

WOOLENSACK RESIDENCE ACCESSORY DWELLING UNIT  
1697 5th Avenue • West Linn, OR 97068

FULL RESPONSE TO SUBMITTAL REQUIREMENTS OF CHAPTER 25.140

25.070 Construction / Remodel Standards

B. SITING

Main dwelling and Front and Side Yards will remain unchanged. All setback requirements are met in this project as to the backyard.

C. PARKING

The existing garage is accessed from 5th Ave., and will remain so. The front 22 feet of the garage will remain as is. The proposed extension will be out the back of the garage. No additional parking is proposed for the back yard.

1. STANDARDS, GARAGES

- A. No alley exists, access is from 5th Avenue.
- B. We will match existing materials -- 10 inch wooden siding.
- C. The pitch of the garage rook is 4/12 and will remain so. Pitch of main dwelling is 8/12, so garage will not exceed that pitch.
- D. Side yard setback is 20 feet, 6 inches. Rear setback is 29 feet, 6 inches.

2. STANDARDS, PARKING

- A. Does not apply to this residential project.
- B. Current garage access is from 5th Avenue, and will remain so.
- C. At my home at 1697 5th Avenue, my house faces 5th Avenue, and there is no alley between my property and that of my backyard neighbor. Parking as and will remain in the driveway in front of my garage and in the garage.
- D. No curbs exist on this property.
- E. Does not apply to this residential project.

D. BUILDING HEIGHT

- 1. This project meets this criteria.
- 2. The garage is single story and will remain so.
- 3. The addendum dwelling unit in this garage will in no way change the height or width of of the existing garage. The only dimension that will change is the building length by 14 feet.

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FULL RESPONSE TO SUBMITTAL REQUIREMENTS OF CHAPTER 25.140 (CONTINUED)

E. BUILDING SHAPES AND SIZES

1. Does not apply to this project. Lot size is 100 feet by 100 feet, and the length (not the width) of the garage will change.
2. End wall of the garage that will change faces the backyard property line, not a street, however care has still been taken to make sure the door and windows will be done so as to match the scale and aesthetic character of the main dwelling on the property.
3. Roof and window designs on this project will match existing.

F. SIGNS AND LIGHTING

Does not apply to this project.

G. HORIZONTAL ADDITIONS

1. This house was built in approximately 1925. The garage was built later, approximately in the 1940's. As to windows, double hung sash windows will be installed at the same height as existing windows so as to be visually compatible with existing windows.
2. All planned construction will be compatible with existing scale, and window and door proportions

H. WINDOWS

1. See G 1. above.
3. See G 1. above. We will trim with 4 inch exterior trim boards to match existing trim.
4. See H 1.
5. This could apply to this project, but we are going above and beyond to match existing.
6. The new double hung windows will have double glass panes for energy efficiency and will include screens. No separate storm windows will be needed, so does not apply to this project.

I. ENTRYWAYS

1. The entry on the proposed addendum dwelling unit entryway will be protected by a porch roof supported by painted cedar brackets to match those on the main dwelling entrance.
2. The entrance to the addendum dwelling unit is in the rear of the garage and does not face the avenue.
3. A panel wooden door will be used.

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FULL RESPONSE TO SUBMITTAL REQUIREMENTS OF CHAPTER 25.140 (CONTINUED)

4. The proposed porch area is not enclosed.

J. SIDING AND EXTERIOR FINISH STANDARDS

1. 10 inch Cedar siding with preformed metal corners will be used to match existing.
2. No shingles (siding) will be used on this project.
3. The garage and house will be (are) buttery yellow with cream trim and a pale olive/sage accents. I have included a painted sample board.

K. ROOFSCAPE

1. Garage has 4/12 pitch that will be maintained.
2. Composite shingles will be used for roofing.
3. Alternating, patterned or checkerboard shingles will not be used.

25.080 ADDITIONAL ARCHITECTURAL SPECIFICS FOR NEW CONSTRUCTION AND REMODELING

- A. There were no “distinguishing original qualities defining the garage’s character.” The two mullioned windows will remain in the undisturbed front portion of the garage.
- B. All materials used in the building of this addendum dwelling unit will match existing so as not to alter the general time period or general character of the garage.
- C. No “distinctive stylistic features” or “skilled craftsmanship” exist in current structure.
- D. See C. above.
- E. Will match existing.
- F. We are exceeding this point’s requirements.
- G. Will match existing.
- H. This applies to this addendum dwelling unit / project.

25.100 This project is considered a major alteration.

25.110 PARTITION AND SUBDIVISION

We are not applying for partition or subdivision.

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FULL RESPONSE TO SUBMITTAL REQUIREMENTS OF CHAPTER 25.140 (CONTINUED)

25.120 BUILDING CODE REQUIREMENTS

- A. Upon submittal and approval of this application and review by the Historic Review Board, a building permit and fee will be applied for and paid.
- B. No waiver is being applied for.

25.140

- A. A pre-application conference and fee has already occurred with reference to this project. See Peter Spir.
- B. \$500 fee and Full Narrative Response is submitted with this application.
- C. Enforcement of provisions of Chapter 99 is understood.

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- D. Side yard setback is 20 feet, 6 inches. Rear setback is 29 feet, 6 inches.

