordon Bryce	5088 West A Street	gbryc1@earthlink.net	503 722-3869
Alma Coston	5798 Hood	billmalma@comcast.net	503-656-3546
Holly Omlin-Ruback	Bolton Principal Sm		

*** WANT TO BE ON THE MAILING LIST:
CHECK HERE**

Robinwood Neighborhood Association Sign-in Sheet Page 1 Date 03.09.10

First	Last	Phone	Email	Street
THOMAS	BOES	503.699.6112	presidentRNA@gmail.com	UPPER MIDHILL
MARIA	CONKLE	503 636-0181	lconkle@man.com	KENTHORPE WAY
LEO	CONKLE	503 636-0181	lconkle@man.com	KENTHORPE WAY
MARY GRACE	McDEERMOTT	" 636-2051		Walling Cir
Curt Sommer	Sommer	503 655 2682	concast.net curt.sommer@	Lower Midhill
Jennifer	Harwood			
Mark	Mutschler	503 655 0519	mutschler2@comcast.net	Mapleton Dr.
Bob	Stowell	636-3975		2106 MARIACR
LORIE	GRIFFIN	699 0050	TOMLORIE@comcast.net	4068 Kenthorpe W
KAREN	HEMCK			
Karen Molin		503-305-6138	Kmolina1@yahoo.com	
Nancy & Marshall Kiss	Kiss	503-998-4491	Marshall@MarshallKiss.net Nancy@NancyKissSearch.com	Vixen
Robert	Hayes	503-699-7800		Cedar Oak
Tony	BRACCO	503-575-1773		Robinwood Way

PLEASE CHECK IF YOU WANT TO BE ON THE RNT EMAIL LIST

Robinwood Neighborhood Association Sign-in Sheet Page 2 Date 03.09.10

First	Last	Phone	Email	Street
MARIE	HORVATH	636-2025	-	Penna Vista Dr
JIM	O'ROURKE	636-4400		Barnhill
ESTHER	MONICAL	635-3312		Nixon
MICHAEL	I.	I.		"
BARBARA	FRANZ	635-0830	FranzRob@hotmail.com	
MICHELLE	WOODARD	636-1921		Rantherpe
LISA	CLIFFEN	675-1108	lisawelcliffen@gmail.com	Ridgewood
DORE	KINGSBOROUGH			Airway
CAROLYN	MILLER		miller@wlv.k12.or.us	
MARK	MUTSCHLER	503-655-0519	mutschler2@comcast.net	Mapleton Dr.
THOMAS	WOODLEY	503-572-5444	woodleyt@wlv.k12.or.us	School District
MARGALYN	RIVERS	647-0735	margalynrivers@gmail.com	SKYE PKWY
THEO	WALBYRN	503-226-6760	theo@wld.com	Dull Olson Weir's Architects
KARINA	VUIZ	503-226-6760	Karinarivadon.com	Dull Olson Weir's Architects
LIBBY	BANG	503-222-0146	libby@bang-damyanivn.com	Parkland

Bolton Primary School – Exterior Colors/Materials



New brick to match existing brick (shown above)



Metal panel, Trim color

BOLTON PRIMARY SCHOOL ADDITION/REMODEL

West Linn Wilsonville School District
22210 SW Stafford Rd, Tualatin, Oregon, 97062

owner
West Linn Wilsonville School District
22210 SW Stafford Rd
Tualatin, Oregon, 97062
t: (503) 673-7042 f: (503) 673-7044

architect
Duff Olson Weekes Architects Inc.
907 SW Stark Street
Portland, Oregon 97205
t: (503) 228 6950 f: (503) 273 9192

civil engineer
Winzer Kelley
15575 SW Sequoia Parkway
Suite 140
Portland, Oregon, 97224
t: (503) 226 3821 f: (503) 226 3826

landscape architect
Walker Macy Landscape Architects
111 SW Oak St.
Suite 200
Portland, Oregon, 97204
t: (503) 228 3122 f: (503) 273 8878

CONTENTS

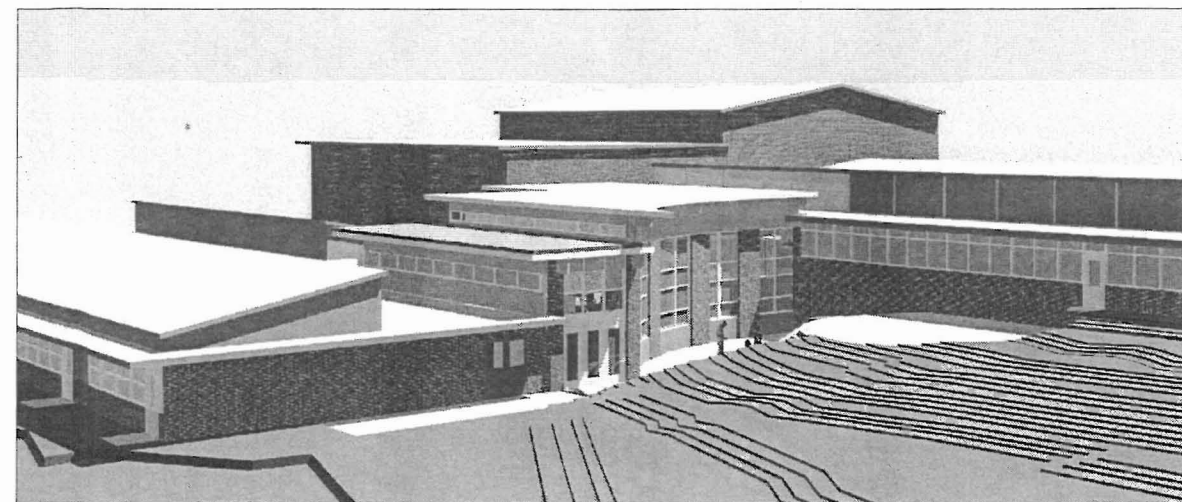
civil	landscape	architectural
C101 Utility Plan	L1.01 Landscape Plan	A1.00 Existing Site Plan
C102 Civil Details		A2.01 Lower Level Existing and Proposed Floor Plan
		A2.02 Upper Level Existing and Proposed Floor Plan
		A3.01 Existing & Proposed Exterior Elevations

Site Information

Project Address 5933 SW Holmes Street, West Linn, OR 97068
Site Area 3.33 acres
Parcel # 00564543
Map # (TLNO) 22E 308C 02300
Zoning R-10
Urban Growth Area West Linn

Project Scope of Work

- Interior remodel and a 2,504 sq building addition;
- Replacement of windows at Southwest classrooms;
- Addition of windows at existing platform;
- New landscaping.

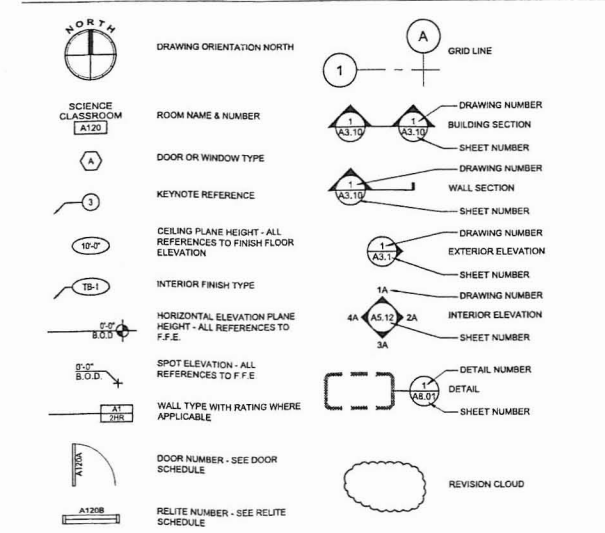


Proposed Library

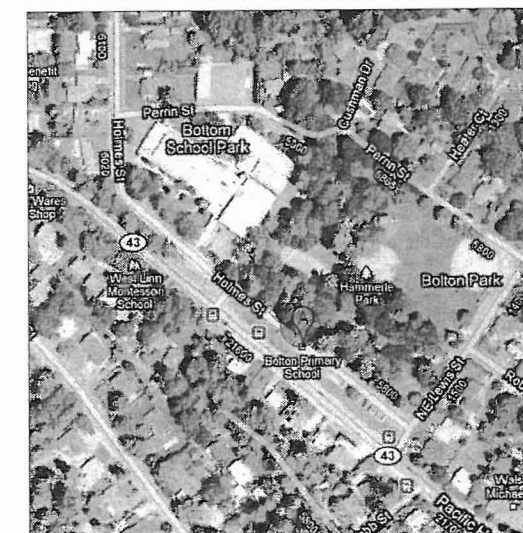
ARCHITECTURAL ABBREVIATIONS

L ANGLE	EA EACH	GA GAUGE	NA NOT APPLICABLE	T TEMPERED GLAZING
AB AND	EF EXHAUST FAN	GALV GALVANIZED	NC NOT IN CONTRACT	TC TOP OF CURB
ACT ACUSTICAL CEILING TILE	EJ EXPANSION JOINT	GB GRAB BAR	NOM NOMINAL	TEL TELEPHONE
ADD ADDITION	EL ELEVATION	GC GENERAL CONTRACTOR	NS NELSON STUD	T&G TONGUE AND GROOVE
A.F.F. ABOVE FINISH FLOOR	ELEC ELECTRICAL	GL GLASS	NTS NOT TO SCALE	THK THICK
ALS AREA LIGHT STANDARD	E.O.S. EDGE OF SLAB	GND GROUND	OC OVERALL	TJ TOOL JOINT
ALUM ALUMINUM	ENGR ENGINEER	GYP GYPSUM VENEER PLASTER	OC ON CENTER	TP TOP OF PAVEMENT
ANOD ANODIZED	EP ELECTRICAL PANEL	GWB GYPSUM WALL BOARD	O.D. OVERFLOW DRAIN	TYP TYPICAL
BC BOTTOM OF CURB	EQ EQUAL	HB HOSE BIB	ODD OVERFLOW DRAIN	TOD TOP OF (MATERIAL)
BD BOARD	EQUIP EQUIPMENT	HC HANDICAP	ODD OUTSIDE DIAMETER	
BLDG BUILDING	ES EACH SIDE	HWDR HARDWARE	OPNG OPENING	UNFIN UNFINISHED
BLK/BG BLOCKING	EXST EXISTING	HM HOLLOW METAL	OPP OPPOSITE	UNO UNLESS NOTED OTHERWISE
B.M. BENCH MARK	(E) EXISTING	HW HOT WATER	OS OUTSIDE	VB VAPOR BARRIER
BM BEAM	EXP EXPANSION	HVAC HEATING, VENTILATION AND AIR CONDITIONING	PP PPOURED IN PLACE	VERT VERTICAL
BOT BOTTOM	EXT EXTERIOR		PL PLASTER	VEST VESTIBULE
BTU BRITISH THERMAL UNIT	FA FIRE ALARM		PLAS PLYWOOD	VFY VERIFY
BTWN BETWEEN	FBO FURNISHED BY OTHERS	INSUL INTERIOR	PSF PER SQUARE FOOT	W/ WITH
COR C CHANNEL	FD FLOOR DRAIN	JAN JANITOR	PT PRESSURE TREATED	WC WATER CLOSET
CB CATCH BASIN	FO FOUNDATION	JT JOINT	PMT PAVEMENT	WO WOOD
CCTV CLOSED CIRCUIT TV	FE FIRE EXTINGUISHER	JST JOIST	R RADIUS	WF WIDE FLANGE
CG CORNER GUARD	FF FINISH FLOOR	L LENGTH	R.D. ROOF DRAIN	WG WIRE GLASS
CLG CEILING	FIN FINISH	LAV LAVATORY	REFR REFRIGERATOR	WH WATER HEATER
CLR CLEAR	FL FLOOR	LBR LOCKER	REQD REQUIRED	WIO WITHOUT
CJ CONTROL JOINT	FOC FACE OF CONCRETE	LS LANDSCAPING	REV REVISE OR REVISION	WP WATERPROOFING
CMU CONCRETE MASONRY UNIT	FOF FACE OF FINISH	LVR LOUVER	RM ROOM	WT WEIGHT
CONT CONTINUOUS	FOM FACE OF MASONRY	MAT MATERIAL	RCP REFLECTED CEILING PLAN	
CDRR CORRIDOR	FOS FACE OF STUD	MAX MAXIMUM	SC SOLID CORE	
CSJ CONSTRUCTION JOINT	FOIC FURNISHED BY OWNER INSTALLED	MED MEDIUM	SECT SECTION	
CSMT CASEMENT	FOIC BY CONTRACTOR	MECH MECHANICAL	SECT SQUARE FOOT	
CT CERAMIC TILE	FOIC BY OWNER INSTALLED	MEZZ MEZZANINE	SHG SHGATING	
CTR CENTERLINE	FRT FIRE RETARDANT TREATED	MH MANHOLE	SHWR SHOWER	
DBL DOUBLE	FUR FURRING	MIR MIRROR	SHW SHEET	
DTL DETAIL		MISC MISCELLANEOUS	SM SIMILAR	
DF DRINKING FOUNTAIN		MTD MOUNTED	SJ SEISMIC JOINT	
DIA DIAMETER		MTL METAL	SM SHEET METAL	
DIAG DIAGONAL			SQ SQUARE	
DM DIMENSION			SS STAINLESS STEEL	
DISP DISPENSER			STD STANDARD	
DN DOWN			STL STEEL	
DP DAMPROOFING			STR STRUCTURAL	
DR DR DOOR			SUSP SUSPENDED	
DS DOWN SPOUT				
DT DRAIN TILE				
DWG DRAWING				

