

**CITY OF WEST LINN
 PLANNING COMMISSION PUBLIC HEARING
 DATE: NOVEMBER 5, 2008**

FILE NO.: DR-08-01/VAR-08-01/VAR-08-09/WAP-08-01

REQUEST: CLASS II DESIGN REVIEW, WATER RESOURCES AREA PERMIT, AND CLASS II VARIANCES FOR AMOUNT OF DEVELOPMENT PROPOSED IN THE WATER RESOURCE AREA AND FOR THE REMOVAL OF ONE SIGNIFICANT TREE, FOR A 70-UNIT HOTEL AT 2400-2450 WILLAMETTE FALLS DRIVE

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**City of West Linn
PLANNING & BUILDING DEPT.
STAFF REPORT**

TO: West Linn Planning Commission (for November 5, 2008 meeting)

FROM: West Linn Planning Staff (Tom Soppe, Associate Planner)

DATE: Report completed October 15, 2008

FILE NO: DR-08-01/VAR-08-01/VAR-08-09/WAP-08-01

SUBJECT: 70-unit hotel at 2400-2450 Willamette Falls Drive, requiring Class II Design Review, Water Resources Area Permit due to the presence of a natural drainageway and wetlands on site, and a Class II Variance for the amount of square footage proposed for development within the drainageway and wetlands transition area

Planning Director's Initials BSB City Engineer's Initials KQL

SPECIFIC DATA

**OWNER/
APPLICANT:** Vic Patel, VKNW, Inc., 12700 SE McLoughlin Blvd., Milwaukie, OR 97222

CONSULTANTS: Dale Gulliford, Jr., Schott & Associates, Inc., P.O. Box 589, Aurora, OR 97002

Steven P. Elkins, Steven P. Elkins Architects, Inc. P.S., 11000 NE 33rd Place, Ste. 101, Bellevue, WA 98004

Mike Coyle, Faster Permits, 833 SE Main St., #242, Portland, OR 97214

LOCATION: 2400-2450 Willamette Falls Drive

SITE SIZE: 1.58 acres

LEGAL

DESCRIPTION: Clackamas County Assessor's Map 2-1E-35DD, tax lots 3400 and 3500, and Clackamas County Assessor's Map 2-1E-35D, tax lots 2000 and 5300

ZONING: GC

COMP PLAN

COMP PLAN

DESIGNATION: Commercial

APPROVAL

CRITERIA: CDC Chapter 32, Natural Drainageway Protection; Chapter 55, Design Review; Chapter 75 Variance

120-DAY

PERIOD: The application was complete upon submittal of neighborhood meeting materials on September 25, 2008. Therefore the 120-day period ends on January 23, 2009.

PUBLIC NOTICE: Public notice was mailed to the Willamette Neighborhood Association and to affected property owners on October 8, 2008. The property was posted with a sign on October 14, 2008. The application has also been posted on the City's website. Therefore, notice requirements have been satisfied.

EXECUTIVE SUMMARY:

The applicant proposes a 70-unit, 4-story, 43,388 square foot hotel at a currently undeveloped site (except for a driveway) at 2400-2450 Willamette Falls Drive. The site is approximately 1.58 acres in size. The site is on the north side of the street, stretching from the intersection of 6th Street and Willamette Falls Drive to just west of the intersection of 7th Street and Willamette Falls Drive (both 6th and 7th head only south, not north, from Willamette Falls, so the site is not on a corner lot). The site is zoned General Commercial (GC), and is surrounded by other GC sites on the north side of Willamette Falls Drive, stretching west to 10th Street and east to 5th Street. The site backs to I-205, across which are R-10 zoned residential areas further up a steep hill. Across Willamette Falls Drive lie R-10 zoned residential areas. This section of Willamette Falls Drive consists of both the main arterial of Willamette Falls Drive and a frontage road that provides access to houses on the south side of the street. The right of way (ROW) is approximately 120 feet wide. The main arterial of Willamette Falls Drive is approximately 40 feet wide in front of the site.

The site is quite flat, but there is a steep slope up to I-205 behind the site in the ODOT ROW. Bernert Creek traverses the western area and south frontage of the site, and wetlands along the creek corridor also comprise a significant area of the southern and western areas of the site. Bernert Creek is a significant riparian corridor, so the setback is 100 feet from the top of bank. Therefore the entire site except a thin strip along the north central and northeast areas of the site lies within the water resource areas and their transition area. CDC 32.090 allows a hardship provision of up to 5,000 square feet of developed water resource area for properties such as this one that are partly within the transition area and can otherwise not be developed. This provision exists to allow "economically viable" use of the land. Because much of the site except for the narrow strip at the rear consists of the water resource area, the applicant has applied for a Class II Variance to develop more than 5,000 square feet of the transition area in order to make the site economically viable. A Water Resources Area permit has also been applied for due to the presence of and proximity to the water resources, and the applicant has applied for a Class II Design Review as this is a new commercial building.

The proposed building footprint is 10,847 square feet, and the parking lot and driveway areas are proposed to be 25,000 square feet. The hotel is proposed for the east end of the site, separated from Willamette Falls Drive by the wetland and creek. There is an existing driveway that crosses the creek above a culverted area of the creek at the west end of the site. The applicant proposes to use this driveway and to not build another. The parking lot, proposed to stretch across the north end of the site from the building to the west boundary of the site, will connect this driveway to the hotel building. The north-south aisle at the east end of the parking lot will pass through a porte cochere which will be used as the main entrance to the building.

The applicant has also applied for a Class II Variance for the removal of the only significant tree with a dripline + 10 area on the property. The tree is actually located on the property to the east, but on the site plan the northeast corner of the building is proposed far enough into the dripline + 10 area of the tree that the tree cannot be expected to survive the development. There are no significant trees with a base that is actually on the site. Since this tree's dripline + 10 area is the only significant tree dripline + 10 area on site, it needs to be saved to fulfill the requirement that 20% of the land on site, or as close to this number as possible, needs to be saved for significant tree preservation. This requirement is in 55.100(B)(2)(b). Since the applicant plans to have the tree removed, the applicant has applied for an additional Class II Variance to avoid the provision of 55.100(B)(2)(b).

Staff recommends denial because, as discussed in findings below, staff's analysis concludes that the minimum parking for the use and other code provisions could still be met if the building was moved far enough west to avoid removing the tree. This would also result in less impervious surface (and therefore less impact to the water resource transition area) overall as the parking lot would be smaller. Because staff concludes that the tree does not have to be removed for the application to otherwise comply with code, denial is recommended since the current site plan does include the tree's removal. The applicant has the option to postpone this hearing until a new site plan, conforming to what staff concludes is compliant, is submitted. The postponed hearing would need to take place after staff has had sufficient time to modify the staff report to reflect analysis of the new site plan, and after Planning Commission has time to read the modified staff report.

PUBLIC COMMENTS

Mr. and Mrs. Michael A. Boyd, 2475 Willamette Falls Drive, July 7, 2008

My husband and myself live at 2475 Willamette Falls Drive, directly across from the proposed hotel site requested by VKNW, Inc. We are both retired and my husband has owned this property for more than 28 years.

We strongly disapprove of the construction of a hotel- a 7-day a week- 24 hour business- on a year-round waterway wetland.

We have seen deer, nesting ducks and birds as well as other wildlife at this site.

The construction, use, and increased traffic will definitely have a negative impact on the quality of life in that little wetland- as well as ours across from it.

That green space must surely help with the clean-air quality from the above freeway traffic and the already extreme amount of traffic on Willamette Falls Drive.

It is our understanding that West Linn and the state of Oregon are trying to preserve these places and we feel this building request should be denied.

Willamette Neighborhood Association, September 10, 2008

The WNA does not support the Holiday Inn Express application because of the following concerns:

1. Feasibility of wetland mitigation by developer-discussions and feedback from area residents and professionals questioned that there were no other wetland areas that could be mitigated to balance out what will be filled in at the building site.
2. Preservation of the oak tree on the applicant's property-discussions from area residence supported keeping the tree and moving the building to keep it.
3. Proximity to the bus stop for young children and proximity to their school due to the transient nature of the motel clientele was a concern for some area residents and may require rerouting the school buses.
4. Variance requested for the height needed for a 4 story structure-discussions of residents did not support the additional height of the building over and above the code for esthetic reasons. It was also suggested the some additional screening from tree plantings in the divider between Willamette Falls Drive and the residential Willamette Falls Drive should be considered to help screen some of the homes facing the proposed hotel.
5. Inadequacy of parking spaces for the hotel and the adjacent lawyers' office parking agreement-this discrepancy of parking spaces to rooms seemed unusual and concerning to area residents. The hotel owners admitted to making an agreement with the neighboring law office to give them some of their required parking spaces in return for some of the property to fulfill their parking lot needs. So in essence, the parking lot needs of the hotel will not actually be met.
6. Apprehension for the preservation of the character of the Willamette district-some neighbors felt that the hotel at this particular location was more in the neighborhood and less in the town area. They questioned the success of the hotel because of the location.

Don Hatch, 6260 Summerlinn Way, September 26, 2008

I am unable to attend the neighborhood meeting for health reasons. I was disappointed to see your (referring to WNA) lack of support for the Holiday Inn Express. West Linn could use more businesses to help with the taxes. The Inn might even have helped the stability of the businesses of WF Drive which seem to open and close with regularity. A small Inn like this would have little traffic impact. Maybe if it was located north of the freeway you would have approved of it as you did Mr. Parker's 800 car parking garage with the traffic pattern aimed for Summerlinn Drive to Blankenship. Why fight against what is beneficial to the community as a whole?

RECOMMENDATION

Based upon staff findings and findings contained in the applicant's submittal in the City record, staff finds and recommends that there are sufficient grounds to **deny** this application.

If the Planning Commission finds that the application meets the appropriate criteria and approves the application, the following conditions of approval are recommended by staff:

1. The applicant shall plant only native plants in the stormwater treatment facility proposed on site and in the raingarden between the sidewalk and street (see Condition 2).
2. The applicant shall install an 8-foot wide sidewalk along Willamette Falls Drive, with a minimum 6-foot wide raingarden swale strip between the sidewalk and the street. The sidewalk shall be connected to the existing sidewalk to the east. Appropriate street trees and street lighting shall be planted in the raingarden swale strip. Applicant shall provide half-street improvements to the satisfaction of the Engineering Department. The infield implementation of the actual half-street construction shall be determined by the City Engineer.
3. A 6 foot wide sidewalk shall be installed from the port cochere entrance along the east and south sides of the parking lot and the east side of the driveway, connecting to the public sidewalk to be installed along Willamette Falls Drive. Along the driveway, this widening can be achieved by a sidewalk bridge and/or by lengthening the culvert.
4. The existing drainageway culvert under the existing driveway shall be replaced to the satisfaction of the Sewer and Storm Division of the Public Works Department.
5. The water line shall be installed to allow for eventual looping west to 8th Court. This and other aspects of connecting the site to the water system shall be done to the satisfaction of the Water Division of the Public Works Department.
6. The original completed mitigation plan was conceived by the applicant before modifications to the site plan (which were done to meet public improvements code) increased the impervious surface of the site and before other conditions of approval in this list increasing the impervious surface also. Approximately 2,500 square feet of impervious surface has been added per staff estimates due to the increase in parking space size, the sidewalk required by Condition of Approval 3, and the sidewalk and swale required by Condition of Approval 2. The applicant shall mitigate for the increased amount of wetland and associated vegetative removed within the available designated mitigation areas in Fields Bridge Park in the final mitigation plan.
7. All pavement in the parking lot that is proposed to be pervious shall be constructed of hard-surfaced materials, not gravel.
8. All areas of the site not proposed for development that are within the drainageway,

wetlands, and their 50-foot transition areas shall be placed in a conservation easement protecting them from further development.

9. The applicant shall submit to the City in writing permission from the owner of 2500 Willamette Falls Drive to remove the oak tree on this property, unless the tree's base can be shown via survey to be only on the applicant's property.
10. The applicant shall mitigate for removal of the significant Oregon White Oak tree by planting replacement trees on a two-inches-per-one-inch basis. On-site mitigation shall be prioritized, but off-site mitigation is acceptable as the applicant shall work with the City of West Linn Parks and Recreation Department to designate appropriate off-site mitigation planting areas on City property. All trees planted for mitigation shall be Oregon White Oaks. Because of the species' growth and maintenance difficulties, the applicant shall fund a maintenance fund for the trees, to be determined by the Parks and Recreation Department.
11. The gravel parking spaces at the southwest corner of the site shall no longer be used for parking, as these areas will be occupied partly by vegetative buffer restoration area and partially by right of way improvements. Up to 9 spaces at the west end of the proposed parking lot may be shared with the law office currently using the gravel parking area to be abandoned. Any parking sharing agreed to in the future by the applicant must conform to the provisions of the CDC, including Chapter 46.

SUPPLEMENTAL FINDINGS

DR-08-01/VAR-08-01/WAP-08-01/VAR-08-09

32.050 APPROVAL CRITERIA

No application for development on property containing a water resource area shall be approved unless the decision-making authority finds that the following standards have been satisfied, or can be satisfied by conditions of approval.

- A. *Proposed development submittals shall identify all water resource areas on the project site. The most currently adopted Surface Water Management Plan shall be used as the basis for determining existence of drainageways. The exact location of drainageways identified in the Surface Water Management Plan, and drainageway classification (e.g., open channel vs. enclosed storm drains), may have to be verified in the field by the City Engineer. The Local Wetlands Inventory shall be used as the basis for determining existence of wetlands. The exact location of wetlands identified in the Local Wetlands Inventory on the subject property shall be verified in a wetlands delineation analysis prepared for the applicant by a certified wetlands specialist. The Riparian Corridor inventory shall be used as the basis for determining existence of riparian corridors.*

FINDING NO. 1:

The site plan depicts locations of the drainageway and wetlands on the property. The criterion is met.

- B. *Proposed developments shall be so designed as to maintain the existing natural drainageways and utilize them as the primary method of stormwater conveyance through the project site unless the most recently adopted West Linn Surface Water Management Plan calls for alternate configurations (culverts, piping, etc.). Proposed development shall, particularly in the case of subdivisions, facilitate reasonable access to the drainageway for maintenance purposes.*

FINDING NO. 2:

The development will use the existing driveway across the wetland/drainageway area of the site and will otherwise be developed outside this area of the site. The proposed stormwater treatment facility will drain to the natural drainageway/wetland area of the site. Condition of Approval 4 requires the replacement of the current culvert under the existing driveway to the satisfaction of the Sewer and Storm Division of the Public Works Department; this will enhance the drainageway here as the Division plans to demand an open-bottomed culvert. The criterion is met.

- C. *Development shall be conducted in a manner that will minimize adverse impact on water resource areas. Alternatives which avoid all adverse*

environmental impacts associated with the proposed action shall be considered first. For unavoidable adverse environmental impacts, alternatives that reduce or minimize these impacts shall be selected. If any portion of the water quality resource area is proposed to be permanently disturbed, the applicant shall prepare a mitigation plan as specified in CDC 32.070 designed to restore disturbed areas, either existing prior to development or disturbed as a result of the development project, to a healthy natural state.

FINDING NO. 3:

No wetlands will be affected except the area at the southeast edge of the site where the City-required sidewalk will intrude into the wetland area. This wetland area will be mitigated for in Fields Bridge Park, and other vegetated areas of the transition area to be affected by development will be mitigated for on site and in Fields Bridge Park. The applicant already has proposed mitigation in Fields Bridge Park and on site in the mitigation plan. Condition of Approval 6 ensures that impervious surfaces that have been added to the plan due to subsequent site plan modifications, Condition of Approval 2, and Condition of Approval 3 will be mitigated for as well in Fields Bridge Park. As shown on the map titled "Offsite Mitigation Areas- Fields Bridge Park, West Linn, OR" (see Exhibit PC-8), there are over 41,000 square feet of mitigation areas available in Fields Bridge Park. 32,074.45 acres are already proposed to be employed for mitigation in Fields Bridge Park by the submitted mitigation plan, and the changes to the site plan made by further modifications and required by conditions of approval 2 and 3 will increase the amount of square footage for which to mitigate, by approximately 2,500 square feet. Therefore the needs can be met within the 41,000+ square feet available for mitigation at Fields Bridge Park, as confirmed by the Parks Director. Staff adopts the applicant's findings regarding the alternatives analysis and mitigation plan. See findings 16-17 regarding the mitigation plan and findings 47-52 regarding the square footage variance. The criterion is met.

D. Water resource areas shall be protected from development or encroachment by dedicating the land title deed to the City for public open space purposes if either: 1) a finding can be made that the dedication is roughly proportional to the impact of the development; or, 2) the applicant chooses to dedicate these areas. Otherwise, these areas shall be preserved through a protective easement. Protective or conservation easements are not preferred because water resource areas protected by easements have shown to be harder to manage and, thus, more susceptible to disturbance and damage. Required 15-foot wide structural setback areas do not require preservation by easement or dedication.

E. The protected water resource area shall include the drainage channel, creek, wetlands, and the required setback and transition area. The setback and transition area shall be determined using the following table:

At least three slope measurements along the water feature, at no more than 100-foot increments, shall be made for each property for which development is proposed. Depending upon the width of the property, the width of the protected corridor will vary.

FINDING NO. 4:

The site is very constrained as it is a narrow site north-to-south, with an entire east-west swath covered by drainageway and wetlands. Therefore most of the site is water resource area and transition area. The applicant is utilizing the hardship provisions of 32.090 and is also applying for a variance because the site is too constrained to be reasonably developed while meeting even the hardship provisions. See Finding No. 19 regarding the hardship provisions and findings 47-52 regarding the variance. A conservation easement shall be placed over all of the areas of the site that are within the water resources and their transition areas and that remain undeveloped per the final site plan (Exhibit PC-4). This is required by Condition of Approval 8 to comply with (D) above.

- F. *Roads, driveways, utilities, or passive use recreation facilities may be built in and across water resource areas when no other practical alternative exists. Construction shall minimize impacts. Construction to the minimum dimensional standards for roads is required. Full mitigation and revegetation is required, with the applicant to submit a mitigation plan pursuant to CDC Section 32.070 and a revegetation plan pursuant to CDC Section 32.080. The maximum disturbance width for utility corridors is as follows:*
- a. *For utility facility connections to utility facilities, no greater than 10 feet wide.*
 - b. *For upgrade of existing utility facilities, no greater than 15 feet wide.*
 - c. *For new underground utility facilities, no greater than 25 feet wide, and disturbance of no more than 200 linear feet of Water Quality Resource Area, or 20% of the total linear feet of Water Quality Resource Area, whichever is greater.*

FINDING NO. 5:

There will be only one driveway across the wetland/drainageway area to provide access between the site and the street. The applicant plans to use the existing driveway as to minimize effects on the wetland. The driveways around the parking lot will replace vegetative area surrounding the wetland/drainageway area, and these will be mitigated for per the mitigation plan; see Finding No. 19. Utilities will connect through the existing driveway. The criterion is met.

- G. *Prior to construction, the water resource area shall be protected with an anchored chain link fence (or approved equivalent) at its perimeter and shall remain undisturbed except as specifically allowed by an approved water resource area permit. Such fencing shall be maintained until construction is complete. The water resource area shall be identified with City-approved permanent markers at all boundary direction changes and at 30- to 50-foot intervals that clearly delineate the extent of the protected area.*

FINDING NO. 6:

There will be building in the transition area under the hardship provisions of 32.090, as most of the site is in the water resource areas and their transition areas. The water resource areas and the sections of their transition areas where development will not occur will be surrounded by chain link fencing. This fencing will be erected prior to construction and will remain throughout construction. The criterion can therefore be met as outlined.

- H. Paved trails, walkways, or bike paths shall be located at least 15 feet from the edge of a protected water feature except for approved crossings. All trails, walkways, and bike paths shall be constructed so as to minimize disturbance to existing native vegetation. All trails, walkways, and bike paths shall be constructed with a permeable material and utilize Low Impact Development (LID) construction practices.*

FINDING NO. 7:

There will be no trails, walkways, or bike paths. The criterion is not applicable.

- I. Sound engineering principles regarding downstream impacts, soil stabilization, erosion control, and adequacy of improvements to accommodate the intended drainage through the drainage basin shall be used. Storm drainage shall not be diverted from its natural watercourse. Inter-basin transfers of storm drainage shall not be permitted.*

FINDING NO. 8:

The stormwater plan proposes to match the post-development peak flow with the pre-development peak flow. Interbasin transfer will not occur, and the storm drainage on site will continue to flow to the drainageway/wetland on site after treatment. Staff adopts the applicant's finding and finds the criterion is met.

- J. Appropriate erosion control measures based on CDC Chapter 31 requirements shall be established throughout all phases of construction.*

FINDING NO. 9:

The applicant has submitted an erosion control plan. The criterion is met.

- K. Vegetative improvements to areas within the water resource area may be required if the site is found to be in an unhealthy or disturbed state, or if portions of the site within the water resource area are disturbed during the development process. "Unhealthy or disturbed" includes those sites that have a combination of native trees, shrubs, and groundcover on less than 80% of the water resource area and less than 50% tree canopy coverage in the water resource area. "Vegetative improvements" will be documented by submitting a revegetation plan meeting CDC Section 32.080 criteria that will result in the water resource area having a combination of native trees, shrubs, and groundcover on more than 80% of its area, and more than 50%*

tree canopy coverage in its area. Where any existing vegetation is proposed to be permanently removed, or the original land contours disturbed, a mitigation plan meeting CDC Section 32.070 criteria shall also be submitted. Interim erosion control measures such as mulching shall be used to avoid erosion on bare areas. Upon approval of the mitigation plan, the applicant is responsible for implementing the plan during the next available planting season.

FINDING NO. 10:

A revegetation plan and mitigation plan have been submitted, for which staff has adopted the applicant's findings. See staff findings 18-19 below.

- L. Structural Setback area: where a structural setback area is specifically required, development projects shall keep all foundation walls and footings at least 15 feet from the edge of the water resource area transition and setback area if this area is located in the front or rear yard of the lot, and 7 ½ feet from the edge of the water resource area transition and setback area if this area is located in the side yard of the lot. Structural elements may not be built on or cantilever over the setback area. Roof overhangs of up to three feet are permitted in the setback. Decks are permitted within the structural setback area.*

FINDING NO. 11:

See Finding No. 19 under 32.090, as this is a constrained site which needs to employ the hardship provisions of this section to be developed. The setback cannot be maintained from the transition area as the combination of the water resource areas and the transition areas constitute most of the site. The criterion is not applicable.

- M. Stormwater Treatment Facilities may only encroach a maximum of 25 feet into the outside boundary of the water resource area; and the area of encroachment must be replaced by adding an equal area to the water quality resource area on the subject property. Facilities that infiltrate storm water onsite, including the associated piping, may be placed at any point within the water resource area outside of the actual drainage course so long as the forest canopy and the areas within ten feet of the driplines of significant trees are not disturbed. Only native vegetation may be planted in these facilities.*

FINDING NO. 12:

The stormwater treatment facility will not be in the water resource areas. Condition of Approval 1 ensures only native plantings will be placed in the stormwater treatment facility, making the development compliant with this criterion.

- N. As part of any proposed land division or Class II Design Review application, any covered or piped drainageways identified on the Surface Water Quality Management Plan Map shall be opened, unless the City*

Engineer determines that such opening would negatively impact the affected storm drainage system and the water quality within that affected storm drainage system in a manner that could not be reasonably mitigated by the project's site design. The design of the reopened channel and associated transition area shall be considered on an individualized basis, based upon the following factors:

- 1. The ability of the reopened storm channel to safely carry storm drainage through the area.*
- 2. Continuity with natural contours on adjacent properties*
- 3. Continuity of vegetation and habitat values on adjacent properties.*
- 4. Erosion control*
- 5. Creation of filters to enhance water quality*
- 6. Provision of water temperature conducive to fish habitat*
- 7. Consideration of habitat and water quality goals of the most recently adopted West Linn Surface Water Management Plan.*
- 8. Consistency with required site Mitigation Plans, if such plans are needed. The maximum required setback under any circumstance shall be the setback required as if the drainage way were already open. The maximum required setback under any circumstance shall be the setback required as if the drainage way were already open.*

FINDING NO. 13:

The only piped/culverted water resource area on site is the area culverted beneath the driveway on site. The driveway is the only access to the buildable area of the site, as the water resource areas otherwise line the front of the site along Willamette Falls Drive. The existing driveway will be used as the single access to the site, so the culvert will remain. The criterion is not applicable.

- O. The decision-making authority may approve a reduction in applicable front yard setbacks abutting a public street to a minimum of fifteen feet and a reduction in applicable side yard setbacks abutting a public street to 7 ½ feet if the applicant demonstrates that the reduction is necessary to create a building envelope on an existing or proposed lot of at least 5,000 square feet.*

FINDING NO. 14:

The site is in the GC zone but is across the street from R-10, so the 20 foot front setback of R-10 applies. The area of the first 20-plus feet of the site's front consists of water resource area.

Therefore the development actually has to be pushed further to the back, not further to the front. The criterion is not applicable.

- P. *Storm Drainage Channels not identified on the Surface Water Management Plan Map, but identified through the development review process, shall be subject to the same setbacks as equivalent mapped storm drainage channels.*

FINDING NO. 15:

No other water resource areas besides drainageway and wetlands in front have been identified. The criterion is not applicable.

32.070 MITIGATION PLAN

A mitigation plan shall be required if any portion of the water resource area is proposed to be permanently disturbed by development.

- A. *All mitigation plans must contain an alternatives analysis demonstrating that:*
1. *No practicable alternatives to the requested development exist that will not disturb the water resource area; and,*
 2. *Development in the water resource area has been limited to the area necessary to allow for the proposed use; and,*
 3. *An explanation of the rationale behind choosing the alternative selected, including how adverse impacts to the water resource area will be avoided and/or minimized.*

FINDING NO. 16:

Staff adopts the applicant's findings. Parking lot landscaping and the on-site restoration area count towards the 20% landscaping.

- B. *A mitigation plan shall contain the following information:*
1. *A description of adverse impacts that will be caused as a result of development.*
 2. *An explanation of how adverse impacts to resource areas will be avoided, minimized, and/or mitigated in accordance with, but not limited to, the revegetation provisions of CDC Section 32.050(K).*
 3. *A list of all responsible parties including, but not limited to, the owner, applicant, contractor, or other persons responsible for work on the development site.*

4. *A map showing where the specific mitigation activities will occur.*
 5. *An implementation schedule, including timeline for construction, mitigation, mitigation maintenance, monitoring, reporting, and a contingency plan. All in-stream work in fish-bearing streams shall be done in accordance with the Oregon Department of Fish and Wildlife water work periods.*
 6. *Assurances shall be established to rectify any mitigation actions that are not successful. This may include bonding or other surety.*
 7. *Evidence that a Joint Permit Application (to the U.S. Army Corps and OR DSL) if impacts to wetlands are greater than 0.10 acres, has been submitted and accepted for review.*
- C. *Mitigation of any water resource areas that are not wetlands that are permanently disturbed shall be accomplished by creation of a mitigation area equal in size to the area being disturbed. Mitigation areas may be land that is either*
1. *On-site, not within the water resource area, and is characterized by existing vegetation qualifying that does not meet the standard set forth in CDC Section 32.050(K), or*
 2. *Off-site, and is characterized by existing vegetation that does not meet the standard set forth in CDC Section 32.050(K).
The applicant shall prepare and implement a revegetation plan for the mitigation area pursuant to CDC Section 32.080, and which shall result in the area meeting the standards set forth in CDC Section 32.050(K).
Adequacy of off-site mitigation areas on city property must be consistent with and meet approval of the City Department of Parks and Recreation.
Any off-site mitigation occurring on privately-owned land shall be protected with a conservation easement.*
- D. *The Mitigation Plan for any wetland area to be disturbed shall be 1) prepared and implemented with the guidance of professionals with experience and credentials in wetland areas and values, and 2) be consistent with requirements set forth by regulatory agencies (U.S. Army Corps and OR DSL) in a Joint Permit Application, if such an Application is necessary for the disturbance. Where the alternatives analysis demonstrates that there are no practicable alternatives for mitigation on site, off-site mitigation shall be located as follows:*
1. *As close to the development site as is practicable above the confluence of the next downstream tributary, or if this is not practicable;*

2. *Within the watershed where the development will take place, or as otherwise specified by the City in an approved wetland mitigation bank.*
- E. *To ensure that the mitigation area will be protected in perpetuity, proof that the area has been dedicated to the City or a conservation easement has been placed on the property where the mitigation is to occur is required.*

FINDING NO. 17:

Staff adopts the applicant’s findings. The sidewalk impacts to the wetlands will be less than 0.10 acres as shown on the grading and utility plan in Exhibit PC-6, so (B)(7) above does not apply. Except for this sidewalk along Willamette Falls Drive, all impacts will be to the vegetative buffer and not the wetland itself. The map titled “Offsite Mitigation Areas- Fields Bridge Park, West Linn, OR” in Exhibit PC-8 shows all the available mitigation areas, including more square footage than is planned for mitigation by the mitigation plan as submitted.

Changes in the site plan that have been made since this mitigation plan was submitted have increased the amount of impervious surface to be developed, as have some of the above conditions of approval. Therefore Condition of Approval 6 ensures that the mitigation plan will be modified to employ more of the available areas on the “Offsite Mitigation Areas” map, in order to mitigate for this additional square footage (see Finding No. 3). Fields Bridge Parks is an approved wetland mitigation bank. The amount of square footage available in Fields Bridge Park for mitigation is greater than the sum of a) what is proposed by the submitted mitigation plan, b) the additional amount of mitigation area needed due to subsequent changes in the site plan, and c) the additional amount of mitigation area needed due to increases in developed area demanded by conditions of approval (sidewalks, etc.). The Parks Director has confirmed that these additional mitigation needs can be accommodated within the mitigation bank areas of Fields Bridge Park as shown on the “Offsite Mitigation Areas” map. The applicant proposes to provide as much mitigation area on site as is possible on this small site, and the rest will be provided in Fields Bridge Park, including what is addressed by Condition of Approval 6.

32.080 REVEGETATION PLAN REQUIREMENTS

Metro’s native plant list is incorporated by reference as a part of CDC Chapter 32, and all plants used in revegetation plans shall be plants found on the Metro native plant list. Performance standards for planting upland, riparian and wetland plants include the following:

- A. *Native trees and shrubs will require temporary irrigation from June 15 to October 15 for the three years following planting.*
- B. *Invasive non-native or noxious vegetation shall be removed within the area to be revegetated prior to planting.*
- C. *Replacement trees must be at least one-half inch in caliper, measured at 6 inches above the ground level for field grown trees or above the soil line*

for container grown trees (the one-half inch minimum size may be an average caliper measure, recognizing that trees are not uniformly round) unless they are oak or madrone, which may be one gallon size. Shrubs must be in at least a one-gallon container or the equivalent in ball and burlap and must be at least 12 inches in height.

- D. Trees shall be planted between 8 and 12 feet on-center and shrubs shall be planted between 4 and 5 feet on-center, or clustered in single species groups of no more than 4 plants, with each cluster planted between 8 and 10 feet on center. When planting near existing trees, the dripline of the existing tree shall be the starting point for plant spacing requirements.*
- E. Shrubs must consist of at least two different species. If 10 trees or more are planted, then no more than 50% of the trees may be of the same species.*
- F. The responsible party shall provide an appropriate level of assurance documenting that 80 percent survival of the plants has been achieved after three years, and shall provide annual reports to the Planning Director on the status of the revegetation plan during the three year period.*

FINDING NO. 18:

Staff adopts the applicant's findings. Replacement trees are not needed as the City Arborist has found that none of the trees on site are significant. There is an area in the southwestern section of the site currently used for parking by the law office building to the west per the applicant's sales agreement for this land, which was bought from this business (see Exhibit PC-4). This area will partly be taken up by areas designated for vegetative restoration, and partly taken up by right of way improvements. The gravel parking area will become partly street, partly raingarden/planter strip, partly sidewalk, and partly vegetative buffer restoration area as required by this criterion. Condition of Approval 11 prohibits parking here as continuing this use would be incompatible with the vegetative restoration of the wetland buffer here.

32.090 REDUCTION IN STANDARDS FOR HARDSHIP

The purpose of CDC Section 32.090 is to ensure that compliance with CDC Chapter 32 does not cause unreasonable hardship. To avoid such instances, the requirements of CDC Chapter 32 may be reduced. Reductions are also allowed when strict application of CDC Chapter 32 would deprive an owner of all economically viable use of land. The decision making authority may impose such conditions as are deemed necessary to limit any adverse impacts that may result from granting relief.

- A. Lots located completely inside the water resource area. Development may occur on lots located completely within the water resource area that are recorded with the County Assessor's Office on or before the effective date of this ordinance. Development shall disturb the minimum necessary area to allow the proposed use or activity, and in any situation no more than*

5,000 square feet of the water resource area, including access roads and driveways, subject to the erosion and sediment control standards in CDC Chapter 31, and subject to a finding that the proposed development does not increase danger to life and property due to flooding and erosion.

B. Lots located partially inside the water resource area. A reduction to avoid the loss of all economically viable use of a vacant lot recorded with the County Assessor's Office on or before the effective date of this ordinance that is partially inside the water resource area is permitted. Development on such lots shall not disturb more than 5,000 square feet of the water resource area, including access roads and driveways, subject to the erosion and sediment control standards of CDC Chapter 31. Applicants must demonstrate the following:

- 1. Without the proposed reduction, the applicant would be denied economically viable use of the subject property. To meet this criterion, the applicant must show that no other application could result in permission for an economically viable use of the subject property. Evidence to meet this criterion shall include a list of uses allowed on the subject property.*
- 2. The proposed intrusion is the minimum necessary to allow economically viable use of the subject property.*
- 3. The proposed reduction will comply with CDC Chapter 31, Erosion Control;*

C. If a reduction in standards is granted pursuant to criteria of CDC 32.090(B), the reduction shall be subject to the following conditions:

- 1. The minimum width of the water resource area's transition and setback area shall be 15 feet on each side of a wetland or drainage course.*
- 2. As mitigation for the permanent disturbance of any portion of the normally required water resource area, an equal area on the property which would not normally be within the water resource area shall be revegetated to meet the standards of CDC 32.050(K). If there does not exist enough site area to meet this requirement, the applicant shall revegetate the entire area of the property that would not normally be within the water resource area, adjacent to the actual water resource area, and is not proposed for permanent disturbance to meet the standards of CDC 32.050(K)*

C. Any further reduction of the standards of this chapter shall require approval of a Variance pursuant to CDC Chapter 75.

FINDING NO. 19:

The site is partially within the water resource and transition areas, but the area outside the transition area is so limited as to constrain the property to the extent that more than 5,000 square feet of the transition area must be developed in order for the property to be viably used for the commercial land uses for which it is zoned. The applicant has applied for a variance for this reason. See findings 47-52 for responses to the variance criteria.

55.100 APPROVAL STANDARDS - CLASS II DESIGN REVIEW

The approval authority shall make findings with respect to the following criteria when approving, approving with conditions, or denying a Class II design review application. (ORD. 1408)

A. *The provisions of the following chapters shall be met:*

1. *Chapter 33, Storm Water Quality and Detention. (OR D. 1463)*

FINDING NO. 20:

The applicant's site plan shows a stormwater treatment facility for all new impervious surfaces on site that will drain to the drainageway, and the street improvements required by Condition of Approval 2 ensure that a raingarden will also be built along the street to treat street and sidewalk runoff, in place of a planter strip. Condition of Approval 1 also requires native plants to be planted in the on-site facility. Because of spatial constraints on site, the on-site stormwater facility will encroach 25 feet into the transition area of the water resource area, but development on site will be mitigated for by the mitigation plan (see Finding No. 19). The criteria of Chapter 33 are met.

2. *Chapter 34, Accessory Structures.*

3. *Chapter 38, Additional Yard Area Required.*

4. *Chapter 40, Building Height Limitations and Exceptions.*

5. *Chapter 42, Clear Vision Areas.*

6. *Chapter 44, Fences & Screening Outdoor Storage.*

FINDING NO. 21:

There will be no accessory structures. The building meets height limits, and no additional yard area is required. The proposal meets clear vision requirements as no structures are proposed near the intersection of the existing driveway and Willamette Falls Drive. The trash area will be screened. The criteria are met.

7. *Chapter 46, Off-Street Parking and Loading.*

FINDING NO. 22:

There are 72 spaces provided in the proposed parking lot. There are 70 units in the proposed hotel. 46.090(C)(7) requires one space per unit for hotels and motels. Required parking is required to be within 200 feet of the building. Chapter 46 also has a provision that required parking can be reduced by 10% if the site is adjacent to a transit stop, as this site is. Therefore, only 63 spaces are required instead of 70. 63 of the spaces provided are within 200 feet of the building, if the porte cochiere is counted as part of the building. The CDC defines “building” as “Any structure used or intended for supporting or sheltering any use or occupancy.” This definition does not appear to exclude the porte cochiere, therefore it can count as part of the building. Therefore, since 63 spaces are required and 63 are within 200 feet of the porte corchiere and/or main building, the requirements for number of spaces and distance of spaces from the building are met. The minimum is not exceeded by more than 10 percent, which is also forbidden by Chapter 46. Driveways are over 15 feet wide, meeting the requirement of 46.120. Three disabled parking spaces are required for a development with 71 total required parking spaces, and three spaces have been provided. As a hotel with more than 10,000 square feet and less than 100,000 square feet, one loading berth is required by 46.130. One berth of sufficient size has been provided. The final site plan includes parking spaces that meet space sizing requirements in Chapter 46. The applicant proposes pervious pavement; the code requires parking lots and driveways to be hard surfaced, so Condition of Approval 7 requires that they use a pervious pavement that is hard surfaced (as opposed to gravel or something similar).