2. STANDARDS, PARKING

- A. Does not apply to this residential project.
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- C. Enforcement of provisions of Chapter 99 is understood.

GLY07

Sunbeam™

GLY16

Soft Candlelight™

GLG07

Spring Cactus™



**GENERAL NOTES & SPECIFICATIONS**

THE CONTRACTOR SHALL FULLY COMPLY WITH THE CURRENT EDITION OF THE INTERNATIONAL RESIDENTIAL CODE AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE SUB-CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THIS OFFICE SHALL BE NOTIFIED OF ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

THESE DOCUMENTS ARE COPYRIGHT PROTECTED BY ISELIN ARCHITECTS, P.C. AND MAY NOT BE REUSED, REDRAWN, TRACED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM ISELIN ARCHITECTS, P.C.

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

INSTALL CEMENT BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 7' ABOVE TUB / SHOWER DRAINS.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 70 CFM (MINIMUM) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER.

ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.

INSTALL HARDWIRED SMOKE DETECTOR W/ BATTERY BACK-UP AT EACH SLEEPING ROOM & HALLWAY, TYP. ALL SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE UNIT.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.

**DESIGN LIVE LOADS:**  
 ROOF 25 PSF  
 FLOOR 40 PSF  
 EXTERIOR DECKS 85 PSF  
 STAIRS 100 PSF  
 SOIL BEARING CAPACITY (ASSUMED) 1500 PSF

PROVIDE A MINIMUM 4" DEEP GRAVEL BASE FOR ALL SIDEWALK AND PATIO AREAS.

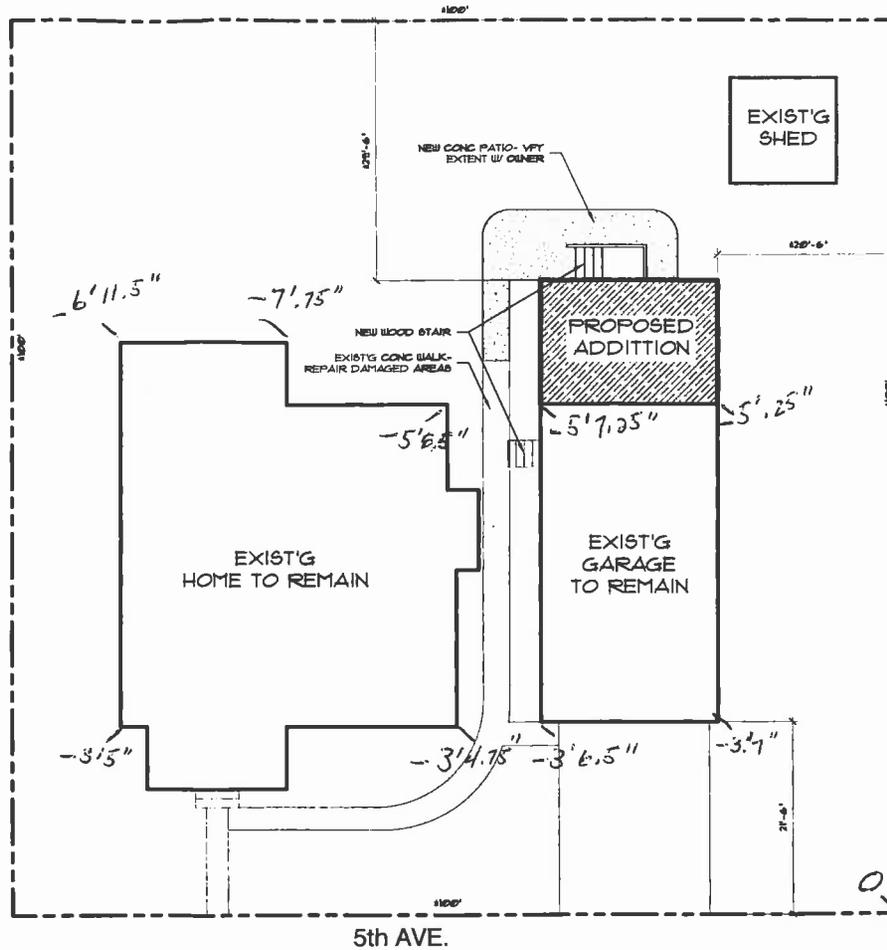
PROVIDE AND MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING ON ALL SIDES.

**DRAWING INDEX**

- A1.1 SITE PLAN & GENERAL NOTES
- A1.2 MAIN LEVEL FLOOR PLAN & KEYNOTES
- A2.1 ELEVATIONS
- A3.1 SECTIONS
- A5.1 DETAILS
- S1.1 FOUNDATION / FRAMING PLANS

**PROJECT INFORMATION**

PROJECT DESCRIPTION: 200 S.F. ADDITION TO EXIST'G GARAGE AND CONVERSION OF 575 S.F. OF GARAGE TO LIVING SPACE AS AN ACCESSORY DWELLING UNIT.