ARCHITECTURAL SYMBOLS

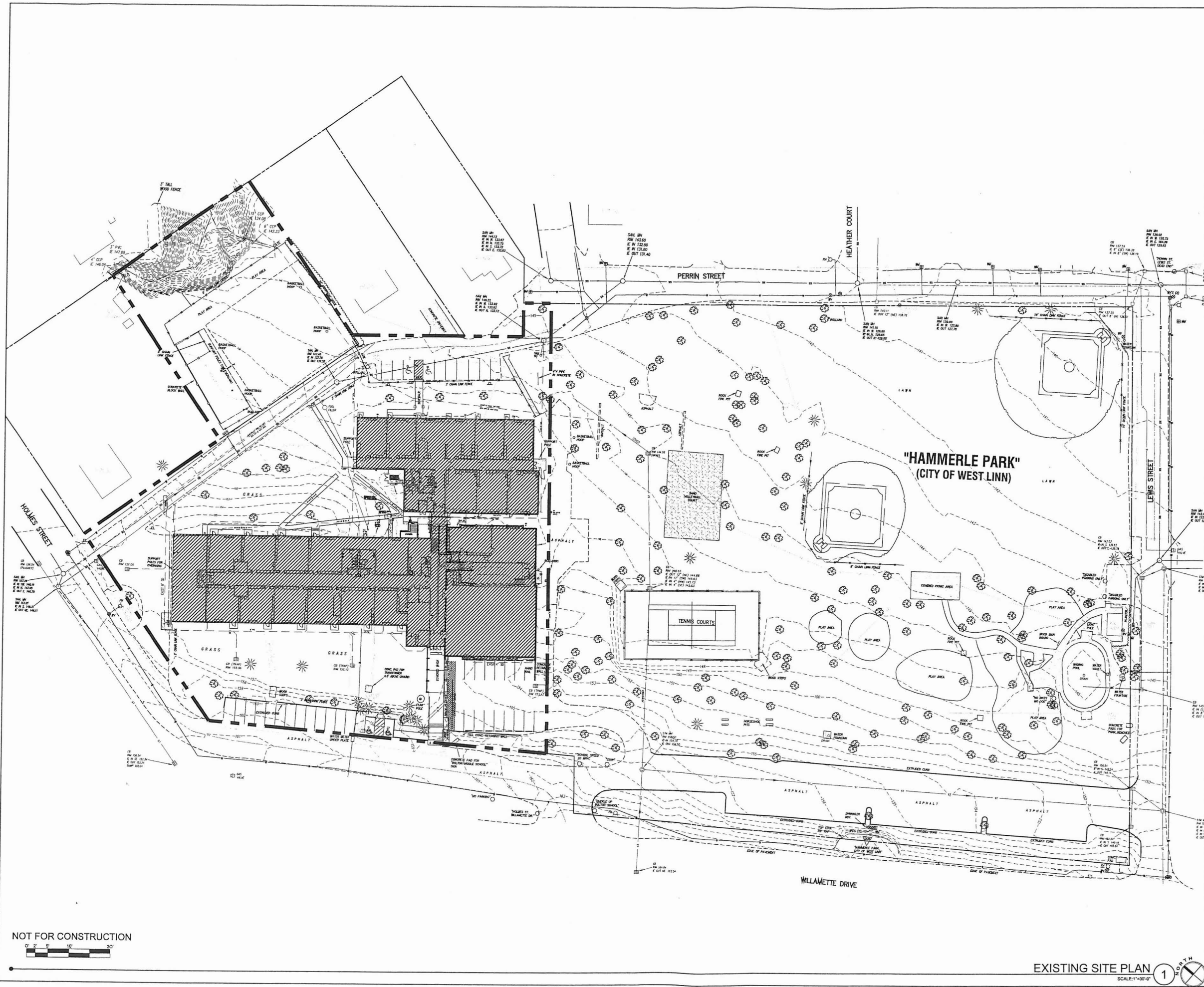


VICINITY MAP



BOLTON PRIMARY SCHOOL ADDITION/REMODEL
CONDITIONAL USE/ CLASS I DESIGN REVIEW APPLICATION
march 16, 2010 project # 09002

CONDITIONAL USE/ CLASS I DESIGN REVIEW



ARCHITECTURE • INTERIORS • PLANNING

DULL OLSON WEEKES
architects inc.

300 SW STARK STREET - PORTLAND, OREGON 97204
t. 503.234.8300 f. 503.237.3172 www.dowa.com

BOLTON PRIMARY SCHOOL REMODEL/ADDITION

West Linn-Wilsonville School District #3JT

2210 SW STAFFORD RD, TUALATIN, OR 97062
t. (503) 673 7042

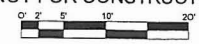
phase	Conditional Use/ Class I Design Rev.
date	03/16/10
revisions	

project # | 09002

existing
site plan

A1.00

NOT FOR CONSTRUCTION



EXISTING SITE PLAN 1

SCALE: 1"=30'-0"



BOLTON PRIMARY SCHOOL ADDITION/REMODEL

West Linn Wilsonville School District
22210 SW Stafford Rd, Tualatin, Oregon, 97062

owner
West Linn Wilsonville School District
22210 SW Stafford Rd
Tualatin, Oregon, 97062
t: (503) 673-7042 f: (503) 673-7044

architect
Dull Olson Weekes Architects Inc.
907 SW Stark Street
Portland, Oregon 97205
t: (503) 226 6950 f: (503) 273 9192

civil engineer
Winzler Kelley
15575 SW Sequoia Parkway
Suite 140
Portland, Oregon, 97224
t: (503) 226 3921 f: (503) 226 3926

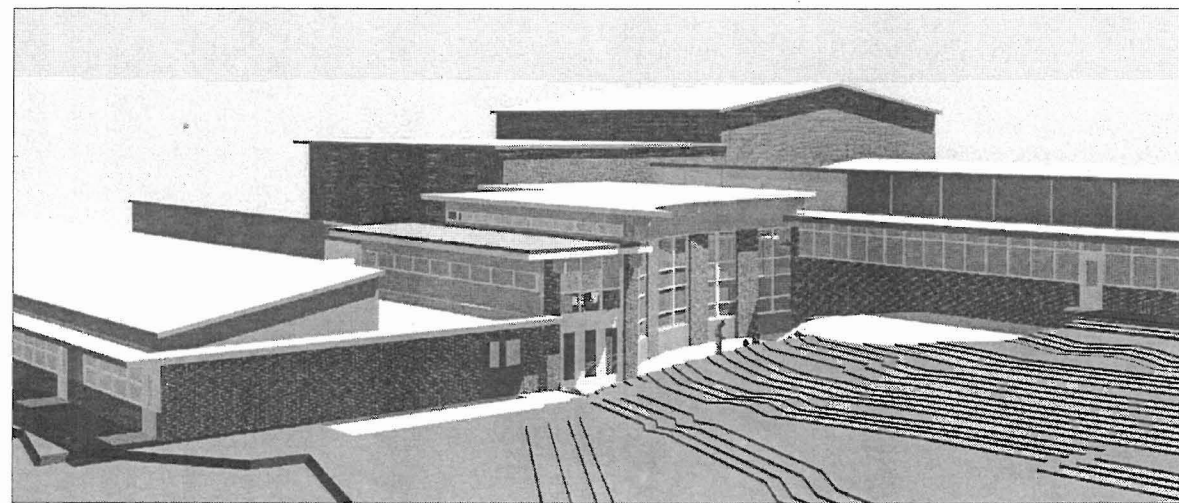
landscape architect
Walker Macy Landscape Architects
111 SW Oak St.
Suite 200
Portland, Oregon, 97204
t: (503) 228 9122 f: (503) 273 8878

CONTENTS

civil	landscape	architectural	Site Information
C101 Utility Plan	L1.01 Landscape Plan	A1.00 Existing Site Plan	Project Address 5933 SW Holmes Street, West Linn, OR 97068
C102 Civil Details		A2.01 Lower Level Existing and Proposed Floor Plan	Site Area 3.33 acres
		A2.02 Upper Level Existing and Proposed Floor Plan	Parcel # 00564543
		A3.01 Existing & Proposed Exterior Elevations	Map # (TLNO) 22E 30BC 02300
			Zoning R-10
			Urban Growth Area West Linn

Project Scope of Work

- Interior remodel and a 2,504 sf building addition;
- Replacement of windows at Southwest classrooms;
- Addition of windows at existing platform;
- New landscaping.



