

CEDAROAK PARK PRIMARY SCHOOL
Conditional Use, Class I Design Review,
Non-Conforming Structure, and Variance
March 23, 2010

APPLICATION SUMMARY

For Conditional Use and Class I Design Review approval to construct a 1,100 square-foot library expansion and related interior remodeling. The existing primary school is 46,215 square feet and located on an 11.22-acre site. The application also includes a request to expand a non-conforming structure that does not meet current parking standards.

GENERAL INFORMATION

Location

4515 South Cedaroak Drive (2S 1E Section 24 BA, Tax Lot 1800). Its location is shown in Figure 1.

Comprehensive Plan and Zoning Designations

The Comprehensive Plan designation is Low Density Residential.

Consistent with the Comprehensive Plan, the property is zoned Single Family Residential Detached (R10).

Applicant and Owner

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Applicant's Representatives

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Figure 2: Aerial Photo



Source: City of West Linn

BACKGROUND INFORMATION

Site Description

The site is developed with Cedaroak Park Primary School, including a 46,215 square-foot building, driveway, parking, and play fields. The entire site is approximately 11.22 acres. In addition to the school building, an athletic field is located on the southwest side of the school. Primary access to the school is provided by South Cedaroak Drive, which runs along the south and east sides of the site. TriMet provides scheduled bus service along Willamette Drive (Route 35 Macadam/Greeley). Currently, there are 407 students and 48 staff at the school.

In anticipation of the library expansion and remodeling, the district recently completed a renovation of the parking lot (DR-09-02/WAP-09-01). This increased the number of vehicle parking spaces from 64 standard and 4 ADA parking stalls to 58 standard, 12 compact, and 4 ADA parking spaces. This 6-space increase was intended to address the current nonconforming status of the school's on-site parking facilities. The parking lot landscaping and storm water treatment facilities were also upgraded to be consistent with current city standards. There are also the school's street frontage can accommodate approximately 12 to 16 on-street parking spaces for a total of 86 to 90 spaces. There are approximately 15 bicycle rack spaces located on the west side the building.

Surrounding Area Description

The zoning designations and current land use of the surrounding area are summarized in Table 1.

**Table 1
Land Use Summary**

<i>Properties in the Vicinity</i>	<i>Zone Designation</i>	<i>Land Use</i>
<u>Subject Property</u> 2S 1E Section 24 BA, Tax Lot 1800 (11.22 acre school site owned by school district)	R10	Primary School building, ancillary facilities, and parking.
<u>Surrounding Properties</u> North/East/South/West	R10	Single family residences

SCHOOL SITE IMPROVEMENTS

The district planned improvements for the school in two phases. The first phase to complete a number of site improvements, including the 6-space parking lot expansion, was approved by the city (DR-09-02/WAP-09-01) and constructed. The second phase improvements are proposed in this application. They include the following:

Library

The library will be enlarged to provide additional education materials and an improved learning environment. This 1,100 square-foot addition will expand the existing library to the south toward the southern wing of classrooms as shown in Sheets A2.00, A2.01, and A3.01. Some existing landscaping, including three small fruit trees, will be removed near the library addition (Sheet C102). Landscaping will be restored around the perimeter of the construction site as shown in Sheet L1.0.

Parking

As noted above, the number of vehicle parking spaces was recently increased from 68 to 74. The city's parking standard is one vehicle space for every 1,000 square feet of floor

area plus one space per staff member. With 46,215 square feet and 48 staff, the school would need 95 parking spaces. The 1,100 square-foot library addition would increase this requirement to 96 spaces. Bicycle parking is required at a rate of two spaces per classroom for a total of 44 spaces (22 classrooms). The district proposes to supplement the existing bike rack with 12 new, covered bike rack spaces located adjacent to the south classrooms. In addition, a location for 18 future, covered spaces are shown near the north classrooms at the front of the building. Currently, approximately 2 to 3 cyclists come to school, and this number can be as high as 20 during the better weather in the spring and fall. This relatively low number is because only 4th and 5th graders are old enough to ride safely to school. The proposed number of new bike spaces will be more than adequate to meet current demand.

Amphitheater

A small outdoor amphitheater is proposed on the west side of the building. It will be used for outdoor class sessions. It will be surrounded with new lawn. An area of improved landscaping is proposed adjacent to the amphitheater (Sheet L1.0).

Storm Water Improvements

The storm system was upgraded as part of the parking lot improvements noted above. Stormwater resulting from the new impervious areas will be treated by a new rain garden located adjacent to the library addition. Further details are provided in Preliminary Stormwater Drainage Design Memorandum from Winzler and Kelly.

CONDITIONAL USE REVIEW CRITERIA

The relevant review criteria in the City of West Linn Community Development Code (CDC) include the Single Family Residential Detached, R-10 requirements (Chapter 11), Conditional Use evaluation criteria (Chapter 60), Non-Conforming Structures (Chapter 66), Variance Criteria (Chapter 75), Comprehensive Plan policies, and Design Review (Chapter 55). These criteria are addressed below.

Chapter 11 Single Family Residential Detached, R-10

Section 11.060 Conditional Uses

This section lists schools as a conditional use in the R-10 zone. The school building, play area, and parking are located within this zone. Schools are allowed as a conditional use in the R10 zone.

Section 11.080 Dimensional Requirements, Conditional Uses

This section gives the Planning Commission the authority to determine the appropriate dimensional requirements to satisfy Conditional Use criteria in Chapter 60. The primary school has successfully operated on this 11.22-acre site for many years, and the building footprint will be expanded slightly. The school enrollment capacity will not be changed by the library addition or the related interior remodeling. Adequate area continues to be available for the school building, activity fields, parking, landscaping, and buffering. Because the addition and remodeling will be within an interior location on

the site, it will have no meaningful affect on surrounding properties.

Because the library addition is located internally on the site, the existing building setbacks will not be affected. The school building currently covers 9.5% of the site, and the addition will have virtually no impact on this figure. The enlarged building will continue to easily satisfy the maximum building coverage standard of 35%.

The maximum floor area ratio (FAR) allowed in the R-10 zone is 0.45. Based on the property area of 11.22 acres, a maximum floor area of almost 200,000 square feet is allowed. With the library expansion, the building floor area of 47,315 square feet is well below the maximum allowed.

Chapter 60 Conditional Uses

Section 60.070 Approval Standards and Conditions

This code section states that the applicant must provide evidence substantiating that the proposed use satisfies seven criteria, which are addressed below:

A. The following criteria shall be satisfied.

1. The site size and dimensions provide:

a. Adequate area for the needs of the proposed use.

This site has proven to be adequate for the primary school and its associated facilities. The proposal will not increase the school's enrollment capacity. As shown on the site plan, the 1,100 square-foot library addition will be located within the general perimeter of the existing school building footprint and will not reduce any existing setbacks from surrounding properties.

b. Adequate area for aesthetic design treatment to mitigate any possible adverse effect from the use on surrounding properties and uses.

As shown on the site plan information, the setback distances for buildings, parking, fields, and related facilities from all property will be the same as the existing situation. The building, parking, and fields will retain their current location and orientation, and therefore, the proposed addition and renovation will not have any adverse impact on surrounding properties.

2. The characteristics of the site are suitable for the proposed use considering size, shape, location, topography and natural features.

The existing primary school site has proven to be suitable for the district and the community. The approval of the new bond measure to provide the funding for the improvements demonstrates continued community support for the proposed rejuvenation of the school. The school has served the community on the site for many years. The school has proven that it can operate in a manner, which is compatible with the surrounding neighborhood. Because the capacity of the school will be unchanged, the addition will not pose any new potential impacts for the surrounding neighborhood.

The area of the proposed addition is flat and has no physical limitations. The landscaping near the addition will be restored following construction (Sheet L1.0).

3. *The granting of the proposal will provide for a facility that is consistent with the overall needs of the community.*

The needs of the community are best expressed by its approval of the bond measure to finance these improvements. The relevant city policies are addressed under criterion 7 below.

4. *All required public facilities have adequate capacity to serve the proposal.*

Transportation

Because the capacity and operation of the primary school will not change, no additional traffic impacts will result.

Water

Water service is presently adequate, and because no additional demands will be placed on the system, it will adequately continue to serve the school.

Sanitary and Storm Sewer

Sanitary and storm sewer service is currently satisfactory. The building addition will replace lawn, a hedge, and three small fruit trees. This will be replaced by new landscaping and a rain garden to handle the small amount of additional runoff caused by the library expansion. The existing systems will continue to be adequate because the amount of impervious surface and student/teacher capacity will be consistent with the current conditions.

5. *The applicable requirements of the zone are met except as modified by the Conditional Use chapter.*

The applicable requirements of the R-10 zone are met, and the library addition remodeling will not change the building setbacks on the perimeter of the building. With the addition, the building coverage will be less than 10% of the site, meeting the lot coverage maximum of 35%. The building will also be well below the floor area ratio (FAR) maximum of 0.45.

The appropriate lot size is confirmed as part of the conditional use review. Because the use is proposed to remain essentially as it is today, the site continues to be adequate. The library addition will not be over the 35-foot allowable height. Building setbacks will not be modified, and all will exceed the 20-foot minimum.

6. The supplementary requirements set forth in Chapters 52 to 55, if applicable, are met.

Chapter 52 - Signs

Not relevant because no signs are proposed.

Chapter 53 - Sidewalk Use

This CDC chapter applies to commercial activities on public sidewalks. It is not applicable to this proposal.

Chapter 54 - Installation and Maintenance of Landscaping

This is addressed in the following section relating to Design Review.

Chapter 55 - Design Review

The Design Review criteria are addressed in the following section.

7. The use will comply with the applicable policies of the Comprehensive Plan.

The relevant city of West Linn policies for schools are found in the city's Comprehensive Plan. The relevant policies are addressed below.

The "Natural Environment" section contains one policy that is relevant to the request.

Specific Policy 10 (Water Quality):

Require that new development be designed and executed so as to avoid further degradation of surface and ground water quality by runoff, paying particular attention to the mitigation of soil erosion during and after the development process.

Appropriate erosion control and water quality measures will be taken to comply with this policy and related regulations. These measures will be reviewed by the city as part of the building permit process.

Specific Policy 13 (Water Quality):

Require that new development be connected to the City's sanitary sewer system.

The school will continue to be connected to sanitary sewer.

Specific Policy 19 (Noise Control)

Ensure that new commercial, industrial, and public facility development is landscaped and designed so that DEQ noise standards are met and neighboring noise sensitive properties are not negatively impacted by the new land use or associated activities.

The proposed improvements will not change use patterns on the site or associated noise. Most important, the building function, orientation, and capacity will remain essentially as it is today.

Specific Policy 19 (Urban Forest):

Require that land development will maintain existing trees, which exceed six inches in diameter at breast height (DBH) except where:

- A roadway is being developed*
- A building site is being developed*
- Solar access is needed for a solar heating system.*

The "Public Facilities and Services" section contains several relevant policies.

General Policy 3 (Public Facilities and Services):

Ensure development will coincide with the provision of adequate public facilities and services. The City recognizes the following public facilities and services as those services which shall be provided coincident with development:

- A. Access*
- B. Storm drainage*
- C. Water*
- D. Sewer services*

As discussed above, these facilities are currently provided.

General Policy 5 (Public Facilities and Services):

Monitor, coordinate with, and regulate the activities of the following, where appropriate, as they affect existing and future residents and businesses.

- a. Solid Waste Collection and Recycling*
- b. Utilities - Electricity, Natural Gas, Telephone, and Cable TV.*
- c. Schools.*
- d. Health Services.*

These services are available.

General Policy 1 (Energy Conservation):

Conserve energy through the appropriate location of land uses (through zoning).

General Policy 2 (Energy Conservation):

Ensure energy efficient provision of public facilities and services.

The new library addition will offer significant energy savings through meeting current energy standards related to both increased insulation values and modern heating and cooling equipment.

B. Development review provisions in Chapter 55 shall be satisfied.

These criteria are addressed below.

C. The Planning Commission may impose conditions.

The district understands that the Planning Commission has the authority to impose conditions.

D. Aggregate extraction uses.

This subsection is not relevant because aggregate extraction is not proposed.

Chapter 66 Non-Conforming Structures

This chapter provides that any enlargement or alteration to a non-conforming structure containing a conforming use may be permitted if the enlargement or alteration will not change the degree of non-conformity, and all other applicable ordinance provisions have been met. The existing structure does not comply with the city's parking standards.

Cedaroak is currently required to have 95 off-street parking spaces, and the parking lot was recently expanded by 6 spaces to 74. On-street parking is allowed along much of the school property frontage yielding a total of 86 to 90 spaces that are available for the school. The 1,100 square-foot addition will raise the required parking to 96 spaces. This addition does not increase the enrollment capacity of the school, the current staffing needs, or the parking demand.

The school is also required to have 44 bike parking spaces. As noted above, the district proposes to provide 12 new spaces located adjacent to the south classrooms. This will supplement the existing 15 spaces and provide more than adequate parking for the bicyclists who come to the school.

Chapter 75 Variances

A variance is being sought for expansion of a non-conforming structure as it relates to off-street parking.

Chapter 75 requires that a variance will only be approved if it meets six criteria:

- 1. Exceptional or extraordinary circumstances apply to the property which do not apply generally to other properties in the same zone or vicinity, and result from lot size or shape, legally existing prior to the date of this ordinance, topography, or other circumstances over which the applicant has no control.*

The school building is non-conforming because it only partially satisfies the current city requirement for off-street parking. The library addition would increase the parking requirement from 95 to 96 spaces, and the recent parking lot expansion raised the number of off-street parking spaces from 68 to 74. The district is faced with an extraordinary circumstance because it has maximized the number of parking spaces in the existing parking area north of the school. Additional parking would require a second lot on the south side of the building. This would have a very detrimental impact on the school because this would reduce the amount of playfield space, and it would be awkward to connect such a parking lot with the entrances to the school located on the north side of the building. As the only school in the neighborhood, the circumstances do not apply to other properties in the vicinity.

To reduce the degree of nonconformity for bicycle parking, the district proposes to supplement the existing bicycle parking with 12 new spaces, which will be covered and located near building entrances as required by the CDC. Should additional bike parking be warranted in the future, the district has identified another excellent covered location for more bicycle parking.

- 2. The variance is necessary for the preservation of a property right of the applicant, which is substantially the same as a right possessed by owners of other property in the same zone or vicinity.*

Since the school was established, the use of the automobile has become more prevalent and parking requirements have increased. This change has resulted in amendments to the Community Development Code that have resulted in the existing parking being out of compliance regarding the number of parking spaces provided. The faculty, parents, and the neighborhood have learned to make the best of the parking situation. Unlike other schools, Cedaroak has street frontage that provides 12 to 16 on-street parking spaces directly in front of the school. When considered in combination, between 86 and 90 spaces are available – an amount that is close to the 96-space requirement. In addition, school bus service is provided, the Cedaroak neighborhood is walkable, with interconnected streets, and TriMet bus service is available approximately 1/3-mile to the west on Willamette Drive.

- 3. The authorization of the variance will not be materially detrimental to the purposes and standards of this Code, will not be inconsistent with all other regulatory requirements, and will not conflict with the goals and policies of the West Linn Comprehensive Plan.*

With the exception of parking, all other code requirements will be met. The addition will not create and code compliance issues, and it will not conflict with the goals and policies of the Comprehensive Plan. In addition, parking was not mentioned as an issue during the neighborhood meeting.

- 4. The variance request is the minimum variance, which would alleviate the exceptional and extraordinary circumstance.*

After evaluating the existing Cedaroak Primary School facility, the School District determined that a larger library was necessary to provide improved educational resources and to promote student opportunities for learning. The library will not increase parking demand because it will not raise the enrollment capacity of the

school or increase the number of school staff. As noted above, the district expanded the existing parking lot this past fall with the addition of 6 spaces. This more than compensates for the one additional space triggered by the code for the library addition.

With the expanded 74-space parking lot, the school will have a 12-space deficit compared to the code standard. This is further reduced when the addition 12 to 16 on-street parking spaces are considered. The proposed new bike parking will also help reduce any parking deficiencies.

5. *The exceptional and extraordinary circumstance does not arise from the violation of this ordinance.*

The extraordinary circumstance creating the need for the variance is created by the existing site layout. The district enlarged the parking lot on the north side of the school to the maximum extent possible. Additional parking would require the creation of a second lot on the south side of the site. The district considered the trade-offs of adding more parking to the site and removing some of the existing outdoor school facilities, such as the athletic fields and play areas. The elimination of outdoor school facilities was determined to not be appropriate given the benefits these areas provide to the students and the community.

6. *The variance will not impose physical limitations on other properties or uses in the area, and will not impose physical limitations on future use of neighboring vacant or underdeveloped properties as authorized by the underlying zoning classification.*

Continuation of the school operation with the library addition and 6 new on-site parking spaces and 12 new bike parking spaces will not impose physical limitations on the existing or future uses of other properties in the area because the library expansion is internally located, and accommodation of the current parking demand will be further improved.

Chapter 99 Procedures for Decision-Making: Quasi-Judicial

This chapter requires that the neighborhood is contacted and the proposed development discussed with any affected neighborhood for conditional use permits for developments over 1,500 square feet. A neighborhood meeting with the Robinhood Neighborhood Association was held on March 15, 2010. The District will provide the meeting notes once they are submitted by the neighborhood association.

DESIGN REVIEW CRITERIA

The relevant review criteria in the City of West Linn Community Development Code (CDC) include compliance with Chapter 55 Design Review.

55.100 Class II Design Review

A. The provisions of the following chapters shall be met:

1. Chapter 33 - Storm Water Quality and Detention

The approval criteria in Section 33.040 identify a number of things that must be accomplished according to city requirements during construction. These requirements will be met in coordination with the district, Planning Director, and City Engineer.