**SITE PLAN**

SCALE



**ISELIN ARCHITECTS P.C.**

1307 Seventh Street  
 Oregon City, OR 97045  
 503-656-1842 ph  
 503-656-0656 fax  
 www.iselinarchitects.com

Woolensack Residence  
**Accessory Dwelling Unit Addition**

1697 5th Avenue  
 West Linn, Oregon 97068

PROJ. NO : 0018  
 FILE : 0018-A-SITE  
 DATE : 6/4/09

SHEET #  
**A1.1**

SITE PLAN

**GENERAL NOTES & SPECIFICATIONS**

THE CONTRACTOR SHALL FULLY COMPLY WITH THE CURRENT EDITION OF THE INTERNATIONAL RESIDENTIAL CODE AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING, BUT NOT LIMITED TO, FOUNDATION AND CONSTRUCTION) OF THE EXISTING STRUCTURE TO BE MODIFIED OR DEMOLISHED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND ADJACENT PROPERTIES FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

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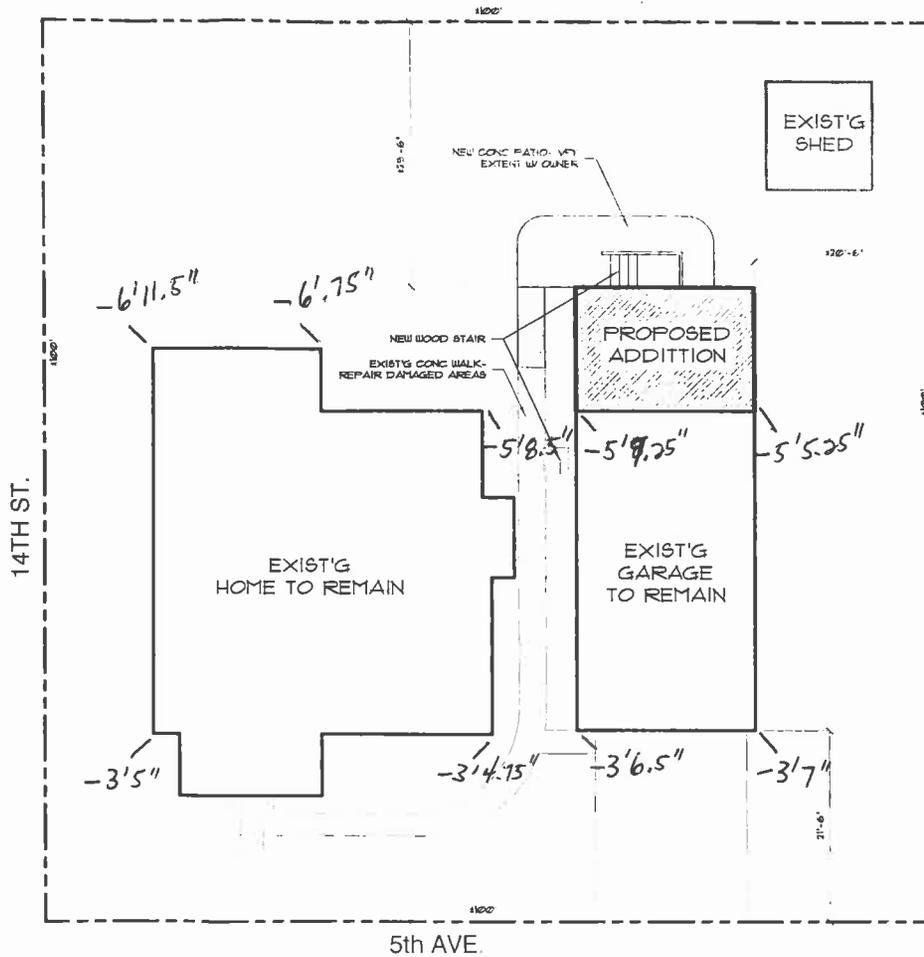
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- A1.2 MAIN LEVEL FLOOR PLAN & KEYNOTES
- A2.1 ELEVATIONS
- A3.1 SECTIONS
- A5.1 DETAILS
- S1.1 FOUNDATION / FRAMING PLANS

**PROJECT INFORMATION**

PROJECT DESCRIPTION: 280 S.F. ADDITION TO EXIST'G GARAGE AND CONVERSION OF 572 S.F. OF GARAGE TO LIVING SPACE AS AN ACCESSORY DWELLING UNIT.



**ISELIN ARCHITECTS P.C.**  
 1097 5th Avenue  
 West Linn, Oregon 97068  
 www.iselinarchitects.com

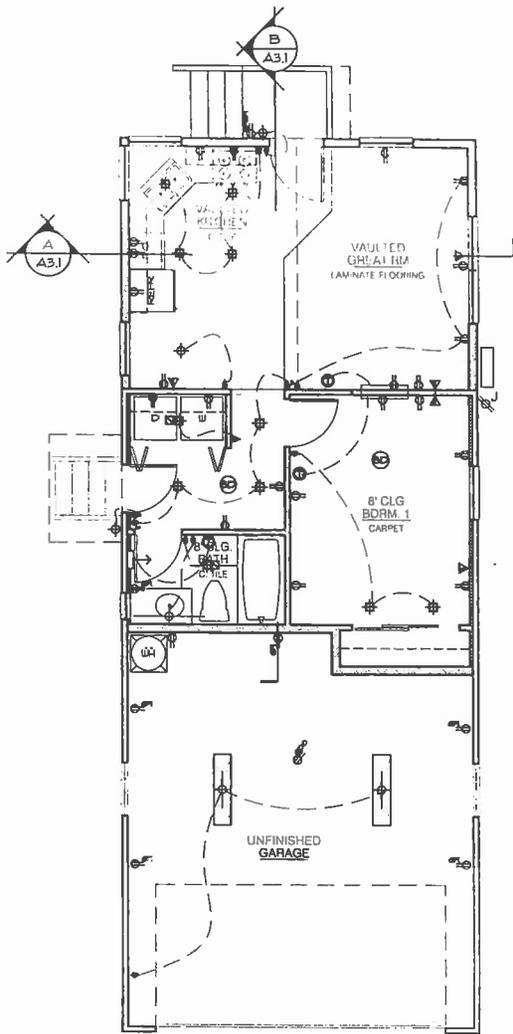
Woolensack Residence  
**Accessory Dwelling Unit Addition**