Proposed Library

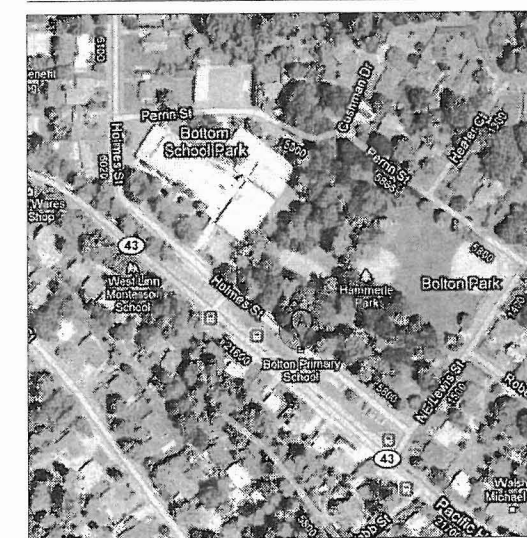
ARCHITECTURAL ABBREVIATIONS

L ANGLE	EA EACH	GA GAUGE	NA NOT APPLICABLE	T TEMPERED GLAZING
AB ANCHOR BOLT	EF EXHAUST FAN	GALV GALVANIZED	NC NOT IN CONTRACT	TC TOP OF CURB
ACT ACoustical CEILING TILE	EJ EXPANSION JOINT	GB GRAB BAR	NOM NOMINAL	TEL TELEPHONE
ADD ADDRESSUM	EL ELEVATION	GC GENERAL CONTRACTOR	NS NELSON STUD	T&G TONGUE AND GROOVE
A.F.F. ABOVE FINISH FLOOR	ELEC ELECTRICAL	GL GLASS	NTS NOT TO SCALE	THK THICK
ALS AREA LIGHT STANDARD	E.O.S. EDGE OF SLAB	GND GROUND	OC OVERALL	TJ TOOL JOINT
ALUM ALUMINUM	ENGR ENGINEER	GYP GYPSUM VENEER PLASTER	OA ON CENTER	TP TOP OF PAVEMENT
ANOD ANODIZED	EP ELECTRICAL PANEL	GWB GYPSUM WALL BOARD	OD OVERFLOW DRAIN	TYP TYPICAL
BC BOTTOM OF CURB	EQ EQUIPMENT	HB HOSE BIB	OD OUTSIDE DIAMETER	TOD TOP OF (MATERIAL)
BD BOARD	ES EACH SIDE	HC HANDICAP	OPNG OPENING	
BLDG BUILDING	EW EACH WAY	HDWR HARDWARE	OPP OPPOSITE	
BLKG BLOCKING	EXST EXISTING	HM HOLLOW METAL	OS OUTSIDE	
B.M. BENCH MARK	(E) EXISTING	HW HOT WATER	OS OUTSIDE	
BM BEAM	EXP EXPANSION	HVAC HEATING, VENTILATION AND AIR CONDITIONING	PIP POURED IN PLACE	
BOT BOTTOM	EXT EXTERIOR		PL PLASTER	
BTU BRITISH THERMAL UNIT	FA FIRE ALARM	INSUL INSULATION	PLAS PLYWOOD	
BTWN BETWEEN	FBO FURNISHED BY OTHERS	INT INTERIOR	PSF PER SQUARE FOOT	
COR C CHANNEL	FD FLOOR DRAIN	JAN JANITOR	PT PRESSURE TREATED	
CB CATCH BASIN	FE FIRE EXTINGUISHER	JT JOINT	PVMT PAVEMENT	
CCTV CLOSED CIRCUIT TV	FEC FIRE EXTINGUISHER CABINET	JST JOIST		
CG CORNER GUARD	FF FINISH FLOOR	L LENGTH	R RADIUS	
CLG CEILING	FF FINISH FLOOR ELEVATION	LAV LAVATORY	R.D. ROOF DRAIN	
CLR CLEAR	FIN FINISH	LAV LAVATORY	REF REFERENCE	
CJ CONTROL JOINT	FL FLOOR	LAG LAG BOLT	REFR REFRIGERATOR	
CMU CONCRETE MASONRY UNIT	FO FACE OF	LKR LOCKER	REQD REQUIRED	
CONT CONTINUOUS	FOC FACE OF CONCRETE	LS LANDSCAPING	REV REVISE OR REVISION	
CORR CORRIDOR	FOF FACE OF FINISH	LVR LOUVER	RM ROOM	
CSJ CONSTRUCTION JOINT	FOM FACE OF MASONRY	MATL MATERIAL	RO ROUGH OPENING	
CSMT CASSEMENT	FOS FACE OF STUD	MAX MAXIMUM	RC REFLECTED CEILING PLAN	
CT CERAMIC TILE	FOW FURNISHED BY OWNER INSTALLED	MECH MECHANICAL	SC SOLID CORE	
CTR CENTER	FOW FURNISHED BY OWNER INSTALLED	MED MEDIUM	SECT SECTION	
C CENTERLINE	FOO FURNISHED BY OWNER	MEZ MEZZANINE	SFF SQUARE FOOT	
	FRT FIRE RETARDANT TREATED	MFR MANUFACTURER	SHT SHEET	
	FTG FOOTING	MH MANHOLE	SHTS SHOWER	
	FURR FURRING	MIN MINIMUM	SHT SHEET	
		MIR MIRROR	SM SIMILAR	
		MISC MISCELLANEOUS	SJ SEISMIC JOINT	
		MTD MOUNTED	SM SHEET METAL	
		MTL METAL	SS STAINLESS STEEL	
			STD STANDARD	
			STL STEEL	
			STOR STORAGE	
			STRUCT STRUCTURAL	
			SUSP SUSPENDED	

ARCHITECTURAL SYMBOLS

	DRAWING ORIENTATION NORTH		GRID LINE
	ROOM NAME & NUMBER		DRAWING NUMBER
	DOOR OR WINDOW TYPE		BUILDING SECTION
	KEYNOTE REFERENCE		DRAWING NUMBER
	CEILING PLANE HEIGHT - ALL REFERENCES TO FINISH FLOOR ELEVATION		DRAWING NUMBER
	INTERIOR FINISH TYPE		DRAWING NUMBER
	HORIZONTAL ELEVATION PLANE HEIGHT - ALL REFERENCES TO F.F.E.		DRAWING NUMBER
	SPOT ELEVATION - ALL REFERENCES TO F.F.E.		DRAWING NUMBER
	WALL TYPE WITH RATING WHERE APPLICABLE		DRAWING NUMBER
	DOOR NUMBER - SEE DOOR SCHEDULE		DETAIL NUMBER
	RELITE NUMBER - SEE RELITE SCHEDULE		DETAIL NUMBER
	REVISION CLOUD		

VICINITY MAP



CONDITIONAL USE/ CLASS I DESIGN REVIEW

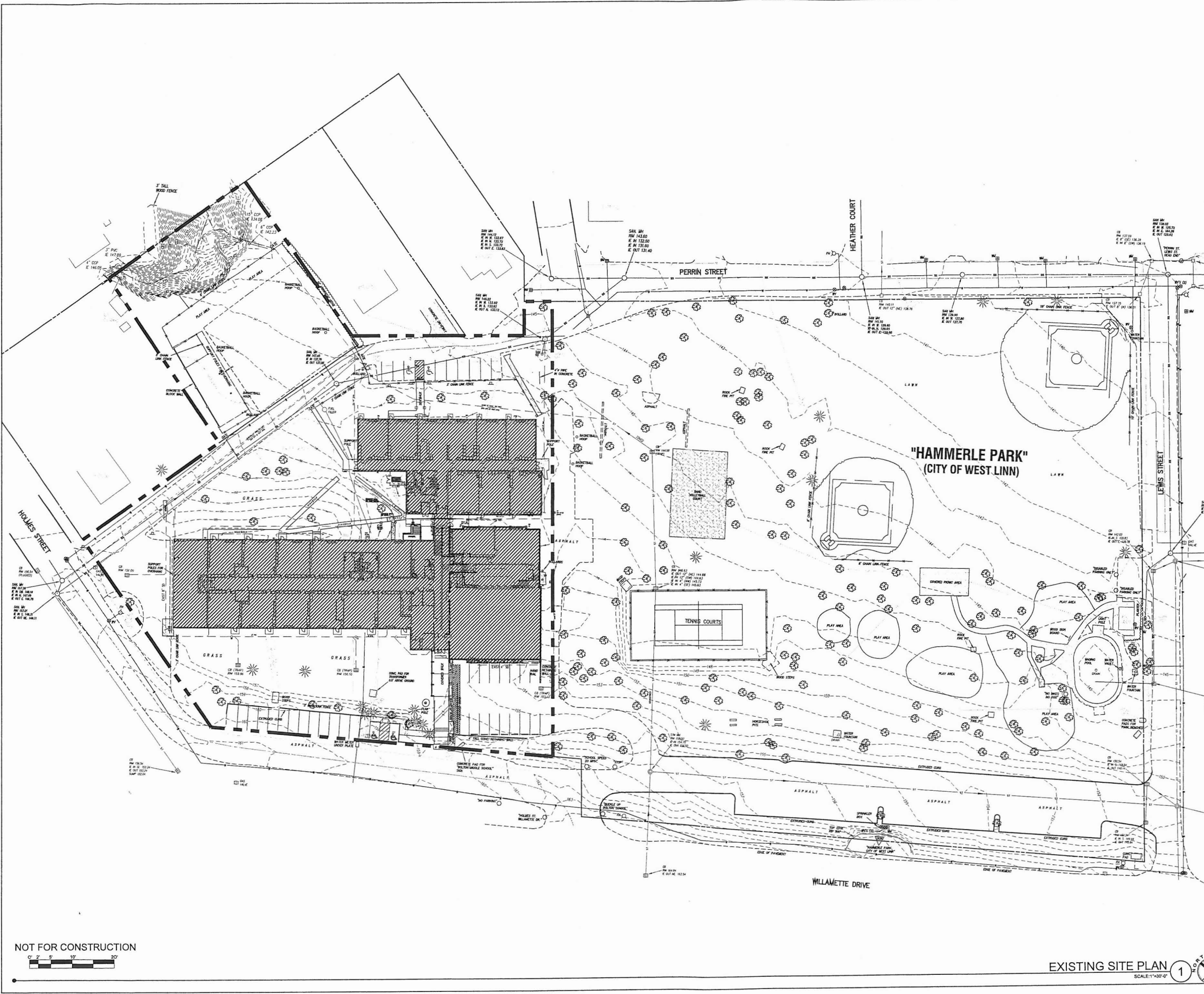
BOLTON PRIMARY SCHOOL ADDITION/REMODEL
CONDITIONAL USE/ CLASS I DESIGN REVIEW APPLICATION
march 16, 2010 project # 09002



ARCHITECTURE • INTERIORS • PLANNING

DULL OLSON WEEKES
ARCHITECTS INC.

805 NW STARK STREET, PORTLAND, OREGON 97208
P: 503 228 8852 / 503 233 3193 / www.dow.com



BOLTON PRIMARY SCHOOL REMODEL/ADDITION

West Linn-Wilsonville School District #3JT
2210 SW STAFFORD RD, TUALATIN, OR 97062
t: (503) 673 7042

phase	Conditional Use/ Class I Design Rev.
date	03/16/10
revisions	
project #	09002