The informal “parking area” that the applicant has an agreement to share with the law office building to the west is not part of the 71 proposed spaces on site, as it consists of several informal spaces along the edge of the street, west of the site driveway but out of the clear vision area for the driveway. See Exhibit PC-5, which includes the applicant’s explanation of where this area is and what it consists of and Exhibit PC-4, the sales agreement in which the applicant bought this land from the law office owners. In item 12 of the conditions of that agreement, there is an agreement to allow the seller parking at this southwest corner of the site, unless the City does not allow this due to otherwise inadequate parking for a land use proposed on site by the applicant. There is a condition of approval, Condition of Approval 11, which requires the abandonment of this parking area, but this is to ensure wetland buffer revegetation criteria and street improvement criteria are met, not to fulfill the parking criteria discussed in this finding; see findings 18 and 43. The law office building has approximately 1,300-1,600 square feet. CDC 46.090(C)(5) requires professional offices to have one space per every 350 square feet. Therefore the office only needs 5 parking spaces at most per code. The office’s existing parking lot on its own property has 13 spaces. Therefore the parking agreement is not relevant per code as the office already has enough spaces per 46.090(C)(5). However, since there are 72 spaces proposed in the new parking lot with only 63 needed per code, the applicant may share up to 9 of the spaces at the west end of the lot with the law office building, as provided as well in Condition of Approval 11. The criteria of Chapter 46 are met with or without such an agreement..

8. *Chapter 48, Access.*

FINDING NO. 23:

The section of the driveway that provides the only access to the street (and therefore needs to be two-way) is 26 feet wide, exceeding the 24 foot minimum width for a two-way driveway required

by 48.040(A)(1). The remainder of the travel lanes, which can be one way and have a minimum required width of 15 feet, are proposed to be 23 feet in width. The port cochere is high enough for emergency vehicles, and no turnaround is needed as the driveway completes a circle through the parking lot. The main driveway can also serve as a service driveway. The criterion is met.

9. *Chapter 52, Signs.*

FINDING NO. 24:

On wall signs are proposed. For these or any other signs proposed, the applicant will have to get a separate permanent sign permit after the application is approved. The criterion is not applicable at this time.

10. *Chapter 54, Landscaping.*

FINDING NO. 25:

Staff adopts the applicant's findings regarding meeting the landscaped area square footage required. The landscaped areas in the parking lot are over 5 feet wide, and the trash/recycling facility is screened. The criterion is met.

B. *Relationship to the natural and physical environment.*

1. *The buildings and other site elements shall be designed and located so that all heritage trees, as defined in the Municipal Code, shall be saved. Diseased heritage trees, as determined by the City Arborist, may be removed at his/her direction.*
2. *All heritage trees, as defined in the Municipal Code, all trees and clusters of trees (cluster is defined as three or more trees with overlapping driplines; however, native oaks need not have an overlapping dripline) that are considered significant by the City Arborist, either individually or in consultation with certified arborists or similarly qualified professionals, based on accepted arboricultural standards including consideration of their size, type, location, health, long term survivability, and/or numbers, shall be protected pursuant to the criteria of subsections 2(a-f) below. In cases where there is a difference of opinion on the significance of a tree or tree cluster, the City Arborist's findings shall prevail. It is important to acknowledge that all trees are not significant and, further, that this code section will not necessarily protect all trees deemed significant.*
 - a. *Non-residential and residential projects on Type I and II lands shall protect all heritage trees and all significant trees and tree clusters by either the dedication of these areas or establishing tree conservation easements. Development of Type I and II lands shall require the careful layout of streets,*

driveways, building pads, lots, and utilities to avoid heritage trees and significant trees and tree clusters, and other natural resources pursuant to this code. The method for delineating the protected trees or tree clusters ("dripline + 10 feet") is explained in subsection (b) below. Exemptions of subsections (c), (e), and (f) below shall apply.

- b. Non-residential and residential projects on non-Type I and II lands shall set aside up to 20 percent of the area to protect trees and tree clusters that are determined to be significant, plus any heritage trees. Therefore, in the event that the City Arborist determines that a significant tree cluster exists at a development site, then up to 20 percent of the non-Type I and II lands shall be devoted to the protection of those trees, either by dedication or easement. The exact percentage is determined by establishing the driplines of the trees or tree clusters that are to be protected. In order to protect the roots which typically extend further, an additional 10-foot measurement beyond the dripline shall be added. The square footage of the area inside this "dripline plus 10 feet" measurement shall be the basis for calculating the percentage (see figure below). The City Arborist will identify which tree(s) are to be protected. Development of non-Type I and II lands shall also require the careful layout of streets, driveways, building pads, lots, and utilities to avoid significant trees, tree clusters, heritage trees, and other natural resources pursuant to this code. Exemptions of subsections (c), (e), and (f) below shall apply. Please note that in the event that more than 20 percent of the non-Type I and II lands comprise significant trees or tree clusters, the developer shall not be required to save the excess trees, but is encouraged to do so.*
- c. Where stubouts of streets occur on abutting properties, and the extension of those streets will mean the loss of significant trees, tree clusters, or heritage trees, it is understood that tree loss may be inevitable. In these cases, the objective shall be to minimize tree loss. These provisions shall also apply in those cases where access, per construction code standards, to a parcel is blocked by a row or screen of significant trees or tree clusters.*
- d. For both non-residential and residential development, the layout shall achieve at least 70 percent of maximum density for the developable net area. The developable net area excludes all Type I and II lands and up to 20 percent of the*

remainder of the site for the purpose of protection of stands or clusters of trees as defined in CDC Section 55.100(B)(2).

- e. For arterial and collector street projects, including Oregon Department of Transportation street improvements, the roads and graded areas shall avoid tree clusters where possible. Significant trees, tree clusters, and heritage tree loss may occur, however, but shall be minimized.*
 - f. If the protection of significant tree(s) or tree clusters is to occur in an area of grading that is necessary for the development of street grades, per City construction codes, which will result in an adjustment in the grade of over or under two feet, which will then threaten the health of the tree(s), the applicant will submit evidence to the Planning Director that all reasonable alternative grading plans have been considered and cannot work. The applicant will then submit a mitigation plan to the City Arborist to compensate for the removal of the tree(s) on an "inch by inch" basis (e.g., a 48-inch Douglas Fir could be replaced by 12 trees, each 4-inch). The mix of tree sizes and types shall be approved by the City Arborist.*
- 3. The topography and natural drainage shall be preserved to the greatest degree possible. (ORD. 1408)*
 - 4. The structures shall not be located in areas subject to slumping and sliding. The Comprehensive Plan Background Report's Hazard Map, or updated material as available and as deemed acceptable by the Planning Director, shall be the basis for preliminary determination.*
 - 5. There shall be adequate distance between on site buildings and on site and off site buildings on adjoining properties to provide for adequate light and air circulation and for fire protection.*

FINDING NO. 26:

There are no heritage trees on site. The City Arborist has determined that there are also no significant trees on site, except for the large Oregon White Oak tree which is located near the border of the site and the property to the east. While it has not been determined whether the trunk of the tree stands on this site, the site to the east, or both, the dripline + 10 area of the tree definitely extends into the northeast corner of the site. Therefore the dripline + 10 area of this tree is the only area on site that can be counted towards the "up to 20%" provision above in criterion (b), meaning the tree must be preserved to fulfill this criterion. The applicant plans to remove this tree as it would not survive the development because the proposed hotel building extends significantly into the tree's dripline + 10 area. The applicant has applied for a Class II Variance to remove this tree and thereby avoid the provisions of this criterion. There is adequate distance

between the proposed building and other buildings off site. The proposed building will be the only building on site. The site is not in an area subject to slumping and sliding. The topography will not change severely, and the site will still drain to the natural drainageway on site. The criteria are met except for (b), which is addressed in the variance findings 47 through 52 below. Since the tree is potentially actually on the neighboring property to the east which has a different owner, Condition of Approval 9 requires this property owner's permission in writing to have the tree removed, should the application including the variance be approved. Due to the tree's significance (also see Finding No. 49 below) Condition of Approval 10 requires "double mitigation", i.e. two inches of diameter of trees planted per one inch of diameter of the tree removed. Also due to the high significance of the tree (Oregon White Oaks are native trees to the region which are relatively rare and which are hard to plant and grow), Condition of Approval 10 requires all mitigation trees to be of this species and requires the applicant to fund a maintenance fund that the Parks and Recreation Department will use to maintain the replacement trees.

6. *Architecture.*

- a. *The predominant architecture of West Linn identified in the West Linn vision process was contemporary vernacular residential designs emphasizing natural materials: wood with brick and stone detail. Colors are subdued earth tones: greys, brown, off-whites, slate, and greens. Pitched roofs with overhanging eaves, decks, and details like generous multi-light windows with oversized trim are common. Also in evidence are the 1890s Queen Anne style homes of the Willamette neighborhood. Neo-traditional homes of the newer subdivisions feature large front porches with detailed porch supports, dormers, bracketed overhanging eaves, and rear parking for cars. Many of these design elements have already been incorporated in commercial and office architecture.*

- b. *The proposed structure(s) scale shall be compatible with the existing structure(s) on site and on adjoining sites. Contextual design is required. Contextual design means respecting and incorporating prominent architectural styles, building lines, roof forms, rhythm of windows, building scale and massing, materials and colors of surrounding buildings in the proposed structure.*

- c. *While there has been discussion in Chapter 24 about transition, it is appropriate that new buildings should architecturally transition in terms of bulk and mass to work with, or fit, adjacent existing buildings. This transition can be accomplished by selecting designs that "step down" or "step up" from small to big structures and vice versa (see figure below). Transitions may also take the form of*

carrying building patterns and lines (e.g., parapets, windows, etc.) from the existing building to the new one.

- d. Contrasting architecture shall only be permitted when the design is manifestly superior to adjacent architecture in terms of creativity, design, and workmanship, and/or it is adequately separated from other buildings by distance, screening, grade variations, or is part of a development site that is large enough to set its own style of architecture.*
- e. Human scale is a term that seeks to accommodate the users of the building and the notion that buildings should be designed around the human scale (e.g., his/her size and the average range of their perception). Human scale shall be accommodated in all designs by, for example, multi-light windows that are broken up into numerous panes, intimately scaled entryways, visual breaks (exaggerated eaves, indentations, ledges, parapets, awnings, engaged columns, etc.) in the facades of buildings, both vertically and horizontally.*

The human scale is enhanced by bringing the building and its main entrance up to the edge of the sidewalk. It creates a more dramatic and interesting streetscape and improves the "height and width" ratio referenced in this section.

FINDING NO. 27:

There is currently no structure on site. The proposed architecture and colors are compatible with the older neighborhood of Willamette near the site and are not incompatible with newer commercial buildings in the area. The colors are mainly subdued earth tones. The building is taller than nearby buildings, but its distance from nearby buildings is enough that this does not pose an incongruous or unattractive look. The building is next to the slope up to I-205 within the ODOT ROW, which will de-emphasize its height. To make use of space with sufficient viability on a constrained site, the applicant has fulfilled his need to come close to the height limit, but still does not exceed the height limit. The architecture as proposed is varied enough on each building side that human scale is able to be appreciated. The criteria are met.

- f. The main front elevation of commercial and office buildings shall provide at least 60 percent windows or transparency at the pedestrian level to create more interesting streetscape and window shopping opportunities. One side elevation shall provide at least 30 percent transparency. Any additional side or rear elevation, which is visible from a collector road or greater classification, shall also have at least 30 percent transparency. Transparency on other elevations is optional. The*

transparency is measured in lineal fashion. For example, a 100-foot long building elevation shall have at least 60 feet (60% of 100) in length of windows. The window height shall be, at minimum, three feet tall. The exception to transparency would be cases where demonstrated functional constraints or topography restrict that elevation from being used. When this exemption is applied to the main front elevation, the square footage of transparency that would ordinarily be required by the above formula shall be installed on the remaining elevations at pedestrian level in addition to any transparency required by a side elevation, and vice versa. The rear of the building is not required to include transparency. The transparency must be flush with the building elevation. (ORD. 1463)

FINDING NO. 28:

The original plan has been modified to have over 60% transparency with 3 foot tall windows, complying with this standard. The front will have 75% transparency, and the sides 35% transparency, exceeding the 30% that is required for at least one side. The criterion is met.

- g. Variations in depth and roof line are encouraged for all elevations.*

To vary the otherwise blank wall of most rear elevations, continuous flat elevations of over 100 feet in length should be avoided by indents or variations in the wall. The use of decorative brick, masonry, or stone insets and/or designs is encouraged. Another way to vary or soften this elevation is through terrain variations such as an undulating grass area with trees to provide vertical relief.

- h. Consideration of the micro-climate (e.g., sensitivity to wind, sun angles, shade, etc.) shall be made for building users, pedestrians, and transit users, including features like awnings.*

FINDING NO. 29:

Staff adopts the applicant's analysis and finds the criteria are met.

- i. The Vision Statement identified a strong commitment to developing safe and attractive pedestrian environments with broad sidewalks, canopied with trees and awnings.*

FINDING NO. 30:

Staff adopts the applicant's findings. An 8-foot sidewalk is required by Condition of Approval 2, with a 6 foot raingarden strip with trees separating the sidewalk from the street.

- j. Sidewalk cafes, kiosks, vendors, and street furniture are encouraged. However, at least a four foot wide pedestrian accessway must be maintained per Chapter 53, Sidewalk Use.*

FINDING NO. 31:

Unlike the nearby historic Willamette downtown area, this is a commercial site that is separated from the street by a wetland. This is not a downtown atmosphere. While as much connection as possible is being forged between the building and street, the features listed in (j) are arguably not appropriate for the site. The wetland and drainageway constraints on site prevent the building from being built along the street itself.

- 7. Transportation Planning Rule (TPR) compliance. The automobile shall be shifted from a dominant role, relative to other modes of transportation, by the following means:*
 - a. Commercial and office development shall be oriented to the street. At least one public entrance shall be located facing an arterial street; or, if the project does not front on an arterial, facing a collector street; or, if the project does not front on a collector, the local street with highest traffic levels. Parking lots shall placed behind or to the side of commercial and office development. When a large and/or multi-building development is occurring on a large undeveloped tract (3+ acres), it is acceptable to focus internally; however, at least 20 percent of the main adjacent right-of-way shall have buildings contiguous to it unless waived per CDC Section 55.100(B)(7)(c). These buildings shall be oriented to the adjacent street and include pedestrian-oriented transparencies on those elevations. For individual buildings on smaller individual lots, at least 30 lineal feet or 50 percent of the building must be adjacent to the right-of-way unless waived per CDC Section 55.100(B)(7)(c). The elevations oriented to the right-ofway must incorporate pedestrian-oriented transparency. (ORD. 1425)*
 - b. Multi-family projects shall be required to keep the parking at the side or rear of the buildings or behind the building line of the structure as it would appear from the right-of-way inside the multi-family project. For any garage which is located behind the building line of the structure, but still facing the front of the structure, architectural features such*

as patios, patio walls, trellis, porch roofs, overhangs, pergolas, etc. shall be used to downplay the visual impact of the garage, and to emphasize the rest of the house and front entry. (ORD. 1442)

The parking may be positioned inside small courtyard areas around which the units are built. These courtyard spaces encourage socialization, defensible space, and can provide a central location for landscaping, particularly trees, which can provide an effective canopy and softening effect on the courtyard in only a few years. Vehicular access and driveways through these courtyard areas is permitted. (ORD. 1408)

- c. *Commercial, office, and multi-family projects shall be built as close to the adjacent main right-of-way as practical to facilitate safe pedestrian and transit access. Reduced frontages by buildings on public right-of-ways (a, b, c, above) may be allowed due to extreme topographic (e.g., slope, creek, wetlands, etc.) conditions or compelling functional limitations, not just inconveniences or design challenges. (ORD. 1408)*

FINDING NO. 32:

This project, separated from the street by a wetland, is exempt from (a) via (c). Subsection (b) only applies to multi-family projects. The criteria are met.

- d. *Accessways, parking lots, and internal driveways shall accommodate pedestrian circulation and access by specially textured, colored, or clearly defined foot paths at least six feet wide. Paths shall be eight feet wide when abutting parking areas or travel lanes. Paths shall be separated from parking or travel lanes by either landscaping, planters, curbs, bollards, or raised surfaces. Sidewalks in front of storefronts on the arterials and main store entrances on the arterials identified in CDC Section 85.200(A)(3)(e) shall be 12 feet wide to accommodate pedestrians, sidewalk sales, sidewalk cafes, etc. Sidewalks in front of storefronts and main store entrances in commercial/OBC zone development on local streets and collectors shall be eight feet wide.*
- e. *Paths shall provide direct routes that pedestrians will use between buildings, adjacent rights-of-way, and adjacent commercial developments. They shall be clearly identified. They shall be laid out to attract use and to discourage*

people from cutting through parking lots and impacting environmentally sensitive areas. (ORD. 1425)

FINDING NO. 33:

A sidewalk connection from the building to the street has not been provided in the site plan. Condition of Approval 3 requires a 6 foot path, separated from car travel lanes by a curb, to be installed alongside the east and south sides of the parking lot and the east side of the driveway between the front (port cochere) entrance and Willamette Falls Drive. Condition of Approval 2 requires an 8-foot wide sidewalk on the arterial Willamette Falls Drive. Criterion (d) is met upon the application of these conditions of approval. Criterion (e) is met as well by Condition of Approval 2, regarding connection to the ROW. Spatial limitations, building layouts, and wetland and drainageway locations prevent the practical possibility of trails connecting this to nearby commercial properties and undeveloped GC-zoned properties. Criterion (e) is met.

- f. At least one entrance to the building shall be on the main street, or as close as possible to the main street. The entrance shall be designed to identify itself as a main point of ingress/egress.*

FINDING NO. 34:

The location of the wetlands and drainageway prevent the entrance from being closer to the street than it is proposed to be. The port cochere is designed to be distinctive as the main point of access to the building.

- g. Where transit service exists, or is expected to exist, there shall be a main entrance within a safe and reasonable distance of the transit stop. A pathway shall be provided to facilitate a direct connection. (ORD. 1425)*

FINDING NO. 35:

There is transit service and the sidewalks required by conditions of approval 2 and 3 provide a safe paved path to the closest stops; these will be as direct as possible considering the location of the drainageway and wetlands, and the applicant's environmentally appropriate plan of using only the existing point of access across the wetlands. The criterion is met.

- h. Projects shall bring at least part of the project adjacent to, or near the main street right-of-way in order to enhance the height-to-width ratio along that particular street. (The height-to-width ratio is an architectural term that emphasizes height or vertical dimension of buildings adjacent to streets. The higher and closer the building is, and the narrower the width of the street, the more attractive and intimate the streetscape becomes.) For every one foot in street width, the adjacent building ideally should be one to two feet higher. This ratio is considered ideal in framing and defining the streetscape. (ORD. 1425)*

FINDING NO. 36:

The building cannot be any closer to the street than it is proposed because of the location of the drainageway and wetlands. The criterion is met as much as possible.

- i. *These architectural standards shall apply to public facilities such as reservoirs, water towers, treatment plants, fire stations, pump stations, power transmission facilities, etc. It is recognized that many of these facilities, due to their functional requirements, cannot readily be configured to meet these architectural standards. However, attempts shall be made to make the design sympathetic to surrounding properties by landscaping, setbacks, buffers, and all reasonable architectural means. (ORD. 1408)*
- j. *Parking spaces at trailheads shall be located so as to preserve the view of, and access to, the trailhead entrance from the roadway. The entrance apron to the trailhead shall be marked: "No Parking," and include design features to foster trail recognition.*

FINDING NO. 37:

There are no trailheads or public facilities. The criteria are not applicable.

C. Compatibility between adjoining uses, buffering, and screening.

- 1. *In addition to the compatibility requirements contained in Chapter 24, buffering shall be provided between different types of land uses; for example, buffering between single-family homes and apartment blocks. However, no buffering is required between single-family homes and duplexes or single-family attached units. The following factors shall be considered in determining the adequacy of the type and extent of the buffer:*
 - a. *The purpose of the buffer, for example to decrease noise levels, absorb air pollution, filter dust, or to provide a visual barrier.*
 - b. *The size of the buffer required to achieve the purpose in terms of width and height.*
 - c. *The direction(s) from which buffering is needed.*
 - d. *The required density of the buffering.*
 - e. *Whether the viewer is stationary or mobile.*

2. *On-site screening from view from adjoining properties of such things as service areas, storage areas, and parking lots shall be provided and the following factors will be considered in determining the adequacy of the type and extent of the screening:*
 - a. *What needs to be screened?*
 - b. *The direction from which it is needed.*
 - c. *How dense the screen needs to be.*
 - d. *Whether the viewer is stationary or mobile.*
 - e. *Whether the screening needs to be year around.*
3. *Roof top air cooling and heating systems and other mechanical equipment shall be screened from view from adjoining properties.*

FINDING NO. 38:

Staff adopts the applicant's findings regarding these criteria and finds the criteria are met.

D. Privacy and noise.

1. *Structures which include residential dwelling units shall provide private outdoor areas for each ground floor unit which is screened from view by adjoining units.*
2. *Residential dwelling units shall be placed on the site in areas having minimal noise exposure to the extent possible. Natural appearing sound barriers shall be used to lessen noise impacts where noise levels exceed the design standards of Table 1 below.*
3. *Structures or on site activity areas which generate noise, lights, or glare shall be buffered from adjoining residential uses in accordance with the standards in Section 55.100(C) where applicable. Businesses or activities that can reasonably be expected to generate noise shall undertake and submit appropriate noise studies and mitigate as necessary. (See Sections 55.110(B)(11) and 55.120(M).)*

To protect the health, safety, and welfare of the citizens of West Linn, the following design standards are established in Tables 1 and 2. In the case of land uses that are expected to be close to adopted noise standards, followup studies in the first year of operation may be required by a conditional of approval or required by the Planning Director as appropriate in order to

monitor compliance. (ORD. 1442)

Ambient degradation associated with new noise sources. Any new commercial or industrial development to be built on a vacant or previously unused industrial or commercial site shall not cause or permit the operation of a noise source if the noise levels generated, or indirectly caused by that noise source, would increase the ambient statistical noise levels, L50 or L10, by more than 5 dBA in any one hour. In some instances, the ambient degradation standard may establish lower allowable dBA levels than those established in Table 1, and in those instances, the lower level shall apply. Ambient noise levels shall be determined by a licensed acoustical engineer. (ORD. 1442)

FINDING NO. 39:

Criteria (1) and (2) do not apply to this commercial project. The sound study (see Exhibit PC-21) concludes that the activities associated with the proposed use at the site will not violate CDC rules regarding maximum ambient or intermittent sound, as heard by sensitive residential uses across Willamette Falls Drive. Therefore further buffering is not needed. The criteria are met.

E. Private outdoor area. This section only applies to multi-family projects.

F. Shared outdoor recreation areas. This section only applies to multifamily projects and projects with 10 or more duplexes or single-family attached dwellings on lots under 4,000 square feet. In those cases, shared outdoor recreation areas are calculated on the duplexes or single-family attached dwellings only. It also applies to qualifying PUDs under the provisions of Section 24.170. (ORD. 1463)

FINDING NO. 40:

These criteria do not apply to this commercial project.

G. Demarcation of public, semi-public, and private spaces. The structures and site improvements shall be designed so that public areas such as streets or public gathering places, semi-public areas, and private outdoor areas are clearly defined in order to establish persons having a right to be in the space, to provide for crime prevention, and to establish maintenance responsibility. These areas may be defined by:

- 1. A deck, patio, fence, low wall, hedge, or draping vine;*
- 2. A trellis or arbor;*
- 3. A change in level;*
- 4. A change in the texture of the path material;*

5. *Sign; or,*
6. *Landscaping.*

Use of gates to demarcate the boundary between a public street and a private access driveway is prohibited. (ORD. 1463)

FINDING NO. 41:

The entire site consists of one hotel. There are no separate residential uses, and rooms/suites of the hotel do not have their own outdoor spaces. Staff adopts the applicant's finding and finds that the criterion is met appropriately.

H. *Public transit.*

1. *Provisions for public transit may be required where the site abuts an existing or planned public transit route. The required facilities shall be based on the following:*
 - a. *The location of other transit facilities in the area.*
 - b. *The size and type of the proposed development.*
 - c. *The rough proportionality between the impacts from the development and the required facility. (ORD. 1442)*
2. *The required facilities shall be limited to such facilities as the following:*
 - a. *A waiting shelter with a bench surrounded by a three-sided covered structure, with transparency to allow easy surveillance of approaching buses.*
 - b. *A turnout area for loading and unloading designed per regional transit agency standards. (ORD. 1442)*
 - c. *Hard-surface paths connecting the development to the waiting and boarding areas.*
 - d. *Regional transit agency standards shall, however, prevail if they supersede these standards. (ORD. 1442)*
3. *The transit stop shall be located as close as possible to the main entrance to the shopping center, public or office building, or multifamily project. The entrance shall not be more than 200 feet from*

the transit stop with a clearly identified pedestrian link.

4. *All commercial business centers (over 3 acres) and multi-family projects (over 40 units) may be required to provide for the relocation of transit stops to the front of the site if the existing stop is within 200-400 yards of the site and the exaction is roughly proportional to the impact of the development. The commercial or multi-family project may be required to provide new facilities in those cases where the nearest stop is over 400 yards away. The transit stop shall be built per 8(b) above. (ORD. 1442)*
5. *If a commercial business center or multi-family project is adjacent to an existing or planned public transit, the parking requirement may be reduced by the multiplier of .9 or ten percent. If a commercial center is within 200 feet of a multi-family project, with over 80 units and pedestrian access, the parking requirement may be reduced by ten percent or by a .90 multiplier. (ORD. 1425)*
6. *Standards of Section 85.200(D), "Transit Facilities," shall also apply.*

FINDING NO. 42:

The nearest transit stops are on both sides of the street just east of the site. One is in front of the next site to the east, which is a separate commercial building, and the other is across the street in front of residential properties on Willamette Falls Drive. This project is not over 3 acres and is not a commercial business center or multi-family project, so the stops do not have to be moved closer to the project. Due to the sidewalks required in conditions of approval 2 and 3, the building will be connected via hard surface paths to the transit stops. The required parking requirement has been reduced by 10% as discussed in (5) above, due to the site being adjacent to the transit stops. Therefore the requirement is only 63 instead of 70, and 63 spaces have been provided within the required 200 foot distance in Chapter 46 (see Finding No. 22 above). There are 8 other spaces provided for a total of 70, but these 8 spaces are further than 200 feet from the building. The criterion is met.

I. Public facilities.

An application may only be approved only if adequate public facilities will be available to provide service to the property prior to occupancy. (ORD.1544)

1. *Streets. Sufficient right-of-way and slope easement shall be dedicated to accommodate all abutting streets to be improved to City's Improvement Standards and Specifications. The City Engineer shall determine the appropriate level of street and traffic control improvements to be required, including any off-site street and traffic control improvements based upon the transportation*

analysis submitted. The City Engineer's determination of developer obligation, the extent of road improvement and City's share, if any, of improvements and the timing of improvements shall be made based upon the City's systems development charge ordinance and capital improvement program, and the rough proportionality between the impact of the development and the street improvements. (ORD. 1442) (ORD. 1526)

In determining the appropriate sizing of the street in commercial, office, multi-family, and public settings, the street should be the minimum necessary to accommodate anticipated traffic load and needs and should provide substantial accommodations for pedestrians and bicyclists. Road and driveway alignment should consider and mitigate impacts on adjacent properties and in neighborhoods in terms of increased traffic loads, noise, vibrations, and glare. (ORD. 1442)

The realignment or redesign of roads shall consider how the proposal meets accepted engineering standards, enhances public safety, and favorably relates to adjacent lands and land uses. Consideration should also be given to selecting an alignment or design that minimizes or avoids hazard areas and loss of significant natural features (drainageways, wetlands, heavily forested areas, etc.) unless site mitigation can clearly produce a superior landscape in terms of shape, grades, reforestation, and is fully consistent with applicable code restrictions regarding resource areas.

Streets shall be installed per Chapter 85 standards. City Engineer has the authority to require that street widths match adjacent street widths. Sidewalks shall be installed per Section 85.200(A)(3)(e) for commercial and office projects, and Sections 85.200(A)(16) and 92.010(H) for residential projects, and applicable provisions of Chapter 55, Design Review.

Based upon the City Manager or Manager's designee determination, the applicant shall construct or cause to be constructed, or contribute a proportionate share of the costs, for all necessary off-site improvements identified by the transportation analysis commissioned to address CDC 55.125 that are required to mitigate impacts from the proposed development. Proportionate share of the costs shall be determined by the City Manager or Manager's designee who shall assume that the proposed development provides improvements in rough proportion to identified impacts of the development. (ORD. 1544)

2. *Drainage. A registered civil engineer shall prepare a plan and*

statement which shall be supported by factual data that clearly shows that there will be no adverse impacts from increased intensity of runoff off site or the plan and statement shall identify all off-site impacts and measures to mitigate those impacts. The plan and statement shall, at a minimum, determine off site impacts from a 25-year storm. The City Engineer shall adjust storm drainage facilities for applications which contain permeable parking surfaces based upon a quantitative analysis of the increased water retention and water quality characteristics of the permeable parking surface.

Catch basins shall be installed and connected to pipelines leading to storm sewers or drainageways.

All plans will then be reviewed by the City Engineer.

3. *Municipal water. A registered civil engineer shall prepare a plan for the provision of water which demonstrates to City Engineer's satisfaction, the availability of sufficient volume, capacity, and pressure to serve the proposed development's domestic, commercial, and industrial fire flows. All plans will then be reviewed by the City Engineer.*
4. *Sanitary sewers. A registered civil engineer shall prepare a sewerage collection system plan which demonstrates sufficient onsite capacity to serve the proposed development. The City Engineer shall determine whether the existing City system has sufficient capacity to serve the development.*
5. *Solid waste and recycling storage areas. Appropriately sized and located solid waste and recycling storage areas shall be provided. Metro standards shall be used.*

FINDING NO. 43:

The applicant will provide an 8-foot wide sidewalk and minimum 6-foot wide planter strip to be built as a raingarden that also includes appropriate street trees, per Condition of Approval 2. The applicant's proposed half-street improvements include widening this side of Willamette Falls Drive. The Engineering Department has yet to determine whether the existing street pavement has to be replaced as well. Therefore the applicant will provide half street improvements to the satisfaction of the Engineering Department per Condition of Approval 2, allowing the Department to make this determination. The utility plan and site plan show the above criteria to be met. Condition of Approval 5 also requires the water line in the driveway/parking area to be installed in a way that allows for a line looping west to 8th Court to eventually be installed connecting to it.

The applicant's site plan shows a stormwater treatment facility for all new impervious surfaces on site that will drain to the drainageway, and the street improvements required by Condition of Approval 2 ensure that a raingarden will also be built along the street to treat street and sidewalk

runoff, in place of a planter strip. Condition of Approval 1 also requires native plants to be planted in the on-site facility. Because of spatial constraints on site, the on-site stormwater facility will encroach 25 feet into the transition area of the water resource area, but development on site will be mitigated for by the mitigation plan (see Finding No. 19).

There is currently a gravel area adjacent to the ROW in the southwest area of the site used informally for parking by the law office building to the west. After the improvements discussed here are constructed, access to the parking area would involve vehicles driving through the street trees, curb, and raingarden planter strip. Therefore Condition of Approval 11 prohibits this area from continued use as a parking area.

The criteria are met.

J. Crime prevention and safety/defensible space.

1. *Windows shall be located so that areas vulnerable to crime can be surveyed by the occupants.*
2. *Interior laundry and service areas shall be located in a way that they can be observed by others.*
3. *Mail boxes, recycling, and solid waste facilities shall be located in lighted areas having vehicular or pedestrian traffic.*
4. *The exterior lighting levels shall be selected and the angles shall be oriented towards areas vulnerable to crime.*
5. *Light fixtures shall be provided in areas having heavy pedestrian or vehicular traffic and in potentially dangerous areas such as parking lots, stairs, ramps, and abrupt grade changes.*
6. *Fixtures shall be placed at a height so that light patterns overlap at a height of seven feet which is sufficient to illuminate a person. All commercial, industrial, residential, and public facility projects undergoing design review shall use low or high pressure sodium bulbs and be able to demonstrate effective shielding so that the light is directed downwards rather than omni-directional. Omnidirectional lights of an ornamental nature may be used in general commercial districts only.*
7. *Lines of sight shall be reasonably established so that the development site is visible to police and residents.*
8. *Security fences for utilities (e.g., power transformers, pump stations, pipeline control equipment, etc.) or wireless communication facilities may be up to eight feet tall in order to*

protect public safety. No variances are required regardless of location. (ORD. 1408)

K. Provisions for persons with disabilities.

- 1. The needs of a person with a disability shall be provided for. Accessible routes shall be provided between all buildings and accessible site facilities. The accessible route shall be the most practical direct route between accessible building entries, accessible site facilities, and the accessible entry to the site. An accessible route shall connect to the public right-of-way to at least one on-site or adjacent transit stop (if the area is served by transit). All facilities shall conform to, or exceed, the Americans with Disabilities Act (ADA) standards, including those included in the Uniform Building Code.*

FINDING NO. 44:

Staff adopts the applicant's findings and finds the criteria are met.

L. Signs.

- 1. Based on considerations of crime prevention and the needs of emergency vehicles, a system of signs for identifying the location of each residential unit, store, or industry shall be established.*
- 2. The signs, graphics, and letter styles shall be designed to be compatible with surrounding development, to contribute to a sense of project identity, or, when appropriate, to reflect a sense of the history of the area and the architectural style.*
- 3. The sign graphics and letter styles shall announce, inform, and designate particular areas or uses as simply and clearly as possible.*
- 4. The signs shall not obscure vehicle driver's sight distance.*
- 5. Signs indicating future use shall be installed on land dedicated for public facilities (e.g. parks, water reservoir, fire halls, etc.).*
- 6. Signs and appropriate traffic control devices and markings shall be installed or painted in the driveway and parking lot areas to identify bicycle and pedestrian routes.*

FINDING NO. 45:

There will be no residential units and only one business, so (1) is not applicable. Presumably the corporate logo, as shown on the color and material examples (pictures of the Astoria Holiday Inn Express in Exhibit PC-8) will comprise the sign. This will be sufficiently compatible with the

architecture and surroundings. The signs will be on-wall only, so they will not obscure drivers' sight. Pedestrian routes will be obvious and there are no separate bike routes within the site. The applicant will eventually have to apply for a permanent sign application separately and be tested against all Chapter 52 criteria at that time. The above criteria are met at this time.

- M. *Utilities. The developer shall make necessary arrangements with utility companies or other persons or corporations affected for the installation of underground lines and facilities. Electrical lines and other wires, including but not limited to communication, street lighting, and cable television, shall be placed underground, as practical. The design standards of Tables 1 and 2 above, and of sub-section 5.484(C) of the West Linn Municipal Code relative to existing high ambient noise levels shall apply to this section. (ORD. 1442)*
- N. *Wireless Communication Facilities (WCF). This section only applicable to WCFs.) WCFs as defined in CDC Chapter 57 may be required to go through Class I or Class II design review. The approval criteria for Class I design review is that the visual impact of the WCF shall be minimal to the extent allowed by CDC Chapter 57. Stealth designs shall be sufficiently camouflaged so that they are not easily seen by passersby in the public right of-way or from any adjoining residential unit. WCFs that are classified as Class II design review must respond to all of the approval criteria of this chapter.*

FINDING NO. 46:

The applicant has agreed to the provisions of (M). (N) is not applicable to this project as no WCFs are proposed.

75.060 THE APPROVAL CRITERIA

The appropriate approval authority shall approve a variance request if all the following criteria are met and corresponding findings of fact prepared. The approval authority may impose appropriate conditions to ensure compliance with the criteria. The approval authority shall deny the variance if any of the criteria are not met.

75.060.1. Exceptional or extraordinary circumstances apply to the property which do not apply generally to other properties in the same zone or vicinity, and result from lot size or shape, legally existing prior to the date of this ordinance, topography, or other circumstances over which the applicant has no control.

FINDING NO. 47:

Staff adopts the applicant's findings regarding the variance to development more than 5,000 square feet of the water resource transition area. This variance is needed due to the shape of the site and the percentage of the site comprised of water resource areas and their transition areas. It would be impossible to develop the site viably while disturbing only 5,000 square feet or less of the transition areas, as is required by the hardship provisions in Chapter 32 (see Finding No. 19). The criterion is met for the water resource development area variance.

Regarding the variance regarding the removal of the one significant tree, staff does not adopt the applicant's findings. Staff's analysis concludes that if the building was moved 27 feet to the west, the significant tree could be likely preserved as this would take the building to the edge of the tree's dripline. Moving the building 27 feet to the west would result in a loss of 9 parking spaces. There are 72 spaces proposed on the site plan, so under such an alternative plan, there would be 63 spaces. 46.090(C)(7) requires hotels to have one space for each guest room. 55.100(H)(5) allows for a 10% reduction in required parking spaces for any commercial use adjacent to public transit, as this site is. Therefore the application would meet CDC requirements with only 63 parking spaces.

Also according to staff's analysis, 4 of the currently proposed spaces would be over 200 feet from where the port cochiere would be, if the building were moved 27 feet to the west as discussed above. CDC 46.070(B) requires this land use to have all required spaces within 200 feet. However, staff concludes that these 4 spaces could be moved to within 200 feet if they were provided along the south side of the parking lot. This would bring them closer to the wetland, but mitigation would still have to be provided for all developed areas of the transition area, and moving the building 27 feet to west would actually decrease the amount of transition area developed overall because there would be fewer parking spaces total.

Therefore staff concludes that the tree does not have to be removed for the application to meet CDC criteria. The criterion is not met for the tree variance.

75.060.2. The variance is necessary for the preservation of a property right of the applicant, which is substantially the same as a right possessed by owners of other property in the same zone or vicinity.

FINDING NO. 48:

The variance for the amount of square footage gives the applicant the right to develop this property using more than a small amount of land of the property. Allowing more than a small amount of land for development is the norm on other GC zoned properties around the City and has occurred in many of the surrounding and nearby GC parcels on Willamette Falls Drive and 8th Court. The criteria is met for the variance regarding the amount of developed square footage in the transition area.

The variance for the tree is only needed to grant the applicant the right to have parking spaces that exceed the code requirement by nine spaces. The City does not usually applicants a variance to remove a very significant tree when this does not prevent them from fulfilling their CDC parking requirements and does not prevent them from meeting other CDC criteria. This criterion is therefore not met for the tree removal variance.

75.060.3. The authorization of the variance will not be materially detrimental to the purposes and standards of this Code, will not be inconsistent with all other regulatory requirements, and will not conflict with the goals and policies of the West Linn Comprehensive Plan.