1097 5th Avenue  
 West Linn, Oregon 97068

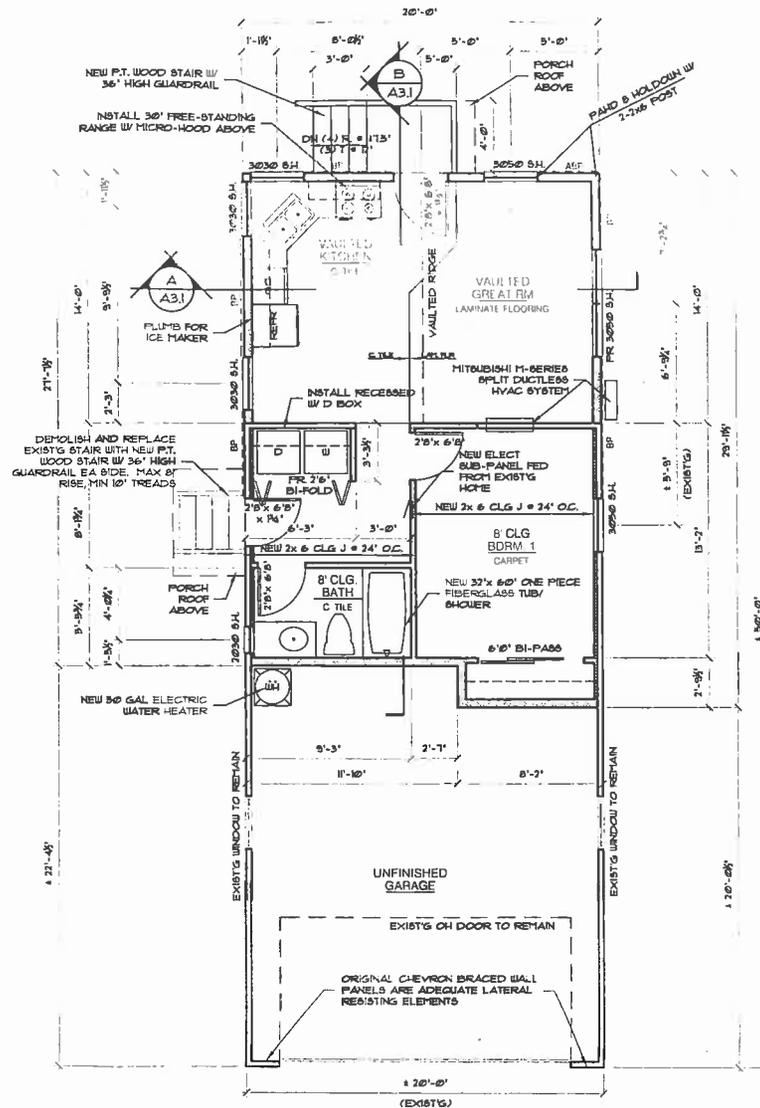
PROJ. NO 0819  
 FILE 0918-A-SITE  
 DATE 04/09

SHEET #  
**A1.1**

SITE PLAN



**ELECTRICAL PLAN**  
REFER TO SHEET A3.1 FOR ELECTRIC LEGEND 1/4" = 1'-0"



**FLOOR PLAN**  
NOTES:  
1. ALL NEW WINDOWS TO BE DBL GLAZED WOOD UNITS, MIN U = @2.0  
2. ALL DOORS TO BE 1" PANEL TYPE UNO.  
3. DEMOLISH ALL EXIST'G ELECTRICAL WIRING AND DEVICES TO PANEL AT MAIN HOME.  
4. RISE FINISHS SH. 1.8 AT LIVING AREAS W/ 2x6 @ 16" O.C.  
5. REFER TO SHEET B4 FOR BEAR PANEL INFO.