existing
site plan




A1.00

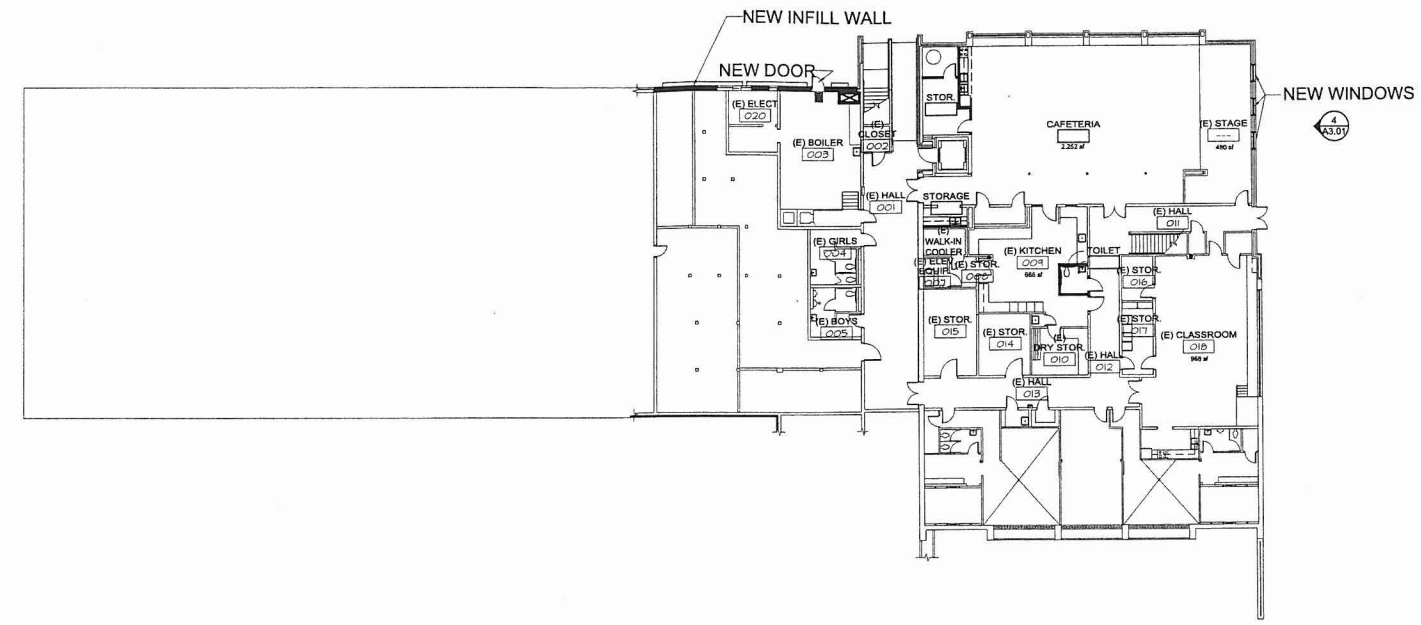
NOT FOR CONSTRUCTION

EXISTING SITE PLAN 1

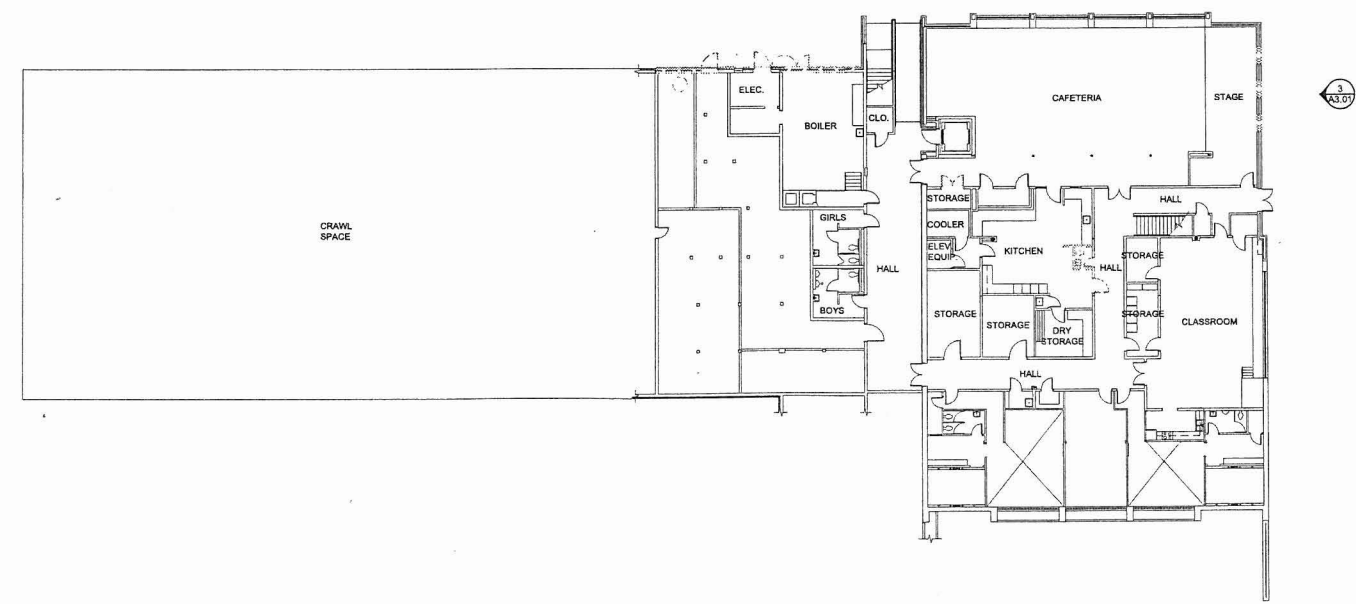
SCALE: 1"=30'-0"

LEGEND:

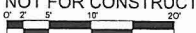
-  NEW WALL
-  EXISTING WALL
-  WALL TO BE REMOVED



PROPOSED LOWER LEVEL FLOOR PLAN 2
SCALE: 1/16"=1'-0" 



EXISTING LOWER LEVEL FLOOR PLAN 1
SCALE: 1/16"=1'-0" 

NOT FOR CONSTRUCTION




ARCHITECTURE • INTERIORS • PLANNING

DULL OLSON WEEKES
architects inc.

840 SW STARK STREET - PORTLAND, OREGON 97205
P. 503 228 8800 / 503 273 9192 www.dowa.com

BOLTON PRIMARY SCHOOL REMODEL/ADDITION

West Linn-Wilsonville School District #3JT

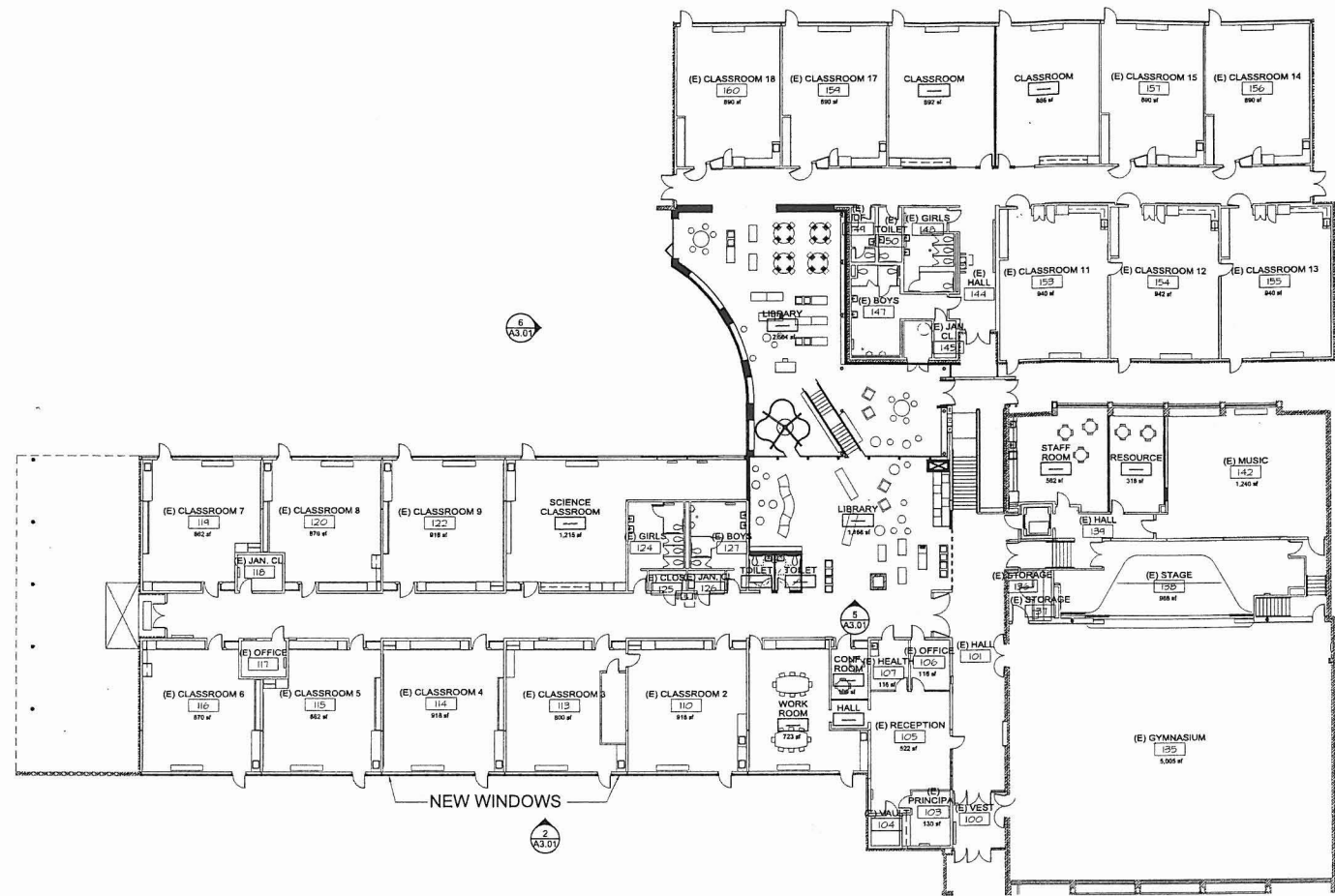
2210 SW STAFFORD RD, TUALATIN, OR 97062
t: (503) 673 7042

phase	Conditional Use/
	Class I Design Rev.
date	03/16/10
revisions	

project # | 09002

lower level existing
and proposed floor plans

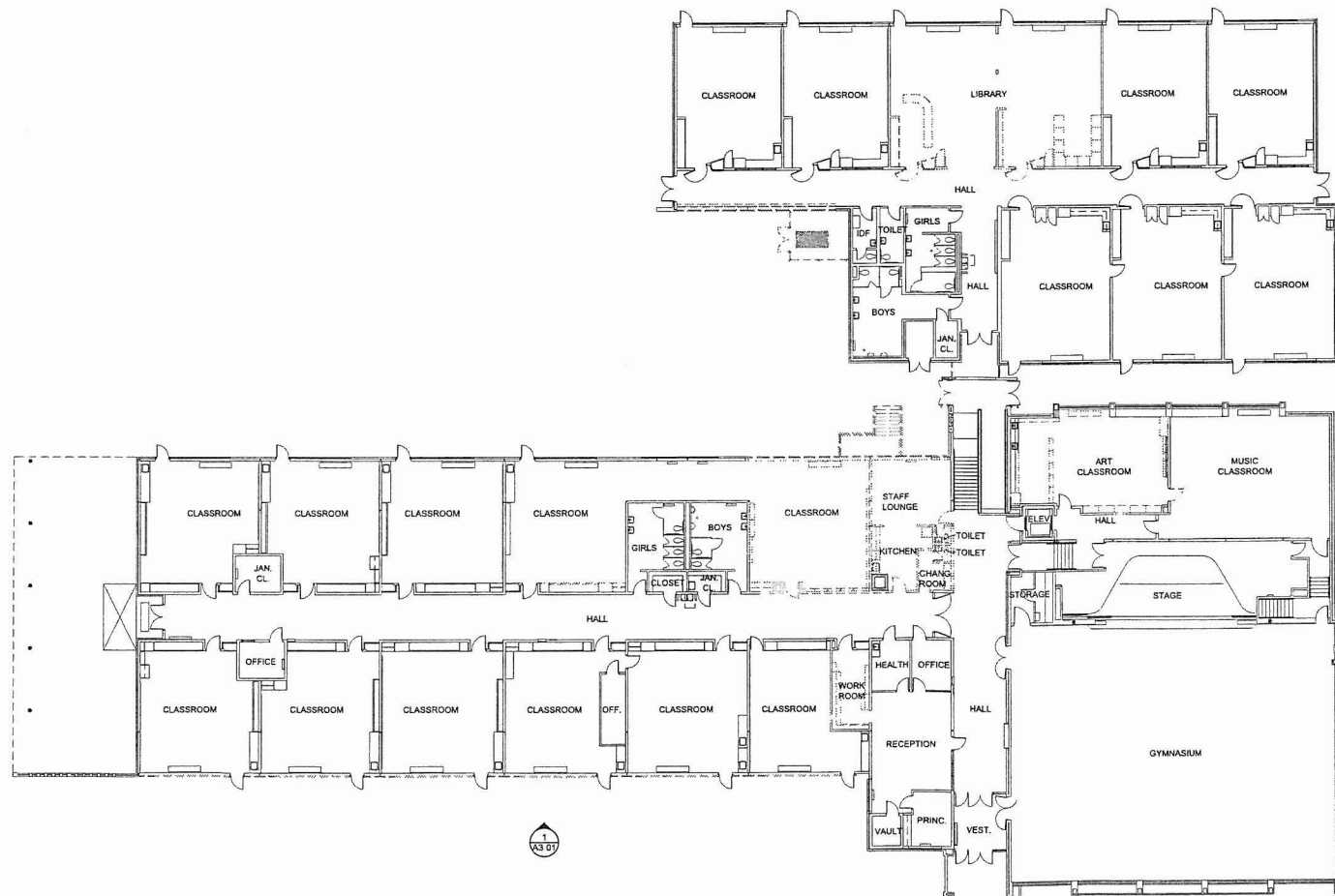
A2.01



LEGEND:

	NEW WALL
	EXISTING WALL
	WALL TO BE REMOVED

PROPOSED UPPER LEVEL FLOOR PLAN 2
SCALE: 1/16"=1'-0"



EXISTING UPPER LEVEL FLOOR PLAN 1
SCALE: 1/16"=1'-0"

NOT FOR CONSTRUCTION

dowa
ARCHITECTURE • INTERIORS • PLANNING

DULL OGDON WEEKES
architects inc.

907 SW STARK STREET • PORTLAND, OREGON 97205
T: 503 236 6949 F: 503 237 9192 www.dowa.com

BOLTON PRIMARY SCHOOL REMODEL/ADDITION

West Linn-Wilsonville School District #3JT
2210 SW STAFFORD RD, TUALATIN, OR 97062
t: (503) 673 7042

phase	Conditional Use/
	Class I Design Rev.
date	03/16/10
revisions	
project #	09002
upper level existing and proposed floor plans	
A2.02	



ARCHITECTURE • INTERIORS • PLANNING

DULL OLSON WEEKES
architects inc.