2. Chapter 34, Accessory Structures

Not applicable - none proposed.

3. Chapter 38, Additional Yard Area Required

This chapter applies to buildings on streets with inadequate right-of-way widths. These standards are not applicable because all of the necessary street right-of-way and related improvements are provided.

4. Chapter 40, Building Height Limitations and Exceptions

Not applicable – the proposed addition will meet the 35-foot building height limitation of the R-10 Zone.

5. Chapter 42, Clear Vision Areas

The standards for clear vision areas adjacent to driveways will continue to be satisfied or exceeded. The proposed improvements are not near the driveway entrances and exits, retaining the required clear vision areas.

6. Chapter 44, Fences and Screening Outdoor Storage

Not applicable – the library addition will not have an effect on existing fences or storage.

7. Chapter 46, Off-Street Parking and Loading

Section 46.070 requires parking spaces to be no farther than 200 feet from building entrances. The existing parking layout was previously approved by the city. Parking will not be changed by this application. However, as explained above, the district added 6 new parking spaces last year as the first phase of improvements for the school.

Section 46.090 B. 6. contains parking requirements for a primary school. The parking was approved previously by the city and no changes to the design of the parking lot are proposed. Therefore, city standards will continue to be met with the exception of the variance for a non-conforming structure noted above.

Section 46.120 requires a 15-foot wide drive for loading and unloading passengers. This is not applicable because the current site layout and on-site circulation has been previously approved by the city, and no changes to the driveways are proposed.

Section 46.130 requires two loading spaces for the school (100,000+ sq. ft.). This is not applicable because the current site layout and loading has been previously approved by the city, and no changes are proposed.

Section 46.140 contains the design standards for parking areas. As noted above, the parking lot was previously approved by the city and will not be changed. The site plan complies with all of the relevant standards with the exception of the number of on-site spaces.

Section 46.150 A. and B. contain a variety of standards pertaining to parking lot design, pavement, pedestrian access, handicapped parking, and grades. No changes to these facilities, which have been previously approved by the city, are proposed, and these standards will continue to be satisfied.

Section 46.150 B. contains bicycle standards. As described above, the district proposes to significantly improve the bike parking by:

1. Retaining the existing 15 spaces on the west side of the building near the proposed amphitheater.
2. Providing 12 new bike parking spaces located under cover adjacent to the south classrooms.

8. Chapter 48, Access

Section 48.040 requires that service drives have a minimum width of 24 feet. The driveways will continue to have a minimum width of 24 feet.

Access drives in the parking area (*Section 48.020 F.*) will continue to meet code requirements.

Section 48.060 requires that the minimum/maximum curb cut should be 16-36 feet. The existing driveways will continue to be less than 36 feet.

9. Chapter 52, Signs

Not applicable because no new or amended signs are proposed.

10. Chapter 54, Landscaping

The landscaping plan to re-establish landscaping removed during construction will comply with the city's landscaping requirements. The approval criteria are satisfied as noted below:

Sections 54.020 A, B, and C encourage preservation of existing trees. No trees will be removed.

Section 54.020 D. does not apply because there are no heritage trees on the site.

Section 54.020 E. is satisfied because well over 20% of the site will be landscaped, and dimensional requirements for landscaped areas will continue to be met.

55.100 B. Relationship to the Natural and Physical Environment

Sections 55.100 B. 1. and 2. are not relevant because there are no heritage trees on the site.

Section 55.100 B. 3. is satisfied because grading will only involve the new library expansion, and the natural drainage pattern will not be altered. In addition, the storm water treatment was recently enhanced as part of the parking lot renovation to improve the water quality.

Section 55.100 B. 4. is satisfied because the property is geologically stable. Furthermore, the existing school building will not be significantly modified.

Section 55.100 B. 5. is satisfied because the school building will not be significantly altered, and the current building setbacks will be retained.

Section 55.100 B. 6. is met based on the findings below:

- a. The architectural design for the addition will be consistent with the architectural style of the existing building.
- b/c. The proposed design is compatible with the natural environment because only a minimum amount of area will be used for the addition. The proposed addition to Cedaroak Primary School is located internally between two existing wings of the facility. The proposed library addition effectively complements the existing structure by using consistent rhythm of windows, rooflines, building lines, material, and colors as the existing primary school.
- d. The site size and the addition location are sufficient to displace any contrasting architectural styles that the proposed building might add to the surrounding area. As illustrated in the plan sheets, the addition is located in the approximate center of the site with the existing school building on three sides.
- e. The human scale of the proposed building is represented in the design approach, which is consistent with the existing building design.

- f. The criterion related to windows applies only to commercial and office buildings, not school structures.
- g. The addition will feature finish materials, which are the same or similar to existing building materials. The window wall and clerestory windows will provide natural daylight into the new library as well as a visual connection to the surrounding landscaped areas.
- h. Climatic concerns are considered in the proposed building designs due to the public use associated with school buildings. The new addition will meet all current energy efficiency standards.
- i. The proposed site plan is consistent with the city of West Linn's vision statement to provide safe and attractive pedestrian-friendly site and building environments. The design of the addition and its internal location on the site will maintain the current pedestrian-friendly character of the neighborhood.

Section 55.100 B. 7. is not relevant because the library addition will not increase the enrollment capacity or staffing needs for the school. No traffic impact will be caused by the addition.

C. Compatibility Between Adjoining Uses, Buffering and Screening

The building entry and operation of the school will not be changed by the addition.

D. Privacy and Noise

School activities and associated noise will not be affected by this proposal.

G. Demarcation of Public, Semi-Public and Private Spaces

The operation and main entry for the school will not be amended.

I. Public Facilities

The proposed addition will slightly increase the stormwater runoff rate. However, a rain garden is being added per the City of Portland Stormwater Management Manual to account for the required detention and water quality. This system will minimize the impact to the downstream system.

J. Crime Prevention and Safety/Defensible Space

Access, building entrance locations, and existing lighting will not be affected by the library addition. The windows on the library addition will retain visibility of the adjacent yard area.

K. Provisions for Persons with Disabilities

City code criteria and ADA requirements will be satisfied during the final building and facility design for the addition and remodeling work.

L. Signs

Not applicable because new signs or sign modifications are not proposed.

M. Utilities

The addition and other remodeling will not require any change to the existing utility services for the school.

CONCLUSION

The proposed library expansion and other building remodeling satisfy all the relevant criteria as demonstrated above.



WINZLER & KELLY

15575 SW Sequoia Pkwy, Ste. 140
Portland, OR 97224-7233

Date: 3-12-10

MEMORANDUM

Project No.: 10884-09015 Project Name: Cedaroak Park Primary School Remodel
To: Khoi Le, City of West Linn
From: Patrick Tortora, P.E.
Copies To: M. Wharry, P.E.
Subject: Preliminary Stormwater Drainage Design Memorandum

This memorandum is to address the proposed storm drainage improvement related to the proposed library and possible amphitheatre addition.

Project Description:

A 1,100 sf addition is proposed on the south side of the core building, to create a larger and more versatile library. In addition to the library addition is an amphitheatre on the west side of the school to be cut into the existing slope of the school yard. The amphitheatre has no associated building or canopy, it consists of concrete benches, pavers and lawn carved into the existing slope creating natural learning environment 1,468sf. Refer to the Site Plan under separate cover.

The new impervious area summary (approximates):

New Library Rooftop: 2,200 sf

Associated Hardscape for Library Addition: 510 sf

Amphitheatre: 1,468 sf

Total area: 4,178sf

Existing Conditions:

There is an existing storm drain drywell that collects rooftop drainage and storm water from an area drain in the courtyard where the library will be added.

As part of an earlier project a detention system was designed and constructed to accept storm water from the existing structures and proposed addition for this project.

Proposed Storm System:

As part of this project, the existing drywell will be decommissioned per DEQ regulations. The associated roof drains will be collected and routed to the detention system that was previously constructed.

It is being proposed to size the raingarden for the total new impervious area of 4,178 sf. The runoff from the amphitheater will not be directly treated by a specific facility; however it will inadvertently be treated by draining through the grass of the playfield.

The proposed roof drains from the library addition and associated hardscape will drain to a proposed raingarden. The raingarden is sized using the City of Portland Stormwater Management Manual Presumptive Approach. See attached calculations. The raingarden is sized for 4,178 sf of impervious surface, resulting in a raingarden size of 708 sf. Refer to the Utility Plan under separate cover.



Presumptive Approach Calculator ver. 1.1

Catchment Data

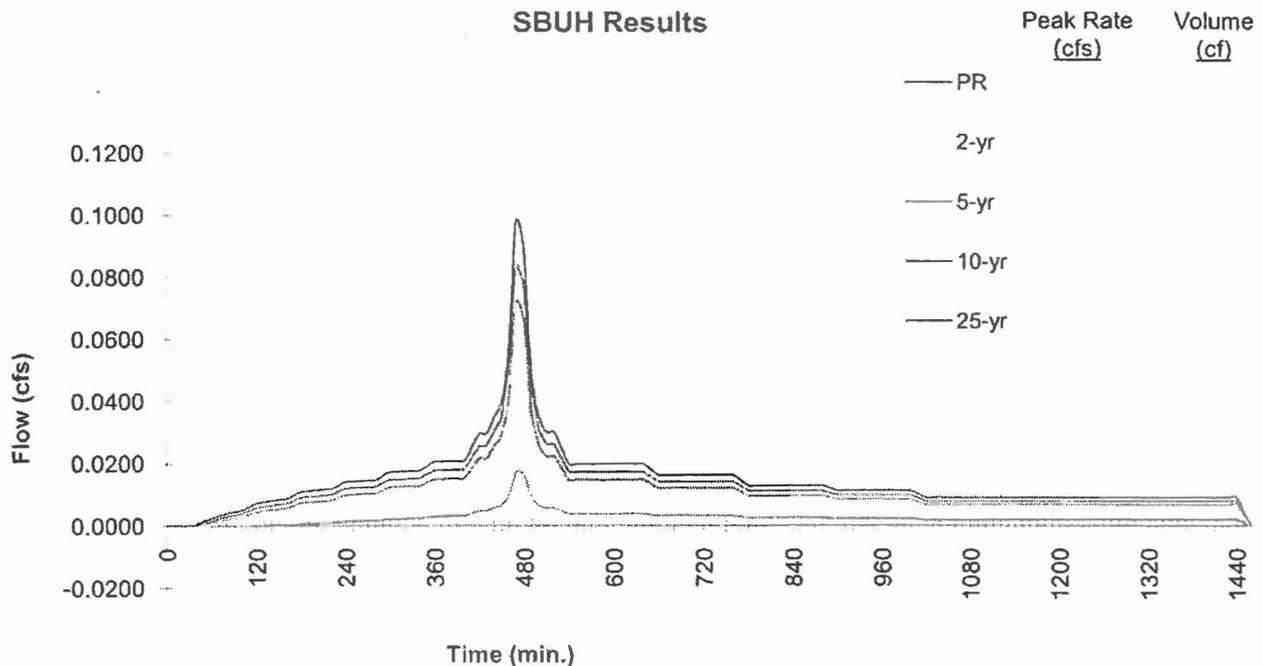
Project Name: CedarOak Park Primary School
 Project Address: 0
West Linn, Oregon
 Designer: PRT
 Company: Winzler & Kelly

Catchment ID: A
 Date: 03/12/10
 Permit Number: 0

Run Time

Drainage Catchment Information	
Catchment ID	A
Catchment Area	
Impervious Area	4,178 SF
Impervious Area	0.10 ac
Impervious Area Curve Number, CN _{imp}	98
Time of Concentration, T _c , minutes	5 min.
Site Soils & Infiltration Testing Data	
Infiltration Testing Procedure:	Open Pit Falling Head
Native Soil Field Tested Infiltration Rate (I _{test}):	0.01 in/hr
Bottom of Facility Meets Required Separation From High Groundwater Per BES SWMM Section 1.4:	Yes
Correction Factor Component	
CF _{test} (ranges from 1 to 3)	2
Design Infiltration Rates	
I _{dsgn} for Native (I _{test} / CF _{test}):	0.01 in/hr
I _{dsgn} for Imported Growing Medium:	2.00 in/hr
Design infiltration rate < 0.5 in/hr	

Execute SBUH Calculations





Presumptive Approach Calculator ver. 1.1

Catchment ID: **A**

Run Time

Project Name: Cedar oak Park Primary School

Catchment ID: A

Date: 3/12/2010

Instructions:

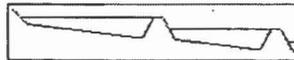
1. Identify which Stormwater Hierarchy Category the facility.
2. Select Facility Type.
3. Identify facility shape of surface facility to more accurately estimate surface volume, except for Swales and sloped planters that use the PAC Sloped Facility Worksheet to enter data.
4. Select type of facility configuration.
5. Complete data entry for all highlighted cells.

Catchment facility will meet Hierarchy Category: 3

Goal Summary:

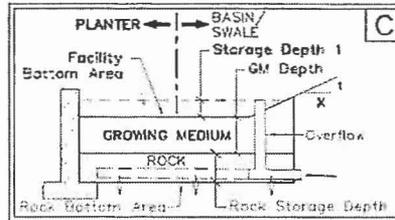
Hierarchy Category	SWM Requirement	RESULTS box below needs to display		Facility configurations allowed
		Pollution Reduction as a	10-yr (aka disposal) as a	
3	Off-site flow to drainage way, river, or storm-only pipe system.	PASS	N/A	ALL

Facility Type = Swale



Facility Configuration: C

Refer to Sloped Facility Worksheet and enter Variable Parameters



Calculation Guide
Max. Rock Stor.
Bottom Area
Per Swale Dims

DATA FOR ABOVE GRADE STORAGE COMPONENT

Infiltration Area = 345 sf
Surface Capacity Volume = 194.5 cf

Growing Medium Depth = 18 in
Freeboard Depth = N/A in

Surface Capacity at Depth 1 = 194 cf
GM Design Infiltration Rate = 2.00 in/hr
Infiltration Capacity = 0.016 cfs

BELOW GRADE STORAGE

Rock Storage Bottom Area = 200 sf
Rock Storage Depth = 18 in
Rock Void Ratio = 0.3
Storage Depth 3 = 12 in

Rock Storage Capacity = 60 cf
Native Design Infiltration Rate = 0.01 in/hr
Infiltration Capacity = 0.000 cfs

RESULTS		Overflow Volume	
Pollution Reduction	PASS	169 CF	0% Surf. Cap. Used
			100% Rock Cap. Used
Output File			
Peak cfs	2-yr	5-yr	10-yr
	0.016	0.016	0.016
			25-yr
			0.050

Current data has been exported:
Cedar oak Park PS - Swale Data.xls
3/13/2010 2:26:28 PM

FACILITY FACTS	
Total Facility Area Including Freeboard =	708 SF
Sizing Ratio (Total Facility Area / Catchment Area) =	0.169



Presumptive Approach Calculator Ver 1.1

Instructions:

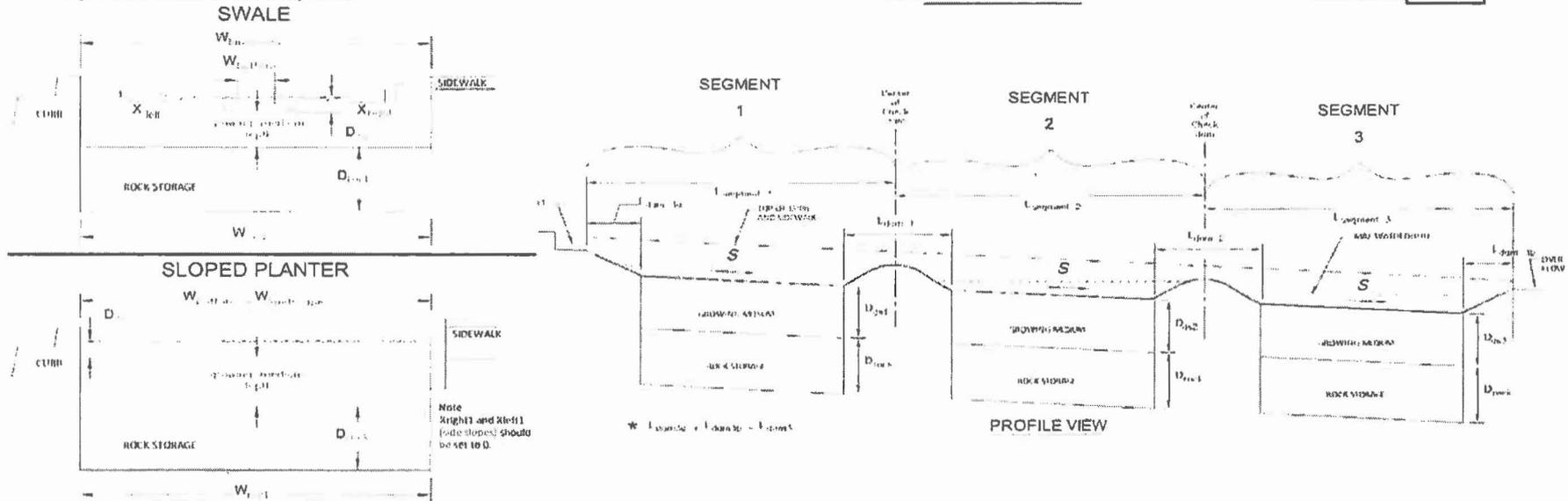
1. Refer to facility graphics and fill in all relevant facility parameters in the Data Entry table below. Data entry cells vary based on Facility Configuration selected on Facility Design Data tab.
2. Delete all facility parameters that may have been entered by the previous iteration that are no longer applicable.