**LEGEND**

---	EXIST'G WALL/ELEMENT TO BE REMOVED
---	EXIST'G WALL TO REMAIN
---	NEW 2x6 @ 16" O.C STUD WALL @ EXT UNO
---	NEW 2x4 @ 16" O.C STUD WALL @ INT UNO



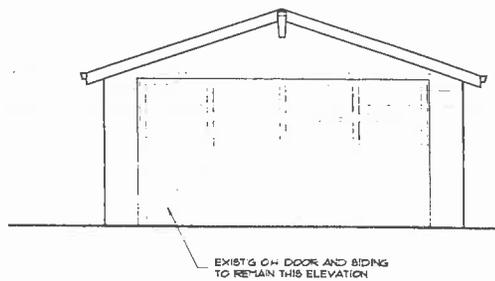
**ISELIN ARCHITECTS P.C.**  
1000 SW 10th Street  
Seaside, OR 97138  
503.738.5500  
www.iseleinarchitects.com

Woolensack Residence  
**Accessory Dwelling Unit Addition**

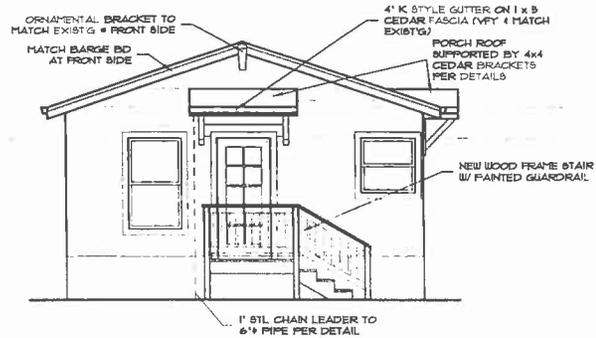
1697 5th Avenue  
West Linn, Oregon 97068

PROJ NO 0919  
FILE 0919 A.FP  
DATE 04/09

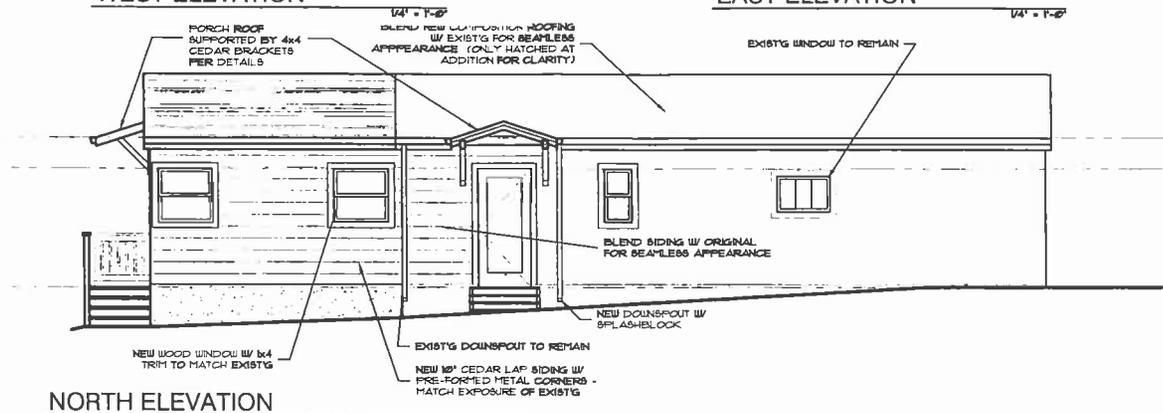
SHEET #  
**A1.2**  
SHEET TITLE



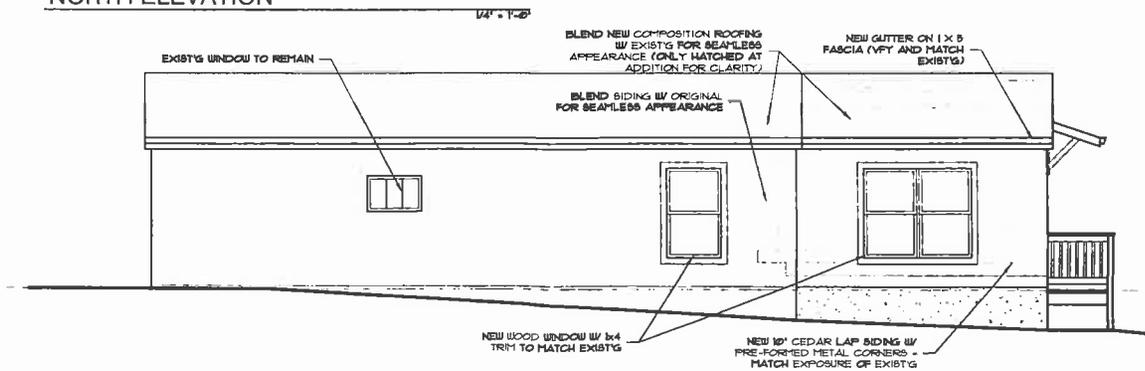
WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



**ISELIN**  
ARCHITECTS  
P.C.

1697 5th Avenue  
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503.444.1625  
WWW.ISELINARCHITECTS.COM