801 SW STARK STREET, PORTLAND, OREGON 97205
t: 503 226 8835 / 503 213 9192 www.dowa.com

BOLTON PRIMARY SCHOOL REMODEL/ADDITION

West Linn-Wilsonville School District #3JT

2210 SW STAFFORD RD, TUALATIN, OR 97062

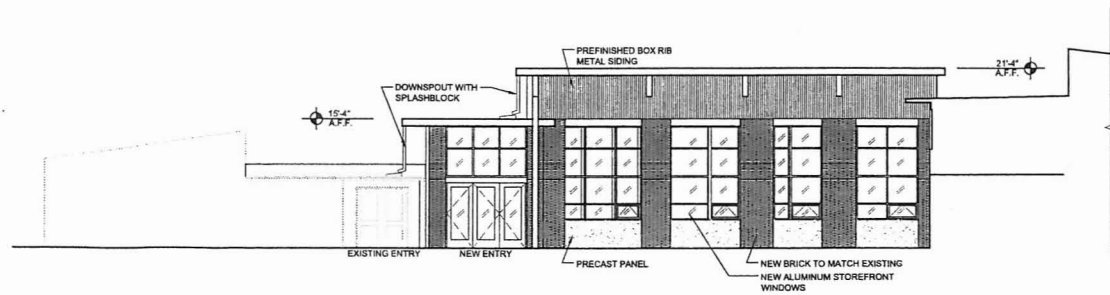
t: (503) 673 7042

phase	Conditional Use/
	Class I Design Rev.
date	03/16/10
revisions	

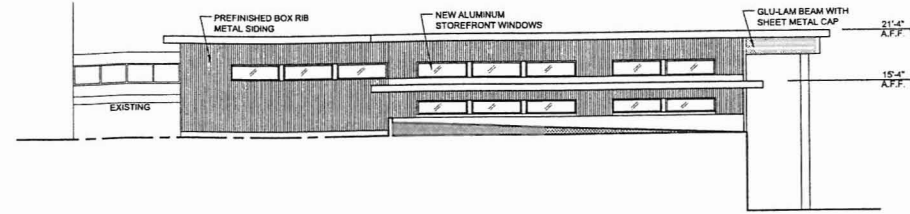
project # 09002

exterior elevations

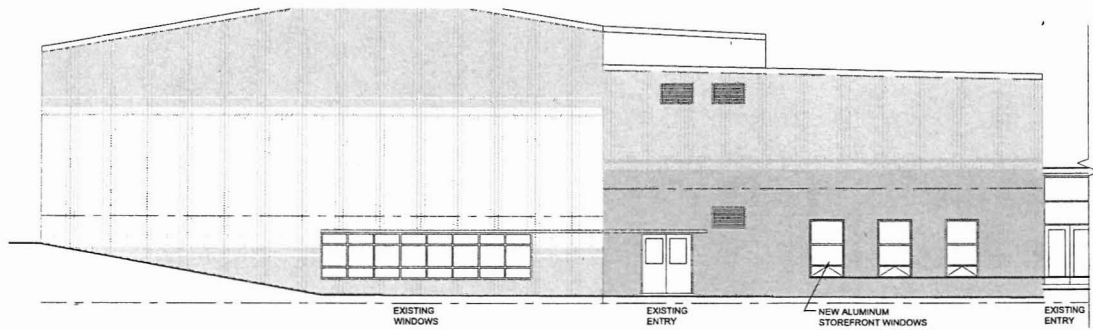
A3.01



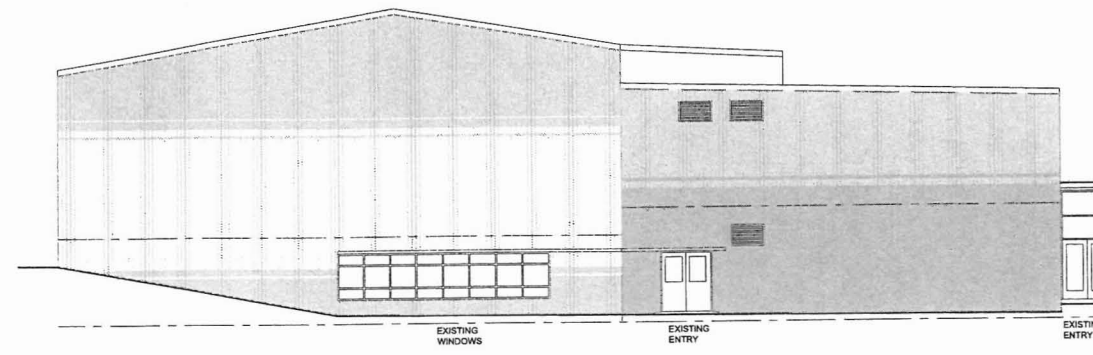
PROPOSED WEST ELEVATION - LIBRARY 6
SCALE: 1/8"=1'-0"



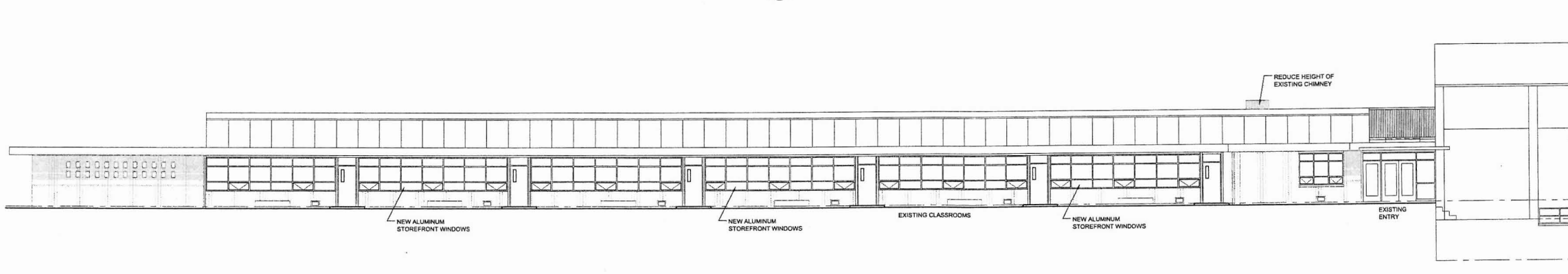
PROPOSED NORTH ELEVATION - LIBRARY 5
SCALE: 1/8"=1'-0"



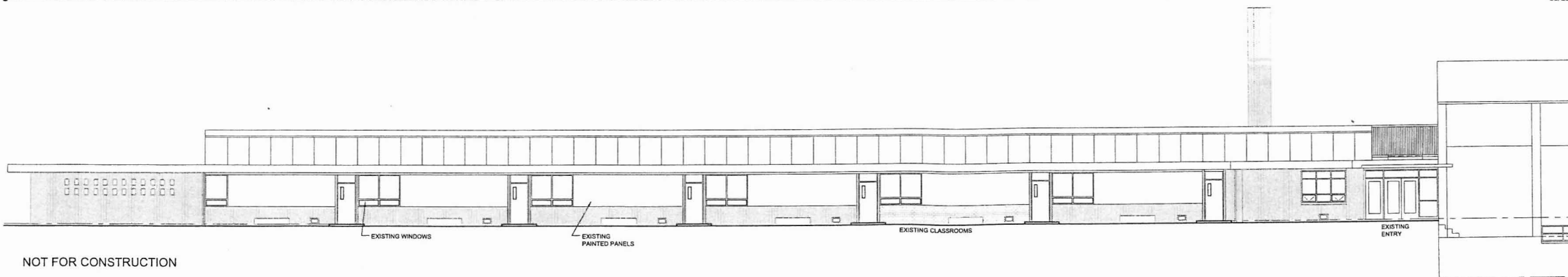
PROPOSED EAST ELEVATION 4
SCALE: 1/8"=1'-0"



EXISTING EAST ELEVATION 3
SCALE: 1/8"=1'-0"

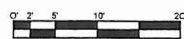


PROPOSED SOUTH ELEVATION 2
SCALE: 1/8"=1'-0"



EXISTING SOUTH ELEVATION 1
SCALE: 1/8"=1'-0"

NOT FOR CONSTRUCTION



UTILITY NOTES

- LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM RECORD DRAWINGS AND INTERPOLATION OF PHYSICAL EVIDENCE ON THE SITE AND ARE SUBJECT TO FIELD VERIFICATION BY THE CONTRACTOR.
- ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION UNDER THIS SECTION OR ANY OTHER SECTION.
- THE WORKING DRAWINGS ARE GENERALLY DIAGNOMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, OR FITTING REQUIRED TO COMPLETE THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE AND WORKING SYSTEM.
- CONTRACTOR SHALL COORDINATE A UTILITY LOCATE 48 HOURS PRIOR TO BEGINNING ANY UTILITY CONSTRUCTION FOR LOCATION MARK-UP OF ALL EXISTING UTILITIES, BOTH IN THE RIGHT-OF-WAY AND ON PRIVATE PROPERTY. CONTRACTOR SHALL COORDINATE THE UTILITY LOCATE WITH MUNICIPALITY HAVING JURISDICTION FOR ALL UTILITY WORK WITHIN A PUBLIC RIGHT-OF-WAY. INFORM ENGINEER IMMEDIATELY IF LOCATE INDICATES THAT EXISTING UTILITIES ARE DIFFERENT THAN SHOWN ON DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES, FEATURES, AND STRUCTURES LOCATED ON THE SITE. LOCATE, PROTECT, AND AVOID DISRUPTION OF ALL ABOVE AND BELOW GRADE UTILITIES DURING CONSTRUCTION.
- ALL UTILITY CONSTRUCTION ON PRIVATE PROPERTY SHALL CONFORM TO THE LATEST EDITION OF THE UNIFORM PLUMBING CODE (UPC). ALL UTILITY CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE STANDARD REQUIREMENTS OF THE MUNICIPALITY HAVING JURISDICTION.
- ALL BURIED LINES TO HAVE 2 FEET MINIMUM COVER, UNLESS NOTED OTHERWISE.
- DOWNSPOUT AND BUILDING UTILITY CONNECTIONS TO BE SHOWN ON BUILDING PLUMBING DRAWINGS. REFER TO PLUMBING DRAWINGS FOR CONNECTION OF UTILITY LINES INTO BUILDING.
- SEE LANDSCAPE DRAWINGS FOR IRRIGATION LINES.
- ALL EXISTING UTILITIES AND TIE-IN POINTS SHOULD BE CONSIDERED ACTIVE UTILITIES UNLESS OTHERWISE INDICATED.
- CONFIRM FIRE HYDRANT TYPE, NOZZLE SIZES, AND THREAD CONFIGURATIONS WITH LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO CONSTRUCTION.
- CONFIRM ALL UTILITY VALVE VAULTS, VALVES, METERS, BACKFLOW PREVENTION ASSEMBLIES, AND OTHER PUBLIC UTILITY APPEARANCES IN THE RIGHT-OF-WAY WITH THE MUNICIPALITY HAVING JURISDICTION.