Project Name: Codarook Park Primary School

Date: 3/12/2010

Run Time

Catchment ID: A



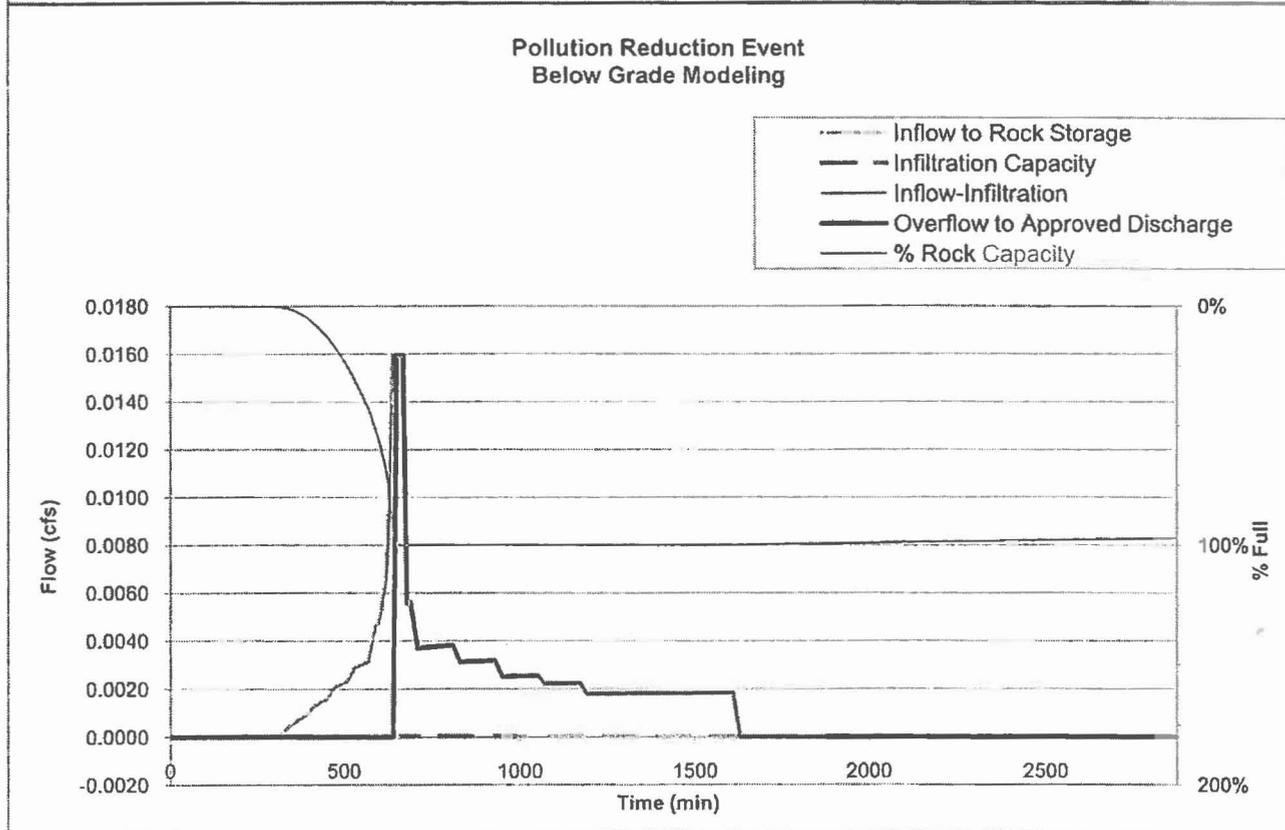
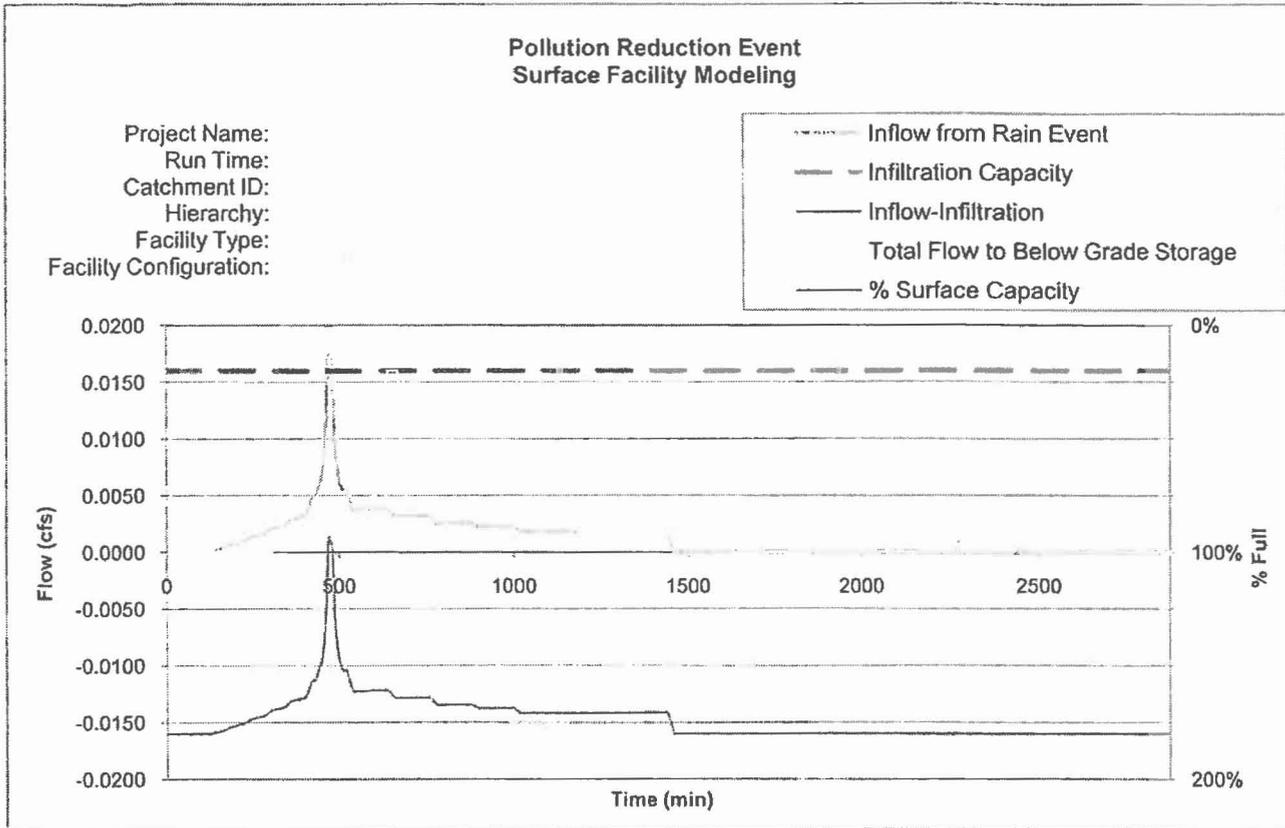
Data Entry

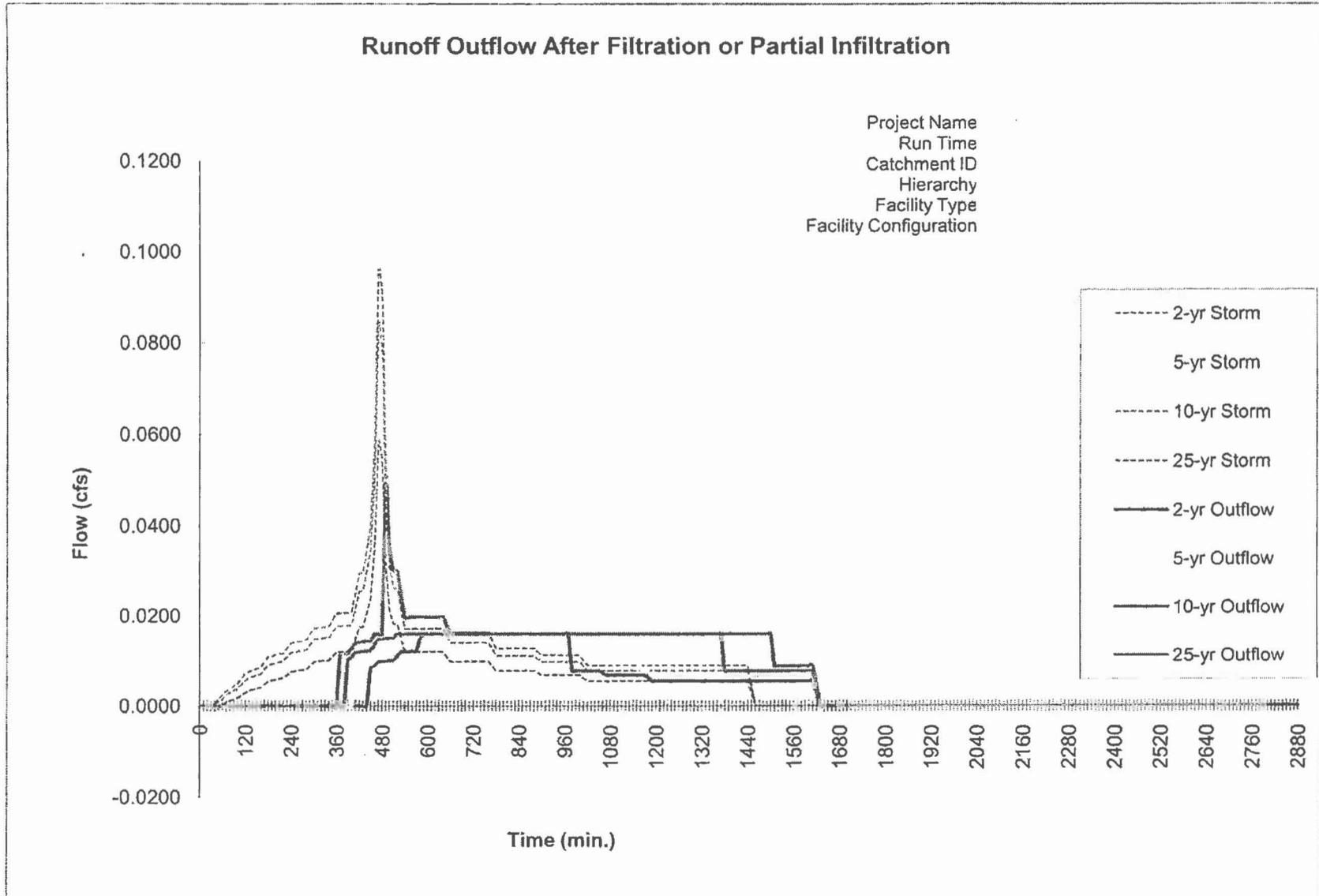
Variable Description Unit Variable Symbol	Parameters									Rock Storage Parameters		
	Facility Segment	Length of facility segment (ft)	Downstream Check Dam Length (ft)	Longitudinal Facility Slope (ft/ft)	Bottom Width (ft)	Side Slope Right	Side Slope Left	Downstream Depth (inches)	Landscaping Width (ft)	Rock Storage Width (ft)	Rock Storage Depth (inches)	Rock Void Ratio
		$L_{segment}$	L_{dam}	S	W_{bottom}	$X_{right}:1$	$X_{left}:1$	D_{ds}	$W_{landscaping}$	W_{rock}	D_{rock}	v
	1	12	2	0.005	2	4	4	9	10	10	18	0.3
	2	12	2	0.005	2	4	4	9	10	10		
	3	12	2	0.005	2	4	4	9	10			
	4	12	2	0.005	2	4	4	9	10			
	5	12	2	0.005	2	4	4	9	10			
	6											
	7											
	8											
	9											
	10											

Error Messages

Worksheet Calculations

Depth 3 = 12







West Linn – Wilsonville Schools

PUBLIC NOTICE

THE PUBLIC IS INVITED to attend a Robinwood Neighborhood Association meeting to discuss the proposed Library Addition and Remodel Project at West Linn-Wilsonville School District's Cedaroak Park Primary School Site

**March 9, 2010 at 7:00 pm
Emmanuel Presbyterian Church
19200 Willamette Drive
West Linn, OR 97068-2009**

Property Information:

- LOCATION: Cedaroak Park School
- ADDRESS: 4515 South Cedaroak West Linn, OR 97068
- DESCRIPTION: Parcel Number 003718 Assessor's Map 21E24

WE ARE WAITING FOR THE MEETING MINUTES.

Site Improvement Description:

The major element of this site improvement work is:

- Construction of a library addition with remodel facilities.

This is an informal meeting to discuss the site improvement of the Cedaroak Park Primary School site. This meeting is in support of a Conceptual Site Plan application to the City of West Linn. The plan may be reviewed or altered prior to actual submittal.

For further information, please contact Amy Berger, West Linn-Wilsonville School District 503-673-7195; or visit us on the web at www.bond.wlww.k12.or.us

Notice dated February 16, 2010

AFFIDAVIT

I, Remo Douglas so hereby solemnly attest that the following statement is true.

Signage for the public notice of the West Linn – Wilsonville School District land use application presentation to the Robinwood Neighborhood Association meeting was posted on February 23, 2010. A copy of the sign is attached.

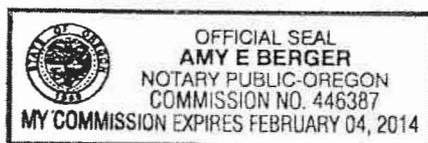
Remo Douglas: *R. Df* Date: 3-4-10

State of Oregon

County of Clackamas

Signed or attested before me on March 4, 2010
by Amy Berger, Notary Public State of Oregon.
My Commission expires: February 4, 2014

Notary: *Amy Berger*



AFFIDAVIT

I, Robert Teters so hereby solemnly attest that the following statement is true.

A copy of the letter to officers of the Robinwood Neighborhood Association and property owners within 500 feet of the proposed structure was mailed on February 17, 2010. A copy of the mailing list with names and addresses is attached.

Robert Teters:  Date: 2/26/2010

State of Oregon

County of Clackamas

Signed or attested before me on February 26, 2010
by Therese McGough, Notary Public State of Oregon.
My Commission expires: March 3, 2012

Notary: 



NAME	OWNER1	SITESTRNO	SITEADDR	SITECITY	SITEZIP
or current resident	DELANO RAMONA CO-TRUSTEE	3737	3737 RIDGEWOOD WAY	WEST LINN	97068
or current resident	RONNING GERALD J & DONNA M	3753	3753 RIDGEWOOD WAY	WEST LINN	97068
or current resident	DAVIDS DORIS J TRUSTEE	18767	18767 TRILLIUM DR	WEST LINN	97068
or current resident	FASTABEND RANDALL J & CORINN	18787	18787 TRILLIUM DR	WEST LINN	97068
or current resident	ROLLINSON KEITH THOMAS & M A	3925	3925 GLEN TER	WEST LINN	97068
or current resident	COKER PEGGY M SHAFFER & RUSSELL	3950	3950 ELMRAN DR	WEST LINN	97068
or current resident	DEAN DENNIS G & CHERYL V WIDEMAN	3988	3988 GLEN TER	WEST LINN	97068
or current resident	IUS GINO L & GERMAINE A	4040	4040 GLEN TER	WEST LINN	97068
or current resident	HOXHA ARTAN	4064	4064 GLEN TER	WEST LINN	97068
or current resident	DULY DEBORAH M	18888	18888 TRILLIUM DR	WEST LINN	97068
or current resident	PASS DAVID A & MARLYNN A	4207	4207 CALAROGA CIR	WEST LINN	97068
or current resident	HOLM DARIN R TRUSTEE	4785	4785 CALAROGA DR	WEST LINN	97068
or current resident	OREILLY MARGARET TESKE	4025	4025 ELMRAN DR	WEST LINN	97068
or current resident	FOSBERG DAVID	4055	4055 ELMRAN DR	WEST LINN	97068
or current resident	NICHOLS JAMES M & SHEILA M	4073	4073 ELMRAN DR	WEST LINN	97068
or current resident	BERGER MICHAEL J & PEGGY E	4081	4081 ELMRAN DR	WEST LINN	97068
or current resident	FISHER DONALD D TRUSTEE	4091	4091 ELMRAN DR	WEST LINN	97068
or current resident	CANYON DEVELOPMENT LLC	4111	4111 ELMRAN DR	WEST LINN	97068
or current resident	WIITANEN RICHARD M & SHEILA	4092	4092 ELMRAN DR	WEST LINN	97068
or current resident	SCHELOT STEVEN N & SUSAN I	4167	4167 GLEN TER	WEST LINN	97068
or current resident	GREILING RODNEY W & JEANETTE L	4040	4040 ELMRAN DR	WEST LINN	97068
or current resident	GUIMARY FLORENCE	4022	4022 ELMRAN DR	WEST LINN	97068
or current resident	DENEKAS BRIAN D & NAOMI K	4131	4131 GLEN TER	WEST LINN	97068
or current resident	GRANT JUDITH A	4158	4158 GLEN TER	WEST LINN	97068
or current resident	SPEARS TONY L & LINDA L	4138	4138 ELMRAN DR	WEST LINN	97068
or current resident	KURZENBERGER CARL T	4148	4148 ELMRAN DR	WEST LINN	97068
or current resident	DONOVAN KEVIN & DIANA KENDALL	4250	4250 ELMRAN DR	WEST LINN	97068
or current resident	KING MARSHALL R & NANCY L	18687	18687 NIXON AVE	WEST LINN	97068
or current resident	WEDDLE CARSON FRANCIS & NORMA R	18675	18675 NIXON AVE	WEST LINN	97068
or current resident	GUNTHER STEPHAN W & DAWN G	18665	18665 NIXON AVE	WEST LINN	97068
or current resident	MILLER MILES J	18595	18595 NIXON AVE	WEST LINN	97068
or current resident	SOMMERSET SCOTT T	4462	4462 ELMRAN DR	WEST LINN	97068
or current resident	OSTERGARD WALTER A & BONNIE J	4450	4450 ELMRAN DR	WEST LINN	97068
or current resident	SHERMAN STEVE & RITA	19065	19065 NIXON AVE	WEST LINN	97068
or current resident	HENDERSON ROBERT B	19095	19095 NIXON AVE	WEST LINN	97068
or current resident	MCLACHLAN MONTE E & MARLA J	19045	19045 NIXON AVE	WEST LINN	97068