FINDING NO. 49:

Staff adopts the applicant's finding regarding the Community Development Code for the transition area square footage variance, and adds that while this is a variance to the hardship provisions of 32.090, the variance is within the spirit of 32.090. 32.090 was written to allow properties to be developed that would otherwise have hardships being viably developed due to the amount of the property comprised by water resource areas and their transition zones. 32.090 limits such properties to disturbance of 5,000 square feet of water resource areas and their transition areas. Unlike most properties affected by water resource areas and most properties to which 32.090 applies, this is a commercial site. Few commercial uses, when their building or buildings are combined with required parking and driveway areas, can be expected to have close to 5,000 square feet of developed area or less. And only 0.17 acres of the site are not within the drainageway and transition area, with this 0.17 acre area itself being very irregular shaped and at the rear of the site. The variance is within the ultimate intent of 32.090's purpose of allowing properties that are partially, mostly, or completely within water resources areas and transition areas to be viably developed. The site plan was designed to have as minimal effect as possible on the water resources area and transition area, and effects will be mitigated for both on and off site.

The Comprehensive Plan Goals and Policies relevant to the requested variance to disturb more than 5,000 square feet of water resource area and transition area include the following:

Goal 2 Land Use Planning, Commercial/Mixed Use Development Goal 2:

Consider the development of commercial and office facilities in West Linn that will increase employment opportunities, reduce dependence on services outside of the City, and promote energy-efficient travel and land use patterns, while recognizing that there will be limits imposed by West Linn's topography and limited available land.

This variance is compatible with this goal as it allows enough development on site to increase employment activities and to have a viably sized commercial operation adjacent to a transit stop.

Goal 2 Land Use Planning, Commercial/Mixed Use Development Policy 4

Design and locate existing or proposed commercial uses in a manner that:

- a. Protects remaining natural spaces, significant stands of trees, wildlife corridors, streams/riparian zones, and historic resources.
- b. Encourages the use of alternative transportation.

Allowing a larger development at this site encourages greater use of the transit line that serves this site. While remaining natural spaces that are part of this water resource area/transition area will be developed due to this variance, they will be mitigated for on and off site.

Goal 5, Scenic Environment Goal 1:

Preserve and enhance scenic views and sites.

The water resource area will still be mainly preserved on site. The on-site mitigation and landscaping and the off-site mitigation will improve parts of this site and Fields Bridge Park.

Goal 5, Natural Environment goals 1 and 2, and policies 4-77 and 10-11 respectively:

Encourage and assist in the preservation of permanent natural areas for fish and wildlife habitat in suitable, scientific/ecological areas.

Protect sensitive environmental features such as steep slopes, wetlands, and riparian lands, including their contributory watersheds.

Require that areas containing tree clusters, significant trees, and native vegetation along natural drainage courses and waterways in areas of new development be maintained to the maximum extent possible to preserve habitats, prevent erosion, and maintain water quality.

Preserve important wildlife habitat by requiring clustered development or less dense zoning in areas with wetlands and riparian areas, natural drainageways, and significant trees and tree clusters.

Restore, enhance, and expand the existing habitats found along rivers and streams, including planting native trees to reduce water temperatures.

Enhance and expand vegetation, particularly native species, on hillsides and in natural areas to prevent erosion and improve wildlife habitat.

Manage open space, habitat, and ecological/scientific areas as identified in the West Linn Goal 5 inventory and protection plan in order to preserve their unique qualities.

Control activities and uses within the areas identified above to maintain ecological values, while providing for compatible recreational and educational activities.

The drainageway and wetlands themselves will be barely affected. The vegetative buffer will be developed but will be mitigated for. The only area of the wetland itself to be developed is for the City ROW's sidewalk, not the hotel development itself. The variance allows viable development of the site while still preserving the resources on site as much as possible. Non-native species will be replaced with native species as part of the on-site and off-site mitigation.

Goal 6, Water Quality Goal 1, and policies 1, 2, and 5 respectively:

Maintain or improve the quality of West Linn's water resources.

Require that new development be designed and constructed to prevent degradation of surface and groundwater quality by runoff.

Require that City construction projects, maintenance activities, and operating procedures be designed and operated so as to not degrade surface or ground water quality.

This will maintain the quality of the water resource areas as mitigation on-site and off-site will restore habitat, and all impervious surfaces will be treated. The drainageway will remain naturally

vegetated, and treated stormwater from the site will be drained there. The criterion is met for the transition area variance (tree variance addressed in this finding below).

The Comprehensive Plan Goals and Policies relevant to the requested variance to disturb remove the significant oak tree include the following:

Goal 2, Section 3, Policy 4a:

Design and locate existing or proposed commercial uses in a manner that:

Protects remaining natural spaces, significant stands of trees, wildlife corridors, streams/riparian zones, and historic resources.

Goal 5, Natural Environment policies 3, 4, and 5:

Provide buffer areas around heritage trees, significant trees, and tree clusters to ensure their preservation.

Require that areas containing tree clusters, significant trees, and native vegetation along natural drainage courses and waterways in areas of new development be maintained to the maximum extent possible to preserve habitats, prevent erosion, and maintain water quality.

Preserve important wildlife habitat by requiring clustered development or less dense zoning in areas with wetlands and riparian areas, natural drainageways, and significant trees and tree clusters.

Restore, enhance, and expand the existing habitats found along rivers and streams, including planting native trees to reduce water temperatures.

This variance would remove one very significant Oregon White Oak tree. This is the only tree of this relatively uncommon and important species in the immediate area, and the variance is not needed to allow the applicant to fulfill parking criteria or other appropriate CDC criteria.

The tree is a significant and relatively large oak tree that has been at this location presumably for many years, and therefore does constitute a noteworthy visual and environmental loss as perceived by both the City Arborist and Planning staff. Staff concludes that the variance is therefore not met, since the same hotel building, with adequate parking per the CDC, can be built on this site without removing the tree. Because of the significance of the tree, staff feels that if the Planning Commission finds differently than staff and approves the application, mitigation beyond the standard inch-per-inch is necessary. Two-inches-per-one-inch mitigation is more appropriate. Therefore Condition of Approval 10 requires this. Because the tree is an Oregon White Oak, a relatively rare, hard to plant, and hard to grow native species, Condition of Approval 10 also requires that all mitigation trees planted be of this species and requires the applicant to fund a maintenance fund for the Parks and Recreation Department to properly maintain the trees and best ensure their survival. While the applicant does need more than 5,000 square feet of the transition area to develop this site in an economically viable way, another reason to not approve the tree variance is that going beyond the minimum required 63 parking spaces (which is what is causing

the need for the tree variance as the building is pushed east by the parking lot) also impacts more of the water resource area transition area.

The criterion is not met for the tree variance, but is met for the transition area variance.

75.060.4. The variance request is the minimum variance, which would alleviate the exceptional and extraordinary circumstance.

FINDING NO. 50:

Staff adopts the applicant's findings for the transition area square footage variance, and finds that this is the minimum variance, especially since the applicant is proposing using the existing driveway across the water resource area and building no new connections to the ROW across the water resources. One tree is requested for removal in the tree removal variance, so that is the minimum variance. The criterion is met for both variances.

75.060.5. The exceptional and extraordinary circumstance does not arise from the violation of this ordinance.

FINDING NO. 51:

The circumstances that have caused the need for the variances have not arisen from the violation of this ordinance. The criterion is met.

75.060.6 The variance will not impose physical limitations on other properties or uses in the area, and will not impose physical limitations on future use of neighboring vacant or underdeveloped properties as authorized by the underlying zoning classification.

FINDING NO. 52:

Staff adopts the applicant's findings concluding that this criterion is met. The variance does not allow any setbacks or height limitations to be breached, it only allows for more than 5,000 square feet of the transition area on site to be developed. Effects on the transition area will be mitigated on and off site. Despite the variance, the development will be kept in the central and northern sections of the site away from the water resource areas on the south end of the site, keeping effects on residential properties to the south minimal. The removal of the tree will not limit the use of the property/properties on which the tree sits, or on any other properties. The criterion is met for both variances.

EXHIBITS

EXHIBITS

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AFFIDAVIT OF NOTICE

We, the undersigned do hereby certify that, in the interest of the party (parties) initiating a proposed land use, the following took place on the dates indicated below:

GENERAL

File No. DR-08-01 Applicant's Name Vic Patel, KKNW, Inc
Development Name Design Review - Holiday Inn Express 2400/450 WFD
Scheduled Meeting/Decision Date November 5, 2008

NOTICE: Notices were sent at least 20 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check one below)

Type A

- A. The applicant (date) 10-24-08 (signed) CB
- B. Affected property owners (date) 10-24-08 (signed) CB
- C. School District/Board (date) _____ (signed) _____
- D. Other affected gov't agencies (date) 10-24-08 (signed) CB
- E. Affected neighborhood assns. (date) 10-24-08 (signed) CB
- F. All parties to an appeal or review (date) _____ (signed) _____

At least 10 days prior to the scheduled hearing or meeting, notice was published/posted:
Tidings (published date) 10/23/08 (signed) [Signature]
City's website (posted date) 10/15/08 (signed) [Signature]

Type B _____

- A. The applicant (date) _____ (signed) _____
- B. Affected property owners (date) _____ (signed) _____
- C. School District/Board (date) _____ (signed) _____
- D. Other affected gov't agencies (date) _____ (signed) _____
- E. Affected neighborhood assns. (date) _____ (signed) _____

Notice was posted on the City's website at least 10 days prior to the scheduled hearing or meeting.
Date: _____ (signed) _____

Type C _____

- A. The applicant (date) _____ (signed) _____
- B. Affected property owners (date) _____ (signed) _____
- C. Affected neighborhood associations (date) _____ (signed) _____

Notice was posted on the City's website at least 10 days prior to the scheduled hearing or meeting.
Date: _____ (signed) _____

SIGN

At least 10 days prior to the scheduled hearing, meeting or decision date, a sign was posted on the property per Section 99.080 of the Community Development Code.

(date) _____ (signed) _____

STAFF REPORT mailed to applicant, City Council/Planning Commission and any other applicable parties 10 days prior to the scheduled hearing.

(date) _____ (signed) _____

FINAL DECISION notice mailed to applicant, all other parties with standing, and, if zone change, the County surveyor's office.

(date) _____ (signed) _____

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**CITY OF WEST LINN
PLANNING COMMISSION
PUBLIC HEARING NOTICE
FILE NO. DR-08-01/WAP-08-01/VAR-08-01/VAR-08-09**

The West Linn Planning Commission is scheduled to hold a public hearing, on **Wednesday, November 5, 2008, starting at 7:00 p.m.** in the Council Chambers of City Hall (located at 22500 Salamo Road, West Linn, OR,) to consider the request of VKNW, Inc. to construct a hotel at 2400-2450 Willamette Falls Drive, requiring Class II Design Review, a Water Resources Area Permit due to the presence of wetlands and a natural drainageway on the property, a Class II Variance for the amount of square footage to be developed within the transition area for the wetlands and drainageway, and an additional Class II Variance to remove the only significant tree with dripline + 10 area on the property. The zoning is GC (General Commercial). The approval criteria for the Class II Design Review are contained in Community Development Code (CDC) Chapter 55. The approval criteria for the Water Resources Area Permit are contained in CDC Chapter 32. The approval criteria for the Class II Variances are contained in CDC Chapter 75. Approval or disapproval of the request by the Planning Commission will be based upon these criteria and these criteria only. At the hearing, it is important that comments relate specifically to the applicable criteria listed.

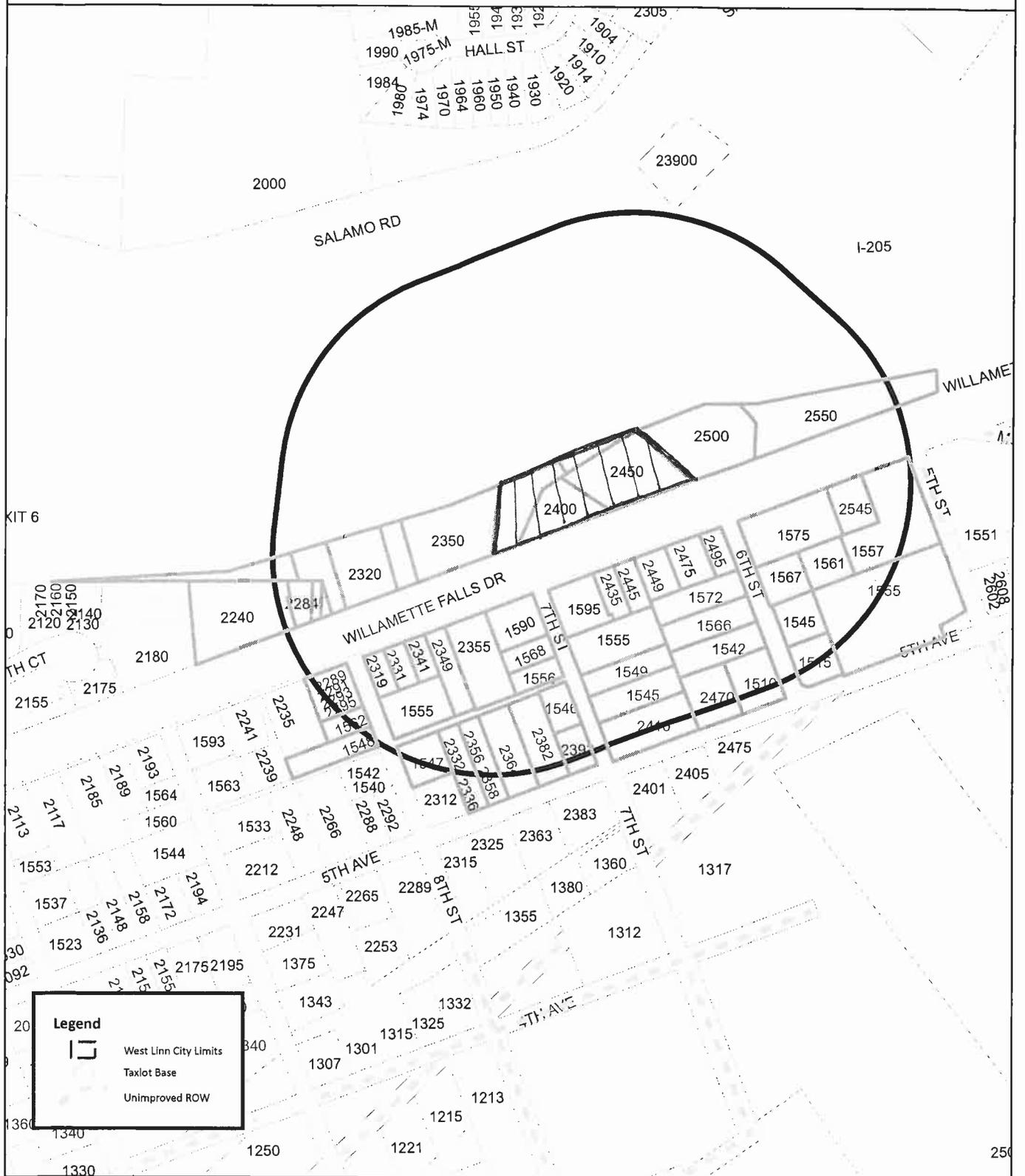
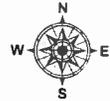
You have been notified of this proposal because County records indicate that you own property within 500 feet of the proposed site located at tax lots 3400 and 3500 of Clackamas County Assessor's Map 2-1E-35DD and tax lots 2000 and 5300 of Clackamas County Assessor's Map 2-1E-35D and/or as required by Chapter 99 of the West Linn Community Development Code.

The complete application in the above noted file is available for inspection at no cost, or copies can be obtained for a minimal charge per page. At least ten days prior to the hearing, a copy of the staff report will be available for inspection. For further information, please contact Tom Soppe, Associate Planner, at City Hall, 22500 Salamo Road, West Linn, OR 97068, or by email at tsoppe@westlinnoregon.gov, or by telephone at 503-742-8660.

The hearing will be conducted in accordance with the rules of Section 99.170 of the Community Development Code, adopted December 14, 1987, Ordinance 1129. Anyone wishing to present written testimony on this proposed action may do so in writing prior to, or at the public hearing. Oral testimony may be presented at the public hearing. At the public hearing, the Planning Commission will receive a staff report presentation from the City Planner; and invite both oral and written testimony. The Planning Commission may continue the public hearing to another meeting to obtain additional information, or close the public hearing and take action on the application. If a person submits evidence in support of the application, any party is entitled to request a continuance of the hearing. If there is no continuance granted at the hearing, any participant in the hearing may request that the record remain open for at least seven days after the hearing. Failure to raise an issue in person or by letter at some point prior to the close of the hearing, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes an appeal to the Land Use Board of Appeals (LUBA) based on that issue.

TERESA ZAK
Planning Administrative Assistant

DR-08-01 2400 & 2450 Willamette Falls Dr Holiday Inn



This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information.

Taxlot Base Source: Metro RLIS

NOT TO SCALE



SNAPNOTIFY.MXD / APP 9-17-08

User Name: T Zak
Map Creation Date: Oct 08, 2008

46

ALTENHOFEN GLORIA E
675 N BAKER DR
CANBY, OR 97013

BLACK JOHN D & ATSUKO
2349 WILLAMETTE FALLS DR
WEST LINN, OR 97068

BOYD MICHAEL A & PATRICIA
2475 WILLAMETTE FALLS DR
WEST LINN, OR 97068

BUNCAK LAUREL A
1549 7TH ST
WEST LINN, OR 97068

CASSIDY SHARLA
1580 6TH AVE
WEST LINN, OR 97068

CONTRERAS MANUEL JR
1557 6TH ST
WEST LINN, OR 97068

DECKER STEPHEN K & SUSAN
2470 5TH AVE
WEST LINN, OR 97068

ELLIS RICHARD L
282 NE 10TH AVE
CANBY, OR 97013

FLORES PABLO MERLO
2382 5TH AVE
WEST LINN, OR 97068

FLYNN BARBARA JEANE
1555 7TH ST
WEST LINN, OR 97068

FOELKER WILLIAM S & COLLEEN
470 S TWILIGHT TRL
WEST LINN, OR 97068

FROUST BILL
2331 WILLAMETTE FALLS DR
WEST LINN, OR 97068

GIDDINGS WAYNE COLIN & MELINDA M
1290 SW SCHAEFFER RD
WEST LINN, OR 97068

GODFREY MATTHEW E
1567 6TH ST
WEST LINN, OR 97068

HASS DELORES J
2364 5TH AVE
WEST LINN, OR 97068

HAYWARD SALLI E
3538 HARWICH DR
CARLSBAD, CA 92008

HAYWARD SALLI E TRUSTEE
3538 HARWICH DR
CARLSBAD, CA 92008

HOGG GLENN R
1572 6TH ST
WEST LINN, OR 97068

HOPP RUTH
1546 7TH ST
WEST LINN, OR 97068

KELLEY BRYAN C & KATE L
1561 6TH ST
WEST LINN, OR 97068

LAVITZ KENNETH S
1547 8TH ST
WEST LINN, OR 97068

LEWIS ROBERT N & VIRGINIA
1566 6TH ST
WEST LINN, OR 97068

MARSH ANNA MARIE
1555 8TH ST
WEST LINN, OR 97068

MARTUS MICHAEL A & JOAN
2410 5TH AVE
WEST LINN, OR 97068

MCMAHON ROBERT
1515 6TH ST
WEST LINN, OR 97068

MCVICKER BRENDAN
2990 BEACON HILL DR
WEST LINN, OR 97068

MOLES RANDY & KIMBERLY
2341 WILLAMETTE FALLS DR
WEST LINN, OR 97068

MORRIS MICHAEL L & MARIA
1595 7TH ST
WEST LINN, OR 97068

OAKES JANIS
2482 FAIRVIEW WAY
COSTA MESA, CA 92626

PATEL JAYANTI
4512 SE 82ND
PORTLAND, OR 97266

PATEL VIPUL
12700 SE MCLOUGHLIN BLVD
MILWAUKIE, OR 97222

PELUSO JENNIFER R
1610 ASH ST
LAKE OSWEGO, OR 97034

QUINN DENNIS K & RITA A
1590 7TH ST
WEST LINN, OR 97068

RALPH D MCDOWELL LLC
3200 SABO LN
WEST LINN, OR 97068

REMINGTON DAVID G & JOYCE
2355 WILLAMETTE FALLS DR
WEST LINN, OR 97068

RICHMOND J MICHAEL & DANA S
7400 SW LAKESIDE LOOP
WILSONVILLE, OR 97070

SALARIE MARZIE
19432 WILDERNESS DR
WEST LINN, OR 97068

SATTER NATHAN P & ELISSA D
1545 7TH ST
WEST LINN, OR 97068

SCHULTZ LUKE & JENNY
2435 WILLAMETTE FALLS DR
WEST LINN, OR 97068

SHROCK LOREN E & BETTY JEAN
11990 RIVERVIEW LN
WILSONVILLE, OR 97070

STATE OF OREGON
417 TRANSPORTATION BLDG
SALEM, OR 97310

STUART KEITH P & KAREN K
1542 6TH ST
WEST LINN, OR 97068

TIN GEORGE TRUSTEE
7020 JULIE LN
SAN GABRIEL, CA 91775

US WEST COMMUNICATIONS
6300 S SYRACUSE WAY #700N
ENGLEWOOD, CO 80111

VANDERHOFF KENNETH J
23510 SW STAFFORD RD
TUALATIN, OR 97062

WAGGONER THOMAS E & JENNIFER L
1568 7TH ST
WEST LINN, OR 97068

WAGNER MICHAEL WILLIAM
1575 6TH ST
WEST LINN, OR 97068

WEST LINN LAW CENTER LLC
26188 S GELBRICH RD
CANBY, OR 97013

WOLF KIMBERLY A
2392 5TH AVE
WEST LINN, OR 97068

WONG STEVEN
4260 GALEWOOD ST STE B
LAKE OSWEGO, OR 97035

WILLAMETTE N/A + ALL

DALE GULLIFORD JR./SCHOTT & ASSOC.
P.O. BOX 589
AURORA, OR 97002

STEVEN P. ELKINS ARCHITECTS
11000 NE 33RD PL. STE: 101
BELLEVUE, WA 98004

MIKE COYLE /FASTER PERMITS
833 SE MAIN ST, # 242
PORTLAND, OR 97214

FRAN PEAKE
1027 SNIDOW DRIVE
WEST LINN, OR 97068

DIVISION OF STATE LANDS/TAMI
HUBERT
775 SUMMER ST. NE
SALEM, OR 97301

US CORP. OF ENGINEERS/BILL DAVIS
P.O. BOX 2946
PORTLAND, OR 97208

ODOT REGION 1/SONYA KAZEN
123 NW FLANDERS
PORTLAND, OR 97209

TRI-MET/ MIKE KISER
710 NE HOLLADAY
PORTLAND, OR 97232

PC-3

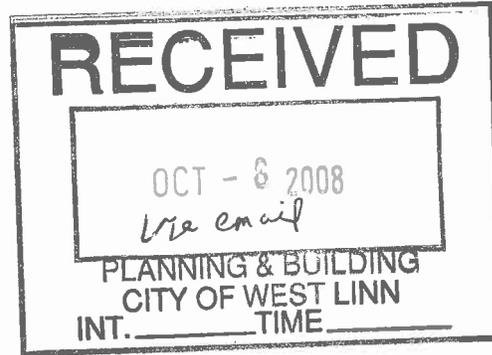
Zak, Teresa

From: Wyatt, Kirsten
Sent: Wednesday, October 08, 2008 8:06 AM
To: Brown, Bryan; Zak, Teresa
Subject: FW: Holiday Inn

Please see below and add to record.