Woolensack Residence  
**Accessory Dwelling Unit Addition**

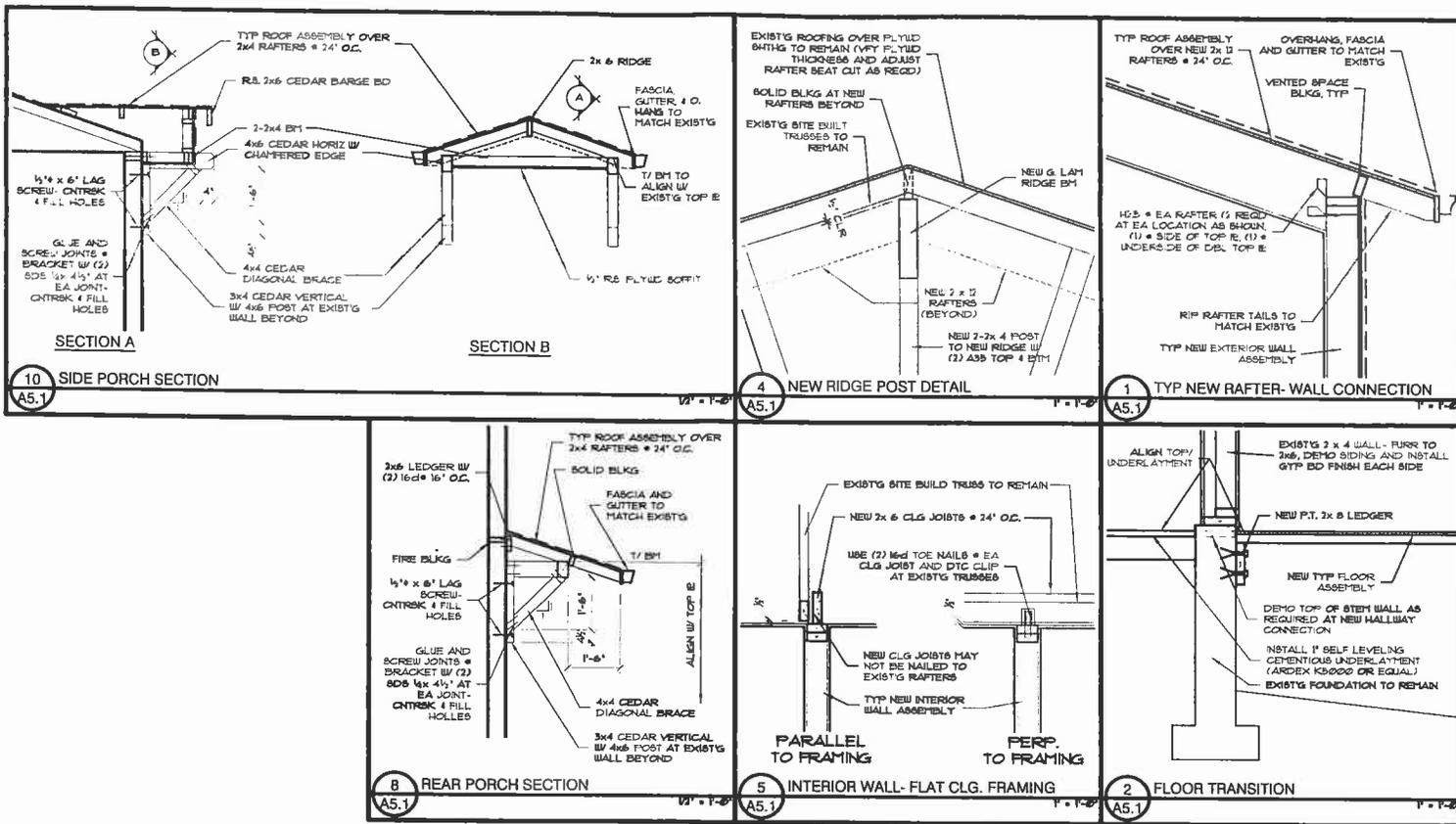
1697 5th Avenue  
West Linn, Oregon 97068

PROJ NO 0919  
FILE A.ELV  
DATE 6/4/08

SHEET #  
**A2.1**

BUILDING ELEVATIONS





**ISELIN ARCHITECTS P.C.**  
 1502 SW 10th Street  
 Oregon City, OR 97146  
 503.636.1800 fax  
 503.656.0700 fax  
 www.iseleinarchitect.com

Woolensack Residence  
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1697 5th Avenue  
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PROJ NO 0919  
 FILE 0919 A DET  
 DATE 6/4/09

SHEET #  
**A5.1**

DETAILS



**ISELIN ARCHITECTS P.C.**  
 1997 5th Avenue  
 West Linn, Oregon 97068  
 503.656.0644  
 www.iselinarchitect.com

**Woolensack Residence  
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1997 5th Avenue  
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PROJ. NO. 0816  
 FILE S.FDN  
 DATE 04/09

SHEET #  
**S1.1**

FOUNDATION PLAN  
 ROOF FRAMING PLAN

**FDN PLAN LEGEND**

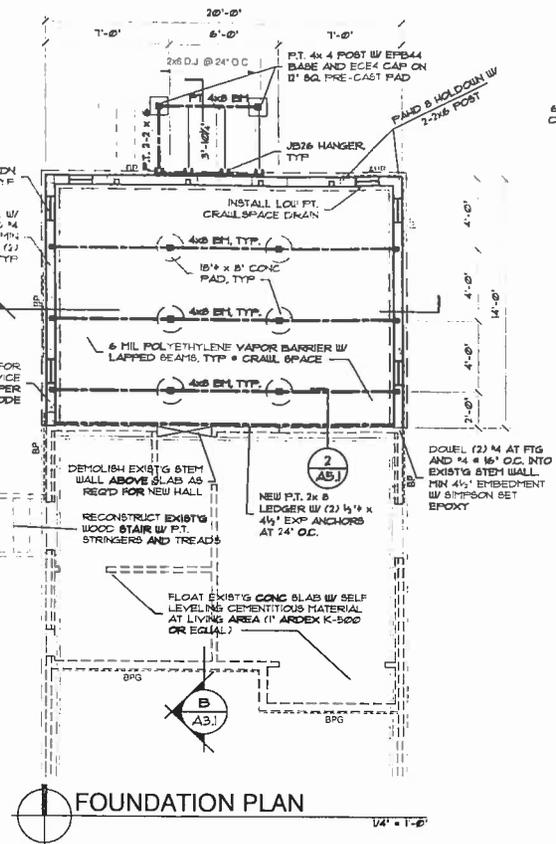
- NEW FOOTING
- NEW FOUNDATION WALL
- WALL ABOVE
- SHEAR PANEL
- BP SHEAR PANEL TYPE