or current resident	TOBIN STEPHAN A CO-TRUSTEE	19025 19025 NIXON AVE	WEST LINN 97068
or current resident	MCNAMARA JOHN E & MARIANA	19005 19005 NIXON AVE	WEST LINN 97068
or current resident	FLETTER ALEXANDER H	18917 18917 NIXON AVE	WEST LINN 97068
or current resident	KILIAN RICHARD M & SHARON L	18837 18837 NIXON AVE	WEST LINN 97068
or current resident	BALES SHIRLEY A TRUSTEE	18855 18855 NIXON AVE	WEST LINN 97068
or current resident	LORANCE ESTHER I & MICHAEL C	18735 18735 NIXON AVE	WEST LINN 97068
or current resident	PALMER DAVID & JANICE A	18741 18741 NIXON AVE	WEST LINN 97068
or current resident	JAEGER CRAIG L & KATHLEEN A	18705 18705 NIXON AVE	WEST LINN 97068
or current resident	BELL MARTY C & MAE M	4552 4552 CEDAROAK DR	WEST LINN 97068
or current resident	HARMON DAVID W & JUDITH N	4488 4488 CEDAROAK DR	WEST LINN 97068
or current resident	HAYES ROBERT L TRUSTEE	4424 4424 CEDAROAK DR	WEST LINN 97068
or current resident	WEST LINN-WILS SCH DIST #3J	4515 4515 CEDAROAK DR	WEST LINN 97068
or current resident	NIELSON JAY & LISA M	4344 4344 CEDAROAK DR	WEST LINN 97068
or current resident	MILLER JEFFREY & SUSAN	4300 4300 CEDAROAK DR	WEST LINN 97068
or current resident	GUNTER TODD J & WENDY G	4320 4320 CEDAROAK DR	WEST LINN 97068
or current resident	BARTLEY PATRICIA F TRUSTEE	4310 4310 CEDAROAK DR	WEST LINN 97068
or current resident	WORAM AKIE	4299 4299 TERRA VISTA CT	WEST LINN 97068
or current resident	HANBY GEORGE DANIEL JR TRUSTEE	4283 4283 TERRA VISTA CT	WEST LINN 97068
or current resident	HAATIA LLOYD WARREN TRUSTEE	4271 4271 TERRA VISTA CT	WEST LINN 97068
or current resident	HORVATH E MARIE	4256 4256 TERRA VISTA CT	WEST LINN 97068
or current resident	HOPPE HEATHER MARIE	4242 4242 TERRA VISTA CT	WEST LINN 97068
or current resident	HARTFELL ADOLF & BARBARA	4230 4230 TERRA VISTA CT	WEST LINN 97068
or current resident	BALTAZAR ROBERT D & SHIRLEY L	4220 4220 TERRA VISTA CT	WEST LINN 97068
or current resident	DELUCA RAYNOLD E JR & DEBRA A	4206 4206 CEDAROAK DR	WEST LINN 97068
or current resident	MCDONALD RYAN A & JENNIFER A	4194 4194 CEDAROAK DR	WEST LINN 97068
or current resident	MCCARTHY SEAN G	4142 4142 CEDAROAK DR	WEST LINN 97068
or current resident	WALKER SALLY A	4108 4108 CEDAROAK DR	WEST LINN 97068
or current resident	HAINS PROPERTIES LLC	4084 4084 CEDAROAK DR	WEST LINN 97068
or current resident	PERRY MAUREEN & JOSEPH A	4064 4064 CEDAROAK DR	WEST LINN 97068
or current resident	TREADGOLD SHARON M	4044 4044 CEDAROAK DR	WEST LINN 97068
or current resident	PIERCE DAVID O & METTE K IPSEN	4035 4035 KENTHORPE WAY	WEST LINN 97068
or current resident	VANCE DELBERT CLARK & JEANNE A	4087 4087 KENTHORPE WAY	WEST LINN 97068
or current resident	SCHOEPPER BRETT B	4095 4095 KENTHORPE WAY	WEST LINN 97068
or current resident	MACNAUGHTON SCOTT C & TERE R	4107 4107 KENTHORPE WAY	WEST LINN 97068
or current resident	KING EVALOIS A	4185 4185 KENTHORPE WAY	WEST LINN 97068
or current resident	KING EVALOIS A	4145 4145 KENTHORPE WAY	WEST LINN 97068
or current resident	KING LAMONT A	4257 4257 KENTHORPE WAY	WEST LINN 97068

or current resident	COMPTON LAURENE E & BRIAN J	4285 4285 KENTHORPE WAY	WEST LINN 97068
or current resident	BURNS DENNEL G	4351 4351 KENTHORPE WAY	WEST LINN 97068
or current resident	CONKLE LEO E TRUSTEE	4307 4307 KENTHORPE WAY	WEST LINN 97068
or current resident	CROY LOU ANN LIVING TRUST	4399 4399 KENTHORPE WAY	WEST LINN 97068
or current resident	FUNK DUANE H	4405 4405 KENTHORPE WAY	WEST LINN 97068
or current resident	GEORGE PETER W & DIANE M	4445 4445 KENTHORPE WAY	WEST LINN 97068
or current resident	WILLIAMS KRISTI A & BRIAN D	19075 19075 TRILLIUM DR	WEST LINN 97068
or current resident	PENNINGTON TERRY LEE SR & KARYN	19065 19065 TRILLIUM DR	WEST LINN 97068
or current resident	RIDGEWAY STEVEN & KRISTI J	3915 3915 CEDAROAK DR	WEST LINN 97068
or current resident	KEARNEY PATRICK M & HEIDI S	19055 19055 TRILLIUM DR	WEST LINN 97068
or current resident	DASSO JAMES F TRUSTEE	3893 3893 CEDAROAK DR	WEST LINN 97068
or current resident	KILSTROM LONN K & ANN M	3855 3855 CEDAROAK DR	WEST LINN 97068
or current resident	CURTISS ALAN C & JACQUELYN M	3801 3801 CEDAROAK DR	WEST LINN 97068
or current resident	PORTER MICHELLE P	3927 3927 RIDGEWOOD WAY	WEST LINN 97068
or current resident	CARLSON ERIC R & MARYANNE	3875 3875 RIDGEWOOD WAY	WEST LINN 97068
or current resident	MILLER JOHN M & DONNA D	3825 3825 RIDGEWOOD WAY	WEST LINN 97068
or current resident	GADDA KATHLEEN	18901 18901 TRILLIUM DR	WEST LINN 97068
or current resident	SCHWARK RYERSON E	18915 18915 TRILLIUM DR	WEST LINN 97068
or current resident	MAGEE GERALD J & JUDITH C	18925 18925 TRILLIUM DR	WEST LINN 97068
or current resident	PRICE WYLIADA M & DARYL	3787 3787 RIDGEWOOD WAY	WEST LINN 97068
or current resident	BLACKROCK INVESTMENTS LLC	18811 18811 TRILLIUM DR	WEST LINN 97068
or current resident	CLIFTON KENNETH E & LISA M	3765 3765 RIDGEWOOD WAY	WEST LINN 97068
or current resident	SEVERSON DWIGHT	3850 3850 CEDAROAK DR	WEST LINN 97068
or current resident	POLLMANN DENNIS A & SHARON M	3879 3879 KENTHORPE WAY	WEST LINN 97068
or current resident	WILLIAMS PATRICIA BADIA	3896 3896 CEDAROAK DR	WEST LINN 97068
or current resident	DURHAM KATHERINE A	3833 3833 KENTHORPE WAY	WEST LINN 97068
or current resident	WOODARD DONNA	3979 3979 KENTHORPE WAY	WEST LINN 97068
or current resident	OLSEN LAWRENCE O	3993 3993 KENTHORPE WAY	WEST LINN 97068
or current resident	HACKETT JAMES E & KATHLEEN M	3900 3900 KENTHORPE WAY	WEST LINN 97068
or current resident	WELLS GEORGE A & RICHETTA M	3888 3888 KENTHORPE WAY	WEST LINN 97068
or current resident	GERBER SCOTT	3940 3940 KENTHORPE WAY	WEST LINN 97068
or current resident	GOLDSCHMIDT JOSHUA A & ROBIN E	3960 3960 KENTHORPE WAY	WEST LINN 97068
or current resident	PREDEEK ERIC D	3880 3880 KENTHORPE WAY	WEST LINN 97068
or current resident	MCDONALD CARMEN M & JENNIFER A	3882 3882 KENTHORPE WAY	WEST LINN 97068
or current resident	GRIFFITH THOMAS & LORIE	4068 4068 KENTHORPE WAY	WEST LINN 97068
or current resident	HUDSON CHRISTOPHER T	4160 4160 KENTHORPE WAY	WEST LINN 97068
or current resident	MEYERS GRACE J	4100 4100 KENTHORPE WAY	WEST LINN 97068

or current resident NORBY JOHN CLIFFORD TRUSTEE

4040 4040 KENTHORPE WAY WEST LINN 97068

DELANO RAMONA CO-TRUSTEE or current resident 3737 RIDGEWOOD WAY WEST LINN 97068	RONNING GERALD J & DONNA M or current resident 3753 RIDGEWOOD WAY WEST LINN 97068	DAVIDS DORIS J TRUSTEE or current resident 18767 TRILLIUM DR WEST LINN 97068
FASTABEND RANDALL J & CORINN or current resident 18787 TRILLIUM DR WEST LINN 97068	ROLLINSON KEITH THOMAS & M A or current resident 3925 GLEN TER WEST LINN 97068	COKER PEGGY M SHAFFER & RUSSELL or current resident 3950 ELMRAN DR WEST LINN 97068
DEAN DENNIS G & CHERYL V WIDEMAN or current resident 3988 GLEN TER WEST LINN 97068	IUS GINO L & GERMAINE A or current resident 4040 GLEN TER WEST LINN 97068	HOXHA ARTAN or current resident 4064 GLEN TER WEST LINN 97068
DULY DEBORAH M or current resident 18888 TRILLIUM DR WEST LINN 97068	PASS DAVID A & MARLYNN A or current resident 4207 CALAROGA CIR WEST LINN 97068	HOLM DARIN R TRUSTEE or current resident 4785 CALAROGA DR WEST LINN 97068
OREILLY MARGARET TESKE or current resident 4025 ELMRAN DR WEST LINN 97068	FOSBERG DAVID or current resident 4055 ELMRAN DR WEST LINN 97068	NICHOLS JAMES M & SHEILA M or current resident 4073 ELMRAN DR WEST LINN 97068
BERGER MICHAEL J & PEGGY E or current resident 4081 ELMRAN DR WEST LINN 97068	FISHER DONALD D TRUSTEE or current resident 4091 ELMRAN DR WEST LINN 97068	CANYON DEVELOPMENT LLC or current resident 4111 ELMRAN DR WEST LINN 97068
WIITANEN RICHARD M & SHEILA or current resident 4092 ELMRAN DR WEST LINN 97068	SCHELOT STEVEN N & SUSAN I or current resident 4167 GLEN TER WEST LINN 97068	GREILING RODNEY W & JEANETTE L or current resident 4040 ELMRAN DR WEST LINN 97068
GUIMARY FLORENCE or current resident 4022 ELMRAN DR WEST LINN 97068	DENEKAS BRIAN D & NAOMI K or current resident 4131 GLEN TER WEST LINN 97068	GRANT JUDITH A or current resident 4158 GLEN TER WEST LINN 97068
SPEARS TONY L & LINDA L or current resident 4138 ELMRAN DR WEST LINN 97068	KURZENBERGER CARL T or current resident 4148 ELMRAN DR WEST LINN 97068	DONOVAN KEVIN & DIANA KENDALL or current resident 4250 ELMRAN DR WEST LINN 97068
KING MARSHALL R & NANCY L or current resident 18687 NIXON AVE WEST LINN 97068	WEDDLE CARSON FRANCIS & NORMA R or current resident 18675 NIXON AVE WEST LINN 97068	GUNTHER STEPHAN W & DAWN G or current resident 18665 NIXON AVE WEST LINN 97068

MILLER MILES J or current resident
18595 NIXON AVE
WEST LINN 97068

SOMMERSET SCOTT T or current
resident
4462 ELMRAN DR
WEST LINN 97068

OSTERGARD WALTER A & BONNIE J or
current resident
4450 ELMRAN DR
WEST LINN 97068

SHERMAN STEVE & RITA or current
resident
19065 NIXON AVE
WEST LINN 97068

HENDERSON ROBERT B or current
resident
19095 NIXON AVE
WEST LINN 97068

MCLACHLAN MONTE E & MARLA J or
current resident
19045 NIXON AVE
WEST LINN 97068

TOBIN STEPHAN A CO-TRUSTEE or
current resident
19025 NIXON AVE
WEST LINN 97068

MCNAMARA JOHN E & MARIANA or
current resident
19005 NIXON AVE
WEST LINN 97068

FLETTER ALEXANDER H or current
resident
18917 NIXON AVE
WEST LINN 97068

KILIAN RICHARD M & SHARON L or
current resident
18837 NIXON AVE
WEST LINN 97068

BALES SHIRLEY A TRUSTEE or current
resident
18855 NIXON AVE
WEST LINN 97068

LORANCE ESTHER I & MICHAEL C or
current resident
18735 NIXON AVE
WEST LINN 97068

PALMER DAVID & JANICE A or current
resident
18741 NIXON AVE
WEST LINN 97068

JAEGER CRAIG L & KATHLEEN A or
current resident
18705 NIXON AVE
WEST LINN 97068

BELL MARTY C & MAE M or current
resident
4552 CEDAROAK DR
WEST LINN 97068

HARMON DAVID W & JUDITH N or
current resident
4488 CEDAROAK DR
WEST LINN 97068

HAYES ROBERT L TRUSTEE or current
resident
4424 CEDAROAK DR
WEST LINN 97068

WEST LINN-WILS SCH DIST #3J or
current resident
4515 CEDAROAK DR
WEST LINN 97068

NIELSON JAY & LISA M or current
resident
4344 CEDAROAK DR
WEST LINN 97068

MILLER JEFFREY & SUSAN or current
resident
4300 CEDAROAK DR
WEST LINN 97068

GUNTER TODD J & WENDY G or current
resident
4320 CEDAROAK DR
WEST LINN 97068

BARTLEY PATRICIA F TRUSTEE or
current resident
4310 CEDAROAK DR
WEST LINN 97068

WORAM AKIE or current resident
4299 TERRA VISTA CT
WEST LINN 97068

HANBY GEORGE DANIEL JR TRUSTEE or
current resident
4283 TERRA VISTA CT
WEST LINN 97068

HAATIA LLOYD WARREN TRUSTEE or
current resident
4271 TERRA VISTA CT
WEST LINN 97068

HORVATH E MARIE or current resident
4256 TERRA VISTA CT
WEST LINN 97068

HOPPE HEATHER MARIE or current
resident
4242 TERRA VISTA CT
WEST LINN 97068

HARTFELL ADOLF & BARBARA or
current resident
4230 TERRA VISTA CT
WEST LINN 97068

BALTAZAR ROBERT D & SHIRLEY L or
current resident
4220 TERRA VISTA CT
WEST LINN 97068

DELUCA RAYNOLD E JR & DEBRA A or
current resident
4206 CEDAROAK DR
WEST LINN 97068

MCDONALD RYAN A & JENNIFER A or
current resident
4194 CEDAROAK DR
WEST LINN 97068

HAINS PROPERTIES LLC or current
resident
4084 CEDAROAK DR
WEST LINN 97068

PIERCE DAVID O & METTE K IPSEN or
current resident
4035 KENTHORPE WAY
WEST LINN 97068

MACNAUGHTON SCOTT C & TERE R or
current resident
4107 KENTHORPE WAY
WEST LINN 97068

KING LAMONT A or current resident
4257 KENTHORPE WAY
WEST LINN 97068

CONKLE LEO E TRUSTEE or current
resident
4307 KENTHORPE WAY
WEST LINN 97068

GEORGE PETER W & DIANE M or
current resident
4445 KENTHORPE WAY
WEST LINN 97068

RIDGEWAY STEVEN & KRISTI J or
current resident
3915 CEDAROAK DR
WEST LINN 97068

KILSTROM LONN K & ANN M or current
resident
3855 CEDAROAK DR
WEST LINN 97068

CARLSON ERIC R & MARYANNE or
current resident
3875 RIDGEWOOD WAY
WEST LINN 97068

MCCARTHY SEAN G or current resident
4142 CEDAROAK DR
WEST LINN 97068

PERRY MAUREEN & JOSEPH A or
current resident
4064 CEDAROAK DR
WEST LINN 97068

VANCE DELBERT CLARK & JEANNE A or
current resident
4087 KENTHORPE WAY
WEST LINN 97068

KING EVALOIS A or current resident
4185 KENTHORPE WAY
WEST LINN 97068

COMPTON LAURENE E & BRIAN J or
current resident
4285 KENTHORPE WAY
WEST LINN 97068

CROY LOU ANN LIVING TRUST or
current resident
4399 KENTHORPE WAY
WEST LINN 97068

WILLIAMS KRISTI A & BRIAN D or
current resident
19075 TRILLIUM DR
WEST LINN 97068

KEARNEY PATRICK M & HEIDI S or
current resident
19055 TRILLIUM DR
WEST LINN 97068

CURTISS ALAN C & JACQUELYN M or
current resident
3801 CEDAROAK DR
WEST LINN 97068