EROSION CONTROL

- ALL EROSION, SEDIMENT, AND POLLUTION CONTROL PLAN (ESPC) MEASURES SHALL BE INSTALLED AS PER THE DETAIL DRAWINGS IN THE CITY OF PORTLAND EROSION CONTROL MANUAL.
- TEMPORARY ESPC MEASURES SHALL BE INSTALLED, INSPECTED, AND APPROVED BY A CITY INSPECTOR BEFORE STARTING GROUND DISTURBING ACTIVITIES.
- ESPC MEASURES SHALL NOT BE REMOVED UNTIL PERMANENT LANDSCAPING HAS BEEN INSTALLED AND FINAL INSPECTION HAS BEEN REQUESTED AND APPROVED BY A CITY INSPECTOR.
- INSPECTIONS SHALL BE REQUESTED ONE DAY PRIOR TO THE TIME OF INSPECTION.
- APPROVAL OF THIS ESPC PLAN DOES NOT CONSTITUTE APPROVAL OF PERMANENT OR DRAINAGE DESIGN (I.E. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.)
- THE IMPLEMENTATION OF THIS ESPC AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPDATING OF THESE ESPC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- THE BOUNDARIES OF THE CLEARING LIMITS (IF REQUIRED BY THE CITY) SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF THE CONSTRUCTION.
- THE ESPC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR THE ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESPC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
- THE ESPC FACILITIES SHALL BE INSPECTED DAILY BETWEEN OCTOBER 1 AND APRIL 30 BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. ALL INSPECTIONS SHALL BE NOTED IN AN INSPECTION LOG WHICH SHALL BE MADE AVAILABLE TO THE CITY INSPECTOR UPON REQUEST.
- ESPC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 24 HOURS FOLLOWING A STORM EVENT.
- A SIGN WITH THE CITY'S EROSION CONTROL HOTLINE NUMBER, PROJECT ADDRESS, AND PERMIT NUMBER SHALL BE POSTED AT A LOCATION CLEARLY VISIBLE FROM THE RIGHT OF WAY AND MAINTAINED UNTIL PROJECT COMPLETION.
- EXPOSED SOILS THAT REMAIN UNWORKED FOR 14 DAYS OR MORE SHALL BE IMMEDIATELY PROTECTED BY APPROPRIATE GROUND COVER. DISTURBED LAND THAT WILL REMAIN UNWORKED FOR 2 MONTHS OR LONGER SHALL ALSO BE SEEDED WITH AN APPROVED SEED MIXTURE.
- PUBLIC STREETS WILL BE SWEEP DAILY, IF NECESSARY, TO ALLEVATE SEDIMENT DISCHARGE TO THE STORM WATER MANAGEMENT SYSTEM. UNFILTERED WASH WATER CANNOT BE DISCHARGED TO STORM DRAINS.
- ALL EROSION CONTROL SEEDING FOR SITE STABILIZATION WILL BE PERFORMED NO LATER THAN SEPTEMBER 1ST TO ALLOW TIME FOR VEGETATIVE ESTABLISHMENT PRIOR TO THE ONSET OF THE WET WEATHER SEASON.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THEY ARE NO LONGER NEEDED.
- TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL SHALL BE REPAIRED AND PROTECTED WITH ADEQUATE GROUND COVER (2" STRAW, COMPOST, MULCH, ETC.)
- SEEDING SHALL BE SUPPLIED WITH ADEQUATE MOISTURE. SUPPLY WATER AS NEEDED. WATER SHOULD BE CONTROLLED TO PREVENT RUNOFF. AREAS WHICH FAIL TO ESTABLISH VEGETATIVE COVER ADEQUATE TO PREVENT EROSION SHALL BE RESEED AS SOON AS AREAS ARE IDENTIFIED.
- DISTURBED AREAS OF SLOPE GREATER THAN 2:1 WILL BE STABILIZED THROUGH SEEDING AND THE INSTALLATION OF NORTH AMERICAN GREEN SCOBEN MATTING OR EQUIVALENT PRODUCT.
- THE PROPOSED EROSION CONTROL MEASURES ARE A MINIMUM BEST MANAGEMENT PRACTICE. THE CONTRACTOR MAY BE REQUIRED TO MAKE ADDITIONAL EROSION CONTROL MEASURES TO ENSURE THAT NO SEDIMENT LADEN WATER EXITS THE SITE OR ENTERS THE EXISTING STORMWATER SYSTEM.
- IN THE CASE OF STABILIZATION SEEDING AND PLANTINGS FOR SWALES & SLOPES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO SEQUENCE THE WORK SUCH THAT THE PLANTINGS ARE ESTABLISHED AS FAR AS POSSIBLE PRIOR TO OCTOBER 1.
- CONTRACTOR SHALL DESIGNATE AN ON-SITE EROSION & SEDIMENT CONTROL INSPECTOR AND SHALL SUBMIT THE NAME TO THE OWNER'S REPRESENTATIVE FOR SUBMITTAL TO DEQ AS PART OF THE DEQ 1200C PERMIT REQUIREMENTS.
- AN EROSION AND SEDIMENT CONTROL PERMIT HAS BEEN ISSUED BY OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ 1200C PERMIT). CONTRACTOR IS RESPONSIBLE FOR ADMINISTRATION AND CONFORMANCE OF ALL EROSION AND SEDIMENT CONTROL REQUIREMENTS STIPULATED IN THIS PERMIT INCLUDING MAINTENANCE & MONITORING.

GRADING NOTES

- SURVEY OF EXISTING CONDITIONS PREPARED BY THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL SURVEY DATA. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING RIGHT-OF-WAY LINES, SLOPE EASEMENTS, AND ALL HORIZONTAL AND VERTICAL CONTROL PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING AND SHALL ARRANGE FOR STAKING WITH A LICENSED SURVEYOR. STAKING WILL BE REVIEWED BY OWNER FOR CONFORMANCE TO DESIGN PRIOR TO CONSTRUCTION.
- ALL GRADES BETWEEN SPOT ELEVATIONS SHALL HAVE UNIFORM SLOPE UNLESS OTHERWISE INDICATED. MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING WALLS AND DOORS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION. ADEQUATE SHORING BRACING, TIES, AND SUPPORTS SHALL BE USED TO PROVIDE PROPER TEMPORARY INTEGRITY DURING ALL PHASES OF CONSTRUCTION.
- ALL EXISTING LANDSCAPED AND UNPAVED AREAS WHICH ARE DISTURBED BY CONSTRUCTION OR EARTHWORK OPERATIONS SHALL BE HAND RAKED SMOOTH AND RETURNED TO ORIGINAL EXISTING CONDITIONS. DISTURBED LANDSCAPED AREAS SHALL RECEIVE BARK DUST AND REPLACEMENT PLANTINGS. DISTURBED NATURAL AREAS SHALL BE HYDROSEED TO REPLACE NATIVE COVER. DISTURBED GRAVEL AREAS SHALL RECEIVE REPLACEMENT GRAVEL OR CRUSHED ROCK SURFACING.
- ALL DITCHES, SWALES, CUTTERS, ETC. SHOULD BE CONSIDERED ACTIVE STORM CONVEYANCES UNLESS OTHERWISE INDICATED. CONTRACTOR IS RESPONSIBLE FOR ADDRESSING STORM WATER DRAINAGE AND DETERMINING WORK AREAS DURING CONSTRUCTION.
- DURING WET WEATHER PERIODS, CONTRACTOR IS RESPONSIBLE FOR SEQUENCING CONSTRUCTION IN A MANNER TO MINIMIZE IMPACT ON OPEN EARTHWORK AND COMPACTION OPERATIONS.
- ALL EXISTING MONUMENTS SHALL BE PROTECTED DURING CONSTRUCTION. IF ANY MONUMENTS ARE DISTURBED OR DESTROYED DURING CONSTRUCTION, CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO RESTORE THE MONUMENT TO ITS ORIGINAL CONDITION AND FILE THE NECESSARY SURVEYS AS REQUIRED BY STATE LAW.
- COMPLETELY COVER ANY SOIL STOCKPILES WITH 6 MIL BLACK PLASTIC AND PROVIDE RESTRAINTS TO HOLD PLASTIC IN PLACE. MONITOR PLASTIC COVER AS PART OF CONTINUOUS EROSION CONTROL PLAN. PLACE SILT FENCE COMPLETELY AROUND STOCKPILE.

DEMOLITION NOTES

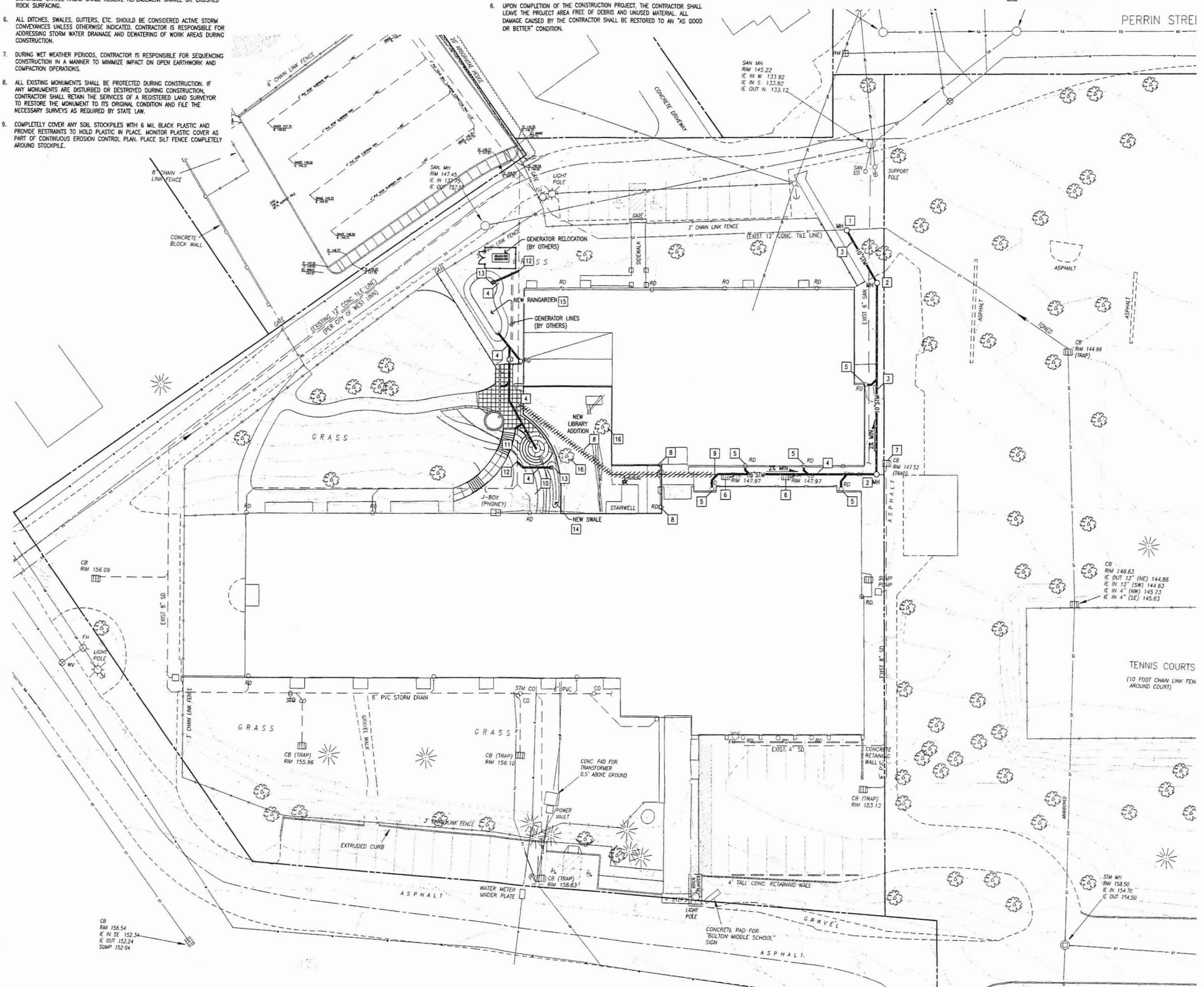
- DEMOLITION REQUIREMENTS ARE NOT SHOWN ON THESE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING SCOPE OF DEMOLITION WORK FROM OWNER AND FOR EXAMINATION OF EXISTING SITE CONDITIONS. CONTRACTOR SHALL SUBMIT A DEMOLITION PLAN PRIOR TO CONSTRUCTION OUTLINING ITEMS TO BE REMOVED, ALL UTILITY LINES AND STRUCTURES SHOWN WITHIN THE LIMITS OF.
- DEMOLITION SHALL BE REMOVED EXCEPT THOSE INDICATED AS "TO REMAIN". ALL LINES THAT ARE CUT AT LIMITS OF DEMOLITION OR POINTS OF DISCONNECTION WITHIN THE WORK AREA ARE TO BE CAPPED OR PLUGGED. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TEMPORARY ACCESS.
- DURING CONSTRUCTION, UTILITY OUTAGES AND ACCESS CLOSURES REQUIRE A MINIMUM OF 24 HOURS NOTICE TO OWNER OR SITE TENANTS.

GENERAL SITE NOTES

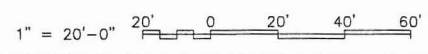
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE. CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING.
- CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT NEW FEATURES TIE INTO EXISTING SITE DEVELOPMENT. PAVEMENT JOINTS MATCH CORRECTLY, AND THAT GENERAL DESIGN ELEVATIONS FOR NEW CONSTRUCTION PROVIDE PROPER PAVEMENT AND DRAINAGE SLOPES FROM EXISTING TIE IN POINTS. REPORT DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- IN AREAS WHERE ASPHALT PAVING IS BEING REWORKED, PROVIDE NEW PAINT STRIPING FOR ALL REVISED PAVING WORK AND PARKING STALLS. EXISTING STRIPING TO BE BLACKENED OUT IN RECONFIGURED AREAS AS REQUIRED.
- ALL CONSTRUCTION ACTIVITIES SHALL BE COORDINATED WITH CITY INSPECTOR(S). CONTRACTOR SHALL NOTIFY CITY INSPECTOR(S) 48 HOURS PRIOR TO START OF CONSTRUCTION.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL HAVE A MINIMUM OF ONE (1) SET OF PERMIT APPROVED PLANS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES.
- UPON COMPLETION OF THE CONSTRUCTION PROJECT, THE CONTRACTOR SHALL LEAVE THE PROJECT AREA FREE OF DEBRIS AND UNUSED MATERIAL. ALL DAMAGE CAUSED BY THE CONTRACTOR SHALL BE RESTORED TO AN "AS GOOD OR BETTER" CONDITION.