**SHEAR PANEL TYPES**

**BP - BRACED PANEL (MIN 4'-0" WIDTH):**  
 2" APA SPAN-RATED BRTHG NAILED W/ 8d @ 6" OC @ PANEL EDGES & 8d @ 12" OC @ FIELD. NAIL BOLE IS W/ 16d @ 16" OC. PROVIDE DBL JOIST OR SOLID BLKG BELOW. NO HOLDDOVS REQ'D.

**BPG - BRACED PANEL (GYE BD):**  
 2" GYP BD EA SIDE OF WALL SCREWED W/ 1/4" TYPE U SCREWS OR NAILED W/ 6d COOLER NAILS @ 12" OC. NAIL BOLE IS W/ 16d @ 16" OC. PROVIDE DBL JOIST OR SOLID BLKG BELOW. NO HOLDDOVS REQ'D.

**APP - ALTERNATE BRACED PANEL (MIN 2'-0" WIDTH):**  
 2" APA SPAN-RATED BRTHG NAILED W/ 8d @ 4" OC @ PANEL EDGES & 8d @ 12" OC @ FIELD. BLOCK ALL PANEL EDGES. NAIL BOLE IS W/ 16d @ 16" OC OR AS OTHERWISE NOTED. PROVIDE DBL JOIST OR SOLID BLKG BELOW. INSTALL HOLDDOV DEVICES SPECIFIED.



**FOUNDATION SPECIFICATIONS**

SLOPE CRAWL SPACE TO DRAIN. MAX SLOPE IS 2 HORIZ. : 1 VERT. BETWEEN FOOTINGS AT DIFFERENT ELEVATIONS.

ALL FTGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. STEP FTGS AS REQ'D TO MAINTAIN REQ'D DEPTH BELOW FINISH GRADES.

**CONCRETE STRENGTH:**  
 3000 PSF AT 28 DAYS FOR ALL SLABS  
 3000 PSF AT 28 DAYS FOR ALL OTHER CONDITIONS  
 MAXIMUM SLUMP: 4"

USE ASTM A-65 GRADE 60 DEFORMED REINFORCING BARS UNL.

WELDED WIRE MESH TO MEET ASTM A955 STANDARD

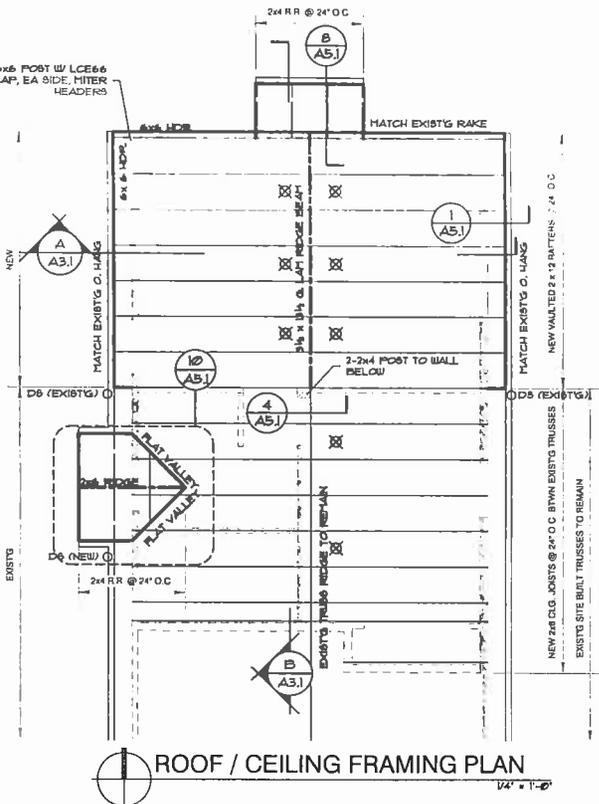
DO NOT BACKFILL FDN WALL UNTIL MAIN FLOOR & WALL DIAPHRAGMS ARE IN PLACE & FULLY NAILED & FDN WALLS HAVE BEEN CAST & CURED FOR 28 DAYS.

LOCATE ALL FDN WALL PENETRATIONS (VENTS, DUCTS, BEAM POCKETS, ETC.) AWAY FROM HOLDDOV ANCHOR LOCATIONS AT LEAST 12" MINIMUM. IF PENETRATION FALLS WITHIN REQUIRED HORIZONTAL BAR FOR HOLDDOVS, BEND HORIZONTAL BAR DOWN 180° MINIMUM AT EACH EDGE OF PENETRATION AND ADD 4" HORIZONTAL BAR 6'-0" LONG CENTERED UNDER EACH PENETRATION.