MILLER JOHN M & DONNA D or current
resident
3825 RIDGEWOOD WAY
WEST LINN 97068

WALKER SALLY A or current resident
4108 CEDAROAK DR
WEST LINN 97068

TREADGOLD SHARON M or current
resident
4044 CEDAROAK DR
WEST LINN 97068

SCHOEPPER BRETT B or current
resident
4095 KENTHORPE WAY
WEST LINN 97068

KING EVALOIS A or current resident
4145 KENTHORPE WAY
WEST LINN 97068

BURNS DENNEL G or current resident
4351 KENTHORPE WAY
WEST LINN 97068

FUNK DUANE H or current resident
4405 KENTHORPE WAY
WEST LINN 97068

PENNINGTON TERRY LEE SR & KARYN
or current resident
19065 TRILLIUM DR
WEST LINN 97068

DASSO JAMES F TRUSTEE or current
resident
3893 CEDAROAK DR
WEST LINN 97068

PORTER MICHELLE P or current resident
3927 RIDGEWOOD WAY
WEST LINN 97068

GADDA KATHLEEN or current resident
18901 TRILLIUM DR
WEST LINN 97068

SCHWARK RYERSON E or current resident
18915 TRILLIUM DR
WEST LINN 97068

MAGEE GERALD J & JUDITH C or current resident
18925 TRILLIUM DR
WEST LINN 97068

PRICE WYLIADA M & DARYL or current resident
3787 RIDGEWOOD WAY
WEST LINN 97068

BLACKROCK INVESTMENTS LLC or current resident
18811 TRILLIUM DR
WEST LINN 97068

CLIFTON KENNETH E & LISA M or current resident
3765 RIDGEWOOD WAY
WEST LINN 97068

SEVERSON DWIGHT or current resident
3850 CEDAROAK DR
WEST LINN 97068

POLLMANN DENNIS A & SHARON M or current resident
3879 KENTHORPE WAY
WEST LINN 97068

WILLIAMS PATRICIA BADIA or current resident
3896 CEDAROAK DR
WEST LINN 97068

DURHAM KATHERINE A or current resident
3833 KENTHORPE WAY
WEST LINN 97068

WOODARD DONNA or current resident
3979 KENTHORPE WAY
WEST LINN 97068

OLSEN LAWRENCE O or current resident
3993 KENTHORPE WAY
WEST LINN 97068

HACKETT JAMES E & KATHLEEN M or current resident
3900 KENTHORPE WAY
WEST LINN 97068

WELLS GEORGE A & RICHETTA M or current resident
3888 KENTHORPE WAY
WEST LINN 97068

GERBER SCOTT or current resident
3940 KENTHORPE WAY
WEST LINN 97068

GOLDSCHMIDT JOSHUA A & ROBIN E or current resident
3960 KENTHORPE WAY
WEST LINN 97068

PREDEEK ERIC D or current resident
3880 KENTHORPE WAY
WEST LINN 97068

MCDONALD CARMEN M & JENNIFER A or current resident
3882 KENTHORPE WAY
WEST LINN 97068

GRIFFITH THOMAS & LORIE or current resident
4068 KENTHORPE WAY
WEST LINN 97068

HUDSON CHRISTOPHER T or current resident
4160 KENTHORPE WAY
WEST LINN 97068

MEYERS GRACE J or current resident
4100 KENTHORPE WAY
WEST LINN 97068

NORBY JOHN CLIFFORD TRUSTEE or current resident
4040 KENTHORPE WAY
WEST LINN 97068

ROBINWOOD NEIGHBORHOOD ASSOCIATION PRESIDENT
THOMAS BOES
18717 UPPER MIDHILL DR
WEST LINN, OR 97068

ROBINWOOD NEIGHBORHOOD ASSOCIATION VICE PRESIDENT
JENNIFER HARTUNG
19448 WILDERNESS DRIVE
WEST LINN, OR 97068

ROBINWOOD NEIGHBORHOOD ASSOCIATION DESIGNEE
KEVIN BRYCK
18840 NIXON AVE
WEST LINN, OR 97068

ROBINWOOD NEIGHBORHOOD ASSOCIATION MEMBER AT LARGE
ANDREW HARRIS
2270 ARBOR DRIVE
WEST LINN, OR 97068

ROBINWOOD NEIGHBORHOOD ASSOCIATION TREASURER
ROBERT BJERRE
18378 UPPER MIDHILL
WEST LINN, OR 97068

ROBINWOOD NEIGHBORHOOD ASSOCIATION SECRETARY
ANTHONY BRACCO
2716 ROBINWOOD WAY
WEST LINN, OR 97068

FOR THE DIRECTOR OF THE BUREAU OF REVENUE
WASHINGTON, D. C. 20548
DEPARTMENT OF THE TREASURY
OFFICE OF THE CHIEF OF BUREAU
WASHINGTON, D. C. 20548

UNITED STATES DEPARTMENT OF THE TREASURY
BUREAU OF REVENUE
WASHINGTON, D. C. 20548

Clackamas County School District 3Jt
West Linn-Wilsonville Public Schools
ADMINISTRATION BUILDING
P.O. Box 35
West Linn, Oregon 97068



PASS DAVID A & MARLYNN A or current
resident
4207 CALAROGA CIR
WEST LINN 97068

NIXIE 970 SE 1 00 02/22/10

RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

BC: 97068003535 *1229-19908-18-36

97068003535



Clackamas County School District 3Jt
West Linn-Wilsonville Public Schools
ADMINISTRATION BUILDING
P.O. Box 35
West Linn, Oregon 97068



GRANT JUDITH A or current resident
4158 GLEN TER
WEST LINN 97068

NIXIE 970 SE 1 00 02/20/10

RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

BC: 97068003535 *1229-19004-18-36

97068003535



Clackamas County School District 3jt
West Linn-Wilsonville Public Schools
ADMINISTRATION BUILDING
P.O. Box 35
West Linn, Oregon 97068



BLACKROCK INVESTMENTS LLC or
current resident
18811 TRILLIUM DR
WEST LINN 97068

NIXIE 970 SE 1 00 02/22/10

RETURN TO SENDER
NO MAIL RECEIPT
UNABLE TO FORWARD

BC: 97068003535 *1229-19969-19-36

97068003535



Clackamas County School District 3jt
West Linn-Wilsonville Public Schools
ADMINISTRATION BUILDING
P.O. Box 35
West Linn, Oregon 97068



FISHER DONALD D TRUSTEE or current
resident
4091 ELMRAN DR
WEST LINN 97068

NIXIE 970 SE 1 00 02/22/10

RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

BC: 97068003535 *1229-19969-19-36

97068003535



Amy Berger - Re: Additional Designee

From: Thomas Boes <presidentrna@gmail.com>
To: Amy Berger <BergerA@wlwv.k12.or.us>
Date: 2/18/2010 6:39 AM
Subject: Re: Additional Designee

Here are the last two addresses for the RNA Officers. You should now have all 4.

Robert Bjerre, *Treasurer*
18378 Upper Midhill, West Linn, OR 97068
Anthony Bracco, *Secretary*
2716 Robinwood Way, West Linn, OR 97068
Thomas

On Tue, Feb 16, 2010 at 8:47 AM, Thomas Boes <presidentrna@gmail.com> wrote:

Amy,
I am reminding the remaining officers again. I will try to get the information to you no later than this afternoon.
-Thomas

On Tue, Feb 16, 2010 at 7:51 AM, Amy Berger <BergerA@wlwv.k12.or.us> wrote:

Thomas, we are sending these letters out today if we get the additional addresses from you. Do you have the other officer addresses? Thanks for all your help.
Amy

>>> Thomas Boes <presidentrna@gmail.com> 2/11/2010 8:40 AM >>>

Amy,
I will get the addresses to you asap.
The Additional Designee will be Kevin Bryck. He is also a member of the RNA Planning Committee.
Kevin Bryck - Secondary Designee
18840 Nixon Ave.
West Linn, OR 97068
503.675.7301
Jennifer Hartung - RNA Vice President
19448 Wilderness Dr.
West Linn, OR 97068
503.804.9049
I'll get the others to you.
-Thomas

On Thu, Feb 11, 2010 at 7:12 AM, Bob Teters <TetersB@wlwv.k12.or.us> wrote:

Thanks Thomas
We will hold off on sending this out and I believe we have all the addresses but will check on this.
Bob

>>> Thomas Boes <presidentrna@gmail.com> 2/10/2010 10:36 PM >>>

Mr. Teters,
I just recieved the revisions to the City's CDC. Sure enough there's the new requirement to contact a Designee. In order to avoid any additional delays, I am going to ask the City (Tomorrow) to approve an additional Designee for you to contact since the new requirement seems to say that you must contact the RNA Presidnet AND a Designee. I have a person in mind, and should have everything in place in

the morning, so hold off a bit on resending your Certified Letters.
Also, do you have addresses for the other RNA Officers? The CDC Also requires you to contact each of them by mail.

Jennifer Hartung (Vice President)

Anthony Bracco (Secretary)

Robert Bjere (Treasurer)

Andy Harris (Member At Large)

If your need it, I can get you that information tomorrow as well.

Since its a short month, you have lttle time to make the 20 day deadline. Let me know how else I can help.

Thomas Boes, *President*

Robinwood Neighborhood Association

This email virus and spam checked by **GWAVA.**

This email virus and spam checked by **GWAVA.**



West Linn – Wilsonville Schools

PUBLIC NOTICE

THE PUBLIC IS INVITED to attend a Robinwood Neighborhood Association meeting to discuss the proposed Library Addition and Remodel Project at West Linn-Wilsonville School District's Cedaroak Park Primary School Site

**March 9, 2010 at 7:00 pm
Emmanuel Presbyterian Church
19200 Willamette Drive
West Linn, OR 97068-2009**

Property Information:

- **LOCATION:** Cedaroak Park School
- **ADDRESS:** 4515 South Cedaroak Drive
West Linn, OR 97068
- **DESCRIPTION:** Parcel Number 00371859
Assessor's Map 21E24BA01800

Site Improvement Description:

The major element of this site improvement work is:

- Construction of a library addition with remodel and expansion of the existing library facilities.

This is an informal meeting to discuss the site improvements planned for at the Cedaroak Park Primary School site. This meeting is in support of a Conditional Use and Class I Design Review application to the City of West Linn. The plan may be modified or altered prior to actual submittal.

For further information, please contact Amy Berger, West Linn-Wilsonville School District 503-673-7195; or visit us on the web at www.bond.wlww.k12.or.us

Notice dated February 16, 2010

7009 0820 0000 9577 3441

U.S. Postal Service
CERTIFIED MAIL[®] RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$.44
Certified Fee	2.50
Return Receipt Fee (Endorsement Required)	2.30
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 5.54

POSTAL OR OTHER
 FEB 18 2010
 Postmark Here
 (AMN: Amy)
 a.s.s. lu.

Sent to: Robinwood Neighborhood
 Street, Apt. No., or PO Box No.: 18717 Upper Midhill Dr.
 City, State, ZIP+4: West Linn, OR 97068

Certified Mail Provides:

- A mailing receipt
- A unique identifier for your mailpiece
- A record of delivery kept by the Postal Service for two years

Important Reminders:

- Certified Mail may **ONLY** be combined with First-Class Mail[®] or Priority Mail[®].
- Certified Mail is **not** available for any class of international mail.
- **NO INSURANCE COVERAGE IS PROVIDED** with Certified Mail. For valuables, please consider Insured or Registered Mail.
- For an additional fee, a *Return Receipt* may be requested to provide proof of delivery. To obtain Return Receipt service, please complete and attach a Return Receipt (PS Form 3811) to the article and add applicable postage to cover the fee. Endorse mailpiece "Return Receipt Requested". To receive a fee waiver for a duplicate return receipt, a USPS[®] postmark on your Certified Mail receipt is required.
- For an additional fee, delivery may be restricted to the addressee or addressee's authorized agent. Advise the clerk or mark the mailpiece with the endorsement "*Restricted Delivery*".
- If a postmark on the Certified Mail receipt is desired, please present the article at the post office for postmarking. If a postmark on the Certified Mail receipt is not needed, detach and affix label with postage and mail.

IMPORTANT: Save this receipt and present it when making an inquiry.

PS Form 3800, August 2000 (Reverse) PSN 7530-02-000-0047

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 44.	
Certified Fee	280	
Return Receipt Fee (Endorsement Required)	230	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 5.54	

Sent To: *Robinson Neighborhood Arts Dev.*
Street, Apt. No. or PO Box No. *18840 Nixon Ave.*
City, State, ZIP+4 *West Lima, OH 43088*

(Amy B.)

(Kevin Bryck)

PS Form 3800, August 2009 See Reverse for Instructions

7009 0820 0000 9577 3458

Certified Mail Provides:

- A mailing receipt
- A unique identifier for your mailpiece
- A record of delivery kept by the Postal Service for two years

Important Reminders:

- Certified Mail may **ONLY** be combined with **First-Class Mail®** or **Priority Mail®**.
- Certified Mail is **not** available for any class of international mail.
- **NO INSURANCE COVERAGE IS PROVIDED with Certified Mail.** For valuables, please consider **Insured** or **Registered Mail**.
- For an additional fee, a **Return Receipt** may be requested to provide proof of delivery. To obtain Return Receipt service, please complete and attach a Return Receipt (PS Form 3811) to the article and add applicable postage to cover the fee. Endorse mailpiece "Return Receipt Requested". To receive a fee waiver for a duplicate return receipt, a USPS® postmark on your Certified Mail receipt is required.
- For an additional fee, delivery may be restricted to the addressee or addressee's authorized agent. Advise the clerk or mark the mailpiece with the endorsement "**Restricted Delivery**".
- If a postmark on the Certified Mail receipt is desired, please present the article at the post office for postmarking. If a postmark on the Certified Mail receipt is not needed, detach and affix label with postage and mail.

IMPORTANT: Save this receipt and present it when making an inquiry.

PS Form 3800, August 2006 (Reverse) PSN 7530-02-000-9047

UNITED STATES POSTAL SERVICE OUR CHOICE

19 FEB 2010 PM 3

First-Class Mail
Postage & Fees Paid
USPS
Permit No. G-40

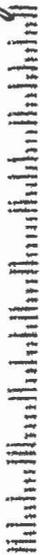
• Sender: Please print your name, address, and ZIP+4 in this box •

West Linn Wilsonville School
Diets.

P.O. Box 35
West Linn, OR

97068

ATTN: Amy B.



SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

*Robinwood Neighborhood
association Deque
(Kevin Byrd)*

*18840 Nixon Ave.
West Linn, Ok.
97068*

2. Article Number (Copy from service label)

7009 0820 0000 9577 3458

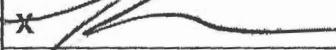
COMPLETE THIS SECTION ON DELIVERY

A. Received by (Please Print Clearly)

KEVIN BYRD

B. Date of Delivery

C. Signature

X  Agent Addressee

D. Is delivery address different from item 1?

 Yes

If YES, enter delivery address below:

 No

3. Service Type

 Certified Mail Express Mail Registered Return Receipt for Merchandise Insured Mail C.O.D.

4. Restricted Delivery? (Extra Fee)

 Yes

PS Form 3811, July 1999

Domestic Return Receipt

102595-99-M-1789

UNITED STATES POSTAL SERVICE

POSTAGE WILL BE PAID BY ADDRESSEE



First-Class Mail
Postage & Fees Paid
USPS
Permit No. 610

• Sender: Please print your name, address, and ZIP+4™ in this box •

West Jim Wilkowitz
School Dist

P.O. Box 35

West Jim, OR

97138

ATTN: Andy

J

CU-10-01

RECEIVED



DEVELOPMENT REVIEW APPLICATION

MAR 24

TYPE OF REVIEW (Please check all boxes that apply):

- Annexation
- Appeal and Review * 1200
- Conditional Use 3650⁰⁰
- Design Review I 850⁰⁰
- Easement Vacation
- Extraterritorial Ext. of Utilities
- Final Plat or Plan
- Flood Plain Construction
- Hillside Protection and Erosion Control
- Historic District Review
- Legislative Plan or Change
- Lot Line Adjustment * / **
- Minor Partition (Preliminary Plat or Plan)
- Non-Conforming Lots, Uses & Structures
- One-Year Extension * 1200⁰⁰
- Planned Unit Development
- Pre-Application Meeting *
- Quasi-Judicial Plan or Zone Change
- Street Vacation
- Subdivision
- Temporary Uses *
- Tualatin River Greenway
- Variance II 1800⁰⁰
- Water Resource Area Protection/Wetland
- Willamette River Greenway
- Other/Misc

PLANNING & BUILDING CITY OF WEST LINN

Home Occupation / Pre-Application / Sidewalk Use Application * / Permanent Sign Review * / Temporary Sign Application require individual application forms available in the forms and application section of the City Website or at City Hall.

TOTAL FEES/DEPOSIT \$7500⁰⁰

* No CD required / ** Only one copy needed

West Linn-Wilsonville Sch. Dist. P.O. Box 35

West Linn, OR 97062

503-673-7976

OWNER'S	ADDRESS	CITY	ZIP	PHONE(res.& bus.)
Tim Woodley	Same as above			

APPLICANT'S	ADDRESS	CITY	ZIP	PHONE(res.& bus.)
Keith Liden, Parsons Brinckerhoff,	400 SW 6th Ave., Suite 802	Portland, OR	97204	503-478-2348

CONSULTANT	ADDRESS	CITY	ZIP	PHONE

SITE LOCATION Cedar oak Primary Sch 515 Cedar oak Drive

Ass Tax Lot(s): 1800/9400 Total Land Area: 33 acres

CU-10-01 - primary
~~DR-09-02~~
 DR-10-02
 VAR-10-03
 MI-10-05

able (excluding deposit). representative should be present at all public hearings. on appeal.. No permit will be in effect until the appeal

4. single sided) of application materials tion. One (1) complete set of digital submitted on CD in PDF format.