Thanks!

~~~~~  
Kirsten Wyatt  
City of West Linn  
[kw Wyatt@westlinnoregon.gov](mailto:kw Wyatt@westlinnoregon.gov)  
(t) 503-657-0331  
(f) 503-650-9041  
<http://westlinnoregon.gov>



---

**From:** WNA [<mailto:willametteneighborhood@gmail.com>]  
**Sent:** Tuesday, October 07, 2008 7:47 PM  
**To:** Wyatt, Kirsten  
**Subject:** Fwd: Holiday Inn

Kirsten, Please add these comments to the WNA minutes for the PC to view when the Holiday Inn proposal is reviewed. Thank you.

Beth

----- Forwarded message -----  
**From:** Don Hatch <[donjhatch@comcast.net](mailto:donjhatch@comcast.net)>  
**Date:** Sep 26, 2008 3:48 PM  
**Subject:** Holiday Inn  
**To:** [willametteneighborhood@gmail.com](mailto:willametteneighborhood@gmail.com)

Attention Elizabeth Kieres,

I am unable to attend the neighborhood meetings for health reasons. I was disappointed to see your lack of support for the Holiday Inn Express. West Linn could use more businesses to help with the taxes. The Inn might even have helped the stability of the businesses on WF Drive which seem to open and close with regularity. A small Inn like this would have little traffic impact. Maybe if it was located north of the freeway you would have approved of it as you did Mr. Parker's 800 car parking garage with the traffic pattern aimed for Summerlinn Drive to Blankenship. Why fight against what is beneficial to the community as a whole?

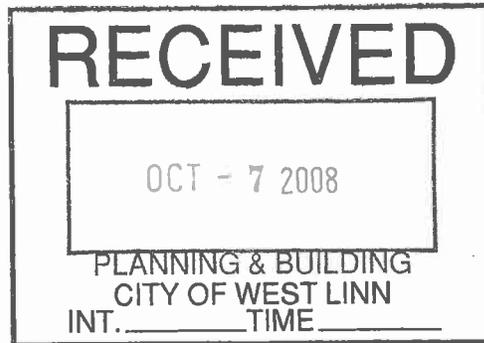
Sincerely

Don Hatch

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10/8/2008

ATT: TOM  
From: Vic Patel  
SOB. 449. 8165



**DONALD P. ROACH**  
Attorney At Law  
3718 SW Condon, Suite 110  
Portland OR 97239  
Fax: (503) 228-8676  
Telephone: (503) 228-7306

Date: *October 3, 2008*  
To: *Kateri Patel*  
No: *(503) 454-0630*  
From: *Donald P. Roach*

Re: *West Linn project*  
No. of pages including this page: *60*

Please contact sender at (503) 228-7306 should any problems occur with transmission or receipt of this facsimile.

MESSAGE

*Dear Kateri,*

*Please find enclosed a copy of the  
Sale agreement with provisions regarding  
the parking #12 p. 3+4.*

*If you have any questions, please  
call me*

*DR*  
*(Signature)*

ORIGINAL SENT BY MAIL: ( ) YES

NOTICE TO RECIPIENT

The information contained in this facsimile is intended only for the use of the individual or entity named above and may contain attorney privileged or confidential information. If the reader of this message is not the intended recipient, you are hereby notified that any dissemination, distribution or copy of this communication is strictly prohibited. If you have received this communication in error, please immediately notify us by telephone and return the original message to us at the above address via the u.s. postal service.

**SALE AGREEMENT AND  
RECEIPT FOR EARNEST MONEY**

**DATE:** December \_\_\_\_\_, 2006

**SELLER:** West Linn Law Center, I.L.C  
2350 Willamette Falls Drive  
West Linn, OR 97068

**BUYER:** Katen Patel  
Vipul Patel  
Jayanti Patel  
Manish Patel

**Recital**

Seller desires to sell to Buyer and Buyer desires to purchase from Seller certain real property with all improvements. See attached legal description and diagram. Parcel I and parcel IV, also known as the 2400 block, Willamette Falls Drive, West Linn, Oregon.

**Agreement**

Now, therefore, for valuable consideration, the parties agree as follows:

1. **Sale and Purchase.** Buyer agrees to purchase the Property from Seller and Seller agrees to sell the Property to Buyer for the sum of one hundred thousand dollars (\$100,00.00) (the "Purchase Price").
2. **Earnest Money.** Buyer will deposit earnest money in the sum of ten thousand dollars (\$10,000.00), to be paid into escrow within 3 business days after all parties have signed this Agreement. This earnest money shall be refundable if Buyer is not satisfied with conditions in Section 6 below. This earnest money will be nonrefundable after February 28, 2007, unless Buyer has notified Seller in writing on or before February 28, 2007 that a condition from paragraph 6 has not been met.
3. **Payment of Purchase Price.** The Purchase Price shall be paid as follows:
  - 3.1 At closing, the earnest money shall be credited to the Purchase Price.
  - 3.2 At closing, Buyer shall pay the balance of the purchase price in cash.
4. **Closing.** Closing shall take place on or before April 30, 2007 (the "Closing Date"), at the offices of Transnation Title Insurance Company.

Buyer shall pay all of the escrow fees and any transfer or documentary stamp taxes.

5. **Preliminary Title Report.** Within 10 days after full execution of this Agreement, Buyer shall obtain at its expense a preliminary title report showing the condition of title to the Property, together with copies of all exceptions listed therein (the "Title Report"). Buyer will have 10 days from receipt of the Title Report to review the Title Report and to notify Seller, in writing, of Buyer's disapproval of any exceptions shown in the title Report. Those exceptions not objected to by Buyer are referred to below as the "Permitted Exceptions." Zoning ordinances, building restrictions, taxes due and payable for the current tax year, and reservations in federal patents and state deeds shall be deemed Permitted Exceptions. If Buyer notifies Seller of disapproval of any exceptions, Seller shall have 15 days after receiving the disapproval notice to either remove the exceptions or provide Buyer with reasonable assurances of the manner in which the exceptions will be removed before the transaction closes. If Seller does not remove the exceptions or provide Buyer with such assurances, Buyer may terminate this Agreement by written notice to Seller given within 15 days after expiration of such 15-day period, in which event the earnest money shall be refunded to Buyer and this Agreement shall be null and void.
6. **Conditions**
- 6.1 Buyer's obligation to purchase the Property is contingent on satisfaction of each of the following conditions:
- 6.1.1 Buyer and its agents shall have full access to the Property for the purpose of conducting Buyer's inspections. If Buyer is not satisfied, in its sole discretion, with the result of Buyer's inspections or if Buyer has not obtained the financing described above, Buyer may terminate this Agreement by written notice to Seller given at any time before February 28, 2007, in which event the earnest money shall be refunded to Buyer. If Buyer fails to give any such notices of termination by February 28, 2007 the respective condition will be deemed satisfied or waived.
- 6.1.2 Approval by the City of West Linn and/or Clackamas County of Buyer's plans to construct a hotel on subject property and Buyer's adjoining property.
- 6.1.3 Buyer's approval of property after Level I or Level II environmental studies, said testing and other environmental tests conducted by Buyer at its expense. Seller will provide copies of any environmental studies (Level I and Level II) for property and any topographical maps of subject property. Seller makes no representation concerning the accuracy or applicability of any studies or maps and provides this document to Buyer as a courtesy and for informational purposes only.

7. **Deed.** On the Closing Date, Seller shall execute and deliver to Buyer a statutory warranty deed, conveying the Property to Buyer, free and clear of all liens and encumbrances except the Permitted Exceptions.
8. **Title Insurance.** Buyer shall furnish title insurance at its expense.
9. **Taxes; Prorates.** Real property taxes for the current tax year, insurance premiums (if Buyer assumes the existing policy) and other usual items shall be prorated as of the Closing Date.
10. **Possession.** Buyer shall be entitled to possession immediately upon closing.
11. **Seller's Representations.** Seller represents and warrants to Buyer as follows:
  - (1) Seller has received no written notice of any liens to be assessed against the Property.
  - (2) Seller has received no written notice from any governmental agency of any violation of any statute, law, ordinance, or deed restriction, rule, or regulation with respect to the Property.
  - (3) Seller is not a "foreign person" as that term is defined in IRC 1445. On the Closing Date, Seller will execute and deliver to Buyer a certification of nonforeign status on a form required by the IRS.
  - (4) The Property has never been used for the storage or disposal of any hazardous material or waste. There are no environmentally hazardous materials or wastes contained on or under the Property and the Property has not been identified by any governmental agency as a site upon which environmentally hazardous materials or wastes have been or may have been located or deposited. All representations and warranties contained in this Agreement will survive closing and the conveyance of the Property to Buyer.
12. **License for Parking.** Buyer agrees to give Seller a license agreement for the use of a minimum of 6 and up to a maximum of 8 parking spaces on Buyer's Property. These parking spaces shall be used exclusively for the Seller's clients and business patrons, from the hours of 8:00am to 6:00pm, Monday through Friday. The locations of the parking spaces shall be on the West side of Buyer's property, limited to the property subject of this agreement. The exact number of parking spaces shall be dependent upon approval of parking spaces by the City of West Linn and/or Clackamas County.

This license is personal to Seller. Buyer may revoke this license if Seller transfers property to any other party. However, Seller will continue this license if Seller's successor in interest to property continues to operate a professional office building on Seller's property in a similar manner as Seller's current use. Buyer may also revoke this license upon thirty days notice to Seller if the number of parking spaces provided to Seller under

the license agreement in any way impedes or restricts Buyer's use of the property by reducing the number of parking spaces required by City or County zoning and planning or other regulation.

There shall be no fee for Seller's use of parking spaces pursuant to this license agreement.

Buyer shall pay cost to construct parking spaces. However, Seller will share with Buyer in the cost of maintaining those parking spaces used by Seller proportionate to Seller's use of parking spaces on Buyer's property, using the following formula:

Number of spaces used by Seller divided by number of  
total spaces on property and Buyer adjacent property, times  
.5 times amount of maintenance expenses.

The parties will enter into a separate license agreement incorporating these terms at the time of closing.

13. **Binding Effect/Assignment Restricted.** This Agreement is binding on and will inure to the benefit of Seller, Buyer, and their respective heirs, legal representatives, successors, and assigns. Nevertheless, Buyer will not assign its rights under this Agreement without Seller's prior written consent, which consent shall not be unreasonably withheld. Nevertheless, Buyer intends to transfer their interest in subject property to VK Northwest, Inc., and Buyer shall not require consent from Seller for such transfer.
14. **Remedies. TIME IS OF THE ESSENCE REGARDING THIS AGREEMENT.** If the conditions described in Section 6 above are satisfied or waived by buyer by February 28, 2007, and the transaction does not thereafter close, through no fault of Seller, before the close of business on the Closing Date, Buyer shall forfeit the earnest money deposit to Seller as liquidated damages, which shall be Seller's sole remedy. If Seller fails to deliver the deed described in Section 7 above on the Closing Date or otherwise fails to consummate this transaction, the earnest money shall be refunded to Buyer, but acceptance by Buyer of the refund will not constitute a waiver of other remedies available to Buyer.
15. **Attorney Fees.** If an action is instituted to enforce any term of this Agreement, the prevailing party shall recover from the losing party reasonable attorney fees incurred in such action.
16. **Mediation and Arbitration.** Any dispute arising out of enforcement or interpretation of this agreement shall be decided by binding arbitration in accordance with applicable Oregon statutes and uniform trial court rules governing arbitration. Before seeking arbitration, a party must first give the other party 30 days' written notice of the dispute prior to arbitration, and must submit the dispute to mediation through a mutually agreeable mediator prior to arbitration.

- 17. **Notices.** All notices and communications in connection with this Agreement shall be given in writing and shall be transmitted by certified or registered mail, return receipt requested, to the appropriate party at the address first set forth above. Any notice so transmitted shall be deemed effective on the date it is placed in the United States mail, postage prepaid. Either party may, by written notice, designate a different address for purposes of this Agreement.
- 18. **Entire Agreement.** This Agreement sets forth the entire understanding of the parties with respect to the purchase and sale of the Property. This Agreement supersedes any and all prior negotiations, discussions, agreements, and understandings between the parties. This agreement may not be modified or amended except by a written agreement executed by both parties.
- 19. **Applicable Law.** This Agreement shall be construed, applied and enforced in accordance with the laws of the state of Oregon.
- 20. **Acceptance.** This Agreement shall be null and void unless accepted by Seller, by Seller's execution of it, on or before December 22, 2006.
- 21. **Statutory Warning.**

THE PROPERTY DESCRIBED IN THIS INSTRUMENT MAY NOT BE WITHIN A FIRE PROTECTION DISTRICT PROTECTING STRUCTURES. THE PROPERTY IS SUBJECT TO LAND USE LAWS AND REGULATIONS, WHICH, IN FARM OR FOREST ZONES, MAY NOT AUTHORIZE CONSTRUCTION OR SITING OF A RESIDENCE AND WHICH LIMIT LAWSUITS AGAINST FARMING OR FOREST PRACTICES AS DEFINED IN ORS 30.930 IN ALL ZONES. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY APPROVED USES AND EXISTENCE OF FIRE PROTECTION FOR STRUCTURES.

SELLER:

*Laurence H. Blumch*  
 Dated: December 22, 2006  
*Managing Member for*  
*West Linn Law Center, LLC*

BUYER:

*Hilkanth R. Patel*  
 By Power of Attorney for  
*Katen Patel*  
 Katen Patel  
 Dated: 12/21/06, 2006

BUYER:

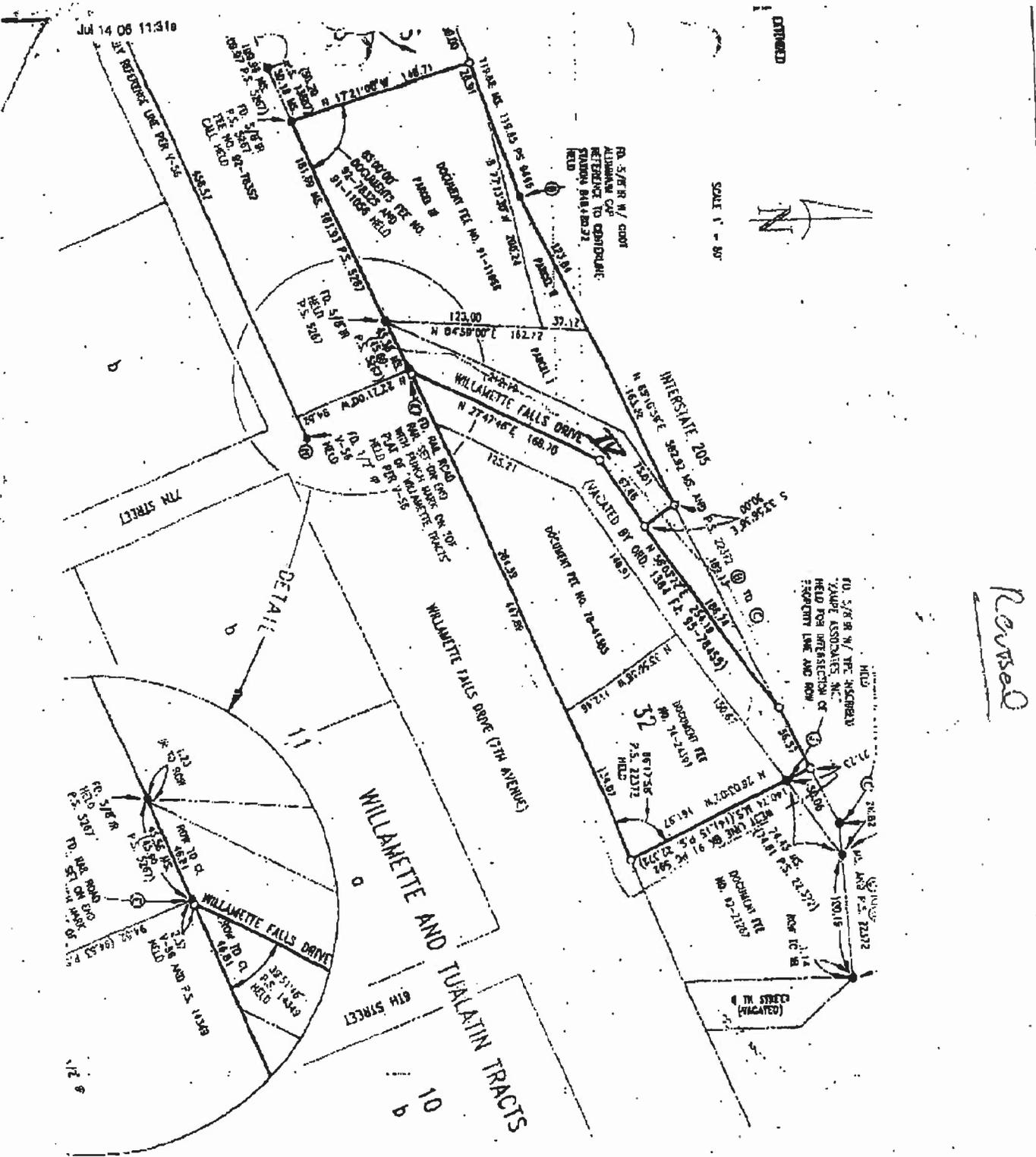
*Jagendra Patel*  
 By Power of Attorney  
*Vipul Patel*  
 Vipul Patel  
 Dated: 12/21/06, 2006

BUYER:

Jayanti P. Patel.  
Jayanti Patel  
Dated: 12/21, 2006

BUYER:

Manish Patel  
Manish Patel  
Dated: 12/21, 2006



PC-5

Soppe, Tom

**From:** Brad Kaul [bradkaul@spe-architects.com]  
**Sent:** Friday, October 03, 2008 8:52 AM  
**To:** Soppe, Tom  
**Cc:** Vic Patel (private); Mike; Brown, Bryan  
**Subject:** Re: site plan

rec'd 10-3

Thanks Tom,

What about the parking required for the neighbors (lawyers office)? We wouldn't mind having fewer parking spaces if everything else works and it is approved by the city. This would make the construction cheaper so it would be a benefit. However, we must provide parking for the neighbors per a contract between both parties tied to a sales agreement.

Brad Kaul, AIA  
 Steven P. Elkins Architects  
 11000 NE 33rd Place, Suite #101  
 Bellevue, WA 98004  
 P:425-827-3252  
 F:425-889-9174

----- Original Message -----

**From:** Soppe, Tom  
**To:** Brad Kaul ; Mike Coyle ; vcp16@hotmail.com  
**Cc:** Brown, Bryan  
**Sent:** Friday, October 03, 2008 8:41 AM  
**Subject:** site plan

Brad, Mike, Vic,

You have applied for the variance to remove the tree.

Based on aerials, I am measuring that if the building was moved 27 feet west, you would be almost out of the dripline of the tree, putting it in a much better place for survival than if the building wasn't moved.

By my count you propose 72 spaces for parking at this time. Moving 27 feet west would eliminate 9- three from each row.

Then you would have 63 spaces. With a 70 unit hotel with 70 required spaces, you are allowed the 10% reduction in Ch. 46 since you are on a transit line. This means that actually, per code, you only are required to have 63 spaces. I know that that may sound less than ideal for a hotel to have less than 1 space per room, and that may be one of the reasons you chose the option of applying for the variance.

Staff's dilemma here is that we're obligated to support the solution that most conforms to code, avoiding recommending the approval of a variance when possible.

So the way we look at it right now, the very significant tree could be saved if the hotel was moved 27 feet west, with the elimination of the 9 spaces. This would put the hotel even closer to the drainageway/wetland in some spots but would not put it into them and therefore seems as feasible as anything, since you're already close. Upon such a site modification, undisturbed land east of the proposed building could become part of the mitigation area on site to make up for otherwise getting closer to the wetland.

Therefore, unless it can be demonstrated that this wouldn't work, staff sees an obligation not to support the variance. Which would mean denial of the current site plan, but would mean that the Planning Commission could approve the theoretical 27-foot-west site plan I discuss above. This means that it would be in your best interest to provide an alternative site plan they could see, whether or not it is the site plan you would be pushing

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10/3/2008

for (you are more than welcome to push for the site plan as currently proposed with the variance, whether staff does or not). The West Linn Planning Commission has a history of denying applications where they don't perceive how the alternative would work better. This includes applications where an alternative site plan that isn't available visually could get approved, but the PC goes with denial because the neighborhood and citizens say they haven't had an opportunity to respond properly because they as citizens didn't get to study the visuals that would otherwise get approved. Therefore I'm recommending not only providing the visual of such an alternative site plan, but providing it soon enough to get in the staff report that staff has to have ready to send out by October 22 at the latest, meaning that ideally you would get the site plan to my by October 15.

If this alternative that avoids the variance and tree removal is physically impossible for reasons that I don't perceive, let me know. I would still recommend doing the alt. site plan because that can help show staff and PC that it is impossible, if this is the case.

You are certainly within your rights to not supply a new alt site plan and to fight for the application as proposed, even if staff is going forward with a recommendation of denial. There is certainly the chance that PC will be empathetic to the variance since there is the parking issue and any other issues you can present. But I would certainly recommend to you to provide this alternative if you want to maximize one of the versions getting approved.

Let me know if there are any questions.

Also, on another subject (but probably also not good news for you, sorry to always be the bearer), it appears the gravel parking area that is now shared with the lawyers office is in an area that is designated by the wetlands plan for vegetative restoration/on-site mitigation. And that it will be separated from the street by the improvements being required- swale planter strip, sidewalk, street trees, curb. Because of this it seems we'll have to condition an approval to include abandoning this as a parking area and getting rid of formal or informal agreements between property owners to use it. We just wanted to give you heads up on that also.

Thanks,

Tom Soppe  
Associate Planner  
City of West Linn  
22500 Salamo Road  
West Linn, OR 97068

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**Soppe, Tom**

**From:** Brad Kaul [bradkaul@spe-architects.com]  
**Sent:** Tuesday, September 30, 2008 11:32 AM  
**To:** Soppe, Tom  
**Cc:** Mike Coyle; Steve Elkins Office; Vic Patel (private)  
**Subject:** Re: parking question  
**Attachments:** HIE Site Plan - adjacent parking area.pdf; lawyers etnry drive-parking.JPG

Tom,

The owner bought a piece of property from the adjacent owner. Currently, this area is an undefined gravel area on the Southwest portion of the site between the stream and the road adjacent to the lawyer's property. They have been using this area for parking for as long as they have been there. It seems appropriate to allow this use to continue in the existing state because it is existing and does not have any impact on the new development.

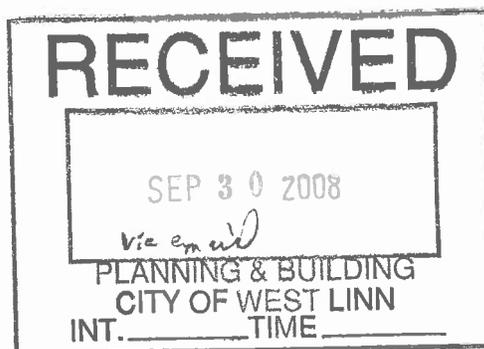
I am showing the area in question on the attached plan to orient you. I am also attaching a site photo showing the parking area.

As you state below, the owners have a parking agreement. Also, as you state below, the extra parking stalls located along the entry drive will be provided for the lawyers office. When this was brought up in the Neighborhood meeting, I had forgotten about the parking reduction due to the transit stop and we did not resolve the issue with the residents.

We could add some parking to the entry drive area but we didn't do so because it is so far away from the hotel. If needed, we could add a couple extra stalls. However, since we meet the code for parking and have additional stalls for the lawyers parking agreement it doesn't seem necessary.

Thanks Tom,

Brad Kaul, AIA  
 Steven P. Elkins Architects  
 11000 NE 33rd Place, Suite #101  
 Bellevue, WA 98004  
 P:425-827-3252  
 F:425-889-9174



----- Original Message -----

**From:** Soppe, Tom  
**To:** Brad Kaul ; Mike Coyle  
**Sent:** Tuesday, September 30, 2008 10:40 AM  
**Subject:** parking question

Brad, Mike,

Do you guys know what exactly the following quote refers to in Willamette NA's statement of opposition in their meeting minutes?

"5. Inadequacy of parking spaces for the hotel and the adjacent lawyers' office parking agreement--this discrepancy of parking spaces to rooms seemed unusual and concerning to area residents. The hotel owners admitted to making an agreement with the neighboring law office to give them some of their required parking spaces in return for some of the property to fulfill their parking lot needs. So in essence, the parking lot needs of the hotel will not actually be met."

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9/30/2008

(from <http://westlinnoregon.gov/resident/2008-09-10-0>)

I know we already worked it out that your lot has enough spaces per design review and Ch. 46, but is there some kind of agreement between VKNW and the law office nearby? There are 63 required spaces due to the transit stop, and I know you have 71 total- if there is an agreement does it only affect the other 8, furthest away from the building?

Let me know if there is such an agreement and what it entails, or if this is just some kind of misunderstanding on the part of the NA. We will have to at least require that the required 63 are exclusively for hotel use (maybe they will want to condition it so all spaces are, since that matches the number of rooms).

Thanks,

Tom Soppe  
Associate Planner  
City of West Linn  
22500 Salamo Road  
West Linn, OR 97068

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CITY OF  
**West Linn**

**MAILED**  
9/26/08

September 25, 2008

Vic Patel  
VKNW, Inc.  
12700 SE McLoughlin Blvd.  
Milwaukie, OR 97222

**PC-6**

SUBJECT: DR-08-01/WAP-08-01/VAR-08-01/VAR-08-09

Dear Mr. Patel:

Your project is complete as of your submittal of neighborhood meeting materials on September 25, 2008. You are scheduled for a hearing in front of the Planning Commission on November 5, 2008. Because the project was not actually complete until this submittal, due to the code requirement of the neighborhood meeting materials, the 120 day period actually is starting at its beginning at this time. The 120-day period therefore ends on January 23, 2009. Staff has until that date to exhaust all local review including any possible appeal to the City Council. However, this 120 period does not in any way slow down or postpone any local review, it is merely a legal deadline; all local review will very likely be exhausted long before that date.

Please contact me at 503-742-8660, or by email at [tsope@westlinnoregon.gov](mailto:tsope@westlinnoregon.gov) if you have any questions or comments, or if you wish to meet with planning staff regarding these issues.

Sincerely,

Tom Soppe  
Associate Planner

- c: Mike Coyle, Faster Permits, 833 SE Main #242, Portland, OR 97214
- c: Dale Gulliford, Jr., Schott & Associates, Inc., P.O. Box 589 Aurora, OR 97002
- c: Steven P. Elkins, Steven P. Elkins Architects, Inc. P.S., 11000 NE 33<sup>rd</sup> Place, Ste. 101, Bellevue, WA 98004

p:/devrvw/completeness check/compl-3-DR-08-01

65



PC-7

TRANSMITTAL

11000 NE 33rd Place, Suite 101  
Bellevue, WA 98004-1459

425.827.3252 phone  
425.889.9174 fax  
e-mail: info@spe-architects.com

TO: **Faster Permits**  
1900 SW 4th Ave Suite 1200  
Portland OR 97201

DATE: June 3, 2008

PROJECT: West Linn H.I.Ex  
LOCATION: West Linn  
FROM: Brad Kaul

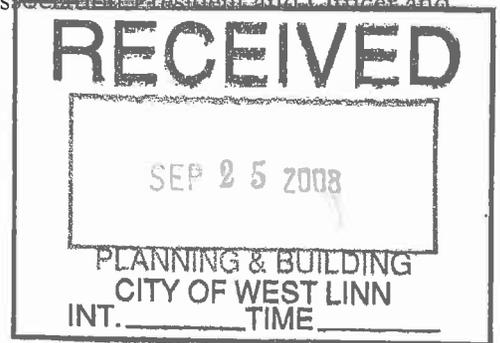
ATTN: Mike Coyle

PHONE: (503) 680-5497

**SUBJECT: Neighborhood Meeting**

|           |                                                  |                                            |                                               |
|-----------|--------------------------------------------------|--------------------------------------------|-----------------------------------------------|
| HEREWITH: | <input checked="" type="checkbox"/> PRINTS       | <input type="checkbox"/> SAMPLES           | <input type="checkbox"/> ATTACHED             |
|           | <input type="checkbox"/> ORIGINALS               | <input type="checkbox"/> SUBMITTALS        | <input type="checkbox"/> UNDER SEPARATE COVER |
|           | <input type="checkbox"/> DISK                    | <input type="checkbox"/> OTHER             | <input type="checkbox"/> DOCUMENTS            |
| FOR YOUR: | <input type="checkbox"/> INFORMATION             | <input type="checkbox"/> APPROVAL          | <input type="checkbox"/> ESTIMATE             |
|           | <input checked="" type="checkbox"/> AS REQUESTED | <input type="checkbox"/> REVIEW/COMMENT    | <input type="checkbox"/> CONSTRUCTION         |
|           | <input type="checkbox"/> USE                     | <input type="checkbox"/> RETURN AFTER LOAN |                                               |

| Copies: | Date: | Description:                                                                                        |
|---------|-------|-----------------------------------------------------------------------------------------------------|
| 1       |       | CD: digital copies of everything below                                                              |
| 1       |       | A) Registered letter and receipt                                                                    |
| 1       |       | B) Letters to Neighbors, Neighborhood Association <del>President and Officer and</del><br>Affadavit |
| 1       |       | C) Sign Post and Affidavit                                                                          |
| 1       |       | D) Meeting minutes and sign in sheet                                                                |
| 1       |       | E) Audio of meeting                                                                                 |



Mike,  
Attached are all items required as spelled out below:

**99.038 NEIGHBORHOOD CONTACT REQUIRED FOR CERTAIN APPLICATIONS**

5. An application shall not be accepted as complete unless and until the applicant demonstrates compliance with this section by including with the application:

- a. A copy of the certified letter to the neighborhood association with a copy of return receipt.

666

September 15, 2008

Transmittal

Page 2

- b. A copy of the letter to officers of the association and to property owners within 500 feet, including an affidavit of mailing and a copy of the mailing list containing the names and addresses of such owners and residents.
- c. A copy of the required posted notice, along with an affidavit of posting; and,
- d. A copy of the minutes of the meetings, produced by the neighborhood association, which shall include a record of any verbal comments received, and copies of any written comments from property owners, residents, and neighborhood association members. If there are no minutes, the applicant may provide a summary of the meeting comments. The applicant shall also send a copy of the summary to the Chair of the neighborhood association. The Chair shall be allowed to supplement the summary with any additional comments regarding the content of the meeting, as long as such comments are filed before the record is closed.
- e. An audiotape of the meeting.
- f. In the event that it is discovered by staff that the aforementioned procedures of this section were not followed, or that a review of the audio tape and meeting minutes show the applicant has made a material misrepresentation of the project at the neighborhood meeting, the application shall be deemed incomplete until the applicant demonstrates compliance with CDC Section 99.038.

Please submit this to the City and let us know when the Planning Commission date and time is.

Thanks,

Brad Kaul  
Steven Elkins Architects

CDC 99.038.5.a

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• Sender: Please print your name, address, and ZIP+4 in this box •

Steven P. Elkins Architects  
11000 NE 33rd place suite 101  
Bellevue, WA 98004



| SENDER: COMPLETE THIS SECTION                                                                                                                                                                                                                                                                                              | COMPLETE THIS SECTION ON DELIVERY                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> <li>Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</li> <li>Print your name and address on the reverse so that we can return the card to you.</li> <li>Attach this card to the back of the mailpiece, or on the front if space permits.</li> </ul> | <p>A. Signature<br/><i>[Signature]</i> 2008 PM 1 <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name)<br/>E Kieres</p> <p>C. Date of Delivery<br/>8/9/08</p>                                                                                                                                                                                                                                                                                                                            |
| <p>1. Article Addressed to:</p> <p>Beth Kieres<br/>1852 4th Ave<br/>West Inn OR 97063</p>                                                                                                                                                                                                                                  | <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes<br/>If YES, enter delivery address below: <input checked="" type="checkbox"/> No</p> <p>3. Service Type<br/> <input checked="" type="checkbox"/> Certified Mail    <input type="checkbox"/> Express Mail<br/> <input type="checkbox"/> Registered    <input type="checkbox"/> Return Receipt for Merchandise<br/> <input type="checkbox"/> Insured Mail    <input type="checkbox"/> C.O.D.</p> <p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p> |
| <p>2. Article Number<br/>(Transfer from service label)</p>                                                                                                                                                                                                                                                                 | <p>7007 2680 0002 5287 8026</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |

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CDC 99.038.5.b



11000 NE 33<sup>rd</sup> Place, Suite 101  
Bellevue, WA 98004-1460

425.827.3252 phone  
425.889.9174 fax  
e-mail: steve@spe-architects.com

---

Beth Kieres  
President  
Willamette Neighborhood Association  
1852 - 4<sup>th</sup> Ave  
West Linn OR 97068

August 5, 2008

Dear Ms. Kieres;

In compliance with Community Development Code section 99.038, we will be conducting a Neighborhood meeting on Tuesday August 26<sup>th</sup> from 6:00-8:00 PM. This meeting is in regards to the proposed Holiday Inn Express Hotel which will be constructed on 2400 and 2450 Willamette Falls Drive. The meeting will be held at:

West Linn Public Library  
1595 Burns Street  
West Linn OR 97068

Steve Elkins Architects Inc P.S.

On behalf of Vic Patel, property owner

69



11000 NE 33<sup>rd</sup> Place, Suite 101  
Bellevue, WA 98004-1460

425.827.3252 phone  
425.889.9174 fax  
e-mail: [steve@spe-architects.com](mailto:steve@spe-architects.com)

---

Elizabeth Rocchia  
Officer  
Willamette Neighborhood Association  
957 Willamette Falls Drive  
West Linn OR 97068

August 5, 2008

Dear Ms. Rocchia;

In compliance with Community Development Code section 99.038, we will be conducting a Neighborhood meeting on Tuesday August 26<sup>th</sup> from 6:00-8:00 PM. This meeting is in regards to the proposed Holiday Inn Express Hotel which will be constructed on 2400 and 2450 Willamette Falls Drive. The meeting will be held at:

West Linn Public Library  
1595 Burns Street  
West Linn OR 97068

Steve Elkins Architects Inc P.S.

On behalf of Vic Patel, property owner



11000 NE 33<sup>rd</sup> Place, Suite 101  
Bellevue, WA 98004-1460

425.827.3252 phone  
425.889.9174 fax  
e-mail: [steve@spe-architects.com](mailto:steve@spe-architects.com)

---

Re; Holiday Inn Express Hotel  
2400 & 2450 Willamette Falls Drive

August 5, 2008

Dear property owner;

In compliance with Community Development Code section 99.038, we will be conducting a Neighborhood meeting on Tuesday August 26<sup>th</sup> from 6:00-8:00 PM. This meeting is in regards to the proposed Holiday Inn Express Hotel which will be constructed on 2400 and 2450 Willamette Falls Drive. The meeting will be held at:

West Linn Public Library  
1595 Burns Street  
West Linn OR 97068

Steve Elkins Architects Inc P.S.

On behalf of Vic Patel, property owner

MAILING LIST CDC 99.030.5.0

| TAXPAYER                         | MAILADDR                 | MAILCITY    | MAILSTATE | MAILZIP |
|----------------------------------|--------------------------|-------------|-----------|---------|
| SHROCK LOREN E & BETTY JEAN      | 11990 RIVERVIEW LN       | WILSONVILLE | OR        | 97070   |
| PATEL VIPUL                      | 12700 SE MCLOUGHLIN BLVD | MILWAUKIE   | OR        | 97222   |
| GIDDINGS WAYNE COLIN & MELINDA M | 1290 SW SCHAEFFER RD     | WEST LINN   | OR        | 97068   |
| MCMAHON ROBERT                   | 1515 6TH ST              | WEST LINN   | OR        | 97068   |
| STUART KEITH P TRUSTEE           | 1542 6TH ST              | WEST LINN   | OR        | 97068   |
| SATTER NATHAN P & ELISSA D       | 1545 7TH ST              | WEST LINN   | OR        | 97068   |
| HOPP RUTH                        | 1546 7TH ST              | WEST LINN   | OR        | 97068   |
| LAVITZ KENNETH S                 | 1547 8TH ST              | WEST LINN   | OR        | 97068   |
| BUNCAK LAUREL A                  | 1549 7TH ST              | WEST LINN   | OR        | 97068   |
| FLYNN BARBARA JEANE              | 1555 7TH ST              | WEST LINN   | OR        | 97068   |
| MARSH ANNA MARIE                 | 1555 8TH ST              | WEST LINN   | OR        | 97068   |
| CONTRERAS MANUEL JR              | 1557 6TH ST              | WEST LINN   | OR        | 97068   |
| KELLEY BRYAN C & KATE L          | 1561 6TH ST              | WEST LINN   | OR        | 97068   |
| LEWIS ROBERT N & VIRGINIA L      | 1566 6TH ST              | WEST LINN   | OR        | 97068   |
| GODFREY MATTHEW E                | 1567 6TH ST              | WEST LINN   | OR        | 97068   |
| WAGGONER THOMAS E & JENNIFER L   | 1568 7TH ST              | WEST LINN   | OR        | 97068   |
| HOGG GLENN R                     | 1572 6TH ST              | WEST LINN   | OR        | 97068   |
| WAGNER MICHAEL WILLIAM           | 1575 6TH ST              | WEST LINN   | OR        | 97068   |
| CASSIDY SHARLA                   | 1580 6TH AVE             | WEST LINN   | OR        | 97068   |
| QUINN DENNIS K & RITA A          | 1590 7TH ST              | WEST LINN   | OR        | 97068   |
| MORRIS MICHAEL L & MARIA D       | 1595 7TH ST              | WEST LINN   | OR        | 97068   |
| PELUSO JENNIFER R                | 1610 ASH ST              | WEST LINN   | OR        | 97034   |
| SALARIE MARZIE                   | 19432 WILDERNESS DR      | LAKE OSWEGO | OR        | 97068   |
| CITY OF WEST LINN                | 22500 SALAMO RD #600     | WEST LINN   | OR        | 97068   |
| FROUST BILL                      | 2331 WILLAMETTE FALLS DR | WEST LINN   | OR        | 97068   |
| MOLES RANDY & KIMBERLY           | 2341 WILLAMETTE FALLS DR | WEST LINN   | OR        | 97068   |
| BLACK JOHN D & ATSUKO            | 2349 WILLAMETTE FALLS DR | WEST LINN   | OR        | 97068   |
| VANDERHOFF KENNETH J             | 23510 SW STAFFORD RD     | WEST LINN   | OR        | 97068   |
| REMINGTON DAVID G & JOYCE        | 2355 WILLAMETTE FALLS DR | TUALATIN    | OR        | 97062   |
| HASS DELORES J                   | 2364 5TH AVE             | WEST LINN   | OR        | 97068   |
| FLORES PABLO MERLO               | 2382 5TH AVE             | WEST LINN   | OR        | 97068   |
| WOLF KIMBERLY A                  | 2392 5TH AVE             | WEST LINN   | OR        | 97068   |
| MARTUS MICHAEL A & JOAN A        | 2410 5TH AVE             | WEST LINN   | OR        | 97068   |