UTILITY CONSTRUCTION NOTES

- INSTALL NEW MANHOLE OVER EXISTING 12" CONCRETE STORM LINE. CONTRACTOR TO VERIFY E, AND SLOPE. INFORM ENGINEER PRIOR TO INSTALLATION.
- INSTALL NEW MANHOLE.
- INSTALL NEW 10" STORM DRAIN LINE.
- INSTALL NEW 6" STORM DRAIN LINE.
- RECONNECT EXISTING AREA DRAIN.
- RECONNECT EXISTING ROOF DRAIN.
- RECONNECT EXISTING CATCH BASIN.
- DEMOLISH SECTION OF EXISTING STORM DRAIN AND EXISTING CATCH BASIN. ROOF DRAINS TO BE REROUTED BY BUILDING PLUMBER.
- DEMOLISH SECTION OF EXISTING STORM DRAIN UNDER NEW 6" STORM DRAIN ROUTING.
- LOWER EXISTING GAS LINE. COORDINATE WITH MECHANICAL ENGINEER.
- LOWER EXISTING STORM DRAIN. MATCH EXISTING PIPE SIZE. CONTRACTOR TO VERIFY E'S AND SLOPES PRIOR TO INSTALLATION. COORDINATE WITH ENGINEER.
- CONNECT TO EXISTING STORM LINE.
- INSTALL NEW DITCH INLET.
- INSTALL NEW VEGETATED SWALE.
- INSTALL NEW SWALE/RANGARDEN.
- REMOVE EXISTING TREE.



1 UTILITY PLAN
C101C101 SCALE: 1"=20'-0"

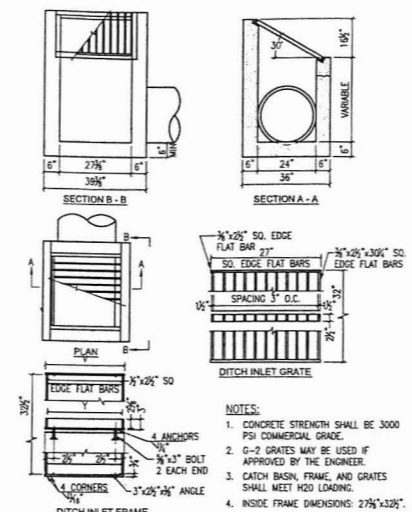


lowa
ARCHITECTURE • INTERIORS • PLANNING
BULL OLSON WEEKES
ARCHITECTS INC.
807 SW STARK STREET, PORTLAND, OREGON 97205
P: 503 226 8888 F: 503 273 3131 www.lowa.com

BOLTON PRIMARY SCHOOL REMODEL/ADDITION
West Linn-Wilsonville School District #3JT
2210 SW STAFFORD RD, TUALATIN, OR 97062
T: (503) 673 7042

phase	Conditional Use/
	Class 1 Design Rev.
date	03/16/10
revisions	
project #	09002

UTILITY PLAN
C101



NOTES:

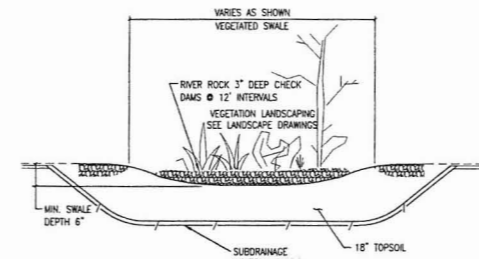
- CONCRETE STRENGTH SHALL BE 3000 PSI COMMERCIAL GRADE.
- G-2 GRATES MAY BE USED IF APPROVED BY THE ENGINEER.
- CATCH BASIN, FRAME, AND GRATES SHALL MEET H20 LOADING.
- INSIDE FRAME DIMENSIONS: 27 1/2" x 32 1/2".

TABLE:

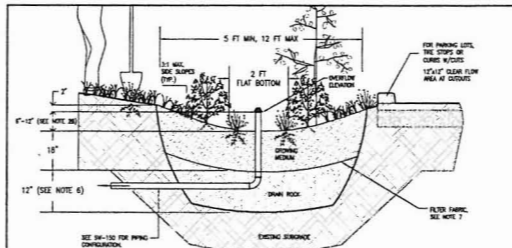
PILE TYPE	V	Y	X	NUMBER OF BARS	TYPE
D	2'-4 1/2"	2'-3"	2'-3"	8	1

NOTE:
3/4" CROSS BARS SHALL BE FLUSH WITH THE GRATE SURFACE AND MAY BE FILLET WELDED, RESISTANCE WELDED OR ELECTROFORGED TO BEARING BARS.

3 DITCH INLET DETAIL
C101/C102 SCALE: NONE



4 VEGETATED SWALE
C101/C102 SCALE: NONE

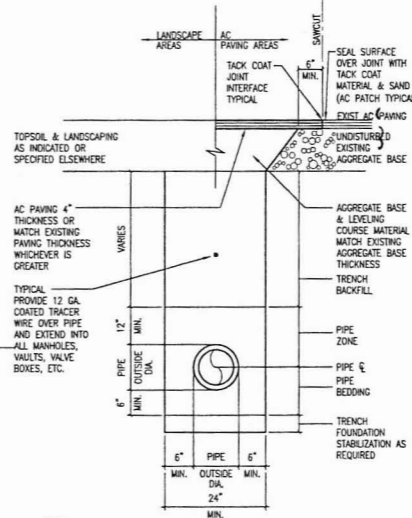


- PROVIDE PROTECTION FROM ALL VEHICLE TRAFFIC, EQUIPMENT STANDING, AND FOOT TRAFFIC IN PROPOSED INFILTRATION AREAS PRIOR TO, DURING, AND AFTER CONSTRUCTION.
- DIMENSIONS:**
 - WIDTH OF SWALE: 5' - 12'
 - DEPTH OF SWALE (FROM TOP OF GROWING MEDIUM TO OVERFLOW ELEVATION): SIMPLIFIED: 8", PRECISE: 8" - 12"
 - LONGITUDINAL SLOPE OF SWALE: 6:6 OR LESS.
 - FLAT BOTTOM WIDTH: 2'
 - SIDE SLOPES OF SWALE: 3:1 MAXIMUM.
- SETBACKS FROM CENTERLINE OF FACILITY:**
 - INFILTRATION SWALES MUST BE 10' FROM FOUNDATIONS AND 5' FROM PROPERTY LINES.
 - FLOW-THROUGH SWALES MUST BE LINED WITH CONNECTION TO APPROVED DISCHARGE POINT ACCORDING TO SWALE SECTION 1.3.
- OVERFLOW:**
 - OVERFLOW REQUIRED FOR SIMPLIFIED APPROACH.
 - INLET ELEVATION MUST ALLOW FOR 3" OF FREESHOW, MINIMUM.
 - PROTECT FROM SEDS AND SEDIMENT WITH STRAINER OR GRATE.
- PAVING:** SHALL BE A65 SCH 40, CAST IRON, OR PVC SCH 40. 3" PIPE REQUIRED FOR UP TO 1,500 SQ FT OF IMPERVIOUS AREA. OVERLAP 4" MIN. JOINTS MUST HAVE 1/2" GRADE AND FOLLOW THE UNIFORM PLUMBING CODE.
- DRAIN ROCK:**
 - SIZE FOR INFILTRATION SWALE: 1 1/2" - 3/4" WASHED.
 - SIZE FOR FLOW-THROUGH SWALE: 3/4" WASHED.
- DEPTH FOR SIMPLIFIED: 12"**
DEPTH FOR PRECISE: 0-48", SEE CALC.
- SEPARATION BETWEEN DRAIN BODY AND DRAINING MEDIUM:** USE FLUTE FABRIC (SEE SWALE EXHIBIT 2-4) SCOTCHDIE TABLED OR A GRAVEL LENS (6" - 3/4" INCH WASHED, CRUSHED ROCK 2 TO 3 INCHES DEEP).
- GROWING MEDIUM:**
 - 1" MINIMUM.
 - SEE APPENDIX F.3 FOR SPECIFICATION ON USE (SAND/SAND/COMPOST 3:1:1 RATIO).
- VEGETATION:** FOLLOW LANDSCAPE PLAN. OTHERWISE REFER TO PLANT LIST IN SWALE APPROXIMATE 7' MINIMUM CONTAINER SIZE IS 1 GALLON. IF OF PLANTINGS PER 100 SQ FT OF FACILITY AREA:
 - ZONE A (NEAR): 115 HERBACEOUS PLANTS OR 100 HERBACEOUS PLANTS AND 4 SMALL SHRUBS.
 - ZONE B (MIDWAY): 200 1' TREE AND 3 LARGE SHRUBS / 3 SMALL TREES AND 4 SMALL SHRUBS AND 140 GROUNDCOVER PLANTS.
- WATERPROOF LAYER:** SHALL BE 30 MIL PVC OR EQUIVALENT FOR FLOW-THROUGH FACILITIES.
- INSTALL WASHED PEA GRAVEL OR RIVER ROCK TO TRANSITION FROM PAVEMENT AND SPREAD PAVEMENT TO GROWING MEDIUM.**
- CHECK DAMS:** SHALL BE PLACED ACCORDING TO FACILITY DESIGN. REFER TO SW-340 FOR PROFILE AND SPACING.
- INSPECTIONS:** CALL 805 MR INSPECTION LINE, (503) 803-7000, FOR APPROPRIATE INSPECTIONS.

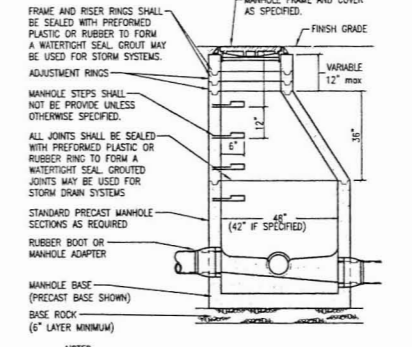
STORMWATER MANAGEMENT MANUAL TYPICAL DETAILS
Simplified / Presumptive Design Approach
Swale
SW-120

5 SWALE
C101/C102 SCALE: NONE

AB ANCHOR BOLT	NIC NOT IN CONTRACT
AC ASPHALTIC CONCRETE	NO NUMBER
ACP ASBESTOS CONCRETE PIPE	NOM NOMINAL
BLDG BUILDING	NTS NOT TO SCALE
BOC BOTTOM OF CONCRETE	OC ON CENTER
BOS BOTTOM OF SUMP	OH OVERHEAD
CA COMPRESSED AIR	OW OIL/WATER SEPARATOR
CB CATCH BASIN	PD POLYDRAIN
CJ CONSTRUCTION JOINT	PRF PERFORATED STORM DRAIN
CI CURB INLET	PIV PIVOT INDOOR VALVE
CP CAST IRON PIPE	POC POINT OF CONNECTION
CMP CORRUGATED METAL PIPE	PVC POLYVINYL CHLORIDE
CND CONDUIT	PMNT FURNISHMENT
CO CLEANOUT	PW POTABLE WATER
CONC CONCRETE	R RADIUS
CR CONDENSATE RETURN	RCP REINFORCED CONCRETE PIPE
DA # DIAMETER	RM RIM ELEVATION
DI DUCTILE IRON PIPE	RL RAILROAD
DS DOWNSPOUTS	S SLOPE
DW DRYWELL	SAN SANITARY
DWG DRAWING	SB SPLASH BLOCK
E ELECTRICAL POWER	SD STORM DRAIN
ELEV ELEVATION	SS SANITARY SEWER
ELEC ELECTRICAL	STM STEAM
EXIST EXISTING	TB THRUST BLOCK
FA FIRE ALARM	TBM TEMPORARY BENCH MARK
FD FOUNDATION DRAIN	TC TOP OF CURB
FF FINISH FLOOR	TEL TELEPHONE
FI FIRE HYDRANT	TOS TOP OF BERM
FW FIRE WATER	TOT TOP OF CONCRETE
G GUTTER	TOP TOP OF GRADE
GR GRADE	TYP TYPICAL
GV GATE VALVE	UCND UNDERGROUND
HB HOSE BIBB	UNO UNLESS NOTED OTHERWISE
HDPE HIGH DENSITY POLYETHYLENE	VCP VITRIFIED CLAY PIPE
HH HAND HOLE	VT VENT
HFG HIGH PRESSURE GAS	W VALVE VAULT
HC HANDICAPPED	WM WATER METER
HYD HYDRANT	WTR WATER
IE INVERT ELEVATION	WV WATER VALVE
IR IRRIGATION	WWF WELDED WIRE FABRIC
L LENGTH	XFRM TRANSFORMER
LP LIGHT POLE	
MAX MAXIMUM	
MIN MANHOLE	
MIN MINIMUM	

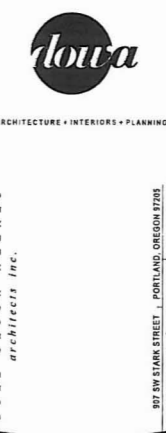


1 UTILITY TRENCH SECTION
C101/C102 SCALE: NONE



- NOTES:**
- STANDARD PRECAST MANHOLE SECTION DIAMETER SHALL BE 48" MAX PIPE SIZE SHALL BE 24".
 - ALL CONNECTING PIPES SHALL HAVE A FLEXIBLE COMPRESSION JOINT WITHIN 18" OF MANHOLE WALL PER UNIFORM PLUMBING CODE.
 - SEE MANHOLE BASE SECTION DRAWING FOR BASE DETAILS.
 - ALL PRECAST SECTIONS SHALL CONFORM TO REQUIREMENTS OF ASTM C-478A.