The the filing of this application, and authorizes on site review h all code requirements applicable to my application.

X SIGN Date 12.3.09

X Keith Liden Date 3.23.10

BY SIGNING THIS APPLICATION, THE CITY IS AUTHORIZED REASONABLE ACCESS TO THE PROPERTY. ACCEPTANCE OF THIS APPLICATION DOES NOT INFER A COMPLETE SUBMITTAL. COMPLETENESS WILL BE DETERMINED WITHIN 30 DAYS OF SUBMITTAL.

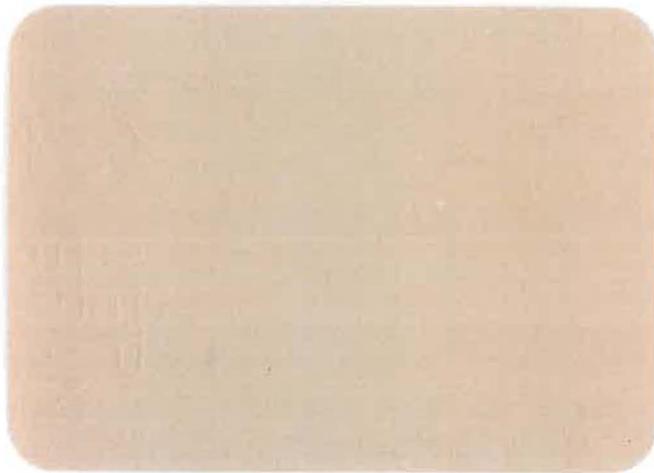
PLANNING AND BUILDING; 22500 SALAMO RD #1000; WEST LINN, OR 97068;

PHONE: 656-4211 FAX: 656-4106

Cedaroak Park Primary School – Exterior Colors/Materials



New brick to match existing brick (shown above)



Metal panel, Trim color

CEDAROAK PARK PRIMARY SCHOOL ADDITION/REMODEL

West Linn Wilsonville School District
22210 SW Stafford Rd, Tualatin, Oregon, 97062

owner
West Linn Wilsonville School District
22210 SW Stafford Rd
Tualatin, Oregon, 97062
t: (503) 673-7042 f: (503) 673-7044

architect
Dul Olson Weekes Architects Inc.
907 SW Stark Street
Portland, Oregon 97205
t: (503) 226-6950 f: (503) 273-9192

civil engineer
Winzler Kelley
15575 SW Sequoia Parkway
Suite 140
Portland, Oregon, 97224
t: (503) 226-3921 f: (503) 226-3926

landscape architect
Walker Macy Landscape Architects
111 SW Oak St
Suite 200
Portland, Oregon, 97204
t: (503) 228-3122 f: (503) 273-8878

CONTENTS

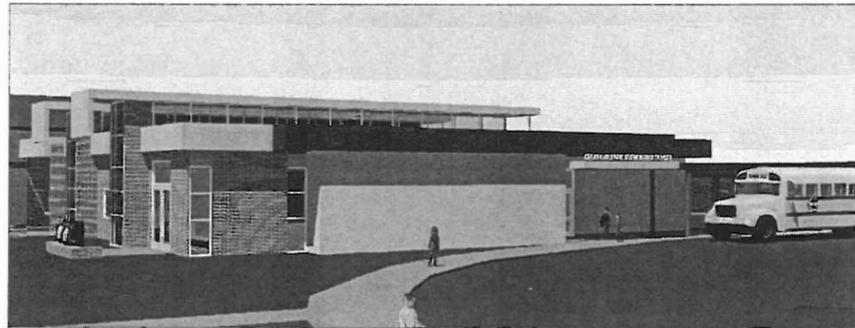
civil	landscape	architectural
C101 Utility Plan	L1.0 Landscape Plan	A2.00 Overall Floor Plan
C102 Site Demo Plan and Details		A2.01 Existing & Proposed Floor Plan
		A3.01 Existing & Proposed Exterior Elevations

Site Information

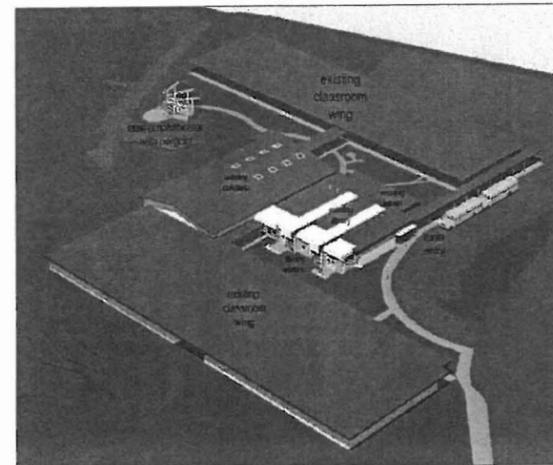
Project Address 4515 CedarOak Drive, West Linn, OR 97068
Site Area 11.19 acres
Parcel # 00371859
Map # (TLNO) 21E 24BA 01800
Zoning R-10
Urban Growth Area In
City West Linn

Project Scope of Work

- Interior remodel and a 1,137 sf building addition;
- Replacement of windows at administration;
- Amphitheater and Pergola (Pergola is an additive alternate);
- New landscaping.



Proposed Library



Proposed Library

ARCHITECTURAL ABBREVIATIONS

L ANGLE	EA EACH	GA GAUGE	NA NOT APPLICABLE	T TEMPERED GLAZING
AB AND	EF EXHAUST FAN	GALV GALVANIZED	NIC NOT IN CONTRACT	TC TOP OF CURB
ACT ANCHOR BOLT	EJ EXPANSION JOINT	GB GRAB BAR	NOM NOMINAL	TEL TELEPHONE
ACT ACUSTICAL CEILING TILE	EL ELEVATION	GC GENERAL CONTRACTOR	NTS NOT TO SCALE	T&G TONGUE AND GROOVE
ADD ADDENDUM	ELEC ELECTRICAL	GL GLASS	OA OVERALL	THK THICK
A.F.F. ABOVE FINISH FLOOR	E.D.S. EDGE OF SLAB	GND GROUND	OC ON CENTER	TJ TOOL JOINT
ALS AREA LIGHT STANDARD	ENGR. ENGINEER	GVP GYPSUM VENEER PLASTER	OD OVER/LOW DRAIN	TP TOP OF PAVEMENT
ALUM ALUMINUM	EP ELECTRICAL PANEL	GWB GYPSUM WALL BOARD	OC ON CENTER	TYP TYPICAL
ANOD ANODIZED	EQ EQUAL	HB HOSE BIB	O.D. OUTSIDE DIAMETER	TOO TOP OF (MATERIAL)
BC BOTTOM OF CURB	EQ EQUIPMENT	HC HANDICAP	OH OVERHEAD	UNFIN UNFINISHED
BD BOARD	ES EACH SIDE	HWR HARDWARE	OPNG OPENING	UNO UNLESS NOTED OTHERWISE
BLDG BUILDING	EW EACH WAY	HM HOLLOW METAL	OPP OPPOSITE	VB VAPOR BARRIER
BLDG BLOCKING	EXST EXISTING	HW HOT WATER	OS OUTSIDE	VEST VESTIBULE
BM BENCH MARK	EXP EXPANSION	HVAC HEATING, VENTILATION AND AIR CONDITIONING	PIP POURED IN PLACE	VFY VERIFY
BM BEAM	EXT EXTERIOR	FA FIRE ALARM	PL PROPERTY LINE	WF WITH
BOT BOTTOM	FBO FIRE ALARM FURNISHED BY OTHERS	INT INSULATION	PLAS PLASTER	WC WATER CLOSET
BTU BRITISH THERMAL UNIT	FD FLOOR DRAIN	INT INTERIOR	PLYWD PLYWOOD	WD WOOD
BTWN BETWEEN	FDM FOUNDATION	JAN JANITOR	P.F. PER SQUARE FOOT	WF WIDE FLANGE
COR C CHANNEL	FE FIRE EXTINGUISHER	JT JOINT	P.T. PRESSURE TREATED	WH WATER HEATER
CB CATCH BASIN	FEC FIRE EXTINGUISHER CABINET	JST JOIST	P.V.M.T. PAVEMENT	WO WITHOUT
CCTV CLOSED CIRCUIT TV	FF FINISH FLOOR	L LENGTH	R RADIUS	WT WEIGHT
CG CORNER GUARD	FFE FINISH FLOOR ELEVATION	LAV LAVATORY	R.D. ROOF DRAIN	
CLD CEILING	FN FINISH	LB LAG BOLT	REF REFERENCE	
CLR CLEAR	FO FACE OF	LS LANDSCAPING	REFR REFRIGERATOR	
CJ CONTROL JOINT	FOC FACE OF CONCRETE	LVR LOUVER	REQD REQUIRED	
CMU CONCRETE MASONRY UNIT	FOP FACE OF FINISH	MATL MATERIAL	REV REVISE OR REVISION	
CONT CONTINUOUS	FOM FACE OF MASONRY	FURNISHED BY OWNER INSTALLED BY CONTRACTOR	RM ROOM	
CORR CORRIDOR	FOS FACE OF STUD	FURNISHED BY OWNER INSTALLED BY OWNER	R.O.P. ROUGH OPENING	
CS J CONSTRUCTION JOINT	FOIC FURNISHED BY OWNER INSTALLED BY CONTRACTOR	MAX MAXIMUM	REFL REFLECTED CEILING PLAN	
CSMT CASEMENT	FOIO FURNISHED BY OWNER INSTALLED BY OWNER	MED MEDIUM	SEC SOLID CORE SECTION	
CTR CERAMIC TILE	FRT FIRE RETARDANT TREATED	MECH MECHANICAL	SF SQUARE FOOT	
C CENTERLINE	FUR FURRING	MFR MANUFACTURER	SHG SHEATHING	
DBL DOUBLE		MH MANHOLE	SHWR SHOWER	
DTL DETAIL		MIR MIRROR	SHT SHEET	
DF DRINKING FOUNTAIN		MISC MISCELLANEOUS	SIM SIMILAR	
DIA DIAMETER		MNTD MOUNTED	SJ SEISMIC JOINT	
DIAG DIAGONAL		MTL METAL	SM SHEET METAL	
DM DIMENSION			SPEC SPECIFICATION	
DISP DISPENSER			SQ SQUARE	
DN DOWN			SS STAINLESS STEEL	
DP DAMPROOFING			STD STANDARD	
DR DOOR			STL STEEL	
DS DOWN SPOUT			STOR STORAGE	
DT DRAIN TILE			STRUCT STRUCTURAL	
DWG DRAWING			SUSP SUSPENDED	

ARCHITECTURAL SYMBOLS

	DRAWING ORIENTATION NORTH		GRID LINE
	ROOM NAME & NUMBER		DRAWING SECTION
	DOOR OR WINDOW TYPE		SHEET NUMBER
	KEYNOTE REFERENCE		WALL SECTION
	CEILING PLANE HEIGHT - ALL REFERENCES TO FINISH FLOOR ELEVATION		EXTERIOR ELEVATION
	INTERIOR FINISH TYPE		INTERIOR ELEVATION
	HORIZONTAL ELEVATION PLANE HEIGHT - ALL REFERENCES TO F.F.E.		DETAIL
	SPOT ELEVATION - ALL REFERENCES TO F.F.E.		DETAIL NUMBER
	WALL TYPE WITH RATING WHERE APPLICABLE		DETAIL SHEET NUMBER
	DOOR NUMBER - SEE DOOR SCHEDULE		REVISION CLOUD
	RELITE NUMBER - SEE RELITE SCHEDULE		

VICINITY MAP



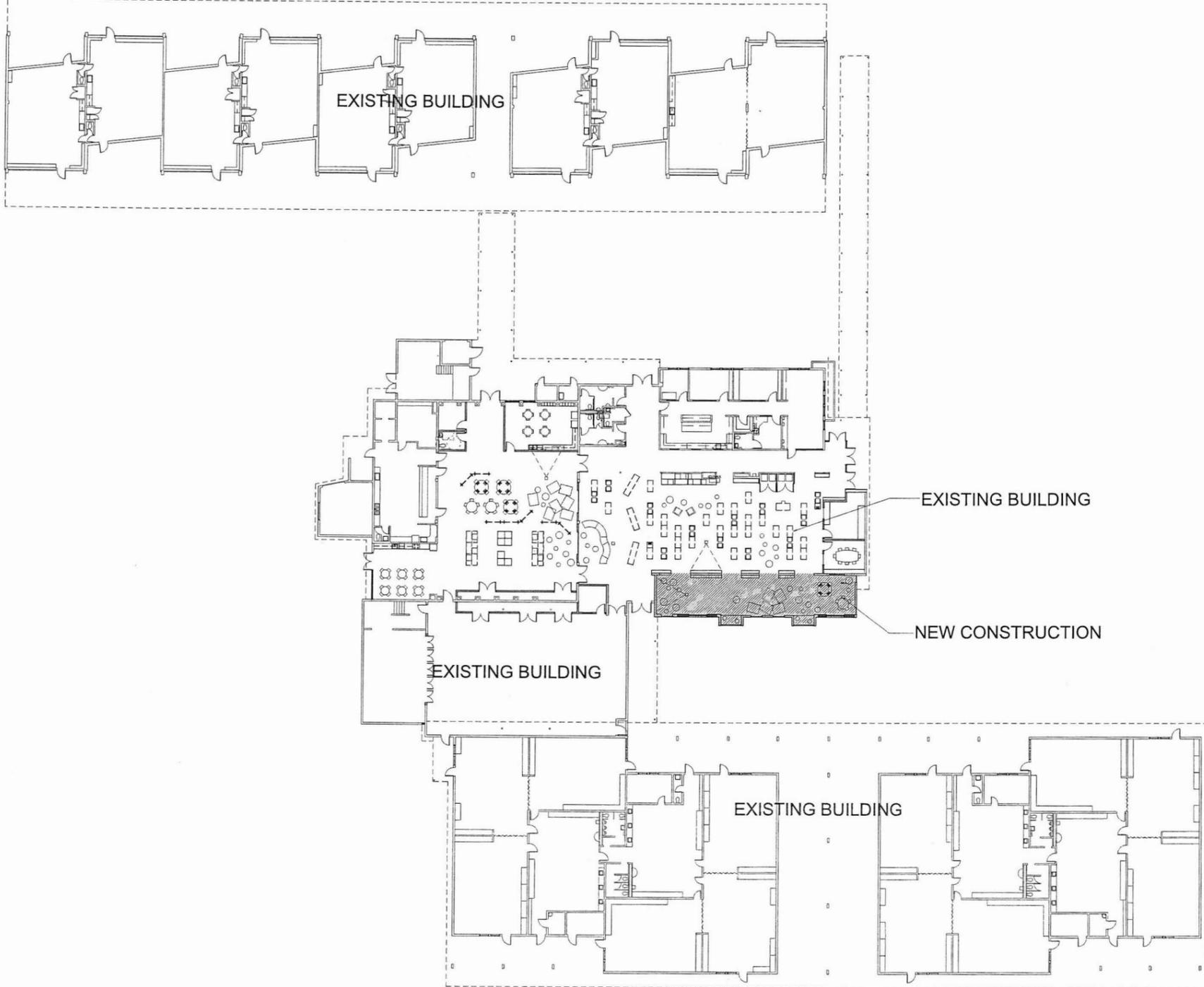
CEDAROK PARK PRIMARY SCHOOL ADDITION/REMODEL

CLASS DESIGN REVIEW APPLICATION

project # 09003

march 10, 2010

CONDITIONAL USE/ CLASS I DESIGN REVIEW



0 5 10 20'
NOT FOR CONSTRUCTION

OVERALL PLAN
SCALE 1/8"=1'-0"



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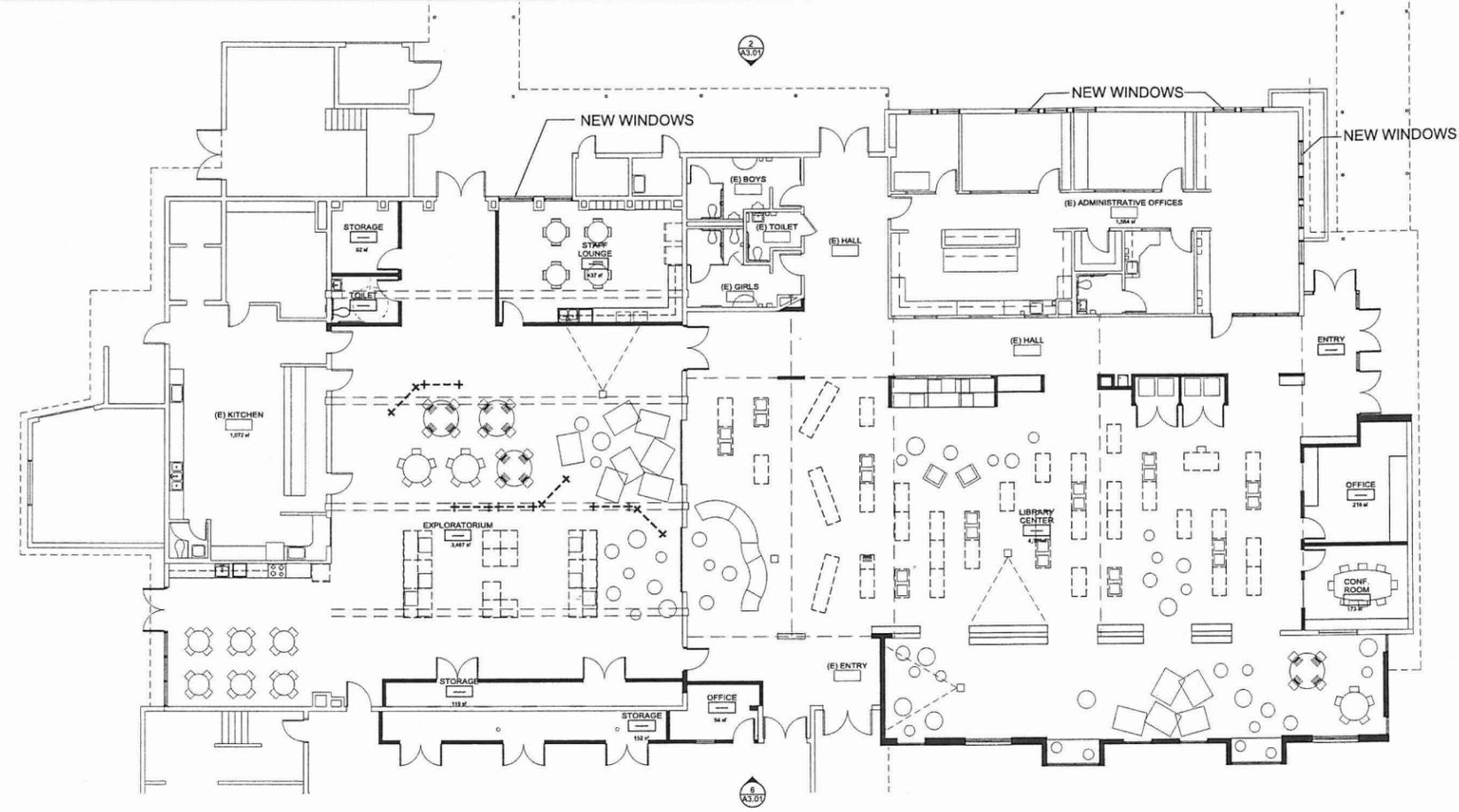
CEDAROAK PARK PRIMARY - ADDITION/REMODEL