**ROOF FRAMING PLAN LEGEND**

- INDICATES ROOF BEARING ON WALLS BELOW
- INDICATES ROOF BEARING ON BEAM OR HEADER BELOW. NOTE ALL BEAMS AND HEADERS TO BE MIN 4x6 12 DF-L, UNL.
- INDICATES ROOF FRAMED OVER ROOF BELOW WITH VALLEY RAFTERS LAID FLAT OVER 2x SOLID BLOCKING BETWEEN RAFTERS/TRUSSES BELOW. RUN SHINGLES AT LOWER ROOF CONT.
- OD6 INDICATES DOWNSPOUT
- ⊗ INDICATES JACK-TYPE ROOF VENTS - UPPER PORTION OF ROOF

**TYP ROOF SHINGLING REQR'TS:**  
 INSTALL 3/4" APA RATED CDX PLY WITH 8d COMMON NAILS @ 6" OC @ PANEL EDGES & 12" OC @ PANEL FIELD, UNL. INSTALL PANEL EDGE NAILING INTO BLKG @ ALL EXT & INT SHEARWALLS.





West Linn

# DEVELOPMENT REVIEW APPLICATION

TYPE OF REVIEW (Please check all boxes that apply):

- |                                     |  |                          |  |
|-------------------------------------|--|--------------------------|--|
| <input type="checkbox"/>            | Annexation                                 | <input type="checkbox"/> | Non-Conforming Lots, Uses & Structures |
| <input type="checkbox"/>            | Appeal and Review *                        | <input type="checkbox"/> | One-Year Extension *                   |
| <input type="checkbox"/>            | Conditional Use                            | <input type="checkbox"/> | Planned Unit Development               |
| <input type="checkbox"/>            | Design Review                              | <input type="checkbox"/> | Pre-Application Meeting *              |
| <input type="checkbox"/>            | Easement Vacation                          | <input type="checkbox"/> | Quasi-Judicial Plan or Zone Change     |
| <input type="checkbox"/>            | Extraterritorial Ext. of Utilities         | <input type="checkbox"/> | Street Vacation                        |
| <input type="checkbox"/>            | Final Plat or Plan                         | <input type="checkbox"/> | Subdivision                            |
| <input type="checkbox"/>            | Flood Plain Construction                   | <input type="checkbox"/> | Temporary Uses *                       |
| <input type="checkbox"/>            | Hillside Protection and Erosion Control    | <input type="checkbox"/> | Tualatin River Greenway                |
| <input checked="" type="checkbox"/> | Historic District Review                   | <input type="checkbox"/> | Variance                               |
| <input type="checkbox"/>            | Legislative Plan or Change                 | <input type="checkbox"/> | Water Resource Area Protection/Wetland |
| <input type="checkbox"/>            | Lot Line Adjustment * / **                 | <input type="checkbox"/> | Willamette River Greenway              |
| <input type="checkbox"/>            | Minor Partition (Preliminary Plat or Plan) | <input type="checkbox"/> | Other/Misc                             |

Home Occupation / Pre-Application / Sidewalk Use Application \* / Permanent Sign Review \* / Temporary Sign Application require individual application forms available in the forms and application section of the City Website or at City Hall.

TOTAL FEES/DEPOSIT \_\_\_\_\_ \* No CD required/ \*\* Only one copy needed

BARBARA WOOLENSACK 1699 5TH AVE. WEST LINN 97068 503-305-8230

OWNER'S	ADDRESS	CITY	ZIP	PHONE(res. & bus.)
SAME →				

APPLICANT'S	ADDRESS	CITY	ZIP	PHONE(res. & bus.)

CONSULTANT	ADDRESS	CITY	ZIP	PHONE

SITE LOCATION SAME

Assessor's Map No.: \_\_\_\_\_ Tax Lot(s): \_\_\_\_\_ Total Land Area: 10 AA 71

- All application fees are non-refundable (excluding deposit).
- The owner/applicant or their representative should be present at all public hearings.
- A denial or grant may be reversed on appeal. No permit will be in effect until the appeal period has expired.

4. **Four (4) complete hard-copy sets (single sided) of application materials must be submitted with this application. One (1) complete set of digital application materials must also be submitted on CD in PDF format.**

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application.

SIGNATURE OF PROPERTY OWNER(S) X [Signature] Date June 12, 2009

SIGNATURE OF APPLICANT(S) \_\_\_\_\_ Date \_\_\_\_\_

X \_\_\_\_\_ Date \_\_\_\_\_

BY SIGNING THIS APPLICATION, THE CITY IS AUTHORIZED REASONABLE ACCESS TO THE PROPERTY. ACCEPTANCE OF THIS APPLICATION DOES NOT INFER A COMPLETE SUBMITTAL. COMPLETENESS WILL BE DETERMINED WITHIN 30 DAYS OF SUBMITTAL.

**PLANNING AND BUILDING; 22500 SALAMO RD #1000; WEST LINN, OR 97068;**  
**PHONE: 656-4211 FAX: 656-4106**