| SCHULTZ LUKE & JENNY             | 2435 WILLAMETTE FALLS DR | WEST LINN   | OR        | 97068   |
| DECKER STEPHEN K & SUSAN L       | 2470 5TH AVE             | WEST LINN   | OR        | 97068   |
| BOYD MICHAEL A & PATRICIA LOU    | 2475 WILLAMETTE FALLS DR | WEST LINN   | OR        | 97068   |

3



LOC 99.038.5.d



11000 NE 33<sup>rd</sup> Place, Suite 101  
Bellevue, WA 98004-1460

425.827.3252 phone  
425.889.9174 fax  
e-mail: steve@spe-architects.com

---

City of West Linn

September 15, 2008

To whom it may concern;

**(Affidavit of Mailing)**

In compliance with Community Development Code section 99.038, Steven Elkins Architects sent letters informing all property owners within 500 feet of the proposed Holiday Inn Express site, president of the neighborhood association, and officers of the neighborhood association that a neighborhood meeting would be held on August 26<sup>th</sup> at the West Linn Library. The letters were sent on August 5<sup>th</sup> and a return receipt was received from the Neighborhood Association dated August 8<sup>th</sup>.

Brad Kaul, AIA  
Steve Elkins Architects Inc P.S.

A handwritten signature in cursive script that reads 'Brad Kaul'.

On behalf of Vic Patel, property owner

COC # 99.038.5.C

# Notice of Proposed Development for Holiday Inn Express Hotels & Suites

VKNW, Inc. Vic Patel - Owner

Steven P. Elkins Architects Inc P.S.  
11000 NE 33<sup>rd</sup> Place Suite 101 Bellevue, WA 98004  
425-827-3252

**Neighborhood Meeting Tuesday August 26, 2008  
6:00-8:00 PM  
West Linn Public Library**

CDC 99.038.5.C



11000 NE 33<sup>rd</sup> Place, Suite 101  
Bellevue, WA 98004-1460

425.827.3252 phone  
425.889.9174 fax  
e-mail: steve@spe-architects.com

---

City of West Linn

September 15, 2008

To whom it may concern;

**(Affidavit of Sign Posting)**

In compliance with Community Development Code section 99.038, Steven Elkins Architects had a sign posted at the site informing as described in the CDC. The sign was posted on August 7<sup>th</sup>, which was 1 day prior to letters arriving.

Brad Kaul, AIA  
Steve Elkins Architects Inc P.S.

A handwritten signature in cursive script that reads 'Brad Kaul'. The signature is written in black ink and is positioned above the typed name.

On behalf of Vic Patel, property owner

## NEIGHBORHOOD MEETING

Holiday Inn Express – West Linn, OR  
August 26, 2008  
Neighbors Present: 14 (per sign in sheet)  
Architect: Brad Kaul  
Owners: Vic and Jay Patel

The meeting began at 6:00 p.m. in room 125. MC'd by Brad Kaul, AIA of Steven Elkins

1. Welcome/ Introduction –
  - Brad Kaul, owner representative and architect, welcomed all.
2. Overview of Project -
  - 4 story, 70 unit Holiday Inn Express, Site slopes from I 205 down to Willamette Falls Drive, building will be built on North East corner of site and built into the hill in that location. Amenities discussed on interior (i.e. pool, breakfast room, meeting space, etc.). Not prototypical hotel look, hotel has been designed to adhere to storefront characteristics of old town Willamette w/crown mold treatment and other decorations. 70 unit parking lot with landscape, wetland buffer and existing stream.
3. Question and Answer
  - Q: Color Scheme
  - A: Similar to Astoria Holiday Inn Express, examples shown at meeting and examples given to city for planning commission review
  
  - Q: Building Height in Relation to I-205
  - A: exact relationship unknown but it appears that I-205 rises up about 35-45 feet above finished floor of the hotel
  
  - Q: How does building relate to neighbor buildings
  - A: 4 story hotel w/neighborings buildings being 1 and 2 story buildings
  
  - Q: Will project disturb wetlands
  - A: no, all construction activities will be done outside the wetland boundary
  
  - Q: Will there be Buffer improvements; have wetland studies been done;
  - A: A wetland study has been performed by Schott & Associates Ecologists & Wetland Specialists Aurora, Or. The wetland and buffer will be "revegetated" or wetland enhancement will be implemented on site and offsite at Highbridge Park through coordination with City Parks and Recreation.
  
  - Q: Has city written off on this plan;

A: The plans had been recommended by staff for approval in June of 08. Staff put the recommendation on hold until after the neighborhood meeting when they realized that a neighborhood meeting was required prior to the planning commission meeting.

Q: How is oak tree being dealt with; What is the plan to replace the tree; and why does it need to be moved.

A: The existing oak is to be replaced on site due to site constraints. The proposal would replace the tree on an inch-by-inch basis in accordance with the CDC. The existing tree is 36 inch's in diameter and will be replaced with trees whose combined diameters equal 36 inch's. The placement and quality of trees will be coordinated with the city arborist.

Q: Will there be a sign and how and where will the sign be placed;

A: All signage will be building mounted, illuminated individual letters. All signage will be "no glare" similar to the parking lot lighting.

Q: What is the purpose of this meeting

A: communicate what the plan is, neighborhood can support or not support, introduce the plan, neighborhood may provide comments and offer suggestions for improvements

Q: How will stormwater be treated, will wetland be used to treat stormwater;

A: Water will be treated on site and then released to the wetland/stream.

Q: How will residents be told about the public planning commission meeting;

A: We would refer this to the city staff.

Q: Will West Linn support a hotel this size. Fear that the hotel will become low cost housing and drive down property values;

A: franchise has done a thorough study and the franchise believes that this site will not only support the proposed hotel but would have liked the developer to build an even larger hotel in this location. This tells the developer that this location is a good investment and should result in a successful hotel that turns business away. Holiday Inn has been around for a very long time and they do not allow their franchise to be built just anywhere. The franchisee (hotel owners) are held to very high standards for customer service, maintenance, and hospitality. Each property is inspected by the franchise periodically and any deficiency is required to be addressed.

Comment/Discussion:

Meeting room is seen as a nice addition to the community and is for public use not just guest use

Comment/Discussion:

-Some have concerns about the height of the building and wonder if it would be possible to reduce the height and spread the building over more of the site and even over the parking.

- Others don't like the look of low sprawling hotels. They believe that a low sprawling hotel with parking underneath looks less appealing. They believe that the taller building looks better. By having a smaller impact/building footprint the land is better utilized. They fear that a low sprawling hotel looks cheap and this hotel has a lot of character and is very appealing.

Q: What is the positive impact of this project:

A: (neighborhood) tax base, amenities (hotel rooms, meeting space), curb appeal such as landscaping and wetland upgrades, street improvements such as sidewalk connections for pedestrians, more business needed to support city.

Comment – Law Group (west side neighbor)

- A parking agreement exists between the developer and the neighbor to the West. The Western neighbor sold a portion of their property to the developer with rights to the “parking area” that currently exists.

Q: What is the impact on traffic and has a study been done?

A: Yes a study has been done. As stated in the Traffic Impact Study provided by Lancaster Engineering, the proposed development will increase the traffic volumes at this intersection by approximately two-percent.

Q: Why does it make sense for a developer to build a hotel on this site as opposed to a site near more active and diverse commercial activity?

A: Not many good sites for hotels exist that are for sale. This site has good access to I-205 and is highly visible from I-205 due to the proximity.

#### Conclusion

1. Overall look of the building is generally acceptable
2. Concern that the minimum standard of parking may not be enough to support the project.
3. The wetland/Stream/Buffer is an important feature that the community wants to be treated with the utmost respect and care.
4. The white oak is an important part of West Linn. Through coordination with the city arborist, the replace/relocated white oaks will be featured in the new landscape plan.
5. Traffic is backed up on Willamette Falls Drive people are tired of it.

**Meeting adjourned at 8:00 p.m.**

# SIGN IN:

LOREN E & BETTY JEAN SHROCK  
11990 RIVERVIEW LN  
WILSONVILLE, OR 97070

VIPUL PATEL  
12700 SE MCLOUGHLIN BLVD  
MILWAUKIE, OR 97222

WAYNE COLIN & MELINDA M GIDDINGS  
1290 SW SCHAEFFER RD  
WEST LINN, OR 97068

ROBERT MCMAHON  
1515 6TH ST  
WEST LINN, OR 97068

✓ KEITH P STUART KPS  
1542 6TH ST  
WEST LINN, OR 97068

NATHAN P & ELISSA D SATTER  
1545 7TH ST  
WEST LINN, OR 97068

RUTH HOPP  
1546 7TH ST  
WEST LINN, OR 97068

KENNETH S LAVITZ  
1547 8TH ST  
WEST LINN, OR 97068

LAUREL A BUNCAK  
1549 7TH ST  
WEST LINN, OR 97068

BARBARA JEANE FLYNN  
1555 7TH ST  
WEST LINN, OR 97068

ANNA MARIE MARSH  
1555 8TH ST  
WEST LINN, OR 97068

MANUEL CONTRERAS JR  
1557 6TH ST  
WEST LINN, OR 97068

BRYAN C & KATE L KELLEY  
1561 6TH ST  
WEST LINN, OR 97068

ROBERT N & VIRGINIA L LEWIS  
1566 6TH ST  
WEST LINN, OR 97068

21M 1M:

Denny and Rita Quinn and Becky  
1590 7th St  
West Linn, OR 97068

DAVID G & JOYCE REMINGTON  
2355 WILLAMETTE FALLS DR  
WEST LINN, OR 97068

DELORES J HASS  
2364 5TH AVE  
WEST LINN, OR 97068

PABLO MERLO FLORES  
2382 5TH AVE  
WEST LINN, OR 97068

KIMBERLY A WOLF  
2392 5TH AVE  
WEST LINN, OR 97068

MICHAEL A & JOAN A MARTUS  
2410 5TH AVE  
WEST LINN, OR 97068

LUKE & JENNY SCHULTZ  
2435 WILLAMETTE FALLS DR  
WEST LINN, OR 97068

STEPHEN K & SUSAN L DECKER  
2470 5TH AVE  
WEST LINN, OR 97068

MICHAEL A & PATRICIA LOU BOYD  
2475 WILLAMETTE FALLS DR  
WEST LINN, OR 97068

JANIS OAKES  
2482 FAIRVIEW WAY  
COSTA MESA, CA 92626

WEST LINN LAW CENTER LLC  
26188 S GELBRICH RD  
CANBY, OR 97013

RICHARD L ELLIS  
282 NE 10TH AVE  
CANBY, OR 97013

RALPH D MCDOWELL LLC  
3200 SABO LN  
WEST LINN, WA 97068

SALLI E HAYWARD  
3538 HARWICH DR  
CARLSBAD, CA 92008

STATE OF OREGON  
417 TRANSPORTATION BLDG  
SALEM, OR 97310

MATTHEW E GODFREY  
1567 6TH ST  
WEST LINN, OR 97068

THOMAS E & JENNIFER L WAGGONER  
1568 7TH ST  
WEST LINN, OR 97068

GLENN R HOGG  
1572 6TH ST  
WEST LINN, OR 97068

MICHAEL WILLIAM WAGNER  
1575 6TH ST  
WEST LINN, OR 97068

SHARLA CASSIDY  
1580 6TH AVE  
WEST LINN, OR 97068

DENNIS K & RITA A QUINN  
1590 7TH ST  
WEST LINN, OR 97068

MICHAEL L & MARIA D MORRIS  
1595 7TH ST  
WEST LINN, OR 97068

JENNIFER R PELUSO  
1610 ASH ST  
LAKE OSWEGO, OR 97034

MARZIE SALARIE  
19432 WILDERNESS DR  
WEST LINN, OR 97068

CITY OF WEST LINN  
22500 SALAMO RD #600  
WEST LINN, OR 97068

BILL FROUST  
2331 WILLAMETTE FALLS DR  
WEST LINN, OR 97068

RANDY & KIMBERLY MOLES  
2341 WILLAMETTE FALLS DR  
WEST LINN, OR 97068

JOHN D & ATSUKO BLACK  
2349 WILLAMETTE FALLS DR  
TUALATIN, OR 97062

KENNETH J VANDERHOFF  
23510 SW STAFFORD RD  
TUALATIN, OR 97062

STEVEN WONG  
4260 CALLEMOY DR STE B  
LAKE OSWEGO, OR 97035

JAYANTI PATEL  
4512 SE 82<sup>ND</sup>  
PORTLAND, OR 97266

US WEST COMMUNICATIONS  
6300 S SYRACUSE WAY #700N  
ENGLEWOOD, CO 80111

GLORIA E ALTENHOFEN  
675 NW BAKER DR  
CANBY, OR 97013

GEORGE LIN  
7020 JULIE LN  
SAN GABRIEL, CA 91775

J MICHAEL & DANA S RICHMOND  
7400 SW LAKESIDE LOOP  
WILSONVILLE, OR 97070

✓ Chris Williams  
7600 S Avenue  
West Linn, OR 97068

Michael + Margaret Ray  
2023 19<sup>th</sup> St  
West Linn, OR 97068

✓ Eric + Nina Federquist  
2475 57<sup>th</sup> Ave  
West Linn, OR 97068

Nicolle Landau  
23065 S Bland Cir  
West Linn, OR  
97068

Jennifer + David DeMoro  
2638 5<sup>th</sup> Ave  
West Linn, OR 97068

Beth Kieres  
1832 4<sup>th</sup> Ave  
West Linn, OR

BETH KIERES  
PRESIDENT  
WILLAMETTE NEIGHBORHOOD ASSOCIATION  
1852 4<sup>TH</sup> AVENUE  
WEST LINN, OR 97068

ELIZABETH ROCCHIA  
OFFICER  
WILLAMETTE NEIGHBORHOOD ASSOCIATION  
957 WILLAMETTE FALLS DRIVE  
WEST LINN, OR 97068

BURROLD ZOBEL

2175 RIVER HEIGHT CRL  
WEST LINN OR 97069

Sally McHarty  
Bolton Neighborhood

Ruth Offer  
1831 Fifth Ave  
West Linn, OR 97068

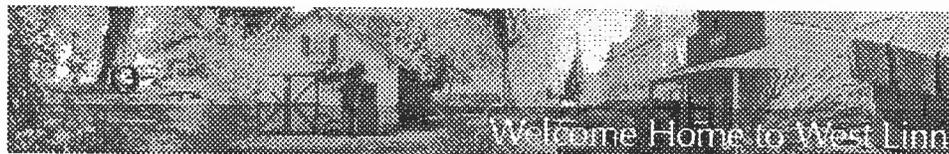


Contact HOME

PC-8

RESIDENTS BUSINESS DEPARTMENTS ABOUT MY WEST LINN

SEARCH



Neighborhoods

Home > Resident > Neighborhoods > Willamette > Minutes > 2008-09-10

Willamette Neighborhood Association

September 10, 2008, 7:00 PM

The meeting was called to order by president Beth Kieres at 7pm in the Pacific West Bank community room.

1. Attendance: Beth Kieres, Buffalo Zobel, Elizabeth Rocchia, Andy Rocchia, Linda Paige, Carol Yates, Shannen Knight, Julia Simpson, Keith Stuart, Karen Stuart, Ruth Offer, Gail Holmes.

2. Minutes from July 08: were unavailable to read and approve.

3. Treasurers Report: After introductions, the treasurer's report was given. The current balance in the WNA account is \$2273.90 with few expenses anticipated this coming year.

Committee Reports/Community news

Police/Fire Advisory Committee Report: No report from the Police or Fire Departments this month.

10th Street Traffic Task Force:

Background: Sometime during planning and construction of the new Willamette Marketplace, the city began exploring potential traffic solutions that were anticipated to occur at 8th and 10th streets. One decision made was that the developers were to provide a budget of \$800,000 to pay for the proposed traffic light for that location.

Current Events: The 10th Street Task Force met August 11th and Ruth Offer attended for WNA and reported that the businesses located on 8th were present at the meeting as well. During the meeting, ODOT claimed to own the 8th/10th intersection from a 1968 deed thus complicating the approval for installation of a traffic light at this intersection. The City is now looking into ODOT's claim. A multi-governmental agreement will be needed before any progress can occur. No other monies are available for traffic mitigation in this area.

Willamette Falls Historic District Application update:

Willamette Historic District application will be presented to the State Historic Review Board on Oct 9th. Ruth Offer is planning to attend the meeting. The next step will be the National Parks Board which oversees historic properties. Gail Holmes reported that funds for a consultant were matched with WL city funds. Ruth will go door to door to inform residents within the boundaries. There are multiple benefits to the designation; some tax advantages, benefits for home owners with historical home improvements, national recognition as a historical area and the pride that comes with this, special signage, and tourism benefits as well.

Planning Commission Activity:

Holiday Inn Express Hotel August 26th special meeting

Review/discussion:

The Holiday Inn Express made a presentation August 26th at the WL Library. Beth reviewed the highlights of the meeting and discussion followed. Height, signage, traffic, tree removal, wetland mitigation, and proximity to a grade school were issues discussed. The following motion was made, seconded and passed but not unanimously:

The WNA does not support the Holiday Inn Express application because of the following concerns:

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NEIGHBORHOODS

- BHT
- Bolton
- Hidden Springs
- Marylhurst
- Parker Crest
- Robinwood
- Rosemont Summit
- Skyline Ridge
- Sunset
- Tanner Basin
- Willamette
  - Agendas
  - Map
  - Minutes
    - 2008-06-11
    - 2008-07-09
    - 2008-09-10

CURRENT WEATHER



West Linn  
Overcast  
66.2 °F

CALENDAR EVENTS

- Parker Crest NA
  - Wed, 09/24/2008 7:00pm  
City Hall
- Robinwood Neighborhood Clean Up Day
  - Sat, 09/27/2008 9:00am - 12:00pm  
Robinwood Neighborhood
- Tanner Basin NA
  - Thu, 10/02/2008 7:00pm  
City Hall
- Sunset Neighborhood Clean Up Day
  - Sat, 10/04/2008 9:00am  
Sunset Park
- Willamette NA
  - Wed, 10/08/2008 7:00pm  
Pacific West Bank
- Rosemont Summit Neighborhood Clean Up Day
  - Sat, 10/11/2008 9:00am  
Rosemont Summit Neighborhood
- Robinwood NA
  - Tue, 10/14/2008 7:00pm

1. Feasibility of wetland mitigation by developer—discussions and feedback from area residents and professionals questioned that there were no other wetland areas that could be mitigated to balance out what will be filled in at the building site.
2. Preservation of the oak tree on the applicant's property—discussions from area residence supported keeping the tree and moving the building to keep it.
3. Proximity to the bus stop for young children and proximity to their school due to the transient nature of the motel clientele was a concern for some area residents and may require rerouting the school buses.
4. Variance requested for the height needed for a 4 story structure—discussions of residents did not support the additional height of the building over and above the code for esthetic reasons. It was also suggested the some additional screening from tree plantings in the divider between Willamette Falls Drive and the residential Willamette Falls Drive should be considered to help screen some of the homes facing the proposed hotel.
5. Inadequacy of parking spaces for the hotel and the adjacent lawyers' office parking agreement—this discrepancy of parking spaces to rooms seemed unusual and concerning to area residents. The hotel owners admitted to making an agreement with the neighboring law office to give them some of their required parking spaces in return for some of the property to fulfill their parking lot needs. So in essence, the parking lot needs of the hotel will not actually be met.
6. Apprehension for the preservation of the character of the Willamette district—some neighbors felt that the hotel at this particular location was more in the neighborhood and less in the town area. They questioned the success of the hotel because of the location.

It was requested that these minutes be sent to the Planning Commission.

**Willamette Centennial Committee:**

The final event; Willamette Living History Tour will take place Saturday September 20, 2008. Tickets are available at the Farmers Market look for Beth and Danny at the Centennial booth. Or, for more information please visit the website at [www.willamettecentennial.org](http://www.willamettecentennial.org) To order tickets, contact Danny Schreiber at 503-723-9688.

Addendum to committee report: The weekend of October 4th and 5th the Centennial committee is laying the Centennial Path in Willamette Park. This project was supported by the City and the Parks and Recreation department has excavated the path. James Manning, co-chair of the Centennial Committee, suggested the path as one final project to complete an amazingly fun and productive centennial celebration year for Willamette. Please note:

James solicited donations for all the bricks and organized volunteers for laying the path on the weekend of October 4th and 5th. Any local DIYers are welcome to call him and help out that weekend (503-655-4228 James' phone). The WNA will provide food and drinks for the group over the course of the two days. Any volunteers for food service are welcome to call me ( Beth 503-722-1531).

**Announcements:**

Lockfest: Saturday, September 13th at Willamette Falls.

Willamette Art Festival: Saturday September 13th and Sunday September 14th at Willamette Park, West Linn.

**Planter Clean up:**

Saturday, September 20th from 9-11 am.

Clackamas County Historic Review Board: will hold a public hearing on the request of Steve Tekander to present the remodeling of the Berlin Bear Restaurant at 1889 Willamette Falls Drive. The meeting is scheduled for September 24th in the Willamette conference Room at City Hall 22500 Salamo Road in West Linn.

Next WNA Meeting: October 8, 2008, starting at 7pm at Pacific West Bank in Willamette Marketplace. Current agenda items for

October: Renewal of funding for school operation ballot measure 3-307 Presented by: Michele Beyer,

- Emmanuel Presbyterian Church
- WEST LINN IN THE NEWS
  - Woman found dead in Willamette River near West Linn-Oregon City Bridge
  - County investigators seize \$300K in pot plants
  - Police Log
  - WL's new city recorder ready for busy election season
  - Lecture to focus on art of sundials
- more
- WEST LINN GARAGE SALES
  - WEST LINN GARAGE SALE
  - Yard Sale (West Linn) \$1
  - WEST LINN GARAGE SALE (West Linn)
- more
- FORMS, PERMITS, & APPLICATIONS
  - Clean Up Day Summary Form
- FORMS FOR RESIDENTS
  - Accident Reports
  - Alarm Permit
  - Business Licenses
  - Buy Pavers Willamette Falls Dr. & Willamette Park
  - Dog Licensing
- more
- RSS FEEDS
  - Newsletters
  - Press Releases
  - What's New
  - What is RSS and how do I use it?
- EMAIL SUBSCRIPTIONS
  - Weekly City News Update

87

West Linn Co-Chair Coalition for Excellent Schools, and introduction and discussion with city council candidates who attend. Invitations will be extended to them.

General comments: The block party was the best part of the Centennial celebration. Because of the great response and enthusiasm, it would be nice to repeat it annually.

Andy Rocchia suggested the WNA sponsor a forum of business and commercial property owners to discuss long range vision and goals for Willamette. With hard economic times upon us, rents rising and businesses closing or moving, the community needs to think about its future. A brainstorming session that could lead to a "Willamette Plan" would be helpful. Andy agreed to investigate the interest level in the community and the Chamber of Commerce.

The meeting adjourned at 8:45 pm.  
Respectfully submitted,  
Beth Kieres and Elizabeth Rocchia

---

< 2008-07-09

up

Printer-friendly version

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Contact Us

Employee Login

Privacy

Site designed by aHa Consulting

West Linn

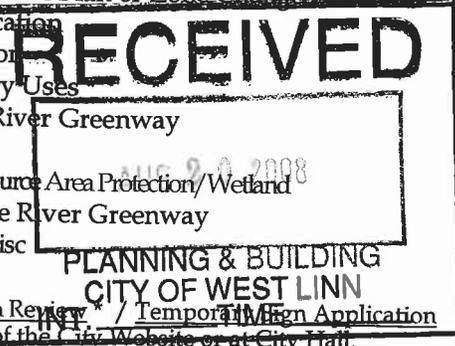
# DEVELOPMENT REVIEW APPLICATION

PC-9

ADD to  
JA-0806

TYPE OF REVIEW (Please check all boxes that apply):

- |                          |                                            |                                     |                                        |
|--------------------------|--------------------------------------------|-------------------------------------|----------------------------------------|
| <input type="checkbox"/> | Annexation                                 | <input type="checkbox"/>            | Non-Conforming Lots, Uses & Structures |
| <input type="checkbox"/> | Appeal and Review *                        | <input type="checkbox"/>            | One-Year Extension *                   |
| <input type="checkbox"/> | Conditional Use                            | <input type="checkbox"/>            | Planned Unit Development               |
| <input type="checkbox"/> | Design Review                              | <input type="checkbox"/>            | Pre-Application Meeting *              |
| <input type="checkbox"/> | Easement Vacation                          | <input type="checkbox"/>            | Quasi-Judicial Plan or Zone Change     |
| <input type="checkbox"/> | Extraterritorial Ext. of Utilities         | <input type="checkbox"/>            | Street Vacation                        |
| <input type="checkbox"/> | Final Plat or Plan                         | <input type="checkbox"/>            | Subdivision                            |
| <input type="checkbox"/> | Flood Plain Construction                   | <input type="checkbox"/>            | Temporary Uses                         |
| <input type="checkbox"/> | Hillside Protection and Erosion Control    | <input type="checkbox"/>            | Tualatin River Greenway                |
| <input type="checkbox"/> | Historic District Review                   | <input checked="" type="checkbox"/> | Variance                               |
| <input type="checkbox"/> | Legislative Plan or Change                 | <input type="checkbox"/>            | Water Resource Area Protection/Wetland |
| <input type="checkbox"/> | Lot Line Adjustment * / **                 | <input type="checkbox"/>            | Willamette River Greenway              |
| <input type="checkbox"/> | Minor Partition (Preliminary Plat or Plan) | <input type="checkbox"/>            | Other/Misc                             |



Home Occupation / Pre-Application / Sidewalk Use Application \* / Permanent Sign Review \* / Temporary Sign Application require individual application forms available in the forms and application section of the City Website or at City Hall.

TOTAL FEES/DEPOSIT \$ 900.00

\* No CD required / \*\* Only one copy needed

VIC PATEL

| OWNER'S                       | ADDRESS          | CITY     | ZIP   | PHONE(res.& bus.) |
|-------------------------------|------------------|----------|-------|-------------------|
| MIKE COYLE                    | 833 SE MAIN #242 | PORTLAND | 97214 | 503 680-5497      |
| APPLICANT'S                   | ADDRESS          | CITY     | ZIP   | PHONE(res.& bus.) |
| BRAD KALL / ELKINS ARCHITECTS |                  |          |       |                   |
| CONSULTANT                    | ADDRESS          | CITY     | ZIP   | PHONE             |

SITE LOCATION 2400 WILLAMETTE FALLS DRIVE

Assessor's Map No.: 21E35D, 21E35D Tax Lot(s): 2000 & 5300 Total Land Area: 61,045 sq ft  
~~3400 & 3500~~

- All application fees are non-refundable (excluding deposit).
- The owner/applicant or their representative should be present at all public hearings.
- A denial or grant may be reversed on appeal.. No permit will be in effect until the appeal period has expired.

4. **Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application. One (1) complete set of digital application materials must also be submitted on CD in PDF format.**

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application.

SIGNATURE OF PROPERTY OWNER(S)

X [Signature]

Date 8-19-08

SIGNATURE OF APPLICANT(S)

X \_\_\_\_\_

Date \_\_\_\_\_

BY SIGNING THIS APPLICATION, THE CITY IS AUTHORIZED REASONABLE ACCESS TO THE PROPERTY. ACCEPTANCE OF THIS APPLICATION DOES NOT INFER A COMPLETE SUBMITTAL. COMPLETENESS WILL BE DETERMINED WITHIN 30 DAYS OF SUBMITTAL.

PLANNING AND BUILDING; 22500 SALAMO RD #1000; WEST LINN, OR 97068; PHONE: 656-4211 FAX: 656-4106 89

CITY OF WEST LINN  
 22500 Salamo Rd.  
 West Linn, OR. 97068  
 (503) 656-4211

PLANNING RECEIPT  
 Receipt: # 933503  
 Date : 08/20/2008  
 Project: #VA-08-01  
 BY: JN

\*\*\*\*\*  
 NAME : VK NORTHWEST INC  
 ADDRESS : 12899 SE HAWKS CREST PL  
 CITY/STATE/ZIP: HAPPY VALLEY OR 97086  
 PHONE # : 680-5497

SITE ADD. : 2400 WILLAMETTE FALLS DR

\*\*\*\*\*  
 TYPE I HOME OCCUPATIONS HO \$  
 PRE-APPLICATIONS Level I ( ), Level II ( ) DR \$  
 HISTORIC REVIEW Residential Major ( ), Minor ( ), New ( ) DR \$  
 Commercial Major ( ), Minor ( ), New ( )  
 SIGN PERMIT Face ( ), Temporary ( ), Permanent ( ) DR \$  
 SIDEWALK USE PERMIT DR \$  
 APPEALS Plan. Dir. Dec. ( ), Subdivsion ( ), DR \$  
 Plan Comm./City Coun. ( ), Nbhd ( )  
 LOT LINE ADJUSTMENT LA \$  
 CITY/METRO BUSINESS LICENSE BL \$

\*\*\*\*\*  
 The following items are paid by billing against the up-front deposit estimate.  
 If the amount of time billed to your project exceeds the amount covered by the  
 deposit, additional payment may be required.

|                             |                                  |                       |          |           |
|-----------------------------|----------------------------------|-----------------------|----------|-----------|
| DESIGN REVIEW               | Class I ( ), Class II ( )        | RD                    | \$       |           |
| VARIANCE                    | Class I ( ), Class II (X)        | RD                    | \$       | 900.00    |
| SUBDIVISION                 | Standard ( ), Expedited ( )      | RD                    | \$       |           |
| ANNEXATION                  | "Does Not Include Election Cost" | RD                    | \$       |           |
| CONDITIONAL USE             |                                  | RD                    | \$       |           |
| ZONE CHANGE                 |                                  | RD                    | \$       |           |
| MINOR PARTITION             |                                  | RD                    | \$       |           |
| MISCELLANEOUS PLANNING      |                                  | RD                    | \$       |           |
| Boundry Adjustments         | ( )                              |                       |          |           |
| Modification to approval    | ( )                              | Water Resource        |          |           |
| Code Amendments             | ( )                              | Area Protection       | ( )      |           |
| Comp. Plan Amendments       | ( )                              | Street Vacations      | ( )      |           |
| Temporary Permit Admin.     | ( )                              | Easement Vacations    | ( )      |           |
| Temporary Permit Council    | ( )                              | Will. River Greenway  | ( )      |           |
| Flood Management            | ( )                              | Tualatin River Grwy.  | ( )      |           |
| Inter-Gov. Agreements N/C   | ( )                              | Street Name Change    | ( )      |           |
| Alter Non-Conforming Res.   | ( )                              | Code Interpretations  | ( )      |           |
| Alter Non-Conforming Comm.  | ( )                              | Type II Home Occ.     | ( )      |           |
| Measure 37 Claims           | ( )                              | Planned Unit Dev. PUD | ( )      |           |
| TOTAL REFUNDABLE DEPOSIT    |                                  | RD                    | \$       | 900.00    |
| GENERAL MISCELLANEOUS Type: |                                  | PM                    | \$       |           |
| *****                       |                                  |                       |          |           |
| TOTAL                       | Check # 1043                     | Credit Card ( )       | Cash ( ) | \$ 900.00 |

## 75.060 THE APPROVAL CRITERIA

The appropriate approval authority shall approve a variance request if all the following criteria are met and corresponding findings of fact prepared. The approval authority may impose appropriate conditions to ensure compliance with the criteria. The approval authority shall deny the variance if any of the criteria are not met.

1. Exceptional or extraordinary circumstances apply to the property which do not apply generally to other properties in the same zone or vicinity, and result from lot size or shape, legally existing prior to the date of this ordinance, topography, or other circumstances over which the applicant has no control.

**The removal of one significant tree is required due to the myriad of existing circumstances such as location of wetlands, existing culverts, and the long narrow site. The project has gone to extraordinary lengths to deal with the extraordinary conditions that exist on this site. The size of the existing tree is too large to be moved. Therefore, we will propose replant trees in addition to those required to mitigate the removal of this tree.**

2. The variance is necessary for the preservation of a property right of the applicant, which is substantially the same as a right possessed by owners of other property in the same zone or vicinity.

**This criteria is met in that not removing the tree will impose set backs from the tree reducing the optimal footprint of the building. The tree at this location will impose the same hardships upon the adjacent eastern property as it does the site in question.**

3. The authorization of the variance will not be materially detrimental to the purposes and standards of this Code, will not be inconsistent with all other regulatory requirements, and will not conflict with the goals and policies of the West Linn Comprehensive Plan.

**This criteria is met as one tree is proposed to be removed and news trees are to be planted as replacement on an inch by inch basis to mitigate the loss of said tree.**

4. The variance request is the minimum variance, which would alleviate the exceptional and extraordinary circumstance.

**This criteria is met as it requests only the removal of one (1) tree and will eliminate the hardships imposed by the tree's location.**

5. The exceptional and extraordinary circumstance does not arise from the violation of this ordinance.

No.

6. The variance will not impose physical limitations on other properties or uses in the area, and will not impose physical limitations on future use of neighboring vacant or underdeveloped properties as authorized by the underlying zoning classification.

**Approval of this variance will not impose limitations on neighboring properties.**

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RECEIVED

July 6-2008

PC-10

JUL - 7 2008

PLANNING & BUILDING  
CITY OF WEST LINN

INT. TIME

To the City of West Linn Planning Commission;

My husband & myself live at 2475 Willamette Falls Dr. directly across from the proposed hotel site requested by VKIW, Inc. We are both retired & my husband has owned this property for more than 28 yrs.

We strongly disapprove of the construction of a hotel - a 7-day a week - 24hr. business - on a year-round waterway wetland.

We have seen deer, nesting ducks & birds as well as other wildlife at this site.

The construction, use & increased traffic will definitely have a negative impact on the quality of life in that little wetland - as well as ours across from it.

That green space must surely help with the clean-air quality from the above freeway traffic & the already extreme amount of traffic on Willamette

Falls Dr.

It is our understanding that Westhinn + the state of Oregon are trying to preserve these places + we feel this building request should be denied!

Thank you,

Mr. + Mrs. Michael A. Boyd

PC-11

Soppe, Tom

**From:** Steve Elkins [steve@spe-architects.com]  
**Sent:** Wednesday, July 02, 2008 11:52 AM  
**To:** Soppe, Tom  
**Subject:** Fw: HIE Hotel - West Linn - Appeal Option (Discovered Tree)

----- Original Message -----

**From:** Steve Elkins  
**To:** Tom Soppe - West Linn  
**Cc:** Mike Coyle-Faster Permit ; Vic Patel  
**Sent:** Wednesday, July 02, 2008 10:38 AM  
**Subject:** HIE Hotel - West Linn - Appeal Option (Discovered Tree)

Tom,

This is the follow-up e-mail I said I would send on the voice mail I left you earlier this morning. It is in regards to appeal options available to us because of the newly discovered significant tree at the Northeast corner of the property, which may or may not be on our site.

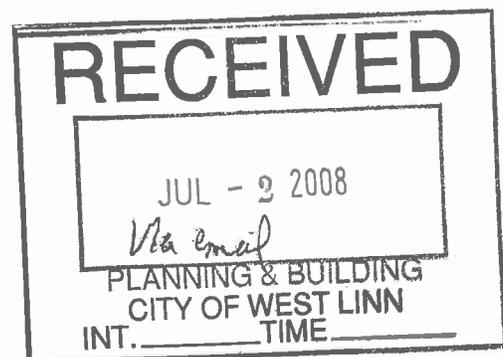
At this time we would like to ask to 'Postpone the Hearing' & 'Extent the 120 day Period' until we either determine that the tree is off site or a variance is applied for. Right now reworking the site plan and moving the building is not an option we want to explore. We will be in touch early next week to let you know how we plan on proceeding. Thank you very much for granting the request.

Steve

Steven P. Elkins, AIA  
Steven P. Elkins Architects Inc. P.S.  
11000 NE 33rd Place  
Suite #101  
Bellevue, WA 98004-1460  
Phone:425.827.3252  
Fax:425.889.9174



E-mail message checked by Spyware Doctor (5.5.1.322)  
Database version: 5.10160e  
<http://www.pctools.com/spyware-doctor/>



96

AFFIDAVIT OF NOTICE

We, the undersigned do hereby certify that, in the interest of the party (parties) initiating a proposed land use, the following took place on the dates indicated below:

GENERAL

File No. DR-08-01 Applicant's Name Vic Patel VKNW, Inc
Development Name Holiday Inn Express
Scheduled Meeting/Decision Date 7/16/08

NOTICE: Notices were sent at least 20 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check one below)

Type A X

- A. The applicant (date) 6-24-08 (signed) CB
B. Affected property owners (date) 6-24-08 (signed) CB
C. School District/Board (date) (signed)
D. Other affected gov't agencies (date) 6-24-08 (signed) CB
E. Affected neighborhood assns. (date) 6-24-08 (signed) CB
F. All parties to an appeal or review (date) (signed)

At least 10 days prior to the scheduled hearing or meeting, notice was published/posted:
Tidings (published date) 7/3/08 (signed) [Signature]
City's website (posted date) 6/25/08 (signed) [Signature]

Type B

- A. The applicant (date) (signed)
B. Affected property owners (date) (signed)
C. School District/Board (date) (signed)
D. Other affected gov't agencies (date) (signed)
E. Affected neighborhood assns. (date) (signed)

Notice was posted on the City's website at least 10 days prior to the scheduled hearing or meeting.
Date: (signed)

Type C

- A. The applicant (date) (signed)
B. Affected property owners (date) (signed)
C. Affected neighborhood associations (date) (signed)

Notice was posted on the City's website at least 10 days prior to the scheduled hearing or meeting.
Date: (signed)

SIGN

At least 10 days prior to the scheduled hearing, meeting or decision date, a sign was posted on the property per Section 99.080 of the Community Development Code.

(date) (signed)

STAFF REPORT mailed to applicant, City Council/Planning Commission and any other applicable parties 10 days prior to the scheduled hearing.

(date) (signed)

FINAL DECISION notice mailed to applicant, all other parties with standing, and, if zone change, the County surveyor's office.

(date) (signed)

**CITY OF WEST LINN  
PLANNING COMMISSION  
PUBLIC HEARING NOTICE  
FILE NO. DR-08-01/VAR-08-01/WAP-08-01**