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t: (503) 673-7042

phase	conditional use/
	class design rev.
date	03/10/10
revisions	

project # | 09003

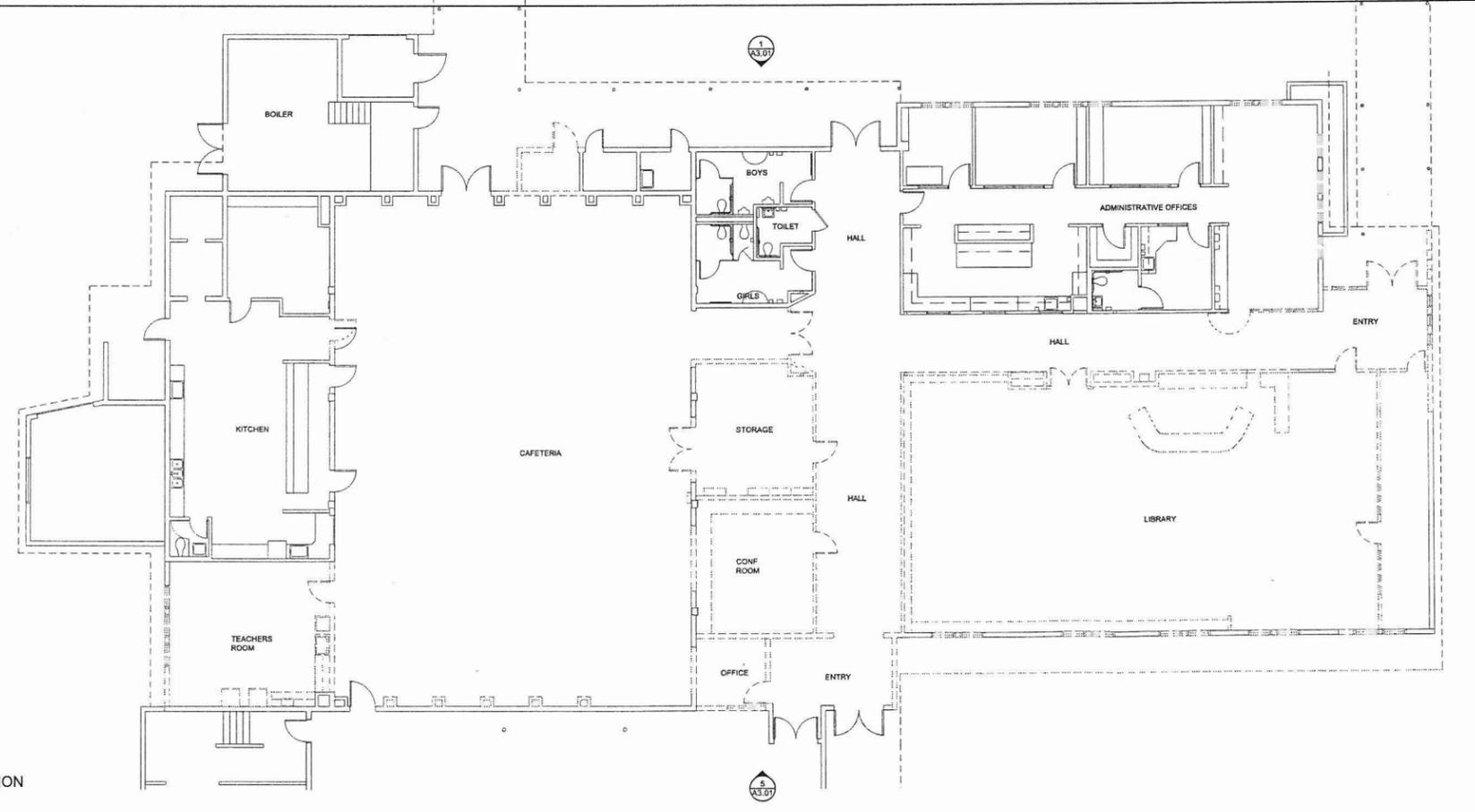
overall plan
A2.00



LEGEND:

- NEW WALL
- EXISTING WALL
- WALL TO BE REMOVED

PROPOSED FLOOR PLAN **2**
SCALE: 1/8"=1'-0"



EXISTING FLOOR PLAN **1**
SCALE: 1/8"=1'-0"

0' 2' 4' 6' 8' 10' 12' 14' 16' 18' 20'

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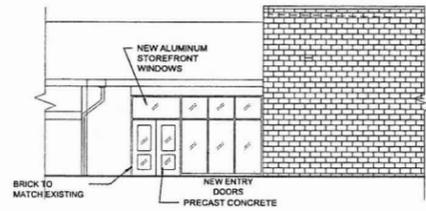
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date	03/10/10
revisions	

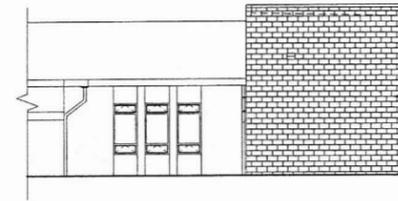
project # 09003
existing and proposed floor plans

A2.01

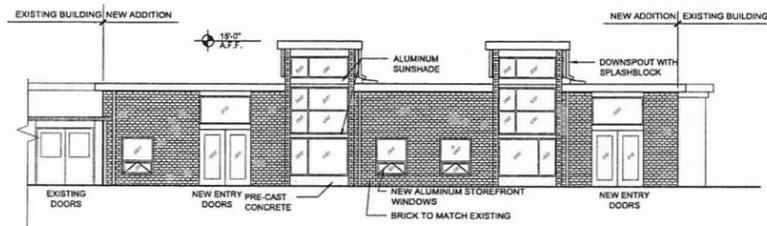
NOT FOR CONSTRUCTION



PROPOSED WEST ELEVATION 8
SCALE: 1/8"=1'-0"



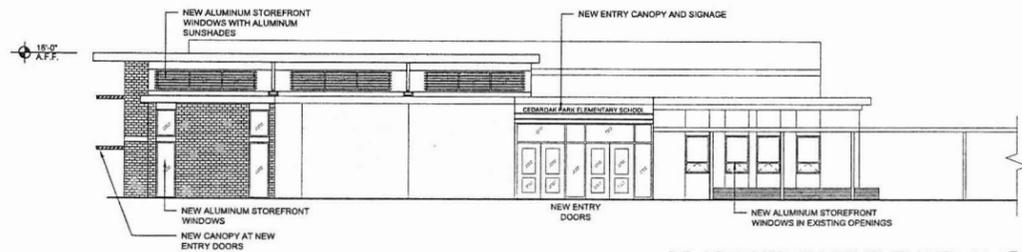
EXISTING WEST ELEVATION 7
SCALE: 1/8"=1'-0"



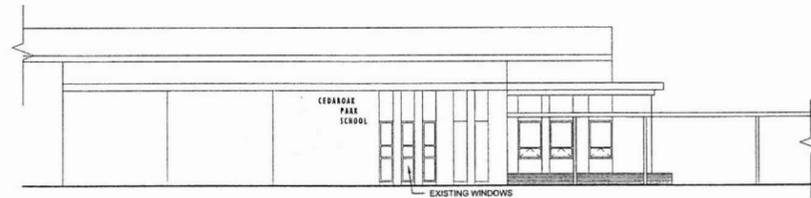
PROPOSED SOUTH ELEVATION 6
SCALE: 1/8"=1'-0"



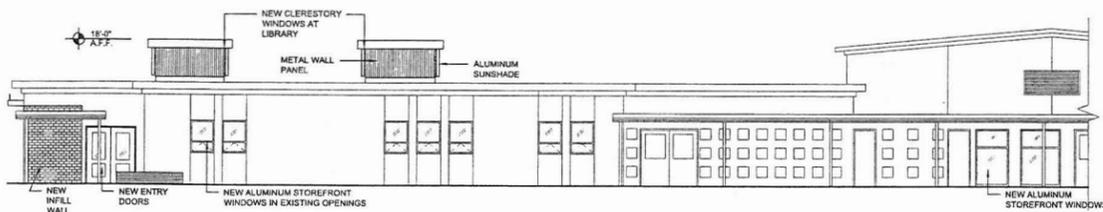
EXISTING SOUTH ELEVATION 5
SCALE: 1/8"=1'-0"



PROPOSED EAST ELEVATION 4
SCALE: 1/8"=1'-0"



EXISTING EAST ELEVATION 3
SCALE: 1/8"=1'-0"



PROPOSED NORTH ELEVATION 2
SCALE: 1/8"=1'-0"



EXISTING NORTH ELEVATION 1
SCALE: 1/8"=1'-0"



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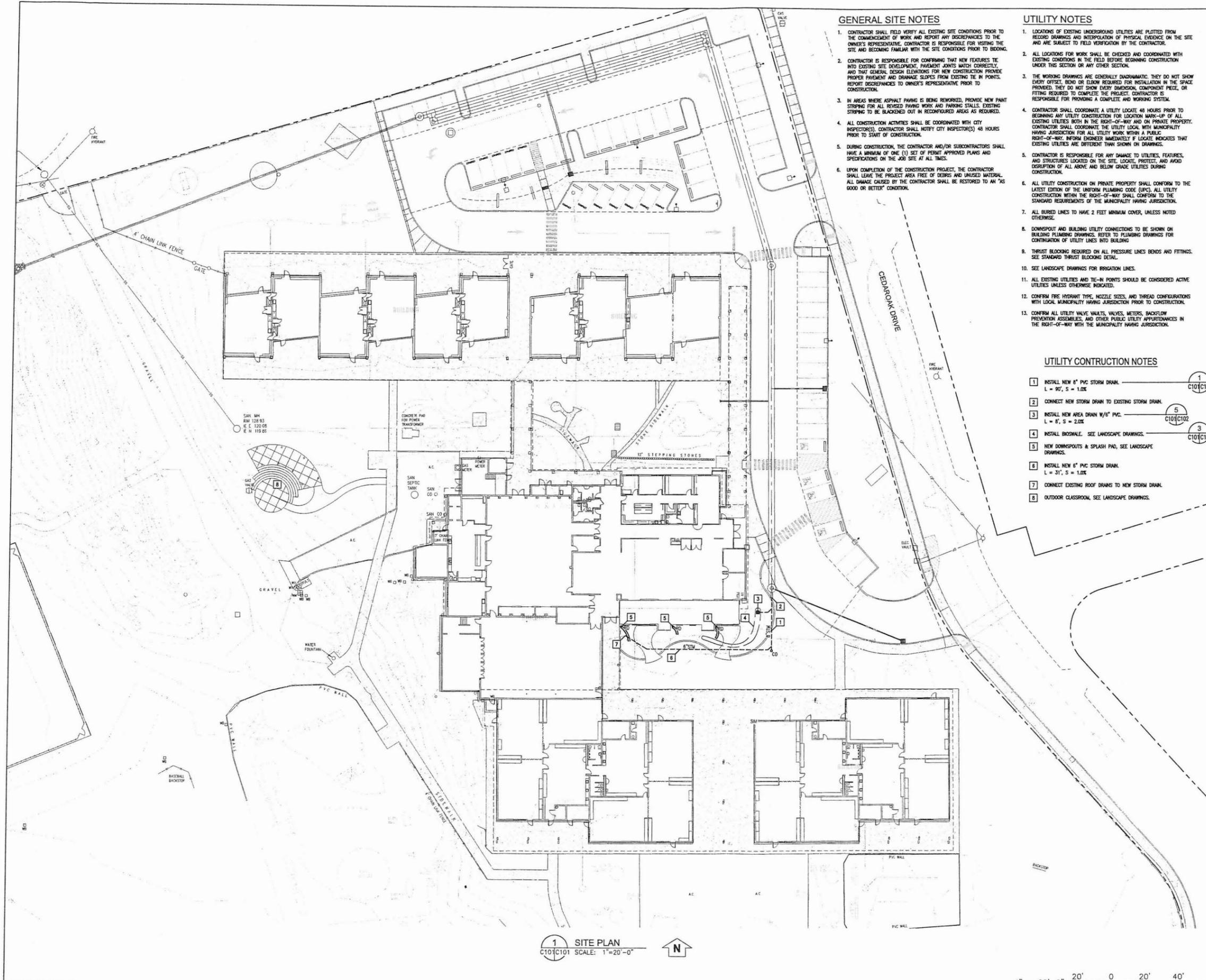
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date	03/10/10
revisions	

project # 09003

exterior elevations

A3.01



GENERAL SITE NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE. CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING.
2. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT NEW FEATURES TIE INTO EXISTING SITE DEVELOPMENT, PAVEMENT JOINTS MATCH CORRECTLY, AND THAT GENERAL DESIGN ELEVATIONS FOR NEW CONSTRUCTION PROVIDE PROPER PAVEMENT AND DRAINAGE SLOPES FROM EXISTING TIE-IN POINTS. REPORT DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
3. IN AREAS WHERE ASPHALT PAVING IS BEING REWORKED, PROVIDE NEW PAINT STRIPING FOR ALL REVESED PAVING WORK AND PARKING STALLS. EXISTING STRIPING TO BE BLACKED OUT IN RECONFIGURED AREAS AS REQUIRED.
4. ALL CONSTRUCTION ACTIVITIES SHALL BE COORDINATED WITH CITY INSPECTOR(S). CONTRACTOR SHALL NOTIFY CITY INSPECTOR(S) 48 HOURS PRIOR TO START OF CONSTRUCTION.
5. DURING CONSTRUCTION, THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL HAVE A MINIMUM OF ONE (1) SET OF PERMIT APPROVED PLANS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES.
6. UPON COMPLETION OF THE CONSTRUCTION PROJECT, THE CONTRACTOR SHALL LEAVE THE PROJECT AREA FREE OF DEBRIS AND UNUSED MATERIAL. ALL DAMAGE CAUSED BY THE CONTRACTOR SHALL BE RESTORED TO AN "AS GOOD OR BETTER" CONDITION.

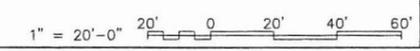
UTILITY NOTES

1. LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM RECORD DRAWINGS AND INTERPOLATION OF PHYSICAL EVIDENCE ON THE SITE AND ARE SUBJECT TO FIELD VERIFICATION BY THE CONTRACTOR.
2. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION UNDER THIS SECTION OR ANY OTHER SECTION.
3. THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, OR FITTING REQUIRED TO COMPLETE THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE AND WORKING SYSTEM.
4. CONTRACTOR SHALL COORDINATE A UTILITY LOCATE 48 HOURS PRIOR TO BEGINNING ANY UTILITY CONSTRUCTION FOR LOCATION MARK-UP OF ALL EXISTING UTILITIES BOTH IN THE RIGHT-OF-WAY AND ON PRIVATE PROPERTY. CONTRACTOR SHALL COORDINATE THE UTILITY LOCAL WITH MUNICIPALITY HAVING JURISDICTION FOR ALL UTILITY WORK WITHIN A PUBLIC RIGHT-OF-WAY. INFORM ENGINEER IMMEDIATELY IF LOCATE INDICATES THAT EXISTING UTILITIES ARE DIFFERENT THAN SHOWN ON DRAWINGS.
5. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES, FEATURES, AND STRUCTURES LOCATED ON THE SITE. LOCATE, PROTECT, AND AVOID DISRUPTION OF ALL ABOVE AND BELOW GRADE UTILITIES DURING CONSTRUCTION.
6. ALL UTILITY CONSTRUCTION ON PRIVATE PROPERTY SHALL CONFORM TO THE LATEST EDITION OF THE UNIFORM PLUMBING CODE (UPC). ALL UTILITY CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE STANDARD REQUIREMENTS OF THE MUNICIPALITY HAVING JURISDICTION.
7. ALL BURIED LINES TO HAVE 2 FEET MINIMUM COVER, UNLESS NOTED OTHERWISE.
8. DOWNSPOUT AND BUILDING UTILITY CONNECTIONS TO BE SHOWN ON BUILDING PLUMBING DRAWINGS. REFER TO PLUMBING DRAWINGS FOR CONTINUATION OF UTILITY LINES INTO BUILDING.
9. THRUST BLOCKING REQUIRED ON ALL PRESSURE LINES BENDS AND FITTINGS. SEE STANDARD THRUST BLOCKING DETAIL.
10. SEE LANDSCAPE DRAWINGS FOR IRRIGATION LINES.
11. ALL EXISTING UTILITIES AND TIE-IN POINTS SHOULD BE CONSIDERED ACTIVE UTILITIES UNLESS OTHERWISE INDICATED.
12. CONFIRM FIRE HYDRANT TYPE, NOZZLE SIZES, AND THREAD CONFIGURATIONS WITH LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO CONSTRUCTION.
13. CONFIRM ALL UTILITY VALVE, WAULTS, VALVES, METERS, BACKFLOW PREVENTION ASSEMBLIES, AND OTHER PUBLIC UTILITY APPURTENANCES IN THE RIGHT-OF-WAY WITH THE MUNICIPALITY HAVING JURISDICTION.