2 MANHOLE DETAIL
C101/C102 SCALE: NONE



BOLTON PRIMARY SCHOOL REMODEL/ADDITION

West Linn-Wilsonville School District #3JT
2210 SW STAFFORD RD, TUALATIN, OR 97062
t: (503) 673 7042

phase	Conditional Use/
	Class I Design Rev.
date	03/16/10
revisions	

project # 09002

CIVIL DETAILS

C102



ARCHITECTURE • INTERIORS • PLANNING

DULL OLSON WEEKES
architects inc.

902 SW STARK STREET, PORTLAND, OREGON 97205
P: 503 228 8550 F: 503 223 8192 www.dow.com

BOLTON PRIMARY SCHOOL REMODEL/ADDITION

West Linn-Wilsonville School District #3JT

2210 SW STAFFORD RD, TUALATIN, OR 97062
t: (503) 673 7042

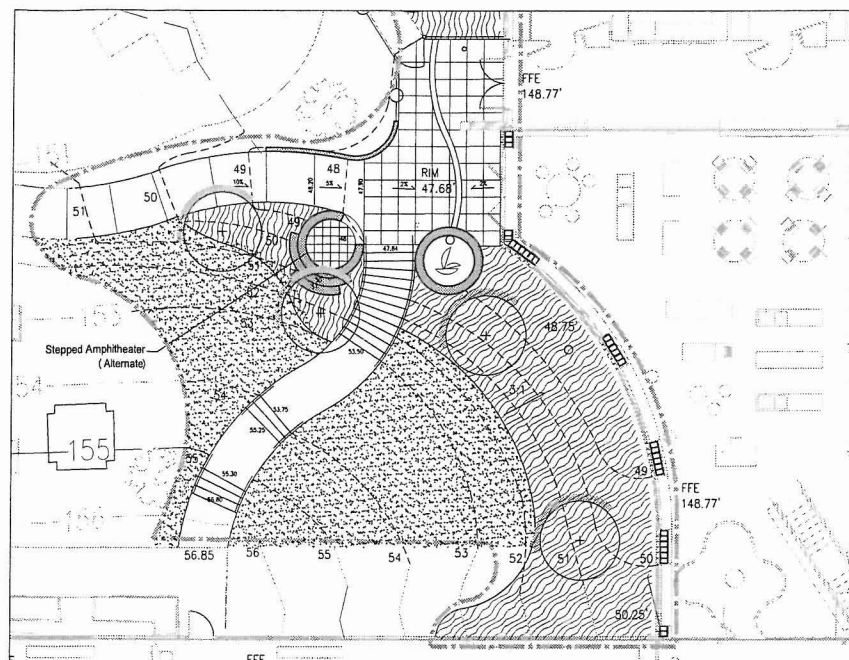
WALKER-MACY

phase	Conditional Use/ Class I Design Rev.
date	03/16/10
revisions	

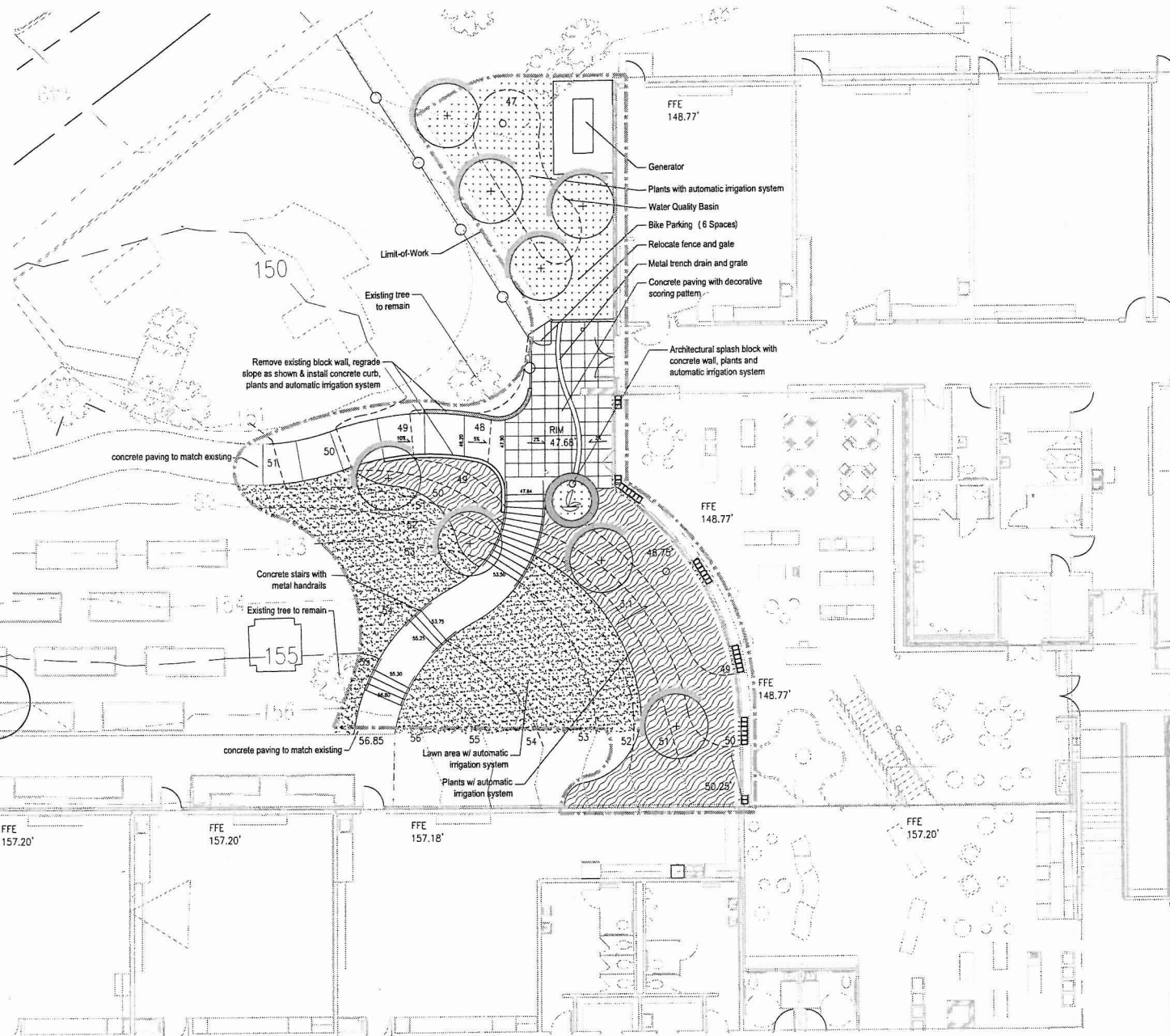
project # | 09002

Landscape Plan

L1.0

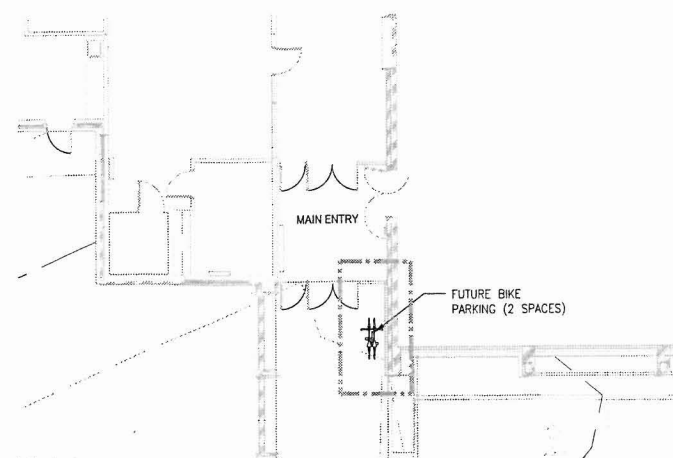


AMPHITHEATER LANDSCAPE ALTERNATIVE



BIKE PARKING UNDER EXISTING COVERED AREA (12 SPACES)

BIKE PARKING ENLARGEMENT 1/8" = 1'-0"



PLANT SCHEDULE

PLANTS TO BE SELECTED FROM THE FOLLOWING

KEY	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	SPACING
Trees				
+	ZELKOVA SERRATA 'GREEN VASE'	ZELKOVA TREE	2" CAL./B&B	AS SHOWN
	FRAXINUS PENN. 'MARSHALL'	MARSHALL GREEN ASH	2" CAL./B&B	AS SHOWN
	AMELANCHIER ALNIFOLIA	WESTERN SERVICEBERRY	1-1/2" CAL./B&B	AS SHOWN
	FRAXINUS LATIFOLIA	OREGON ASH	2 GAL. CONT.	AS SHOWN
	ACER CIRCINATUM	VINE MAPLE	2 GAL. CONT.	AS SHOWN
Shrubs				
	CORNUS SERICEA 'KELSEYI'	DWARF REDTWIG DOGWOOD	2 GAL. CONT.	AS SHOWN
	HOLODISCUS DISCOLOR	OCEANSPRAY	5 GAL. CONT.	AS SHOWN
	NANDINA DOME 'WOODS DWARF'	DWARF HEAVENLY BAMBOO	2 GAL. CONT.	AS SHOWN
	PRUNUS LAURO 'OTTO LUYKEN'	CHERRY LAUREL	2 GAL. CONT.	AS SHOWN
	RIBES SANGUINEUM	RED FLOWERING CURRENT	5 GAL. CONT.	AS SHOWN
	SPIREA JAP 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	2 GAL. CONT.	AS SHOWN
Groundcover				
	ARCTOSTAPHYLOS LVA-URSI	KINNIKINICK	1 GAL.	18" O.C.
	FRAGARIA CHILOENSIS	COASTAL STRAWBERRY	1 GAL.	18" O.C.
	MAHONIA REPENS	CASCADE OREGON GRAPE	1 GAL.	18" O.C.
	RUBUS CALYNOIDES	CREeping BRAMBLE	1 GAL.	18" O.C.
Rain Garden Plantings				
	CAREX OBNIPTA	SLOUGH SEDGE	PLUG	3 PER SQ.FT.
	JUNCUS PATENS 'ELK BLUE'	ELK BLUE SPREADING RUSH	PLUG	3 PER SQ.FT.
	SCRIPUS MICROCARPUS	SMALL FRUITED BULRUSH	PLUG	3 PER SQ.FT.
	MAHONIA NERVOSA	DULL OREGONGRAPE	1 GAL. CONT.	18" O.C.
	JUNCUS EFFUSUS	COMMON RUSH	1 GAL. CONT.	12" O.C.
	SPIRAEA DOUGLASHI	WESTERN SPIRAEA	1 GAL. CONT.	AS SHOWN
	ROSA PISOCARPA	SWAMP ROSE	1 GAL. CONT.	AS SHOWN
Loam				
	Gross Seed Mix	3-Way blend	7lbs per 1,000sf	