The West Linn Planning Commission is scheduled to hold a public hearing, on **Wednesday, July 16, 2008, starting at 7:00 p.m.** in the Council Chambers of City Hall (located at 22500 Salamo Road, West Linn, OR,) to consider the request of VKNW, Inc. to construct a hotel at 2400-2450 Willamette Falls Drive, requiring Class II Design Review, a Water Resources Area Permit due to the presence of wetlands and a natural drainageway on the property, and a Class II Variance for the amount of square footage to be developed within the transition area for the wetlands and drainageway. The zoning is GC (General Commercial). The approval criteria for the Class II Design Review are contained in Community Development Code (CDC) Chapter 55. The approval criteria for the Water Resources Area Permit are contained in CDC Chapter 32. The approval criteria for the Class II Variance are contained in CDC Chapter 75. Approval or disapproval of the request by the Planning Commission will be based upon these criteria and these criteria only. At the hearing, it is important that comments relate specifically to the applicable criteria listed.

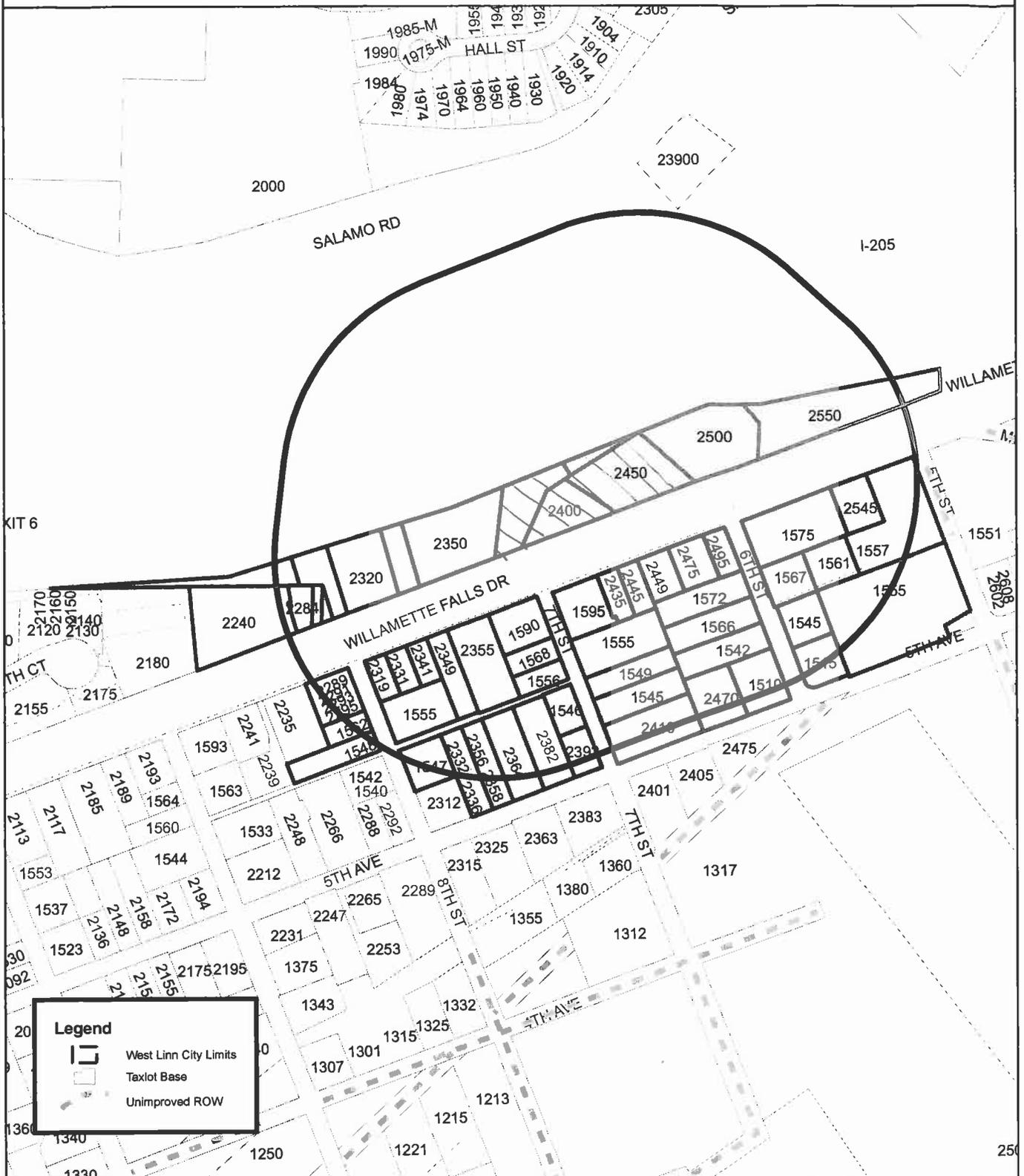
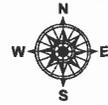
You have been notified of this proposal because County records indicate that you own property within 500 feet of the proposed site located at tax lots 3400 and 3500 of Clackamas County Assessor's Map 2-1E-35DD and tax lots 2000 and 5300 of Clackamas County Assessor's Map 2-1E-35D and/or as required by Chapter 99 of the West Linn Community Development Code.

The complete application in the above noted file is available for inspection at no cost, or copies can be obtained for a minimal charge per page. At least ten days prior to the hearing, a copy of the staff report will be available for inspection. For further information, please contact Tom Soppe, Associate Planner, at City Hall, 22500 Salamo Road, West Linn, OR 97068, or by email at [tsoppe@ci.west-linn.or.us](mailto:tsoppe@ci.west-linn.or.us), or by telephone at 503-742-8660.

The hearing will be conducted in accordance with the rules of Section 99.170 of the Community Development Code, adopted December 14, 1987, Ordinance 1129. Anyone wishing to present written testimony on this proposed action may do so in writing prior to, or at the public hearing. Oral testimony may be presented at the public hearing. At the public hearing, the Planning Commission will receive a staff report presentation from the City Planner; and invite both oral and written testimony. The Planning Commission may continue the public hearing to another meeting to obtain additional information, or close the public hearing and take action on the application. If a person submits evidence in support of the application, any party is entitled to request a continuance of the hearing. If there is no continuance granted at the hearing, any participant in the hearing may request that the record remain open for at least seven days after the hearing. Failure to raise an issue in person or by letter at some point prior to the close of the hearing, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes an appeal to the Land Use Board of Appeals (LUBA) based on that issue.

TERESA ZAK  
Planning Administrative Assistant

# DR-08-01 2400-2450 8th Avenue



**Legend**

-  West Linn City Limits
-  Taxlot Base
-  Unimproved ROW

This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information.

Taxlot Base Source: Clackamas County GIS

NOT TO SCALE



SNAPNOTIFY.MXD / APP 3-12-08

User Name: T Zak  
Map Creation Date: Jun 24, 2008

99

ALTENHOFEN GLORIA E  
675 N BAKER DR  
CANBY OR 97013

BLACK JOHN D & ATSUKO  
2349 WILLAMETTE FALLS DR  
WEST LINN OR 97068

BOYD MICHAEL A & PATRICIA LOU  
2475 WILLAMETTE FALLS DR  
WEST LINN OR 97068

BUNCAK LAUREL A  
1549 7TH ST  
WEST LINN OR 97068

CASSIDY SHARLA  
1580 6TH AVE  
WEST LINN OR 97068

CONTRERAS MANUEL JR  
1557 6TH ST  
WEST LINN OR 97068

DECKER STEPHEN K & SUSAN L  
2470 5TH AVE  
WEST LINN OR 97068

ELLIS RICHARD L  
282 NE 10TH AVE  
CANBY OR 97013

FLORES PABLO MERLO  
2382 5TH AVE  
WEST LINN OR 97068

FLYNN BARBARA JEANE  
1555 7TH ST  
WEST LINN OR 97068

FOELKER WILLIAM S & COLLEEN  
470 S TWILIGHT TRL  
WEST LINN OR 97068

FROUST BILL  
2331 WILLAMETTE FALLS DR  
WEST LINN OR 97068

GIDDINGS WAYNE COLIN &  
MELINDA M  
1290 SW SCHAEFFER RD  
WEST LINN OR 97068

GODFREY MATTHEW E  
1567 6TH ST  
WEST LINN OR 97068

HASS DELORES J  
2364 5TH AVE  
WEST LINN OR 97068

HAYWARD SALLI E  
3538 HARWICH DR  
CARLSBAD CA 92008

HAYWARD SALLI E TRUSTEE  
3538 HARWICH DR  
CARLSBAD CA 92008

HOGG GLENN R  
1572 6TH ST  
WEST LINN OR 97068

HOPP RUTH  
1546 7TH ST  
WEST LINN OR 97068

KELLEY BRYAN C & KATE L  
1561 6TH ST  
WEST LINN OR 97068

LAVITZ KENNETH S  
1547 8TH ST  
WEST LINN OR 97068

LEWIS ROBERT N & VIRGINIA L  
1566 6TH ST  
WEST LINN OR 97068

MARSH ANNA MARIE  
1555 8TH ST  
WEST LINN OR 97068

MARTUS MICHAEL A & JOAN A  
2410 5TH AVE  
WEST LINN OR 97068

MCMAHON ROBERT  
1515 6TH ST  
WEST LINN OR 97068

MCVICKER BRENDAN  
2990 BEACON HILL DR  
WEST LINN OR 97068

MOLES RANDY & KIMBERLY  
2341 WILLAMETTE FALLS DR  
WEST LINN OR 97068

MORRIS MICHAEL L & MARIA D  
1595 7TH ST  
WEST LINN OR 97068

OAKES JANIS  
2482 FAIRVIEW WAY  
COSTA MESA CA 92626

PATEL JAYANTI  
4512 SE 82ND  
PORTLAND OR 97266

PATEL VIPUL  
12700 SE MCLOUGHLIN BLVD  
MILWAUKIE OR 97222

PELUSO JENNIFER R  
1610 ASH ST  
LAKE OSWEGO OR 97034

QUINN DENNIS K & RITA A  
1590 7TH ST  
WEST LINN OR 97068

RALPH D MCDOWELL LLC  
3200 SABO LN  
WEST LINN OR 97068

REMINGTON DAVID G & JOYCE  
2355 WILLAMETTE FALLS DR  
WEST LINN OR 97068

RICHMOND J MICHAEL & DANA S  
7400 SW LAKESIDE LOOP  
WILSONVILLE OR 97070

SALARIE MARZIE  
19432 WILDERNESS DR  
WEST LINN OR 97068

SATTER NATHAN P & ELISSA D  
1545 7TH ST  
WEST LINN OR 97068

SCHULTZ LUKE & JENNY  
2435 WILLAMETTE FALLS DR  
WEST LINN OR 97068

SHROCK LOREN E & BETTY JEAN  
11990 RIVERVIEW LN  
WILSONVILLE OR 97070

STATE OF OREGON  
417 TRANSPORTATION BLDG  
SALEM OR 97310

STUART KEITH P & KAREN K  
1542 6TH ST  
WEST LINN OR 97068

TIN GEORGE TRUSTEE  
7020 JULIE LN  
SAN GABRIEL CA 91775

US WEST COMMUNICATIONS  
6300 S SYRACUSE WAY #700N  
ENGLEWOOD CO 80111

VANDERHOFF KENNETH J  
23510 SW STAFFORD RD  
TUALATIN OR 97062

WAGGONER THOMAS E &  
JENNIFER L  
1568 7TH ST  
WEST LINN OR 97068

WAGNER MICHAEL WILLIAM  
1575 6TH ST  
WEST LINN OR 97068

WEST LINN LAW CENTER LLC  
26188 S GELBRICH RD  
CANBY OR 97013

WOLF KIMBERLY A  
2392 5TH AVE  
WEST LINN OR 97068

WONG STEVEN  
4260 GALEWOOD ST STE B  
LAKE OSWEGO OR 97035

WILLAMETTE N/A + ALL

DALE GULLIFORD JR./SCHOTT &  
P.O. BOX 589  
AURORA OR 97002

STEVEN P. ELKINS ARCHITECTS  
11000 NE 33RD PL. STE: 101  
BELLEVUE WA 98004

MIKE COYLE /FASTER PERMITS  
833 SE MAIN ST, # 242  
PORTLAND OR 97214

FRAN PEAKE  
1027 SNIDOW DRIVE  
WEST LINN OR 97068

DIVISION OF STATE LANDS/  
TAMI HUBERT  
775 SUMMER ST. NE  
SALEM OR 97301

US CORP. OF ENGINEERS/  
BILL DAVIS  
P.O. BOX 2946  
PORTLAND OR 97208

ODOT REGION 1/SONYA KAZEN  
123 NW FLANDERS  
PORTLAND OR 97209

TRI-MET/ MIKE KISER  
710 NE HOLLADAY  
PORTLAND OR 97232



**MAILED**  
6/9/08

*Planning and Building*

June 9, 2008

Vic Patel  
VKNW, Inc.  
12700 SE McLoughlin Blvd.  
Milwaukie, OR 97222

SUBJECT: DR-08-01/WAP-08-01/VAR-08-01

Dear Mr. Patel:

As requested, the application completeness was "stayed" as of the request on June 3 until the time the revised site plan was submitted on June 5. Therefore the 120-day clock has started on June 5, 2008, meaning that now the City must exhaust all local review by October 3, 2008. You are still tentatively scheduled for a hearing in front of the Planning Commission on July 16, 2008.

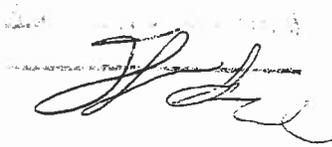
Please continue to be aware of the following issues (not related to completeness) as also described in the original completeness letter of May 28:

- Please provide 11 x 17 or smaller copies of everything that has been submitted at 24 x 36 only, as it will prevent staff from having to spend time scanning the 24 x 36s (staff time charged to your deposit).
- The water line will be required to be built to be able to eventually loop to 8<sup>th</sup> Court to the west, but is not required to be looped now.
- It is possible that no paving of the street will be needed, only the curb, gutter, sidewalk, and planter/raingarden strip.
- Sidewalk will have to be connected to existing sidewalk to the east, can be "blended" in the transition area if the sidewalk to the east is a different size.
- Lighting may have to be put in the raingarden strip by the street.
- You will be required to replace the driveway culvert with an open bottom box culvert that meets existing grade.

Please contact me if there are any questions, at [tsoppe@ci.west-linn.or.us](mailto:tsoppe@ci.west-linn.or.us) or 503-742-8660.

102

Sincerely,



Tom Soppe  
Associate Planner

- c: Mike Coyle, Faster Permits, 833 SE Main #242, Portland, OR 97214
- c: Dale Gulliford, Jr., Schott & Associates, Inc., P.O. Box 589 Aurora, OR 97002
- c: Steven P. Elkins, Steven P. Elkins Architects, Inc. P.S., 11000 NE 33<sup>rd</sup> Place, Ste. 101, Bellevue, WA 98004

p:/devrvw/completeness check/compl-2-DR-08-01

PC-15

**Brown, Bryan**

**From:** Mike Coyle [mike@fasterpermits.com]  
**Sent:** Thursday, June 05, 2008 11:28 AM  
**To:** Brown, Bryan  
**Cc:** Brad Kaul; Vic Patel (private); Steve Elkins Office  
**Subject:** Re: dr-08-01- Holiday Inn Express

rec'd 6-5-08

Good morning Bryan,

I have just delivered the revisions to the site plan as discussed below. Please look for them in your office and let us all know if the clock can officially start at this time.

Thanks,

Mike Coyle

=====  
Faster Permits is MOBILE!

On Jun 4, 2008, at 4:47 PM, "Brown, Bryan" <[BBrown@ci.west-linn.or.us](mailto:BBrown@ci.west-linn.or.us)> wrote:

Brad,

Thank you for communicating your desire in writing. It would probably be best if we could morph and interpret your request to be an agreement for a "waiver of the start clock for the 120 day review period between the date Tom declared your application complete and when you submit your revised site plan addressing the needed additional Class II variance". If this understanding is agreeable please acknowledge as such and we will "stay" starting the clock until we have everything we need for the additional application as well. Thanks.

Bryan

---

**From:** Brad Kaul [mailto:[bradkaul@spe-architects.com](mailto:bradkaul@spe-architects.com)]  
**Sent:** Tuesday, June 03, 2008 3:24 PM - Rec'd 6-3-08  
**To:** Brown, Bryan  
**Cc:** Mike; Vic Patel (private); Steve Elkins Office  
**Subject:** dr-08-01- Holiday Inn Express

104

6/9/2008

Bryan,

In regards to the Design Review for the Holiday Inn Express, Tom Soppe asked that I send you a note if I wish to "Stay" completeness.

Yes, please Stay completeness and I will get you an updated site plan and other information as discussed. You should receive the revised site plan by the end of this week.

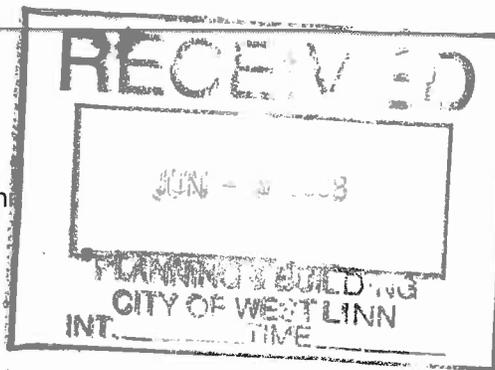
Thanks,

Brad Kaul, AIA  
Steven P. Elkins Architects  
11000 NE 33rd Place, Suite #101

105

**Hinkley, Dean**

**From:** Mike Coyle [mike@fasterpermits.com]  
**Sent:** Wednesday, June 04, 2008 2:48 PM  
**To:** dhinkley@ci.portland.or.us  
**Subject:** Please print 1 copy of each Fwd: West Linn



----- Forwarded message -----

**From:** Brad Kaul <bradkaul@spe-architects.com>  
**Date:** Wed, Jun 4, 2008 at 3:40 PM  
**Subject:** West Linn  
**To:** Mike <mike@fasterpermits.com>  
**Cc:** "Vic Patel (private)" <vcp16@hotmail.com>, TIMOTHY TURNER <trtlwt@worldnet.att.net>, dale@schottandassociates.com, Steve Elkins Office <steve.e@spe-architects.com>

Mike,

Attached is a revised site plan. I think I have addressed all of the site plan issues that the planning department had in their latest letter. Here is a summary:

1) Chapter 46, Off-Street Parking and Loading- 46.070(B) parking within 200 feet-  
- We are required to have 1 stall per hotel unit. we have 70 units therefore 70 stalls are required. The city will allow for a 10% reduction in the parking requirements since we are near a transit stop (per Mike Coyle's e-mail to me 5/23/08). Therefore, we are required to provide a minimum of 63 parking stalls. We have more than 63 parking stalls, however, all 63 parking stalls that are required are within 200 feet of the building (As shown on the revised site plan).

2) 46.130 Off-Street Loading Spaces

- I have provided a 14' x 20' loading space as suggested in the e-mail from Mike on 5/23/08.

3) 46.150(A)(1)

- I have removed all overhanging parking issues. I have achieved this in a few different ways. First, I moved the parking area to the south 2 feet. Second, I removed some internal landscaping which we have ample to meet the landscape requirements. This makes our parking area slightly bigger.

Mike,

Can you take this site plan, have it printed, and resubmit for completeness and get recommendation for approval.

Brad Kaul, AIA  
Steven P. Elkins Architects  
11000 NE 33rd Place, Suite #101  
Bellevue, WA 98004  
P:425-827-3252  
F:425-889-9174

--  
MIKE COYLE | Manager

FASTER PERMITS  
mike@fasterpermits.com

106



PC-16

May 28, 2008

Vic Patel  
VKNW, Inc.  
12700 SE McLoughlin Blvd.  
Milwaukie, OR 97222

SUBJECT: DR-08-01/WAP-08-01/VAR-08-01

Dear Mr. Patel:

You resubmitted materials for this application on May 21, 2008. The Planning and Engineering departments find the application complete. Pursuant to Oregon Revised Statutes Chapter 227.178, the city is obliged to exhaust all local review by September 18, 2008, including any potential appeal of the director's decision to the West Linn City Council. The application has been scheduled for a Planning Commission hearing on July 16, 2008.

Although the application can be considered complete in its current form, staff has identified three issues that would cause a recommendation of denial to Planning Commission unless the site plan is changed to conform to code regarding these issues, or unless you submit findings responding to variance criteria 75.060(1 through 6). These three issues are all related to Community Development Code (CDC) Chapter 46, Off-Street Parking and Loading, which a Class II Design Review application such as this one must meet the provisions of per CDC 55.100(A)(7).

One of the three issues is the requirement of 46.070(B) that parking be within 200 feet of the building. Some of the proposed parking lot would be farther than 200 feet from the building if the current site plan were developed, and the exceptions in 46.070(B) for this are not applicable either. The second issue involves 46.130 Off-Street Loading Spaces. As an application for a hotel with between 10,000 and 100,000 square feet, the application is required to provide for one loading berth per this section, and none is provided. The third issue involves 46.150(A)(1). This outlines sizing requirements for standard and compact parking spaces. The parking spaces provided on your site plans are two feet shorter than these requirements for both the compact and standard spaces proposed. Notations on the site plans reference that two feet of overhang onto the landscaped area is utilized to make up for this, but staff cannot find anywhere in the code where the landscaped area is allowed to count for part of the required parking space dimensions.

These findings in response to 75.060(1 through 6) should explain your position as to why these deviations from code are justified per these variance criteria. As this constitutes two further variances and each variance after the first is half price, you should submit a total of \$1800 and another Development Review Application form with "variance" checked, when/if you submit these findings.

Staff recommends that you “stay” completeness of this application until you submit either a revised site plan or submit these additional variances – otherwise the time requirements of ORS 227.178 force us to take this application forward to the Planning Commission as submitted with a recommendation of denial. Once you have submitted the revised or additional materials your application can once again be declared complete and move forward to a hearing, hopefully with a staff recommendation of approval. If you agree to “stay” completeness of this application pending submittal of additional information, please provide written confirmation of this to Bryan Brown at the Planning Department address or his email address below by June 3, 2008.

Please also be aware of the following issues (not related to completeness or the variances):

- Please provide 11 x 17 or smaller copies of everything that has been submitted at 24 x 36 only, as it will prevent staff from having to spend time scanning the 24 x 36s (staff time charged to your deposit).
- The water line will be required to be built to be able to eventually loop to 8<sup>th</sup> Court to the west, but is not required to be looped now.
- It is possible that no paving of the street will be needed, only the curb, gutter, sidewalk, and planter/raingarden strip.
- Sidewalk will have to be connected to existing sidewalk to the east, can be “blended” in the transition area if the sidewalk to the east is a different size.
- Lighting may have to be put in the raingarden strip by the street.
- You will be required to replace the driveway culvert with an open bottom box culvert that meets existing grade.

I will be out of the office until June 9, so please contact Mr. Brown for other questions as well. He can be reached at 503-723-2524 or [bbrown@ci.west-linn.or.us](mailto:bbrown@ci.west-linn.or.us).

Sincerely,

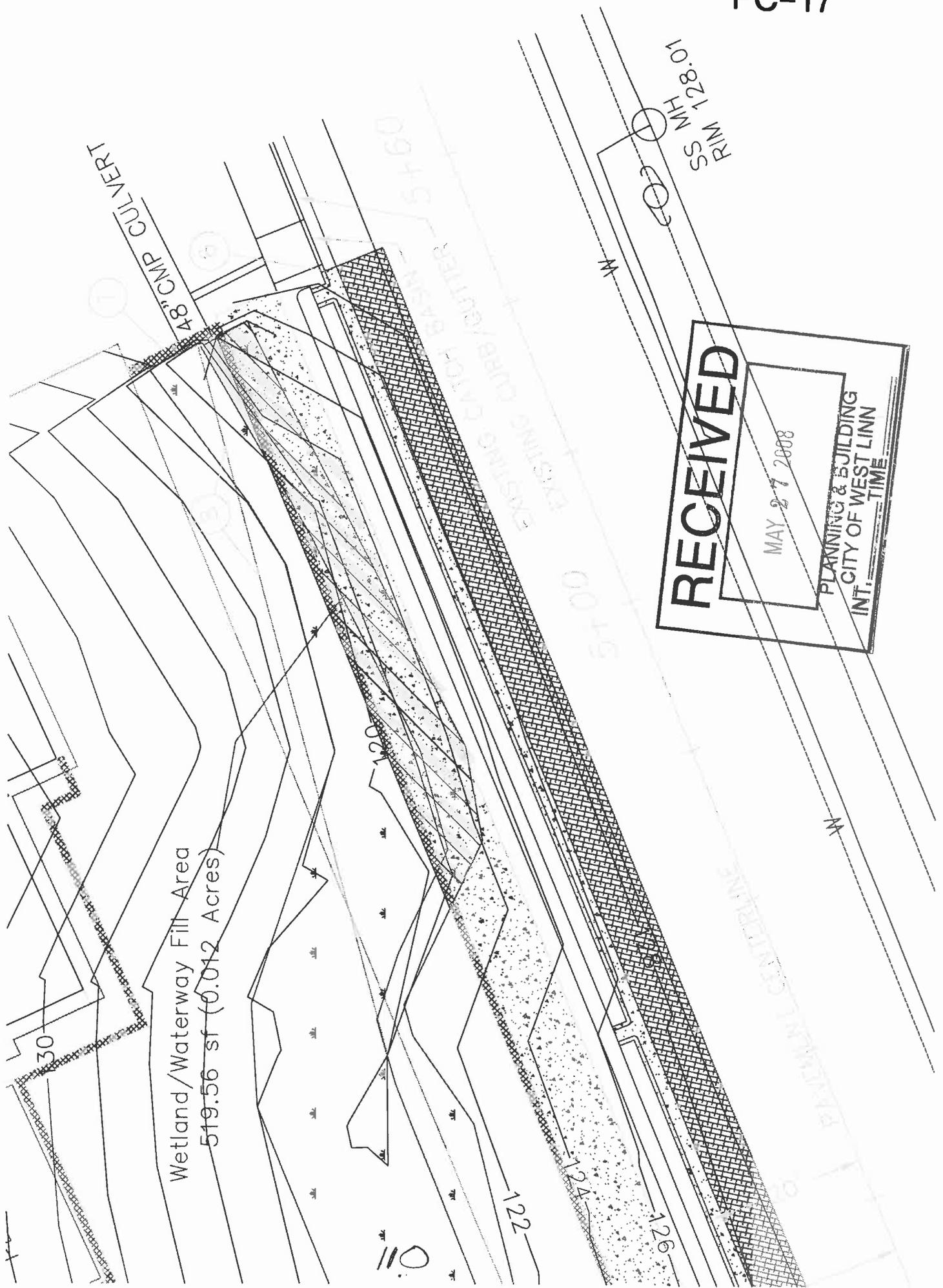
Tom Soppe  
Associate Planner

c: Mike Coyle, Faster Permits, 833 SE Main #242, Portland, OR 97214

c: Dale Gulliford, Jr., Schott & Associates, Inc., P.O. Box 589 Aurora, OR 97002

c: Steven P. Elkins, Steven P. Elkins Architects, Inc. P.S., 11000 NE 33<sup>rd</sup> Place, Ste. 101, Bellevue, WA 98004

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**RECEIVED**

MAY 27 2008

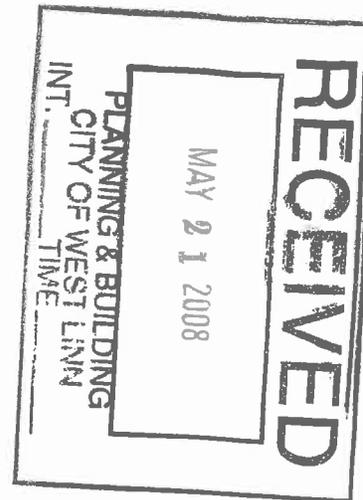
PLANNING & BUILDING  
INT. CITY OF WEST LINN  
TIME

HOLIDAY INN EXPRESS MOTEL  
WILLAMETTE FALLS DRIVE  
WEST LINN, OREGON

STORMWATER DRAINAGE CALCULATIONS

The attached calculations were prepared May 17, 2008 by:

Timothy R. Turner, P.E.  
TRT Engineering, Inc.  
2636 SE Market  
Portland, Oregon 97214



Two separate proposed drainage systems will handle runoff from the motel roof and adjacent parking lots and the public street improvements along the site frontage. On-site roof runoff will be routed to a planter box. High flow runoff from the box will be piped to on-site detention and treatment facilities. Parking lot runoff will be routed through the same detention and treatment facilities prior to discharge to the existing stream. Runoff from the public street along the site frontage will be collected in new curb and gutter and diverted through curb cuts to an infiltration rain garden to be located between the curb and sidewalk. High flow bypass from the rain garden will flow to an existing catch basin located at the east end of the site frontage. The drainage facilities were designed to handle up to the 100-year, 24-hour storm event. The drainage system was modeled with HydroCad version 8.00 program (see attached printouts).

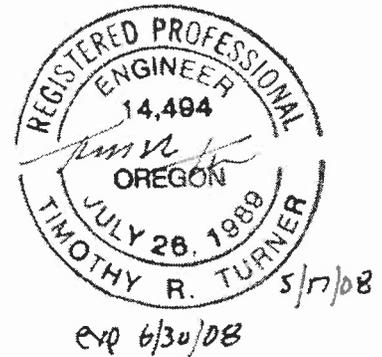
An assumed soil infiltration rate of 2 inches per hour was used for design of the planter box and 0.75 inches per hour for the rain garden. The design rainfalls for the treatment, 10-year and 100-year events are 0.83, 3.40, and 4.40 inches, respectively. The detention facility was sized so the post-development peak runoff rates do not exceed the pre-development rates. Following is summary of modeling results.

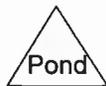
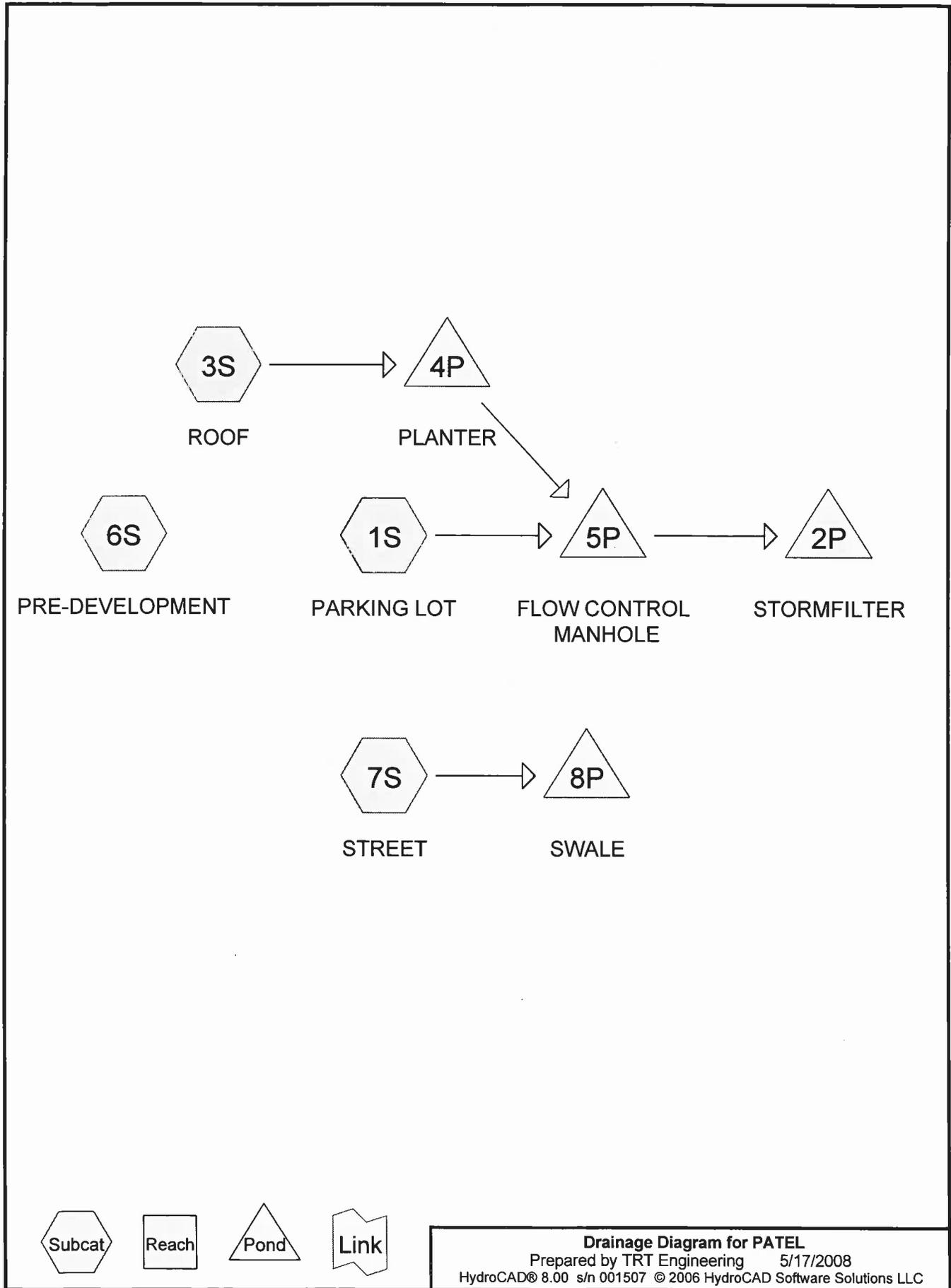
On-site

| Storm Event | Pre-development Peak runoff (cfs) | Post-development Peak runoff (cfs) |
|-------------|-----------------------------------|------------------------------------|
| Treatment   | 0.00                              | 0.04                               |
| 10-year     | 0.19                              | 0.19                               |
| 100-year    | 0.32                              | 0.32                               |

Street

| Storm Event | Peak flowrate (cfs) | Peak discharge to catch basin |
|-------------|---------------------|-------------------------------|
| Treatment   | 0.02                | 0.00                          |
| 10-year     | 0.18                | 0.00                          |
| 100-year    | 0.24                | 0.03                          |





**Drainage Diagram for PATEL**  
 Prepared by TRT Engineering 5/17/2008  
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**Area Listing (all nodes)**

| <u>Area (acres)</u> | <u>CN</u> | <u>Description (subcats)</u>         |
|---------------------|-----------|--------------------------------------|
| 0.589               | 79        | 50-75% Grass cover, Fair, HSG C (6S) |
| 0.880               | 98        | (1S,3S)                              |
| 0.223               | 98        | PAVEMENT (7S)                        |
| <hr/>               |           |                                      |
| 1.692               |           |                                      |

Time span=0.00-24.00 hrs, dt=0.03 hrs, 801 points

Runoff by SCS TR-20 method, UH=SCS

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

**Subcatchment 1S: PARKING LOT**

Runoff Area=25,660 sf Runoff Depth>3.16"  
Tc=5.0 min CN=98 Runoff=0.48 cfs 0.155 af

**Subcatchment 3S: ROOF**

Runoff Area=12,680 sf Runoff Depth>3.16"  
Tc=5.0 min CN=98 Runoff=0.24 cfs 0.077 af

**Subcatchment 6S: PRE-DEVELOPMENT**

Runoff Area=25,660 sf Runoff Depth>1.48"  
Tc=10.0 min CN=79 Runoff=0.19 cfs 0.073 af

**Subcatchment 7S: STREET**

Runoff Area=9,720 sf Runoff Depth>3.16"  
Tc=5.0 min CN=98 Runoff=0.18 cfs 0.059 af

**Pond 2P: STORMFILTER**

Inflow=0.19 cfs 0.149 af  
Primary=0.19 cfs 0.149 af

**Pond 4P: PLANTER**

Peak Elev=0.75' Storage=0.013 af Inflow=0.24 cfs 0.077 af  
Discarded=0.04 cfs 0.065 af Primary=0.07 cfs 0.008 af Outflow=0.11 cfs 0.073 af

**Pond 5P: FLOW CONTROL MANHOLE**

Peak Elev=129.17' Storage=0.041 af Inflow=0.48 cfs 0.164 af  
Outflow=0.19 cfs 0.149 af

**Pond 8P: SWALE**

Peak Elev=127.89' Storage=0.016 af Inflow=0.18 cfs 0.059 af  
Discarded=0.04 cfs 0.054 af Primary=0.00 cfs 0.000 af Outflow=0.04 cfs 0.054 af

**Total Runoff Area = 1.692 ac Runoff Volume = 0.364 af Average Runoff Depth = 2.58"**  
**34.81% Pervious Area = 0.589 ac 65.19% Impervious Area = 1.103 ac**

**Subcatchment 1S: PARKING LOT**

Runoff = 0.48 cfs @ 7.86 hrs, Volume= 0.155 af, Depth> 3.16"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs  
Type IA 24-hr 10-YEAR Rainfall=3.40"

| Area (sf) | CN | Description     |
|-----------|----|-----------------|
| 25,660    | 98 |                 |
| 25,660    |    | Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description               |
|----------|---------------|---------------|-------------------|----------------|---------------------------|
| 5.0      |               |               |                   |                | Direct Entry, PARKING LOT |

**Subcatchment 3S: ROOF**

Runoff = 0.24 cfs @ 7.86 hrs, Volume= 0.077 af, Depth> 3.16"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs  
Type IA 24-hr 10-YEAR Rainfall=3.40"

| Area (sf) | CN | Description     |
|-----------|----|-----------------|
| 12,680    | 98 |                 |
| 12,680    |    | Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description        |
|----------|---------------|---------------|-------------------|----------------|--------------------|
| 5.0      |               |               |                   |                | Direct Entry, ROOF |

**Subcatchment 6S: PRE-DEVELOPMENT**

Runoff = 0.19 cfs @ 8.03 hrs, Volume= 0.073 af, Depth> 1.48"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs  
Type IA 24-hr 10-YEAR Rainfall=3.40"

| Area (sf) | CN | Description                     |
|-----------|----|---------------------------------|
| 25,660    | 79 | 50-75% Grass cover, Fair, HSG C |
| 25,660    |    | Pervious Area                   |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description   |
|----------|---------------|---------------|-------------------|----------------|---------------|
| 10.0     |               |               |                   |                | Direct Entry, |

**Subcatchment 7S: STREET**

Runoff = 0.18 cfs @ 7.86 hrs, Volume= 0.059 af, Depth> 3.16"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs  
Type IA 24-hr 10-YEAR Rainfall=3.40"

| Area (sf) | CN | Description     |
|-----------|----|-----------------|
| 9,720     | 98 | PAVEMENT        |
| 9,720     |    | Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description   |
|----------|---------------|---------------|-------------------|----------------|---------------|
| 5.0      |               |               |                   |                | Direct Entry, |

**Pond 2P: STORMFILTER**

Inflow Area = 0.880 ac, Inflow Depth > 2.03" for 10-YEAR event  
 Inflow = 0.19 cfs @ 8.93 hrs, Volume= 0.149 af  
 Primary = 0.19 cfs @ 8.93 hrs, Volume= 0.149 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs

**Pond 4P: PLANTER**

Inflow Area = 0.291 ac, Inflow Depth > 3.16" for 10-YEAR event  
 Inflow = 0.24 cfs @ 7.86 hrs, Volume= 0.077 af  
 Outflow = 0.11 cfs @ 8.31 hrs, Volume= 0.073 af, Atten= 54%, Lag= 27.3 min  
 Discarded = 0.04 cfs @ 4.80 hrs, Volume= 0.065 af  
 Primary = 0.07 cfs @ 8.31 hrs, Volume= 0.008 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs  
 Peak Elev= 0.75' @ 8.31 hrs Surf.Area= 0.018 ac Storage= 0.013 af

Plug-Flow detention time= 138.8 min calculated for 0.073 af (95% of inflow)  
 Center-of-Mass det. time= 102.6 min ( 764.6 - 661.9 )

| Volume | Invert | Avail.Storage | Storage Description                  |
|--------|--------|---------------|--------------------------------------|
| #1     | 0.00'  | 0.036 af      | 28.00'W x 28.00'L x 2.00'H Prismatic |

| Device | Routing   | Invert | Outlet Devices                                          |
|--------|-----------|--------|---------------------------------------------------------|
| #1     | Discarded | 0.00'  | 2.000 in/hr Exfiltration over Horizontal area           |
| #2     | Primary   | 0.67'  | 4.0" Horiz. Orifice/Grate Limited to weir flow C= 0.600 |

Discarded OutFlow Max=0.04 cfs @ 4.80 hrs HW=0.02' (Free Discharge)  
 1=Exfiltration (Exfiltration Controls 0.04 cfs)

Primary OutFlow Max=0.07 cfs @ 8.31 hrs HW=0.75' (Free Discharge)  
 2=Orifice/Grate (Weir Controls 0.07 cfs @ 0.90 fps)

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**Pond 5P: FLOW CONTROL MANHOLE**

Inflow Area = 0.880 ac, Inflow Depth > 2.23" for 10-YEAR event  
 Inflow = 0.48 cfs @ 7.86 hrs, Volume= 0.164 af  
 Outflow = 0.19 cfs @ 8.93 hrs, Volume= 0.149 af, Atten= 59%, Lag= 64.2 min  
 Primary = 0.19 cfs @ 8.93 hrs, Volume= 0.149 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs  
 Peak Elev= 129.17' @ 8.93 hrs Surf.Area= 0.021 ac Storage= 0.041 af

Plug-Flow detention time= 192.7 min calculated for 0.148 af (91% of inflow)  
 Center-of-Mass det. time= 126.8 min ( 783.4 - 656.6 )

| Volume | Invert  | Avail.Storage | Storage Description                          |
|--------|---------|---------------|----------------------------------------------|
| #1     | 126.80' | 0.066 af      | <b>48.0"D x 228.00'L Horizontal Cylinder</b> |

| Device | Routing  | Invert  | Outlet Devices                                                                                                                 |
|--------|----------|---------|--------------------------------------------------------------------------------------------------------------------------------|
| #1     | Primary  | 126.80' | <b>8.0" x 4.0' long Culvert</b> CMP, square edge headwall, Ke= 0.500<br>Outlet Invert= 126.70' S= 0.0250 '/ Cc= 0.900 n= 0.013 |
| #2     | Device 1 | 126.80' | <b>1.5" Horiz. Orifice/Grate</b> Limited to weir flow C= 0.600                                                                 |
| #3     | Device 1 | 128.80' | <b>2.8" Vert. Orifice/Grate</b> C= 0.600                                                                                       |
| #4     | Device 1 | 131.60' | <b>8.0" Horiz. Orifice/Grate</b> Limited to weir flow C= 0.600                                                                 |

**Primary OutFlow Max=0.19 cfs @ 8.93 hrs HW=129.17' (Free Discharge)**

- 1=Culvert (Passes 0.19 cfs of 2.40 cfs potential flow)
- 2=Orifice/Grate (Orifice Controls 0.09 cfs @ 7.41 fps)
- 3=Orifice/Grate (Orifice Controls 0.10 cfs @ 2.42 fps)
- 4=Orifice/Grate ( Controls 0.00 cfs)

**Pond 8P: SWALE**

Inflow Area = 0.223 ac, Inflow Depth > 3.16" for 10-YEAR event  
 Inflow = 0.18 cfs @ 7.86 hrs, Volume= 0.059 af  
 Outflow = 0.04 cfs @ 10.22 hrs, Volume= 0.054 af, Atten= 79%, Lag= 141.8 min  
 Discarded = 0.04 cfs @ 10.22 hrs, Volume= 0.054 af  
 Primary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs  
 Peak Elev= 127.89' @ 10.22 hrs Surf.Area= 0.049 ac Storage= 0.016 af

Plug-Flow detention time= 209.6 min calculated for 0.054 af (91% of inflow)  
 Center-of-Mass det. time= 145.5 min ( 807.4 - 661.9 )

| Volume | Invert  | Avail.Storage | Storage Description                               |
|--------|---------|---------------|---------------------------------------------------|
| #1     | 127.44' | 0.026 af      | <b>2.00'W x 452.00'L x 0.64'H Prismatic Z=3.0</b> |

| Device | Routing   | Invert  | Outlet Devices                                                                                                              |
|--------|-----------|---------|-----------------------------------------------------------------------------------------------------------------------------|
| #1     | Primary   | 127.94' | <b>1.5' long (Profile 1) Broad-Crested Rectangular Weir</b><br>Head (feet) 0.49 0.98 1.48<br>Coef. (English) 2.92 3.37 3.59 |
| #2     | Discarded | 0.00'   | <b>0.750 in/hr Exfiltration over Surface area</b>                                                                           |

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**PATEL**

Prepared by TRT Engineering

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Type IA 24-hr 10-YEAR Rainfall=3.40"

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**Discarded OutFlow** Max=0.04 cfs @ 10.22 hrs HW=127.89' (Free Discharge)  
↳2=Exfiltration (Exfiltration Controls 0.04 cfs)

**Primary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=127.44' (Free Discharge)  
↳1=Broad-Crested Rectangular Weir ( Controls 0.00 cfs)

Time span=0.00-24.00 hrs, dt=0.03 hrs, 801 points

Runoff by SCS TR-20 method, UH=SCS

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

**Subcatchment 1S: PARKING LOT**

Runoff Area=25,660 sf Runoff Depth>4.16"  
Tc=5.0 min CN=98 Runoff=0.62 cfs 0.204 af

**Subcatchment 3S: ROOF**

Runoff Area=12,680 sf Runoff Depth>4.16"  
Tc=5.0 min CN=98 Runoff=0.31 cfs 0.101 af

**Subcatchment 6S: PRE-DEVELOPMENT**

Runoff Area=25,660 sf Runoff Depth>2.28"  
Tc=10.0 min CN=79 Runoff=0.32 cfs 0.112 af

**Subcatchment 7S: STREET**

Runoff Area=9,720 sf Runoff Depth>4.16"  
Tc=5.0 min CN=98 Runoff=0.24 cfs 0.077 af

**Pond 2P: STORMFILTER**

Inflow=0.32 cfs 0.205 af  
Primary=0.32 cfs 0.205 af

**Pond 4P: PLANTER**

Peak Elev=0.89' Storage=0.016 af Inflow=0.31 cfs 0.101 af  
Discarded=0.04 cfs 0.067 af Primary=0.20 cfs 0.025 af Outflow=0.23 cfs 0.092 af

**Pond 5P: FLOW CONTROL MANHOLE**

Peak Elev=130.02' Storage=0.057 af Inflow=0.79 cfs 0.229 af  
Outflow=0.32 cfs 0.205 af

**Pond 8P: SWALE**

Peak Elev=127.98' Storage=0.020 af Inflow=0.24 cfs 0.077 af  
Discarded=0.04 cfs 0.062 af Primary=0.03 cfs 0.005 af Outflow=0.07 cfs 0.067 af

**Total Runoff Area = 1.692 ac Runoff Volume = 0.494 af Average Runoff Depth = 3.51"**  
**34.81% Pervious Area = 0.589 ac 65.19% Impervious Area = 1.103 ac**

**Subcatchment 1S: PARKING LOT**

Runoff = 0.62 cfs @ 7.86 hrs, Volume= 0.204 af, Depth> 4.16"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs  
Type IA 24-hr 100-YEAR Rainfall=4.40"

| Area (sf) | CN | Description     |
|-----------|----|-----------------|
| 25,660    | 98 |                 |
| 25,660    |    | Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description               |
|----------|---------------|---------------|-------------------|----------------|---------------------------|
| 5.0      |               |               |                   |                | Direct Entry, PARKING LOT |

**Subcatchment 3S: ROOF**

Runoff = 0.31 cfs @ 7.86 hrs, Volume= 0.101 af, Depth> 4.16"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs  
Type IA 24-hr 100-YEAR Rainfall=4.40"

| Area (sf) | CN | Description     |
|-----------|----|-----------------|
| 12,680    | 98 |                 |
| 12,680    |    | Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description        |
|----------|---------------|---------------|-------------------|----------------|--------------------|
| 5.0      |               |               |                   |                | Direct Entry, ROOF |

**Subcatchment 6S: PRE-DEVELOPMENT**

Runoff = 0.32 cfs @ 8.02 hrs, Volume= 0.112 af, Depth> 2.28"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs  
Type IA 24-hr 100-YEAR Rainfall=4.40"

| Area (sf) | CN | Description                     |
|-----------|----|---------------------------------|
| 25,660    | 79 | 50-75% Grass cover, Fair, HSG C |
| 25,660    |    | Pervious Area                   |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description   |
|----------|---------------|---------------|-------------------|----------------|---------------|
| 10.0     |               |               |                   |                | Direct Entry, |

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**Subcatchment 7S: STREET**

Runoff = 0.24 cfs @ 7.86 hrs, Volume= 0.077 af, Depth> 4.16"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs  
Type IA 24-hr 100-YEAR Rainfall=4.40"

| Area (sf) | CN | Description     |
|-----------|----|-----------------|
| 9,720     | 98 | PAVEMENT        |
| 9,720     |    | Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description   |
|----------|---------------|---------------|-------------------|----------------|---------------|
| 5.0      |               |               |                   |                | Direct Entry, |

**Pond 2P: STORMFILTER**

Inflow Area = 0.880 ac, Inflow Depth > 2.80" for 100-YEAR event  
 Inflow = 0.32 cfs @ 8.64 hrs, Volume= 0.205 af  
 Primary = 0.32 cfs @ 8.64 hrs, Volume= 0.205 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs

**Pond 4P: PLANTER**

Inflow Area = 0.291 ac, Inflow Depth > 4.16" for 100-YEAR event  
 Inflow = 0.31 cfs @ 7.86 hrs, Volume= 0.101 af  
 Outflow = 0.23 cfs @ 8.08 hrs, Volume= 0.092 af, Atten= 25%, Lag= 13.4 min  
 Discarded = 0.04 cfs @ 3.54 hrs, Volume= 0.067 af  
 Primary = 0.20 cfs @ 8.08 hrs, Volume= 0.025 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs  
 Peak Elev= 0.89' @ 8.08 hrs Surf.Area= 0.018 ac Storage= 0.016 af

Plug-Flow detention time= 126.9 min calculated for 0.092 af (91% of inflow)  
 Center-of-Mass det. time= 61.5 min ( 717.2 - 655.7 )

| Volume | Invert | Avail.Storage | Storage Description                  |
|--------|--------|---------------|--------------------------------------|
| #1     | 0.00'  | 0.036 af      | 28.00'W x 28.00'L x 2.00'H Prismatic |

| Device | Routing   | Invert | Outlet Devices                                          |
|--------|-----------|--------|---------------------------------------------------------|
| #1     | Discarded | 0.00'  | 2.000 in/hr Exfiltration over Horizontal area           |
| #2     | Primary   | 0.67'  | 4.0" Horiz. Orifice/Grate Limited to weir flow C= 0.600 |

Discarded OutFlow Max=0.04 cfs @ 3.54 hrs HW=0.02' (Free Discharge)  
 1=Exfiltration (Exfiltration Controls 0.04 cfs)

Primary OutFlow Max=0.19 cfs @ 8.08 hrs HW=0.89' (Free Discharge)  
 2=Orifice/Grate (Orifice Controls 0.19 cfs @ 2.23 fps)

**Pond 5P: FLOW CONTROL MANHOLE**

Inflow Area = 0.880 ac, Inflow Depth > 3.12" for 100-YEAR event  
 Inflow = 0.79 cfs @ 7.93 hrs, Volume= 0.229 af  
 Outflow = 0.32 cfs @ 8.64 hrs, Volume= 0.205 af, Atten= 59%, Lag= 42.6 min  
 Primary = 0.32 cfs @ 8.64 hrs, Volume= 0.205 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs  
 Peak Elev= 130.02' @ 8.64 hrs Surf.Area= 0.017 ac Storage= 0.057 af

Plug-Flow detention time= 173.3 min calculated for 0.205 af (90% of inflow)  
 Center-of-Mass det. time= 99.1 min ( 746.4 - 647.3 )

| Volume | Invert  | Avail.Storage | Storage Description                   |
|--------|---------|---------------|---------------------------------------|
| #1     | 126.80' | 0.066 af      | 48.0"D x 228.00'L Horizontal Cylinder |

| Device | Routing  | Invert  | Outlet Devices                                                                                                          |
|--------|----------|---------|-------------------------------------------------------------------------------------------------------------------------|
| #1     | Primary  | 126.80' | 8.0" x 4.0' long Culvert CMP, square edge headwall, Ke= 0.500<br>Outlet Invert= 126.70' S= 0.0250 '/ Cc= 0.900 n= 0.013 |
| #2     | Device 1 | 126.80' | 1.5" Horiz. Orifice/Grate Limited to weir flow C= 0.600                                                                 |
| #3     | Device 1 | 128.80' | 2.8" Vert. Orifice/Grate C= 0.600                                                                                       |
| #4     | Device 1 | 131.60' | 8.0" Horiz. Orifice/Grate Limited to weir flow C= 0.600                                                                 |

Primary OutFlow Max=0.32 cfs @ 8.64 hrs HW=130.02' (Free Discharge)  
 1=Culvert (Passes 0.32 cfs of 2.85 cfs potential flow)  
 2=Orifice/Grate (Orifice Controls 0.11 cfs @ 8.64 fps)  
 3=Orifice/Grate (Orifice Controls 0.22 cfs @ 5.05 fps)  
 4=Orifice/Grate ( Controls 0.00 cfs)

**Pond 8P: SWALE**

Inflow Area = 0.223 ac, Inflow Depth > 4.16" for 100-YEAR event  