UTILITY CONSTRUCTION NOTES

1. INSTALL NEW 8" PVC STORM DRAIN. L = 90', S = 1.0% 1
C101C102
2. CONNECT NEW STORM DRAIN TO EXISTING STORM DRAIN.
3. INSTALL NEW AREA DRAIN W/6" PVC. L = 8', S = 2.0% 5
C101C102
4. INSTALL BOSHOLE. SEE LANDSCAPE DRAWINGS. 3
C101C102
5. NEW DOWNSPOUTS & SPLASH PAD, SEE LANDSCAPE DRAWINGS.
6. INSTALL NEW 6" PVC STORM DRAIN. L = 31', S = 1.0%
7. CONNECT EXISTING ROOF DRAINS TO NEW STORM DRAIN.
8. OUTDOOR CLASSROOM, SEE LANDSCAPE DRAWINGS.

1 SITE PLAN
C101C101 SCALE: 1"=20'-0" N



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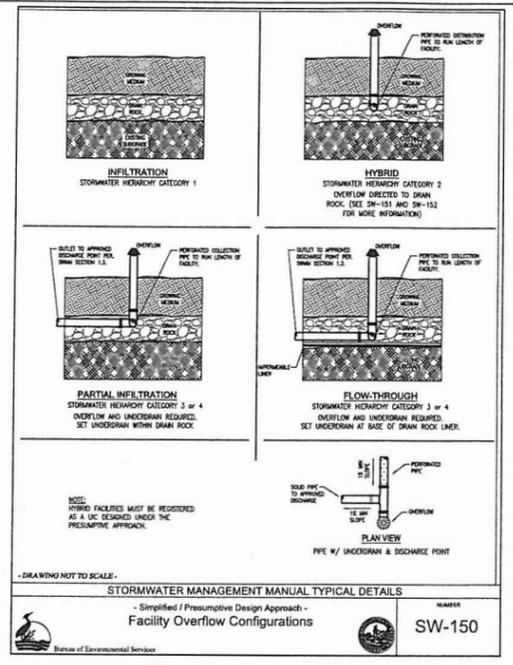
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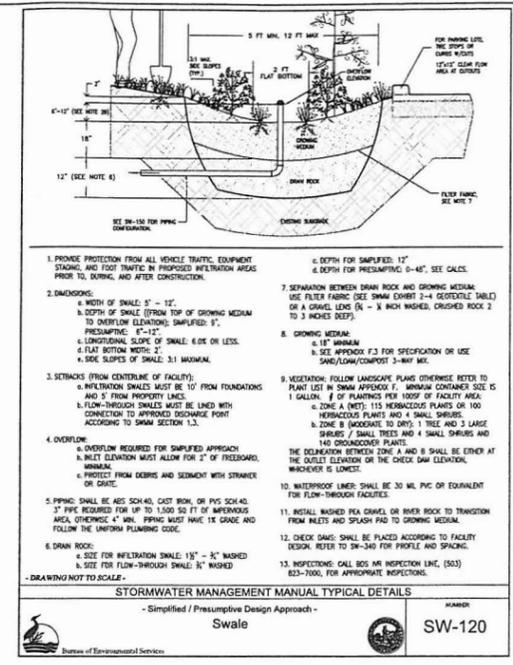
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UTILITY PLAN

C101



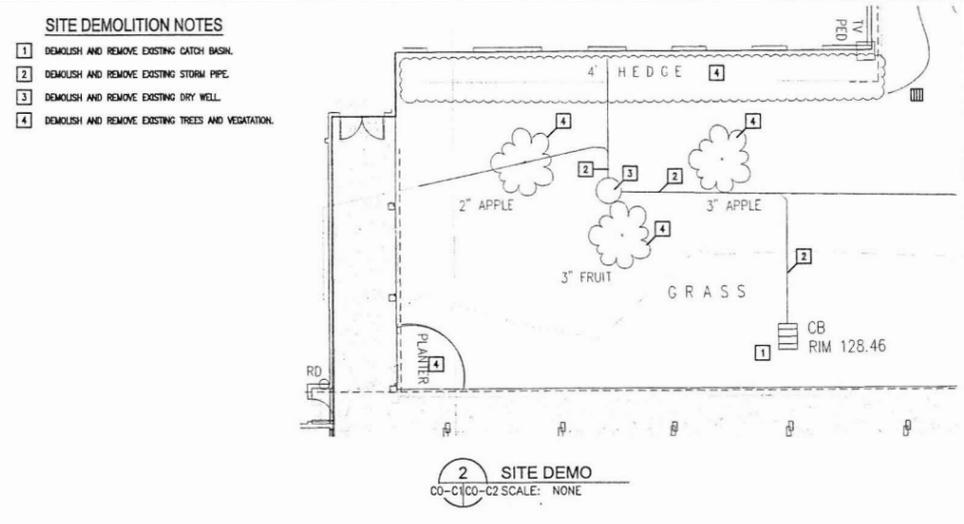
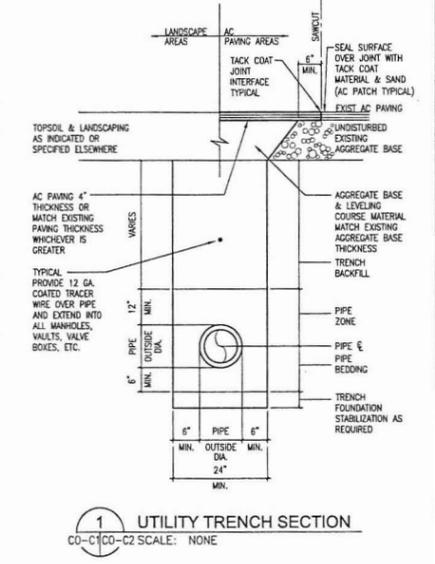
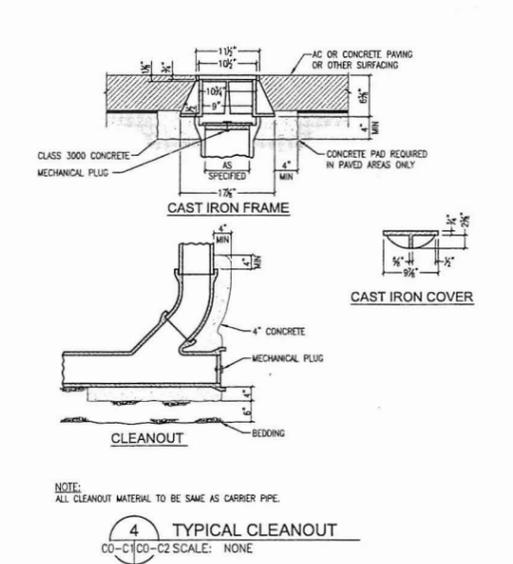
5 OVERFLOW CONFIGURATIONS
C101C102 SCALE: NONE



3 SWALE
C101C102 SCALE: NONE

CIVIL ABBREVIATIONS

AB ANCHOR BOLT	NIC NOT IN CONTRACT
AC ASPHALTIC CONCRETE	NUMB NUMBER
ACD ASBESTOS CONCRETE PIPE	NOM NOMINAL
BLDG BUILDING	NTS NOT TO SCALE
BOT BOTTOM OF TRENCH	OC ON CENTER
BOC BOTTOM OF CONCRETE	OH OVERHEAD
BOS BOTTOM OF SUMP	OW OIL/WATER SEPARATOR
CA COMPRESSED AIR	PD POLYDRAM
CB CATCH BASIN	PEF PERFORATED STORM DRAIN
CD CONSTRUCTION JOINT	PIV POST INDICATOR VALVE
CI CURB INLET	POC POINT OF CONNECTION
CIP CAST IRON PIPE	PVC POLYVINYL CHLORIDE
CMF CORRUGATED METAL PIPE	PMAT PAVEMENT
CND CONDUIT	PW POTABLE WATER
CO CLEANOUT	R RADIUS
CONC CONCRETE	RCP REINFORCED CONCRETE PIPE
CR CONDENSATE RETURN	RM RM ELEVATION
DB DIA Ø DIAMETER	RR RAILROAD
DIP DUCTILE IRON PIPE	S SLOPE
DS DOWNSPOUTS	SAN SANITARY
DW DRYWELL	SB SPLASH BLOCK
DWG DRAWING	SD STORM DRAIN
E ELECTRICAL POWER	SS SANITARY SEWER
ELEV ELEVATION	STM STEAM
EXIST EXISTING	TB THRUST BLOCK
FA FIRE ALARM	TBM TEMPORARY BENCH MARK
FD FOUNDATION DRAIN	TC TOP OF CURB
FF FINISH FLOOR	TEL TELEPHONE
FH FIRE HYDRANT	TOS TOP OF BEAM
FW FIRE WATER	TOC TOP OF CONCRETE
G GRATE	TOD TOP OF DRAIN
GR GATE VALVE	TOG TOP OF GRADE
GV GATE VALVE	TOP TOP OF PIPE
GV GATE VALVE	TYP TYPICAL
HB HOSE BIBB	UNOD UNDERGROUND UNLESS NOTED OTHERWISE
HDPE HIGH DENSITY POLYETHYLENE	VCP VITRIFIED CLAY PIPE
HI HAND HOLE	VT VENT
HPC HIGH PRESSURE GAS	W VALVE VAULT
HC HANDICAPPED	WM WATER METER
HYD HYDRANT	WTR WATER
I INVERT ELEVATION	WWF WELDED WIRE FABRIC
IRR IRRIGATION	XTRF TRANSFORMER
L LENGTH	
LP LIGHT POLE	
MAX MAXIMUM	
MH MANHOLE	
MIN MINIMUM	



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SITE DEMO AND DETAILS

C102



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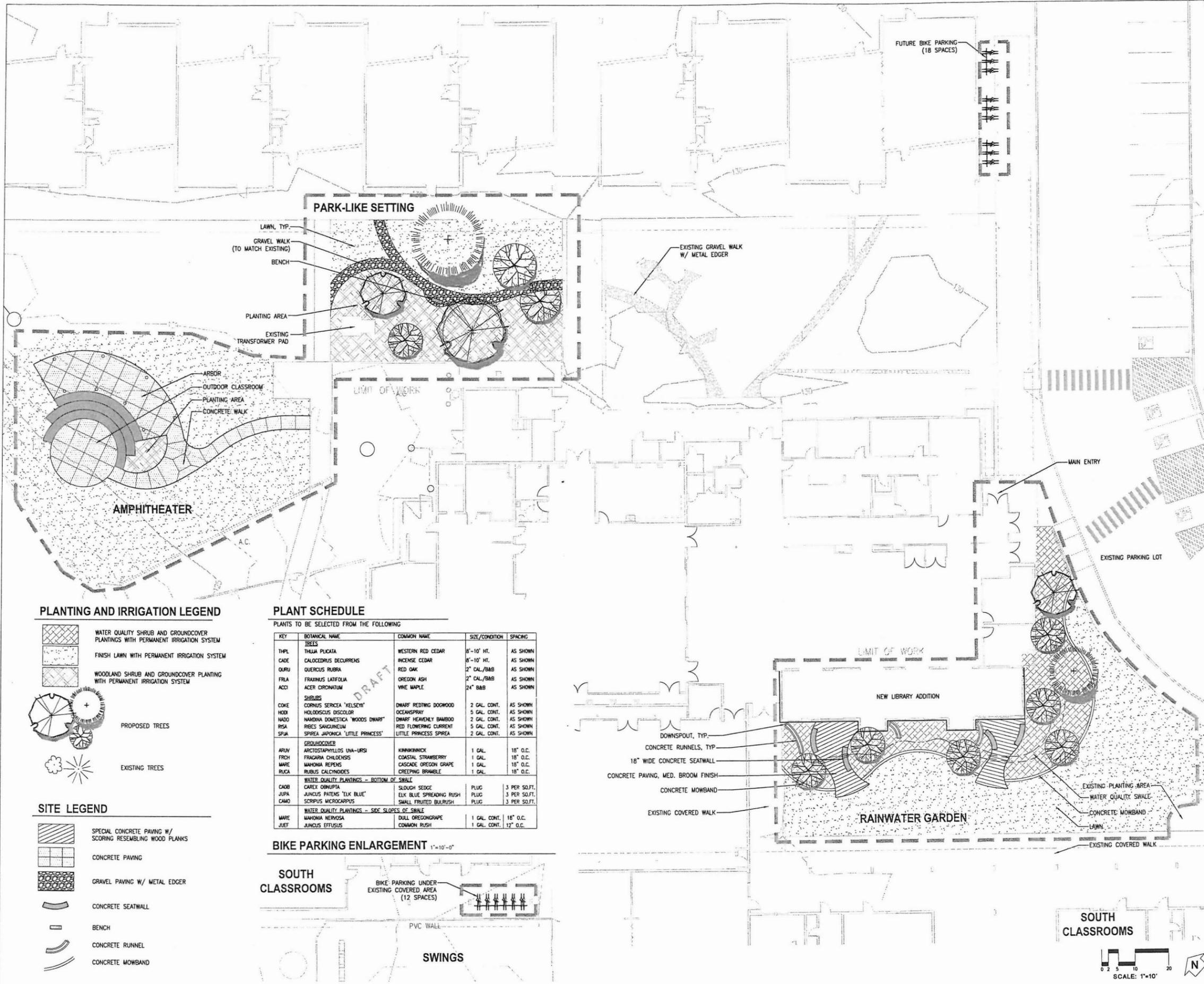
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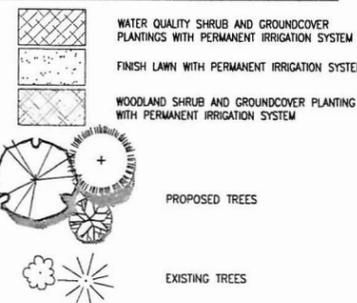
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project # | 09003
LANDSCAPE PLAN

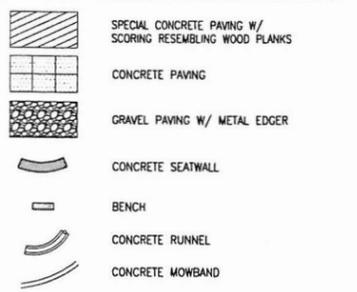
L1.0



PLANTING AND IRRIGATION LEGEND



SITE LEGEND



PLANT SCHEDULE

PLANTS TO BE SELECTED FROM THE FOLLOWING

KEY	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	SPACING
TREES				
THPL	THUJA PLICATA	WESTERN RED CEDAR	8'-10' HT.	AS SHOWN
CADE	CALOCEDRUS DECURRENS	INCENSE CEDAR	8'-10' HT.	AS SHOWN
OURU	QUERCUS RUBRA	RED OAK	2" CAL./B&B	AS SHOWN
FRLA	FRAXINUS LATIFOLIA	OREGON ASH	2" CAL./B&B	AS SHOWN
ACCI	ACER CIRCINATUM	VINE MAPLE	24" B&B	AS SHOWN
SHRUBS				
COKE	CORNUS SERICEA 'KELSEY'	DWARF REDTING DOGWOOD	2 GAL. CONT.	AS SHOWN
HOOD	HOLDOUSCUS DISCOLOR	OCEANSPRAY	5 GAL. CONT.	AS SHOWN
HADO	MAHONIA DOMESTICA 'WOODS DWARF'	DWARF HEAVENLY BAMBOO	2 GAL. CONT.	AS SHOWN
RISA	RIBES SANGONERUM	RED FLOWERING CURRANT	5 GAL. CONT.	AS SHOWN
SPIJA	SPIREA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	2 GAL. CONT.	AS SHOWN
GROUNDCOVERS				
ARUN	ARCTOSTAPHYLOS UVA-URSI	KIMMORNOCK	1 GAL.	18" O.C.
FRCH	FRAGARIA CHLOEDENSIS	COASTAL STRAWBERRY	1 GAL.	18" O.C.
MARE	MAHONIA REPENS	CASCADE OREGON GRAPE	1 GAL.	18" O.C.
RUCA	RUBUS CALCYNODES	CREeping BRAMBLE	1 GAL.	18" O.C.
WATER QUALITY PLANTINGS - BOTTOM OF SWALE				
CAOB	CAREX OBNUPA	SLOUGH SEDGE	PLUG	3 PER 50 FT.
JURP	JUNCUS HETERUS 'ELK BLUE'	ELK BLUE SPREADING RUSH	PLUG	3 PER 50 FT.
CAHO	SCIRPUS MICROCARPUS	SMALL FRUITED BURRUSH	PLUG	3 PER 50 FT.
WATER QUALITY PLANTINGS - SIDE SLOPES OF SWALE				
MARE	MAHONIA NEROSA	DULL OREGONGRAPE	1 GAL. CONT.	18" O.C.
JUEF	JUNCUS EFFUSUS	COMMON RUSH	1 GAL. CONT.	12" O.C.

BIKE PARKING ENLARGEMENT 1"=10'-0"