 Inflow = 0.24 cfs @ 7.86 hrs, Volume= 0.077 af  
 Outflow = 0.07 cfs @ 8.90 hrs, Volume= 0.067 af, Atten= 68%, Lag= 62.6 min  
 Discarded = 0.04 cfs @ 8.90 hrs, Volume= 0.062 af  
 Primary = 0.03 cfs @ 8.90 hrs, Volume= 0.005 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs  
 Peak Elev= 127.98' @ 8.90 hrs Surf.Area= 0.055 ac Storage= 0.020 af

Plug-Flow detention time= 227.4 min calculated for 0.067 af (87% of inflow)  
 Center-of-Mass det. time= 136.4 min ( 792.1 - 655.7 )

| Volume | Invert  | Avail.Storage | Storage Description                        |
|--------|---------|---------------|--------------------------------------------|
| #1     | 127.44' | 0.026 af      | 2.00'W x 452.00'L x 0.64'H Prismatic Z=3.0 |

| Device | Routing   | Invert  | Outlet Devices                                                                                                       |
|--------|-----------|---------|----------------------------------------------------------------------------------------------------------------------|
| #1     | Primary   | 127.94' | 1.5' long (Profile 1) Broad-Crested Rectangular Weir<br>Head (feet) 0.49 0.98 1.48<br>Coef. (English) 2.92 3.37 3.59 |
| #2     | Discarded | 0.00'   | 0.750 in/hr Exfiltration over Surface area                                                                           |

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**PATEL**

*Type IA 24-hr 100-YEAR Rainfall=4.40"*

Prepared by TRT Engineering

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**Discarded OutFlow** Max=0.04 cfs @ 8.90 hrs HW=127.98' (Free Discharge)  
↳2=Exfiltration (Exfiltration Controls 0.04 cfs)

**Primary OutFlow** Max=0.03 cfs @ 8.90 hrs HW=127.98' (Free Discharge)  
↳1=Broad-Crested Rectangular Weir (Weir Controls 0.03 cfs @ 0.58 fps)

Time span=0.00-24.00 hrs, dt=0.03 hrs, 801 points

Runoff by SCS TR-20 method, UH=SCS

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

**Subcatchment 1S: PARKING LOT**

Runoff Area=25,660 sf Runoff Depth>0.63"  
Tc=5.0 min CN=98 Runoff=0.10 cfs 0.031 af

**Subcatchment 3S: ROOF**

Runoff Area=12,680 sf Runoff Depth>0.63"  
Tc=5.0 min CN=98 Runoff=0.05 cfs 0.015 af

**Subcatchment 6S: PRE-DEVELOPMENT**

Runoff Area=25,660 sf Runoff Depth>0.63"  
Tc=10.0 min CN=79 Runoff=0.00 cfs 0.001 af

**Subcatchment 7S: STREET**

Runoff Area=9,720 sf Runoff Depth>0.63"  
Tc=5.0 min CN=98 Runoff=0.04 cfs 0.012 af

**Pond 2P: STORMFILTER**

Inflow=0.04 cfs 0.031 af  
Primary=0.04 cfs 0.031 af

**Pond 4P: PLANTER**

Peak Elev=0.04' Storage=0.001 af Inflow=0.05 cfs 0.015 af  
Discarded=0.04 cfs 0.015 af Primary=0.00 cfs 0.000 af Outflow=0.04 cfs 0.015 af

**Pond 5P: FLOW CONTROL MANHOLE**

Peak Elev=127.23' Storage=0.004 af Inflow=0.10 cfs 0.031 af  
Outflow=0.04 cfs 0.031 af

**Pond 8P: SWALE**

Peak Elev=127.48' Storage=0.001 af Inflow=0.04 cfs 0.012 af  
Discarded=0.02 cfs 0.012 af Primary=0.00 cfs 0.000 af Outflow=0.02 cfs 0.012 af

**Total Runoff Area = 1.692 ac Runoff Volume = 0.059 af Average Runoff Depth = 0.42"**  
**34.81% Pervious Area = 0.589 ac 65.19% Impervious Area = 1.103 ac**

**Subcatchment 1S: PARKING LOT**

Runoff = 0.10 cfs @ 7.89 hrs, Volume= 0.031 af, Depth> 0.63"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs  
Type IA 24-hr TREATMENT Rainfall=0.83"

| Area (sf) | CN | Description     |
|-----------|----|-----------------|
| 25,660    | 98 |                 |
| 25,660    |    | Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description               |
|----------|---------------|---------------|-------------------|----------------|---------------------------|
| 5.0      |               |               |                   |                | Direct Entry, PARKING LOT |

**Subcatchment 3S: ROOF**

Runoff = 0.05 cfs @ 7.89 hrs, Volume= 0.015 af, Depth> 0.63"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs  
Type IA 24-hr TREATMENT Rainfall=0.83"

| Area (sf) | CN | Description     |
|-----------|----|-----------------|
| 12,680    | 98 |                 |
| 12,680    |    | Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description        |
|----------|---------------|---------------|-------------------|----------------|--------------------|
| 5.0      |               |               |                   |                | Direct Entry, ROOF |

**Subcatchment 6S: PRE-DEVELOPMENT**

Runoff = 0.00 cfs @ 21.43 hrs, Volume= 0.001 af, Depth> 0.03"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs  
Type IA 24-hr TREATMENT Rainfall=0.83"

| Area (sf) | CN | Description                     |
|-----------|----|---------------------------------|
| 25,660    | 79 | 50-75% Grass cover, Fair, HSG C |
| 25,660    |    | Pervious Area                   |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description   |
|----------|---------------|---------------|-------------------|----------------|---------------|
| 10.0     |               |               |                   |                | Direct Entry, |

**Subcatchment 7S: STREET**

Runoff = 0.04 cfs @ 7.89 hrs, Volume= 0.012 af, Depth> 0.63"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs  
Type IA 24-hr TREATMENT Rainfall=0.83"

| Area (sf) | CN | Description     |
|-----------|----|-----------------|
| 9,720     | 98 | PAVEMENT        |
| 9,720     |    | Impervious Area |

| Tc (min) | Length (feet) | Slope (ft/ft) | Velocity (ft/sec) | Capacity (cfs) | Description   |
|----------|---------------|---------------|-------------------|----------------|---------------|
| 5.0      |               |               |                   |                | Direct Entry, |

**Pond 2P: STORMFILTER**

Inflow Area = 0.880 ac, Inflow Depth > 0.42" for TREATMENT event  
Inflow = 0.04 cfs @ 8.45 hrs, Volume= 0.031 af  
Primary = 0.04 cfs @ 8.45 hrs, Volume= 0.031 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs

**Pond 4P: PLANTER**

Inflow Area = 0.291 ac, Inflow Depth > 0.63" for TREATMENT event  
Inflow = 0.05 cfs @ 7.89 hrs, Volume= 0.015 af  
Outflow = 0.04 cfs @ 7.77 hrs, Volume= 0.015 af, Atten= 24%, Lag= 0.0 min  
Discarded = 0.04 cfs @ 7.77 hrs, Volume= 0.015 af  
Primary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs  
Peak Elev= 0.04' @ 8.08 hrs Surf.Area= 0.018 ac Storage= 0.001 af

Plug-Flow detention time= 7.6 min calculated for 0.015 af (100% of inflow)  
Center-of-Mass det. time= 5.5 min ( 727.4 - 721.9 )

| Volume | Invert | Avail.Storage | Storage Description                  |
|--------|--------|---------------|--------------------------------------|
| #1     | 0.00'  | 0.036 af      | 28.00'W x 28.00'L x 2.00'H Prismaoid |

| Device | Routing   | Invert | Outlet Devices                                          |
|--------|-----------|--------|---------------------------------------------------------|
| #1     | Discarded | 0.00'  | 2.000 in/hr Exfiltration over Horizontal area           |
| #2     | Primary   | 0.67'  | 4.0" Horiz. Orifice/Grate Limited to weir flow C= 0.600 |

Discarded OutFlow Max=0.04 cfs @ 7.77 hrs HW=0.02' (Free Discharge)  
1=Exfiltration (Exfiltration Controls 0.04 cfs)

Primary OutFlow Max=0.00 cfs @ 0.00 hrs HW=0.00' (Free Discharge)  
2=Orifice/Grate ( Controls 0.00 cfs)

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**Pond 5P: FLOW CONTROL MANHOLE**

Inflow Area = 0.880 ac, Inflow Depth > 0.42" for TREATMENT event  
 Inflow = 0.10 cfs @ 7.89 hrs, Volume= 0.031 af  
 Outflow = 0.04 cfs @ 8.45 hrs, Volume= 0.031 af, Atten= 60%, Lag= 33.6 min  
 Primary = 0.04 cfs @ 8.45 hrs, Volume= 0.031 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs  
 Peak Elev= 127.23' @ 8.45 hrs Surf.Area= 0.013 ac Storage= 0.004 af

Plug-Flow detention time= 32.3 min calculated for 0.031 af (99% of inflow)  
 Center-of-Mass det. time= 28.4 min ( 750.3 - 721.9 )

| Volume | Invert  | Avail.Storage | Storage Description                   |
|--------|---------|---------------|---------------------------------------|
| #1     | 126.80' | 0.066 af      | 48.0"D x 228.00'L Horizontal Cylinder |

| Device | Routing  | Invert  | Outlet Devices                                                                                                          |
|--------|----------|---------|-------------------------------------------------------------------------------------------------------------------------|
| #1     | Primary  | 126.80' | 8.0" x 4.0' long Culvert CMP, square edge headwall, Ke= 0.500<br>Outlet Invert= 126.70' S= 0.0250 '/ Cc= 0.900 n= 0.013 |
| #2     | Device 1 | 126.80' | 1.5" Horiz. Orifice/Grate Limited to weir flow C= 0.600                                                                 |
| #3     | Device 1 | 128.80' | 2.8" Vert. Orifice/Grate C= 0.600                                                                                       |
| #4     | Device 1 | 131.60' | 8.0" Horiz. Orifice/Grate Limited to weir flow C= 0.600                                                                 |

Primary OutFlow Max=0.04 cfs @ 8.45 hrs HW=127.23' (Free Discharge)

- 1=Culvert (Passes 0.04 cfs of 0.46 cfs potential flow)
- 2=Orifice/Grate (Orifice Controls 0.04 cfs @ 3.14 fps)
- 3=Orifice/Grate ( Controls 0.00 cfs)
- 4=Orifice/Grate ( Controls 0.00 cfs)

**Pond 8P: SWALE**

Inflow Area = 0.223 ac, Inflow Depth > 0.63" for TREATMENT event  
 Inflow = 0.04 cfs @ 7.89 hrs, Volume= 0.012 af  
 Outflow = 0.02 cfs @ 8.30 hrs, Volume= 0.012 af, Atten= 52%, Lag= 24.7 min  
 Discarded = 0.02 cfs @ 8.30 hrs, Volume= 0.012 af  
 Primary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.03 hrs  
 Peak Elev= 127.48' @ 8.30 hrs Surf.Area= 0.023 ac Storage= 0.001 af

Plug-Flow detention time= 11.8 min calculated for 0.012 af (100% of inflow)  
 Center-of-Mass det. time= 10.0 min ( 731.9 - 721.9 )

| Volume | Invert  | Avail.Storage | Storage Description                        |
|--------|---------|---------------|--------------------------------------------|
| #1     | 127.44' | 0.026 af      | 2.00'W x 452.00'L x 0.64'H Prismatic Z=3.0 |

| Device | Routing   | Invert  | Outlet Devices                                                                                                       |
|--------|-----------|---------|----------------------------------------------------------------------------------------------------------------------|
| #1     | Primary   | 127.94' | 1.5' long (Profile 1) Broad-Crested Rectangular Weir<br>Head (feet) 0.49 0.98 1.48<br>Coef. (English) 2.92 3.37 3.59 |
| #2     | Discarded | 0.00'   | 0.750 in/hr Exfiltration over Surface area                                                                           |

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**PATEL**

*Type IA 24-hr TREATMENT Rainfall=0.83"*

Prepared by TRT Engineering

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5/17/2008

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**Discarded OutFlow Max=0.02 cfs @ 8.30 hrs HW=127.48' (Free Discharge)**  
↳ **2=Exfiltration (Exfiltration Controls 0.02 cfs)**

**Primary OutFlow Max=0.00 cfs @ 0.00 hrs HW=127.44' (Free Discharge)**  
↳ **1=Broad-Crested Rectangular Weir ( Controls 0.00 cfs)**

**B.Relationship to the natural and physical environment.**

6. Architecture.

f. The main front elevation of commercial and office buildings shall provide at least 60 percent windows or transparency at the pedestrian level to create more interesting streetscape and window shopping opportunities. One side elevation shall provide at least 30 percent transparency. Any additional side or rear elevation, which is visible from a collector road or greater classification, shall also have at least 30 percent transparency. Transparency on other elevations is optional. The transparency is measured in lineal fashion. For example, a 100-foot long building elevation shall have at least 60 feet (60% of 100) in length of windows. The window height shall be, at minimum, three feet tall. The exception to transparency would be cases where demonstrated functional constraints or topography restrict that elevation from being used. When this exemption is applied to the main front elevation, the square footage of transparency that would ordinarily be required by the above formula shall be installed on the remaining elevations at pedestrian level in addition to any transparency required by a side elevation, and vice versa. The rear of the building is not required to include transparency. The transparency must be flush with the building elevation. (ORD. 1463)

*South elevation (Main Front)-*

*60% transparency. The windows are 5' tall and 2' off the floor. The window width is a total of 75 lineal feet and elevation is 100 lineal feet. 75% Transparent.*

*East Elevation (Side) –*

*128 lineal feet, 45 feet transparent, 35% transparent*

*West Elevation (Side)-*

*128 lineal feet, 44 feet transparent, 35 % transparent*

h. Consideration of the micro-climate (e.g., sensitivity to wind, sun angles, shade, etc.) shall be made for building users, pedestrians, and transit users, including features like awnings.

Micro Climate

*a- Instead of providing a simple canvas awning and due to the likely hood of arrival by car, a large Porte Cochere is provided to cover the entrance. This provides protection from the elements for both those who arrive by car, coach and pedestrians alike.*

*b- The parking lot will be shaded by trees located in planter strips which will help reduce heat within cars and heat generated by the asphalt parking lot which will in turn provide more comfort for building users. The on site pedestrian facilities will also be shaded by the landscaping.*

*c- On site winds come from the NorthEast and SouthWest Fortunately, the parcel is long and narrow with the short ends facing East and West. By providing evergreen trees along the pedestrian corridor and near walkways, the effects of wind can be mitigated.*

i. The Vision Statement identified a strong commitment to developing safe and attractive pedestrian environments with broad sidewalks, canopied with trees and awnings.

Safety-

*-The most important commitment to safe pedestrian environments is shown by the commitment to good lighting and open sightlines. The sightlines are married to the landscape design that will allow for enough protection of the environment in intervals without providing a solid screen that could allow one to hide from view. All areas of the site provide proper and consistent lighting.*

*-The landscaping design shows a consistent canopy of deciduous trees that follow the site access/pedestrian system.*

7. Transportation Planning Rule (TPR) compliance. The automobile shall be shifted from a dominant role, relative to other modes of transportation, by the following means:

a. Commercial and office development shall be oriented to the street. At least one public entrance shall be located facing an arterial street; or, if the project does not front on an arterial, facing a collector street; or, if the project does not front on a collector, the local street with highest traffic levels. Parking lots shall be placed behind or to the side of commercial and office development. When a large and/or multi-building development is occurring on a large undeveloped tract (3+ acres), it is acceptable to focus internally; however, at least 20 percent of the main adjacent right-of-way shall have buildings contiguous to it unless waived per CDC Section 55.100(B)(7)(c). These buildings shall be oriented to the adjacent street and include pedestrian-oriented transparencies on those elevations. For individual buildings on smaller individual lots, at least 30 lineal feet or 50 percent of the building must be adjacent to the right-of-way unless waived per CDC Section 55.100(B)(7)(c). The elevations oriented to the right-of-way must incorporate pedestrian-oriented transparency. (ORD. 1425)

*A variance seems necessary because we believe that the design strategies we have employed to show sensitivity toward Chapter 32 are at odds with the provisions of this section. The proximity of the WRA has resulted in the separation of the street frontage/Sidewalk and the proposed building. Therefore, pedestrians walking along the sidewalk will not have the opportunity to be protected by the buildings appurtenances no matter where the building was located on site. The public entrance is defined by the Porte Cochere and this does face the main arterial street. The exterior elevations show compliance with the pedestrian oriented transparency provisions.*

### 32.090 REDUCTION IN STANDARDS FOR HARDSHIP

**B.** Lots located partially inside the water resource area. A reduction to avoid the loss of all economically viable use of a vacant lot recorded with the County Assessor's Office on or before the effective date of this ordinance that is partially inside the water resource area is permitted. Development on such lots shall not disturb more than 5,000 square feet of the water resource area, including access roads and driveways, subject to the erosion and sediment control standards of CDC Chapter 31. Applicants must demonstrate the following:

**1.** Without the proposed reduction, the applicant would be denied economically viable use of the subject property. To meet this criterion, the applicant must show that no other application could result in permission for an economically viable use of the subject property. Evidence to meet this criterion shall include a list of uses allowed on the subject property.

*The economic viability of any piece of land has many variables. Some of the variables include price of land, restrictions on the land, allowed uses, parking requirements for the uses, height limits, etc.*

#### Parking/Building Size -

*-One of the uses that require the least amount of development area is a hotel. This is because parking/building s.f. ratio is very high. 1 parking stall is required for every hotel unit. When calculated, the hotel has a ratio of 660 s.f./ parking stall. We are proposing a 70 unit hotel that has 46,000 s.f. A 70 unit hotel is the minimum size hotel a hotel chain will approve for a franchisee to receive a franchise.*

*-If we were to build an office building in this location the parking ratio would be 350 s.f./ parking stall. To build out the site with 70 parking stalls we would only be able to build a building that is roughly half as big as the hotel. With the price of land in this area, a 23,000 s.f. office building would be hard to justify.*

*- A mercantile type use such as agriculture, animal, convenience store or the like would allow even less building area because the parking required is even more than that of office space. The ratios for these type spaces are increased to 240-300 s.f./parking stall. If a convenience store would be located here, we would need to provide a similar footprint (impervious surface of parking a building footprint) as the hotel and be left with only a one story building. The traffic (trips generated) for this use would be much greater than a hotel and have a larger overall impact on the WRA than a hotel.*

*See attached section 19.00 General Commercial, GC for list of allowed uses.*

*In conclusion, a hotel use impacts the WRA as minimally as any other use that is allowed in this area. The size of the hotel is the minimum size allowed by hotel franchises. It is the goal of the developer to be a good neighbor and impact the WRA in the most minimal manner. The primary goal of this proposal is to provide the developer with an economically viable project that has as little impact to the WRA as possible. Certainly, there are impacts but we believe that this proposal has no more and certainly much less impact than any other possible development that could be placed here by any other developer or use that would pencil out as economically viable.*

**2.** The proposed intrusion is the minimum necessary to allow economically viable use of the subject property.

Access to the site –

*No practical alternative exists to access this site without crossing the water resource area. To further lessen the impact on the WRA, the proposal re-uses the existing access drive that was built for the old Willamette Falls Dr. Therefore, no work would be required within the wetland/drainage way/riparian corridor. No other development could propose to access the site in a more sensitive manner.*

Location of the Building-

*To lessen the impact on the WRA we propose to locate the building as far from the WRA as possible. Thus the building is located in the extreme Northeast corner. The building height is maximized to create the smallest footprint possible while meeting the minimum hotel size of 70 units allowed by the franchise.*

Parking lot-

*The existing access to the site is located on the Southwest corner of the site. The minimum number of parking stalls is provided to lessen the impact on storm facilities and the WRA in general. The parking lot will be paved with pervious asphalt to aid in the treatment of storm water and lessen the impact on the WRA by allowing storm water to filter into the ground instead of entering the onsite storm system. All storm water will be treated on site before entering the WRA as shown on the civil drawings and reports.*

Buffer-

*The buffer will be enhanced as stated in the wetland biologists report. The mitigated buffer area will be replanted in an alternate location in cooperation with the Parks Department the city Planning Department.*

**3.** The proposed reduction will comply with CDC Chapter 31, Erosion Control;

Erosion Control-

*See civil drawings for Erosion and Sediment Control Design. Erosion Control measures will be actively maintained. Erosion Control measures have been designed to meet or exceed the guidelines set forth in the “erosion prevention and sediment control plans, technical guidance handbook”.*

**C. If a reduction in standards is granted pursuant to criteria of CDC 32.090(B), the reduction shall be subject to the following conditions:**

**1.** The minimum width of the water resource area’s transition and setback area shall be 15 feet on each side of a wetland or drainage course.

Minimum Width-

*The minimum width of the WRA transition area shall be 15 feet of wetland and drainage course.*

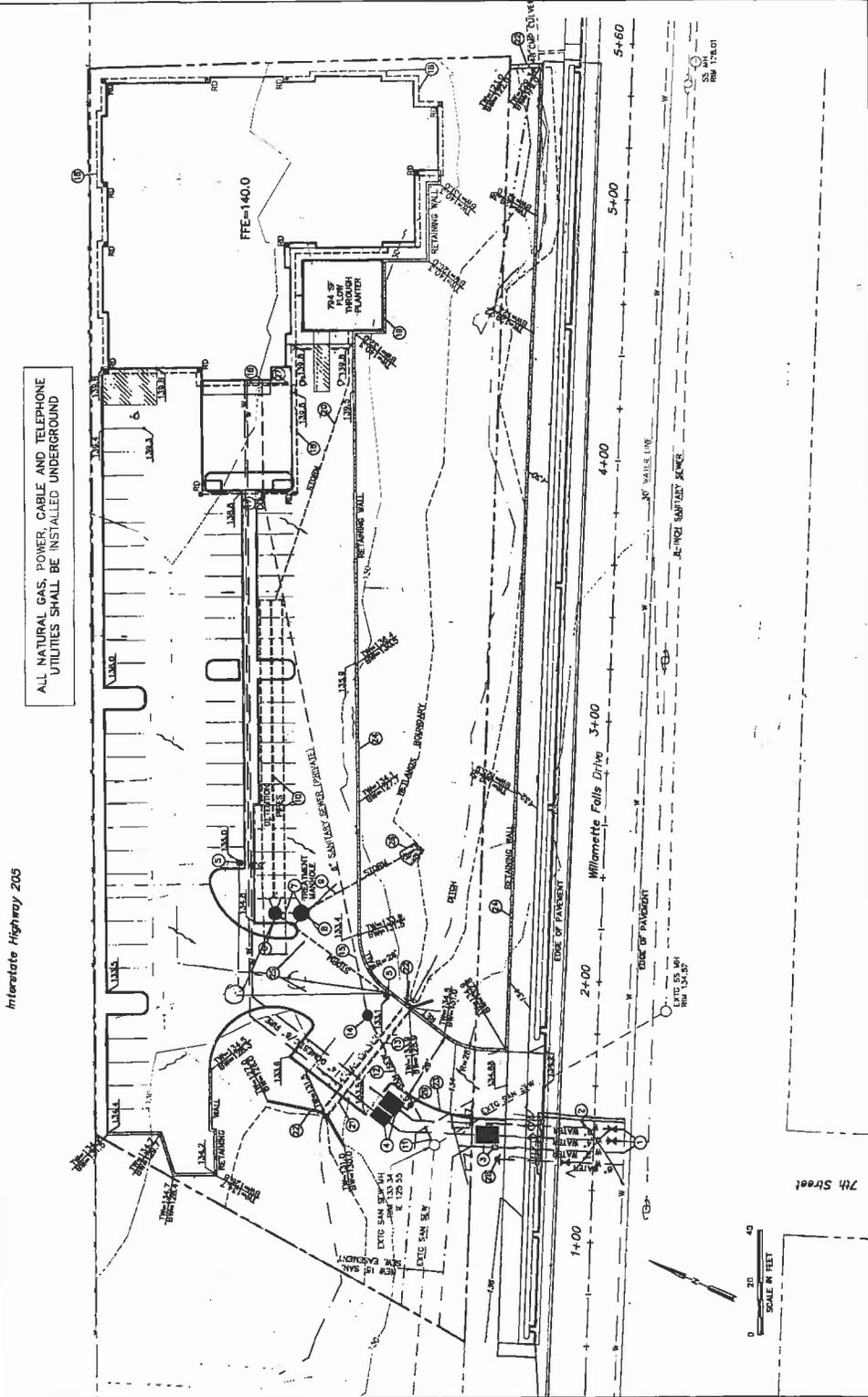
2. As mitigation for the permanent disturbance of any portion of the normally required water resource area, an equal area on the property which would not normally be within the water resource area shall be revegetated to meet the standards of CDC 32.050(K). If there does not exist enough site area to meet this requirement, the applicant shall revegetate the entire area of the property that would not normally be within the water resource area, adjacent to the actual water resource area, and is not proposed for permanent disturbance to meet the standards of CDC 32.050(K)

Mitigation of normally required WRA-

*There does not exist enough site area to meet the requirement of revegetating an equal area of WRA that is proposed for permanent disturbance. Therefore, the entire site that would not normally be part of the WRA is being revegetated. Likewise, we propose to mitigate the area of the WRA that is proposed for permanent disturbance off site in a location preferred by the city Parks Department and Planning Department.*

Interstate Highway 205

ALL NATURAL GAS, POWER, CABLE AND TELEPHONE UTILITIES SHALL BE INSTALLED UNDERGROUND



**CONSTRUCTION NOTES**

1. NOT TAP 3" MAIN AND INSTALL 6" AND 4" GATE VALVES
2. INSTALL 1" FIRE SPRINKLER, 4" DOMESTIC AND 1" IRRIGATION SERVICE
3. INSTALL 1" IRRIGATION METER PER STANDARD PLAN W-1232
4. INSTALL 1" FIRE METER PER STANDARD PLAN W-1232
5. INSTALL 4" FIRE MAIN AND 4" DOMESTIC DOUBLE CHECK ASSEMBLIES PER STANDARD PLAN W-1141
6. INSTALL 60-TAPPING GATE BASIN
7. INSTALL STORMWATER FLOW CONTROL MANHOLE, SEE DETAIL 1
8. INSTALL 4"-6" PVC STORM DRAIN
9. INSTALL STORMWATER TREATMENT ASSEMBLY, SEE DETAIL 2
10. INSTALL 47"-6" PVC STORM DRAIN, DAYLIGHT AT DITCH AT E=132.0
11. INSTALL TWO 14'-46" HOPE STOPWATER DETENTION PIPES
12. CONNECT 8" PVC SANITARY SEWER TO EXISTING MANHOLE AT EXISTING 12" PVC SANITARY SEWER, SEE DETAIL 3
13. INSTALL 18"-8" PVC SANITARY SEWER AT E=106.1 OR
14. TOP OF STORM=126.0, E SANITARY=106.1 AT CROSSING
15. INSTALL SANITARY SEWER MANHOLE
16. SANITARY SEWER LATERAL AT BUILDING FOUNDATION E=134.12
17. SANITARY SEWER CLEANOUT ASSEMBLY
18. INSTALL HORIZONTAL ROOF DRAIN, TYPICAL
19. CONSTRUCT 74 SF FLOOR THROUGH PLANTER BOX (ROOF RAINOFF 04-17)
20. INSTALL 1/2" PVC STORM, CONNECT TO DETENTION PIPE
21. REPLACE EXISTING DRAINAGE WITH 54 SF 30" DIA. CAP ARCH DRAIN. PLACE ARCH DRAIN ELEVATION 8 INCHES BELOW STREAM FLOORLINE FOR FISH PASSAGE, E=126.0, RAINFALL=14.21
22. CONSTRUCT CONCRETE HEADWALL AT PIPE ENTRANCE AND EXITS
23. INSTALL 8" EXTRUDED CONCRETE CURB, EXCEPT ALONG RETAINING WALL
24. CONSTRUCT RETAINING WALL
25. SEE STRUCTURAL DESIGN DRAWINGS
26. INSTALL ASPHALT PAVEMENT FOR TRAVEL, WAYS AND PARKING LOT. CONSTRUCT CURB AND GUTTER ON EXISTING ROCK OVER WORK CONTRACTIBLE (LAND OFF OR EXHAUSTED)
27. INSTALL WEAP EXTERIOR PIPE OUTLET PROTECTION PER STANDARD PLAN W-914
28. INSTALL 2" BLOW-OFF ASSEMBLY PER STANDARD PLAN 05-404A
29. INSTALL FIRE HYDRANT ASSEMBLY PER STANDARD PLAN W-401
30. INSTALL FIRE DEPARTMENT CONNECTION ASSEMBLY

**LEGEND**

- EXISTING GATE BASIN
- PROPOSED GATE BASIN
- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING CLEAN OUT
- PROPOSED CLEAN OUT
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- DRAINAGE FLOW DIRECTION
- PROPERTY LINE
- PROPOSED EASEMENT
- EXISTING EASEMENT
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING CURB
- PROPOSED CURB

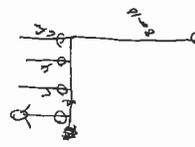
WEST SITE 4/23/08

HOLIDAY INN EXPRESS  
2400/2450 WILLAMETTE FALLS DRIVE  
WEST LINN, OREGON

DRAWING NO. **C-1**  
PROJECT NO.

**TRT ENGINEERING, INC.**  
2500 S.E. MARKET STREET  
PORTLAND, OREGON 97202  
PHONE (503) 253-7754  
FAX (503) 253-7800

| NO. | DATE     | BY  | CHK BY | APP BY |
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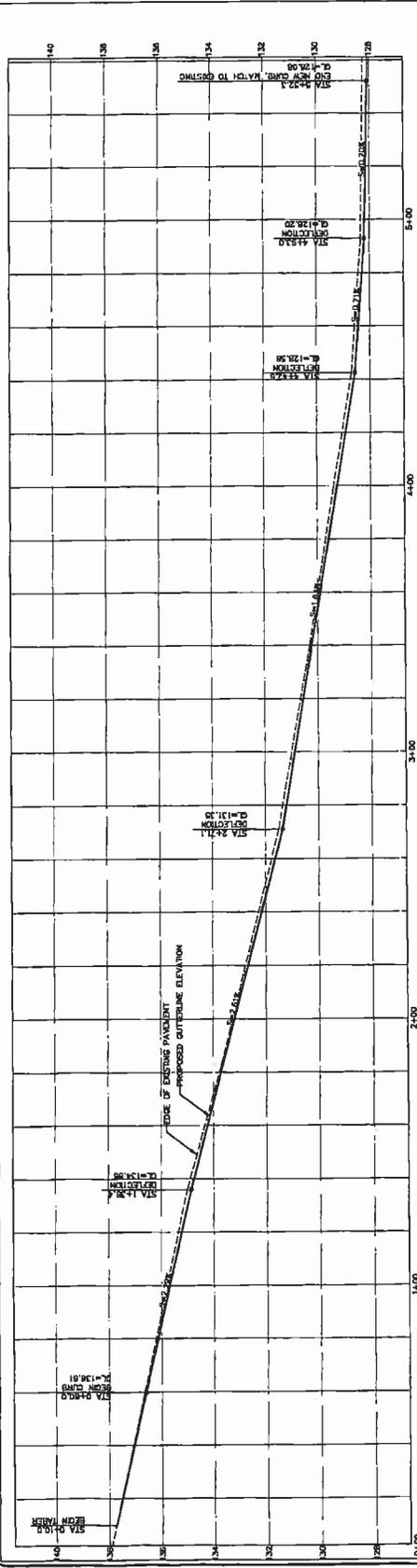


**LEGEND**

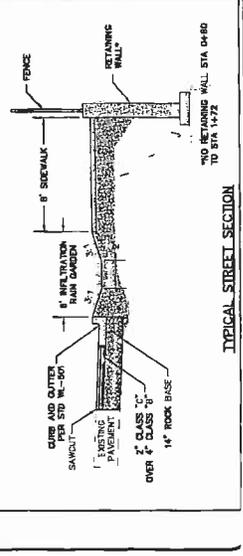
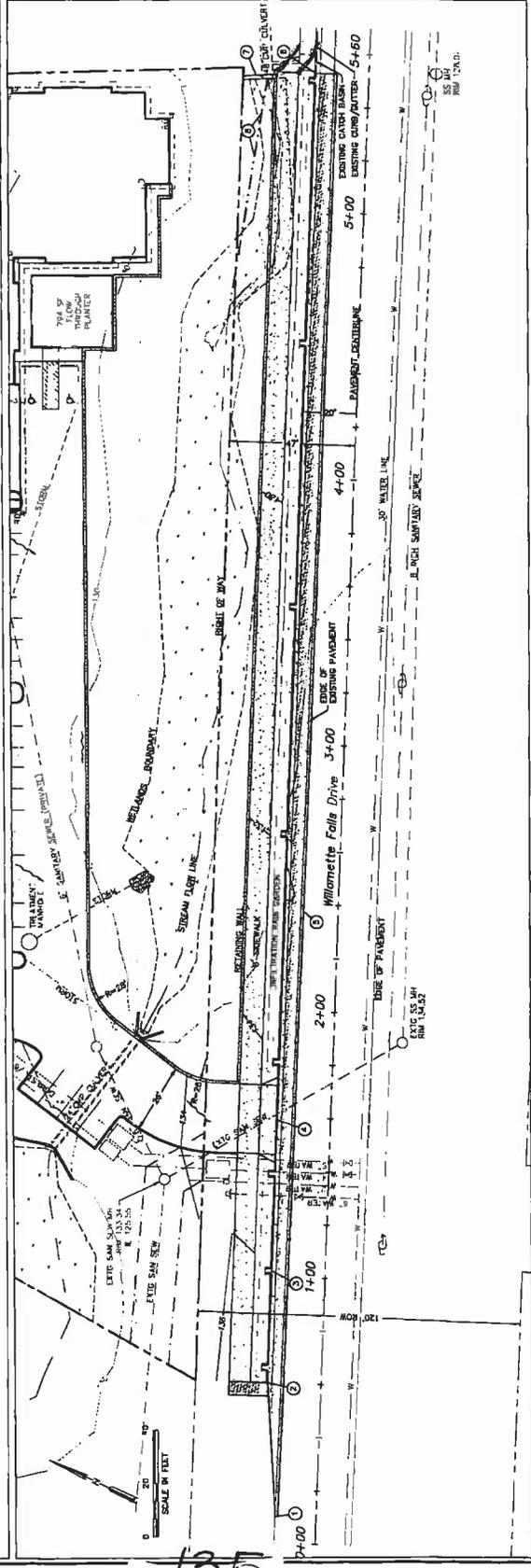
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING MANHOLE
- PROPOSED MANHOLE
- PROPOSED CLEAN OUT
- PROPOSED ROOF DRAIN
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- DRAINAGE FLOW DIRECTION
- PROPERTY LINE
- PROPOSED EASEMENT
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING CURB
- PROPOSED CURB

**CONSTRUCTION NOTES**

- 1 STA 0+10 BEGIN PARADEY TAPER
- 2 STA 1+00 BEGIN GUTTER AND SIDEWALK
- 3 INSTALL CONCRETE CURB NUT PER STD DRAWING RL-304 SEE DETAIL
- 4 STA 1+50.00 CONSTRUCT 24" COMMERCIAL DRAINWAY
- 5 SAW OUT 12" FROM EDGE OF EXISTING PAVEMENT
- 6 STA 5+50.00 END NEW CURB, GUTTER AND SIDEWALK MATCH TO EXISTING CURB, GUTTER AND SIDEWALK
- 7 CONSTRUCT NEW HEADWALL AT EXISTING GALENT
- 8 REPAIR STREAM FLOW TO EXISTING GALENT



GUTTERLINE PROFILE  
SCALE 1"=20' HORIZ. 1"=2' VERT.



WESTL P&P 4/23/08

DRAWING NO. **C-3**

PROJECT NO.

HOLIDAY INN EXPRESS  
2400/2450 WILLAMETTE FALLS DRIVE  
WEST LINN, OREGON 97088  
PUBLIC STREET IMPROVEMENTS

PLAN AND PROFILE

**TRI ENGINEERING, INC.**

1000 N. MARKET STREET  
PORTLAND, OREGON 97244  
PHONE (503) 251-7000

| REV. | DATE | BY | CHKD. | DESCRIPTION |
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|      |      |    |       |             |
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|      |      |    |       |             |
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135

**MAILED**  
 4/2/08

*Planning and Building*

April 1, 2008

Vic Patel  
 VKNW, Inc.  
 12700 SE McLoughlin Blvd.  
 Milwaukie, OR 97222

SUBJECT: DR-08-01/WAP-08-01/VAR-08-01

Dear Mr. Patel:

You resubmitted materials for this application on March 25 and 26, 2008. The Planning and Engineering Departments find that the Class II Design Review, Class II Variance, and Water Resources Area permit application remains **incomplete**. You still have until July 12, 2008 to make this application complete.

The specific grounds for incompleteness from the Community Development Code as found by the Planning Department are as follows:

**Section 32.090**

Respond with individual narratives to sections B 1-3 and C 1-2.

**Section 55.100(B)(6)**

Provide narrative responses to h and i.

Sections 55.100(B)(6)(f) and 55.100(B)(7)(a) are two other items that you did respond to and are therefore do not a completeness issue. However regarding these items, the plans as submitted may cause a staff recommendation of denial to the Planning Commission. To avoid this recommendation, the building design would have to be modified or variances applied for as part of the resubmittal.

Engineering Department comments are attached.

Please contact me at 503-742-8660, or by email at [tsope@ci.west-linn.or.us](mailto:tsope@ci.west-linn.or.us) if you have any questions or comments, or if you wish to meet with planning and engineering staff regarding these issues.

Sincerely,

Tom Soppe  
 Associate Planner

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c: Schott & Associates, Inc., P.O. Box 589 Aurora, OR 97002

c: Steven P. Elkins, Steven P. Elkins Architects, Inc. P.S., 11000 NE 33<sup>rd</sup> Place, Ste. 101,  
Bellevue, WA 98004

c: Mike Coyle, Faster Permits (via email)

p:/devrvw/completeness check/incompl2-DR-08-01

# MEMORANDUM

Date: March 25, 2008

Khoi Le, PE  
City of West Linn – Public Works  
Engineering

To: Tom Soppee, Planner  
City of West Linn – Planning Department

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**RE: Holiday Inn Express**

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Tom,

I reviewed the pre-application package for the Holiday Inn Express and found it incomplete. Followings are incomplete items:

## **STREET IMPROVEMENT**

Provide dimensions for existing right of way and proposed right of way as well as dedication if applicable. Provide dimensions for existing edge of pavement.

*The City Engineer Manager had mentioned off-site improvement of 8<sup>th</sup> Court in lieu of the project frontage improvement. Please indicate if this is the option the developer would like to work with the City in term of frontage improvement. Otherwise indicate that fee will be paid in lieu of project frontage improvement.*

Provide dimensions and curb return radius as well as type of curb for Fire Lane and parking lot.

Provide pavement sections for fire land, interior travel lane and parking space.

## **STORM DRAINAGE IMPROVEMENT**

Indicate how the storm water run-off along Willamette Falls Drive captured and treated before entering the existing public storm drainage system.

Over flow from flow through planter box shall be capture and detain before discharging into the existing public storm drainage system.

Provide storm drainage report for review.

Existing 24” culvert shall be removed and replaced with proper size bottomless culvert.

Show head wall and riprap for all storm outfalls.

## **SANITARY SEWER CONNECTION**

Indicate that onsite sanitary sewer is private.

Provide sanitary sewer easement for all existing sanitary sewer system on the property that run parallel and cross Willamette Falls Drive.

## **WATER CONNECTION**

Show actual dimension for the water meter vault for the 4" domestic line per the City of West Linn Public Works Standards details.

Provide standard blow off assembly or fire hydrant at the end of the proposed water branch.

Due to the steep grade at the bank along Willamette Falls Drive, water branch may require bends. Please provide details of the connection. Profile of the connection also works great for review.

## **FIRE CONNECTION**

Show location and actual dimension of double check detector vault for the 6" fire line per the City of West Linn Public Works Standards details.

Show existing nearest fire hydrant and indicate if it is 400' from the far side corner of the proposed building. Otherwise provide a fire hydrant on site for fire connection.

Provide Fire Department Connection.

Provide a copy of fire flow test.

## **GRADING AND EROSION CONTROL**

Provide spot elevations for all ADA parking spaces.

All retaining walls higher than 4' shall need structural calculations from certified Structure Engineer. Structural calculations may submit during review process for construction.

## **STREET LIGHTING**

Provide illumination plan for Willamette Falls Drive and propose street light if necessary.

## **STREET TREE**

Provide street tree along Willamette Falls Drive in front of the project site.

## **DRY UTILITY**

Please provide a note on the site plan to indicate that all new dry utilities such as natural gas, power, cable and telephone will be installed underground.

Show utility easements.

# ENGINEERING COMPLETENESS REVIEW

## CHECKLIST

**PROJECT NAME: HOLIDAY INN EXPRESS**

**DATE: 03/25/2008**

|                                     |     |                                               |                                                                                                                                                               |
|-------------------------------------|-----|-----------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/>            | 1)  | CDC.85.160.E.3                                | Surveying/mapping control points. Bench marks.<br><br><b>Provide bench marks.</b>                                                                             |
| <input checked="" type="checkbox"/> | 2)  | CDC.85.160.E.7                                | Existing sewers, water lines, culverts, drain pipes, gas, electric, any other utilities onsite and in adjoining streets and properties.                       |
| <input type="checkbox"/>            | 3)  | CDC.85.160.E.1                                | Location, widths and names of all existing streets and right of ways within or adjacent to tract.<br><b>Provide dimension for the existing right of way.</b>  |
| <input checked="" type="checkbox"/> | 4)  | CDC.85.160.E.5                                | Natural features: rock outcroppings, wetlands, wooded areas, heritage trees.                                                                                  |
| <input type="checkbox"/>            | 5)  | CDC.85.160.F.5<br>CDC85.200.I                 | All easement locations, widths and purposes.<br>Utility easements.<br><b>Provide sanitary sewer easement.</b>                                                 |
| <input type="checkbox"/>            | 6)  | CDC.85.160.F.1                                | <b>Proposed street improvements (street sections, curbs, gutters, sidewalks, dimensions, curve data, right of way dimensions), bike and pedestrian paths.</b> |
| <input type="checkbox"/>            | 7)  | CDC.85.200.2<br>CDC.85.200.3<br>CDC.85.200.10 | <b>Right of way and roadway width.</b><br><b>Street width.</b><br><b>Additional right of way for existing streets.</b>                                        |
| <input type="checkbox"/>            | 8)  | CDC.85.170.B.1                                | <b>Centerline profiles including finished and existing grades.</b>                                                                                            |
| <input type="checkbox"/>            | 9)  | CDC.85.200.11                                 | Cul-de-sacs. (radius, length, width, and curb radius)                                                                                                         |
| n/a                                 |     |                                               |                                                                                                                                                               |
| <input type="checkbox"/>            | 10) | CDC.85.200.13                                 | Grade and curves. (horizontal grades and vertical designed speed)                                                                                             |
| <input type="checkbox"/>            | 11) | CDC.85.200.15                                 | Alleys. (intersection radii, width, and pavement)                                                                                                             |
| n/a                                 |     |                                               |                                                                                                                                                               |
| <input type="checkbox"/>            | 12) | CDC.85.200.16<br>CDC.85.200.17                | Sidewalks. (cross slope and width)<br>Planter Strip (cross slope and width)                                                                                   |

|  |  |  |                                 |
|--|--|--|---------------------------------|
|  |  |  | <b>Provide street sections.</b> |
|--|--|--|---------------------------------|

|                                     |     |                                  |                                                                                                                                                                                           |
|-------------------------------------|-----|----------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> | 13) | CDC.85.200.A.9                   | Intersection Angles (90 degree prefer and minimum 60 degree)                                                                                                                              |
| <input type="checkbox"/>            | 14) | CDC.85.200.J.4                   | Street Lighting.<br><b>Provide illumination plan and street lighting plan.</b>                                                                                                            |
| <input type="checkbox"/>            | 15) | CDC.85.200.J.3                   | Street Tree<br><b>Provide street tree along Willamette Falls Drive frontage.</b>                                                                                                          |
| <input type="checkbox"/>            | 16) | CDC.85.200.J.6                   | Underground Utilities.<br><b>Indicate that dry utilities shall be installed underground.</b>                                                                                              |
| <input checked="" type="checkbox"/> | 17) | CDC.85.200.B.2                   | Traffic Impact Analysis.                                                                                                                                                                  |
| <input type="checkbox"/>            | 18) | CDC.85.170.C.1<br>CDC.85.170.C.2 | Location of cuts, fills and retaining walls.<br>Existing and proposed contours.<br><b>Provide spot elevation for all ADA parking.</b><br><b>Provide contours for street improvements.</b> |
| <input checked="" type="checkbox"/> | 19) | CDC.85.170.C.1<br>CDC.85.170.C.2 | Type, method and location of erosion prevention and sediment control measures.                                                                                                            |
| <input checked="" type="checkbox"/> | 20) | CDC.85.170.E.2                   | Sanitary sewer lines, manhole locations and depths.                                                                                                                                       |
| <input checked="" type="checkbox"/> | 21) | CDC.85.170.E.4                   | Sanitary sewer line should be at a depth that can facilitate connection with down system properties in an efficient manner.                                                               |
| <input checked="" type="checkbox"/> | 22) | CDC.85.170.E.7                   | Sanitary sewer shall be extended or stubbed out to the next developable subdivision.                                                                                                      |
| <input type="checkbox"/>            | 23) | CDC.85.170.F.2                   | Storm treatment and detention facilities shall be sized to accommodate a 25 year storm event<br><b>Provide storm report for review.</b>                                                   |
| <input checked="" type="checkbox"/> | 24) | CDC.85.170.F.2                   | Storm plan includes storm roof drain connections.                                                                                                                                         |
| <input type="checkbox"/>            | 25) | CDC.85.170.F.4                   | Detention facilities shall include a vegetation plan.                                                                                                                                     |
| n/a                                 |     |                                  |                                                                                                                                                                                           |
| <input checked="" type="checkbox"/> | 26) |                                  | Storm drainage report.                                                                                                                                                                    |

|                          |     |                                  |                                                                                                                                                    |
|--------------------------|-----|----------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------|
|                          |     |                                  | <b>Provide storm report for review.</b>                                                                                                            |
| <input type="checkbox"/> | 27) | CDC.85.200.F.2<br>CDC.85.170.D.2 | Adequate location and sizing of the water lines and off-site extensions.<br><b>Indicate actual size of vaults and provide blow-off at the end.</b> |

|                          |     |                |                                                                                                                       |
|--------------------------|-----|----------------|-----------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> | 27) | CDC.85.200.F.3 | Adequate looping system of water lines.                                                                               |
| n/a                      |     |                |                                                                                                                       |
| <input type="checkbox"/> | 28) | CDC.85.200.F.4 | Non single family development, demonstrate of adequate fire flow to serve the size.<br><b>Provide Fire Flow Test.</b> |

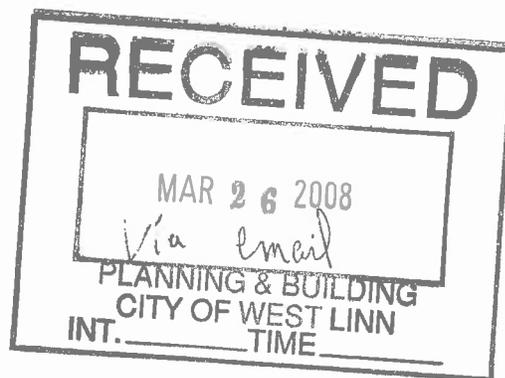
32.090:

- Provide narrative response to all items, does not need to be greatly detailed. Work on justifying why this is a hardship and how much land it takes up, etc.

*The site falls underneath Subsection B of Section 32.090 where as the site layout requires a partial intrusion upon the wetlands buffer area. This intrusion is caused by a change in classification of Bennett Creek into a reparation zone which runs along the front of the property. This information was noted in a Pre-Application meeting back on March 14, 2007. The purchase of the property occurred before the reclassification.*

*The, then, newly establish reparation zone setbacks resulted in encompassing nearly 80% of the entire site leaving us the only option of mitigating the buffer zone. The site was then redesigned to reduce impact to the reparation buffer zone.*

*Since Bennett Creek runs along the entire front of the site, any type of construction would require some type of intrusion across it. In order to reduce impact to the wetlands, an existing culvert, which Bennett Creek originally runs through, was incorporated into the new design as access to the site beyond.*



3

Section 32.060 B 2:

- A slope map is required for both this section and 32.070 D 2. 1 map can be prepared with slopes broken down from 0-5%, 5%-15%, 15%-25%, 25%-35%, >35%. Note that any maps or plans submitted are required to be 24x36 in size.

✓ *See sheet A0.3 – Slope Plan*

---

32.070 B 5:

- Respond with information that this information is not known at this time and will be determined during the building permit phase. Provide a bare bones narrative describing in a general sense of how this construction will impact the wetlands.

✓ *We expect no impact on the wetlands if the contractor follows all guidelines set forth in the construction documents. Through erosion control measures and best management practices we expect this development to be a good neighbor with the adjacent wetlands from construction through occupancy.*

---

32.070 B 7

- Provide evidence that this application has been or will be submitted soon to DSL and Army Corps, this will be sufficient. It does NOT need to be approved in order to have this design review application deemed complete.

✓ *Site plan revised to show more clearly the wetlands area verses the wetlands buffer. No construction actually impacts the wetlands area, rather the areas affected is the wetlands buffer so there is no need for DSL or Army Corp's involvement. This site plan was created with the specific intent of not affecting the wetland boundaries.*

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55.070 D 2 d:

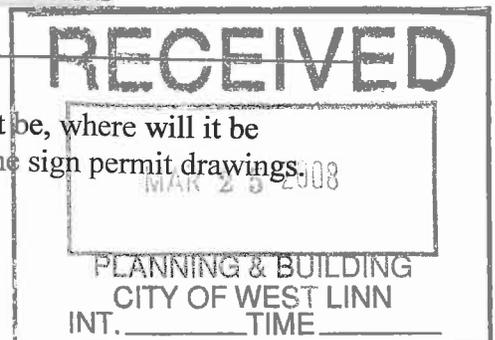
- Provide architectural drawings including floor plan and elevation, this can be whatever detail is currently available. Does not need to be the final layout for permit drawings.

✓ *See A1.# sheets for floor Plans; See A2.# sheets for Elevations*

---

55.070 D 2 f:

- In general, what will the sign look like, how big will it be, where will it be located. Again, does not need to be the final layout for the sign permit drawings.



- ✓ *No freestanding sign planned. See Elevation sheets (A2.#) for building signage locations. Site Plan also indicates building signage location.*
- 

55.070 D 2 h:

- Provide whatever information is available showing the solid waste and recycling storage. Similar to the sign permit, this does not need to be the final layout for the building permit drawings, it can be a preliminary concept.
  - ✓ *See Site detail sheet (A0.2) for trash enclosure detail and Site Plan (A0.1) for trash enclosure site location.*
- 

55.070 D 4:

- This is a big one, must respond to all criteria in 55.100. There are about 26 pages of criteria that must be responded to. Many of these items may be N/A type responses.
  - ✓ *See attached 55.100 section sheets.*
- 

55.070 E:

- Provide sample boards of colors and materials to be used on the exterior of the proposed building.
  - ✓ *See color picture sheet (11x17) of Astoria Holiday Inn Express. The Willamette Neighborhood committee officials suggested that this building be similar to the Holiday Inn Express in Astoria. We agree that the Astoria Holiday Inn Express is an exceptional hotel that blends in with the architecture of this region (and not just because we also designed that building). This building will not be an exact copy of that building but it will have similar detailing and dare we say even a finer degree of detail due to lessons learned from that building. Colors of this building would likely match the colors used in Astoria if the city is agreeable.*
- 

55.120 A & G 1:

- Provide an overall plan showing approximately 50' of each adjacent property. If possible, show property across the street.
  - ✓ *See color aerial photograph (11x17) of site with site plan drawing overlay.*
- 

55.120 H7:

- Show schematic placement of signs on site plan.
  - ✓ *See Site Plan sheet (A0.1) for building signage location.*
-

55.120 J/K/L:

- Show these items on the site plan. If mailbox is not known or is indoors, indicate this on the plans.
  - ✓ *Site Lighting located on Site plan (A0.1); See Electrical Site Plan (E1.0) for Illumination Calculations. Mailbox located inside.*
- 

55.140:

- This will be on the sameple boards already discussed.
  - ✓ *See color picture sheet of Astoria Holiday Inn Express. As discussed with the city planner, we are providing pictures since this building will be similar.*
- 

55.150:

- Provide plans as appropriate, add notes that final details for planting will be from Metro's native plant list. Final landscape plan to be submitted as part of the building permit package.
  - ✓ *See L1.0 and L1.1. Final planting will be from Metro's native plant list as required.*
- 

75.070 B1:

- Site plan from variance chapter needs to have the subdivision name/blk/lot number. Per Tom Soppe, here is the information to add:
- Subdivision and lot/block number (one of the choices to fulfill criteria) – Willamette Tracts, Block 32
- ✓ *See note block on Site Plan (A0.1)*

## 55.100 APPROVAL STANDARDS - CLASS II DESIGN REVIEW

The approval authority shall make findings with respect to the following criteria when approving, approving with conditions, or denying a Class II design review application. (ORD. 1408)

### A. The provisions of the following chapters shall be met:

1. Chapter 33, Storm Water Quality and Detention. ( OR D. 1463)
2. Chapter 34, Accessory Structures.
  - *No accessory structures existing nor proposed*
3. Chapter 38, Additional Yard Area Required.
  - *This chapter does not affect our development*
4. Chapter 40, Building Height Limitations and Exceptions.
  - *Stair tower meets the height limit exception. The building is in compliance with all yard requirements*
5. Chapter 42, Clear Vision Areas.
  - *See A1.1; The clear vision Triangle is shown at the ingress/egress driveway to the site no planting or obstruction are allowed in this area as required*
6. Chapter 44, Fences & Screening Outdoor Storage.
  - *No fences typ./ Screening of Trash per A1.2 (Trash Enclosure)*
7. Chapter 46, Off-Street Parking and Loading.
  - *See A1.1 Site Plan complies with all off street parking requirements*
8. Chapter 48, Access.
  - *We meet this. One curb cut. The existing site access location is being used. This way we are not added any addition site access impact to the critical areas (wetland, drainage way)*
9. Chapter 52, Signs.
  - *No pole signs. Only building attached signage per A2.1*
10. Chapter 54, Landscaping.
  - *Landscaping Plan. 20% Gross Site; 5% Interior Landscape. Permeable Asphalt = ½ landscape required. The wetland buffer will be enhanced per the wetland biologists planting plan and report. The parking area is landscaped per the landscape plan.*

### B. Relationship to the natural and physical environment.

1. The buildings and other site elements shall be designed and located so that all heritage trees, as defined in the Municipal Code, shall be saved. Diseased heritage trees, as determined by the City Arborist, may be removed at his/her direction.

- *No Heritage trees located on property*

2. All heritage trees, as defined in the Municipal Code, all trees and clusters of trees (cluster is defined as three or more trees with overlapping driplines; however, native oaks need not have an overlapping dripline) that are considered significant by the City Arborist, either individually or in consultation with certified arborists or similarly qualified professionals, based on accepted arboricultural standards including

consideration of their size, type, location, health, long term survivability, and/or numbers, shall be protected pursuant to the criteria of subsections 2(a-f) below. In cases where there is a difference of opinion on the significance of a tree or tree cluster, the City Arborist's findings shall prevail. It is important to acknowledge that all trees are not significant and, further, that this code section will not necessarily protect all trees deemed significant.

- ***No Heritage trees located on property***

a. Non-residential and residential projects on Type I and II lands shall protect all heritage trees and all significant trees and tree clusters by either the dedication of these areas or establishing tree conservation easements. Development of Type I and II lands shall require the careful layout of streets, driveways, building pads, lots, and utilities to avoid heritage trees and significant trees and tree clusters, and other natural resources pursuant to this code. The method for delineating the protected trees or tree clusters ("dripline + 10 feet") is explained in subsection (b) below. Exemptions of subsections ©, (e), and (f) below shall apply.

- ***There are existing tree clusters within the wetland and buffer areas that will remain and will be protected from construction activities.***

b. Non-residential and residential projects on non-Type I and II lands shall set aside up to 20 percent of the area to protect trees and tree clusters that are determined to be significant, plus any heritage trees. Therefore, in the event that the City Arborist determines that a significant tree cluster exists at a development site, then up to 20 percent of the non-Type I and II lands shall be devoted to the protection of those trees, either by dedication or easement. The exact percentage is determined by establishing the driplines of the trees or tree clusters that are to be protected. In order to protect the roots which typically extend further, an additional 10-foot measurement beyond the dripline shall be added. The square footage of the area inside this "dripline plus 10 feet" measurement shall be the basis for calculating the percentage (see figure below). The City Arborist will identify which tree(s) are to be protected. Development of non-Type I and II lands shall also require the careful layout of streets, driveways, building pads, lots, and utilities to avoid significant trees, tree clusters, heritage trees, and other natural resources pursuant to this code. Exemptions of subsections ©, (e), and (f) below shall apply. Please note that in the event that more than 20 percent of the non-Type I and II lands comprise significant trees or tree clusters, the developer shall not be required to save the excess trees, but is encouraged to do so.

- ***20% set aside for tree clusters; wetlands + buffer***

c. Where stubouts of streets occur on abutting properties, and the extension of those streets will mean the loss of significant trees, tree clusters, or heritage trees, it is understood that tree loss may be inevitable. In these cases, the objective shall be to minimize tree loss. These provisions shall also apply in those cases where access, per construction code standards, to a parcel is blocked by a row or screen of significant trees or tree clusters.

- *The existing access to the site is to be used. Therefore, accessing the site will not require the loss of significant trees*
- d. For both non-residential and residential development, the layout shall achieve at least 70 percent of maximum density for the developable net area. The developable net area excludes all Type I and II lands and up to 20 percent of the remainder of the site for the purpose of protection of stands or clusters of trees as defined in CDC Section 55.100(B)(2).
- *N/A*

e. For arterial and collector street projects, including Oregon Department of Transportation street improvements, the roads and graded areas shall avoid tree clusters where possible. Significant trees, tree clusters, and heritage tree loss may occur, however, but shall be minimized.

- *We are not aware of any transportation requirements that would require the loss of any trees.*

f. If the protection of significant tree(s) or tree clusters is to occur in an area of grading that is necessary for the development of street grades, per City construction codes, which will result in an adjustment in the grade of over or under two feet, which will then threaten the health of the tree(s), the applicant will submit evidence to the Planning Director that all reasonable alternative grading plans have been considered and cannot work. The applicant will then submit a mitigation plan to the City Arborist to compensate for the removal of the tree(s) on an “inch by inch” basis (e.g., a 48-inch Douglas Fir could be replaced by 12 trees, each 4-inch). The mix of tree sizes and types shall be approved by the City Arborist.

- *All significant tree protection will occur inside the wetland and buffer areas. No tree protection is proposed inside the area of grading.*

3. The topography and natural drainage shall be preserved to the greatest degree possible. (ORD. 1408)

- *The natural drainage patterns will be preserved. All drainage from development will be dealt with on site.*

4. The structures shall not be located in areas subject to slumping and sliding. The Comprehensive Plan Background Report’s Hazard Map, or updated material as available and as deemed acceptable by the Planning Director, shall be the basis for preliminary determination.

- *See geotech report. The site is covered with fill from nearby street/freeway projects. Project will be over excavated and foundations placed on native soil. According to geotech, we are not in danger of any significant sliding or slumping.*

5. There shall be adequate distance between on site buildings and on site and off site buildings on adjoining properties to provide for adequate light and air circulation and for fire protection.

- See Site Plan. Design provides 3 open sides and 60ft “T” turn around fire truck access. We are in compliance with these requirements.

6. Architecture.

- The Willamette Valley Neighborhood group requested a look similar to the exterior of the Holiday Inn Express in Astoria, OR. Steven Elkins Architects designed the Astoria hotel and we are proposing a very similar style and identical details. See A2.1,2 and the colored photos for information.

a. The predominant architecture of West Linn identified in the West Linn vision process was contemporary vernacular 55-14 residential designs emphasizing natural materials: wood with brick and stone detail. Colors are subdued earth tones: greys, brown, off-whites, slate, and greens. Pitched roofs with overhanging eaves, decks, and details like generous multi-light windows with oversized trim are common. Also in evidence are the 1890s Queen Anne style homes of the Willamette neighborhood. Neo-traditional homes of the newer subdivisions feature large front porches with detailed porch supports, dormers, bracketed overhanging eaves, and rear parking for cars. Many of these design elements have already been incorporated in commercial and office architecture.

- *We believe that our proposed design meets these requirements. As in Astoria, a pitched roof was not possible due to building height restrictions. However, the treatment of the roof line incorporates a neo-traditional trim that reflects the Queen Anne style that exists in this area.*

b. The proposed structure(s) scale shall be compatible with the existing structure(s) on site and on adjoining sites. Contextual design is required. Contextual design means respecting and incorporating prominent architectural styles, building lines, roof forms, rhythm of windows, building scale and massing, materials and colors of surrounding buildings in the proposed structure.

- The existing developments the the East and West do not have an architectural style that meet the provisions of requirement (a.) above. Therefore, we are doing the best we can to enhance the area with a well detailed building that reflects the Neo-traditional style in the area. The building jogs in and out with feature elements which is the rhythm of the building. The materials are stone, lap siding, and shake. Heavy trim bands are used around the building and windows. The windows have multi-divided lights.

c. While there has been discussion in Chapter 24 about transition, it is appropriate that new buildings should architecturally transition in terms of bulk and mass to work with, or fit, adjacent existing buildings. This transition can be accomplished by selecting designs

that “step down” or “step up” from small to big structures and vice versa (see figure below). Transitions may also take the form of carrying building patterns and lines (e.g., parapets, windows, etc.) from the existing building to the new one.

- We have sited the building into the existing slope to enhance the transition from existing site to new building. Through the implementation of stone, we represent a sturdy foundation with a natural material that enhances the look and feel of the site. There adjacent buildings provide little to transition from.

d. Contrasting architecture shall only be permitted when the design is manifestly superior to adjacent architecture in terms of creativity, design, and workmanship, and/or it is adequately separated from other buildings by distance, screening, grade variations, or is part of a development site that is large enough to set its own style of architecture.

- No contrasting architecture proposed.

e. Human scale is a term that seeks to accommodate the users of the building and the notion that buildings should be designed around the human scale (e.g., his/her size and the average range of their perception). Human scale shall be accommodated in all designs by, for example, multi-light windows that are broken up into numerous panes, intimately scaled entryways, visual breaks (exaggerated eaves, indentations, ledges, parapets, awnings, engaged columns, etc.) in the facades of buildings, both vertically and horizontally. The human scale is enhanced by bringing the building and its main entrance up to the edge of the sidewalk. It creates a more dramatic and interesting streetscape and improves the “height and width” ratio referenced in this section.

- This building is well detailed with divided light windows, heavy trim bands, and façade modulation that break up this building. We believe this design to be very intimate and well scaled to the user.

f. The main front elevation of commercial and office buildings shall provide at least 60 percent windows or transparency at the pedestrian level to create more interesting streetscape and window shopping opportunities. One side elevation shall provide at least 30 percent transparency. Any additional side or rear elevation, which is visible from a collector road or greater classification, shall also have at least 30 percent transparency. Transparency on other elevations is optional. The transparency is measured in lineal fashion. For example, a 100-foot long building elevation shall have at least 60 feet (60% of 100) in length of windows. The window height shall be, at minimum, three feet tall. The exception to transparency would be cases where demonstrated functional constraints or topography restrict that elevation from being used. When this exemption is applied to the main front elevation, the square footage of transparency that would ordinarily be required by the above formula shall be installed on the remaining elevations at pedestrian level in addition to any transparency required by a side elevation, and vice versa. The rear of the building is not required to include transparency. The transparency must be flush with the building elevation. (ORD. 1463) 60% of lineal street facing or main elevation is windows. 30% of one side elevation is windows. You may transfer windows from the side to front, or vice versa.

- This building is a residential use.

g. Variations in depth and roof line are encouraged for all elevations.

To vary the otherwise blank wall of most rear elevations, continuous flat elevations of over 100 feet in length should be avoided by indents or variations in the wall. The use of decorative brick, masonry, or stone insets and/or designs is encouraged. Another way to vary or soften this elevation is through terrain variations such as an undulating grass area with trees to provide vertical relief. h. Consideration of the micro-climate (e.g., sensitivity to wind, sun angles, shade, etc.) shall be made for building users, pedestrians, and transit users, including features like awnings. i. The Vision Statement identified a strong commitment to developing safe and attractive pedestrian environments with broad sidewalks, canopied with trees and awnings.

- We are happy to say that all sides of our building are equally detailed to provide interest. The front entry is covered with a porte cochere.

j. Sidewalk cafes, kiosks, vendors, and street furniture are encouraged. However, at least a four foot wide pedestrian accessway must be maintained per Chapter 53, Sidewalk Use.

- No sidewalk exists and placing one would adversely affect the wetland/buffer.

7. Transportation Planning Rule (TPR) compliance. The automobile shall be shifted from a dominant role, relative to other modes of transportation, by the following means:

- *The wetland separates our property from the street. No sidewalk exists due to the slope from the street down to the drainageway. This is a very difficult site for pedestrian access due to the slope from the street to the drainageway. The proposed use (hotel) is dominated by automobile traffic and this type of use is not one that is not typically visited by pedestrians traffic. We need direction from the city on this issue and how we can make this a viable site due to the existing conditions.*

a. Commercial and office development shall be oriented to the street. At least one public entrance shall be located facing an arterial street; or, if the project does not front on an arterial, facing a collector street; or, if the project does not front on a collector, the local street with highest traffic levels. Parking lots shall placed behind or to the side of commercial and office development. When a large and/or multi-building development is occurring on a large undeveloped tract (3+ acres), it is acceptable to focus internally; however, at least 20 percent of the main adjacent 55-20 right-of-way shall have buildings contiguous to it unless waived per CDC Section 55.100(B)(7)(c). These buildings shall be oriented to the adjacent street and include pedestrian-oriented transparencies on those elevations. For individual buildings on smaller individual lots, at least 30 lineal feet or 50 percent of the building must be adjacent to the right-of-way unless waived per CDC Section 55.100(B)(7)(c). The elevations oriented to the right-ofway must incorporate pedestrian-oriented transparency. (ORD. 1425)

- This is a residential development.

b. Multi-family projects shall be required to keep the parking at the side or rear of the buildings or behind the building line of the structure as it would appear from the right-of-way inside the multi-family project. For any garage which is located behind the building line of the structure, but still facing the front of the structure, architectural features such as patios, patio walls, trellis, porch roofs, overhangs, pergolas, etc. shall be used to downplay the visual impact of the garage, and to emphasize the rest of the house and front entry. (ORD. 1442) The parking may be positioned inside small courtyard areas around which the units are built. These courtyard spaces encourage socialization, defensible space, and can provide a central location for landscaping, particularly trees, which can provide an effective canopy and softening effect on the courtyard in only a few years. Vehicular access and driveways through these courtyard areas is permitted. (ORD. 1408)

- *All parking to side of building as set forth here*

c. Commercial, office, and multi-family projects shall be built as close to the adjacent main right-of-way as practical to facilitate safe pedestrian and transit access. Reduced frontages by buildings on public right-of-ways (a, b, c, above) may be allowed due to extreme topographic (e.g., slope, creek, wetlands, etc.) conditions or compelling functional limitations, not just inconveniences or design challenges. (ORD. 1408)

- *We believe our development meets the extreme topographic conditions provisions due to the extreme slopes between road and drainageway. Not to mentions the drainageway and wetlands. We have explored numerous site plan configurations to best serve the natural landscape and life safety. This site plan best serves the complex balance of all concerns.*

d. Accessways, parking lots, and internal driveways shall accommodate pedestrian circulation and access by specially textured, colored, or clearly defined foot paths at least six feet wide. Paths shall be eight feet wide when abutting parking areas or travel lanes. Paths shall be separated from 55-22 parking or travel lanes by either landscaping, planters, curbs, bollards, or raised surfaces. Sidewalks in front of storefronts on the arterials and main store entrances on the arterials identified in CDC Section 85.200(A)(3)(e) shall be 12 feet wide to accommodate pedestrians, sidewalk sales, sidewalk cafes, etc. Sidewalks in front of storefronts and main store entrances in commercial/OBC zone development on local streets and collectors shall be eight feet wide.

- *Safe pedestrian access is not available to this site. Pedestrian access from the building to the parking area is met through the use of sidewalks for safe egress. A drop off is located at the porte cochere. Should further pedestrian access be required we will explore your comments and recommendations.*

e. Paths shall provide direct routes that pedestrians will use between buildings, adjacent rights-of-way, and adjacent commercial developments. They shall be clearly identified. They shall be laid out to attract use and to discourage people from cutting through parking lots and impacting environmentally sensitive areas. (ORD. 1425)

- There will be a guard rail that restricts the access to the wetland buffer.

f. At least one entrance to the building shall be on the main street, or as close as possible to the main street. The entrance shall be designed to identify itself as a main point of ingress/egress.

- *The Porte Cochere marks the main point of ingress/egress. Site constraints do not allow the building to be located nearer the entrance to the site.*

g. Where transit service exists, or is expected to exist, there shall be a main entrance within a safe and reasonable distance of the transit stop. A pathway shall be provided to facilitate a direct connection. (ORD. 1425)

- We are not aware of any transit stops in the area. The main entrance to this site is the only location that will not add impact to the wetlands.

h. Projects shall bring at least part of the project adjacent to, or near the main street right-of-way in order to enhance the height-to-width ratio along that particular street. (The height-to-width ratio is an architectural term that emphasizes height or vertical dimension of buildings adjacent to streets. The higher and closer the building is, and the narrower the width of the street, the more attractive and intimate the streetscape becomes.) For every one foot in street width, the adjacent building ideally should be one to two feet higher. This ratio is considered ideal in framing and defining the streetscape. (ORD. 1425)

- *The wetland and buffer will not allow us to meet this requirement.*

i. These architectural standards shall apply to public facilities such as reservoirs, water towers, treatment plants, fire stations, pump stations, power transmission facilities, etc. It is recognized that many of these facilities, due to their functional requirements, cannot readily be configured to meet these architectural standards. However, attempts shall be made to make the design sympathetic to surrounding properties by landscaping, setbacks, buffers, and all reasonable architectural means. (ORD. 1408)

- N/A

j. Parking spaces at trailheads shall be located so as to preserve the view of, and access to, the trailhead entrance from the roadway. The entrance apron to the trailhead shall be marked: "No Parking," and include design features to foster trail recognition.

- N/A

### **C. Compatibility between adjoining uses, buffering, and screening.**

1. In addition to the compatibility requirements contained in Chapter 24, buffering shall be provided between different types of land uses; for example, buffering between single-family homes and apartment blocks. However, no buffering is required between single-family homes and duplexes or single-family attached units. The following factors shall be considered in determining the adequacy of the type and extent of the buffer:

- a. The purpose of the buffer, for example to decrease noise levels, absorb air pollution, filter dust, or to provide a visual barrier.
- b. The size of the buffer required to achieve the purpose in terms of width and height.
- c. The direction(s) from which buffering is needed.
- d. The required density of the buffering.
- e. Whether the viewer is stationary or mobile.

- No buffering is required. However, we have a natural buffer between the hotel and single family homes across the street. According to the acoustical report, noise from the hotel will not adversely impact neighboring properties.

2. On-site screening from view from adjoining properties of such things as service areas, storage areas, and parking lots shall be provided and the following factors will be considered in determining the adequacy of the type and extent of the screening:

- a. What needs to be screened?
- b. The direction from which it is needed.
- c. How dense the screen needs to be.
- d. Whether the viewer is stationary or mobile.
- e. Whether the screening needs to be year around.

- Items that may need screening- Trash dumpster, Mechanical equipment, Parking Lot.
- Screening used- Trash dumpster is located in an enclosure made of colored split face block and gated with powder coated steel and cedar planks. The mechanical units that serve each hotel unit will have a decorative grill. The mechanical condensers for the public space on the first floor will be placed behind the building at the toe of the slope below I-205. The parking lot will be beautifully landscaped.

3. Roof top air cooling and heating systems and other mechanical equipment shall be screened from view from adjoining properties.

- *Decorative grilles on PTAC's (individual room mech. Under windows), The mechanical condensers for the public space on the first floor will be placed behind the building at the toe of the slope below I-205. See Exterior Elevations*

#### D. Privacy and noise.

1. Structures which include residential dwelling units shall provide private outdoor areas for each ground floor unit which is screened from view by adjoining units.

- *Not Applicable*

2. Residential dwelling units shall be placed on the site in areas having minimal noise exposure to the extent possible. Natural appearing sound barriers shall be used to lessen noise impacts where noise levels exceed the design standards of Table 1 below. (ORD. 1442)

- *See Accoustic Report. The most significant noise exposure comes from the I-205. This site cannot escape it's neighbor. That being said, the building will be built similar to those near airports to lessen the impact of external noise on the residents.*

3. Structures or on site activity areas which generate noise, lights, or glare shall be buffered from adjoining residential uses in 55-26 accordance with the standards in Section 55.100© where applicable. Businesses or activities that can reasonably be expected to generate noise shall undertake and submit appropriate noise studies and mitigate as necessary. (See Sections 55.110(B)(11) and 55.120(M).) To protect the health, safety, and welfare of the citizens of West Linn, the following design standards are established in Tables 1 and 2. In the case of land uses that are expected to be close to adopted noise standards, followup studies in the first year of operation may be required by a conditional of approval or required by the Planning Director as appropriate in order to monitor compliance. (ORD. 1442)

**TABLE 1**

Allowable Sound Levels Within 25 Feet of a Dwelling

Type of Sound 7 a.m. - 7 p.m. 7 p.m. - 7 a.m.  
 Statistical Noise L50 = 55 dBA L50 = 50 dBA  
 L10 = 60 dBA L10 = 55 dBA  
 L1 = 75 dBA L1 = 60 dBA  
 Impulse Sound 100 dB 80 dB  
 (ORD. 1442)

**TABLE 2**

Center Frequency Unweighted Sound Level

7 a.m. - 7 p.m. 7 p.m. - 7a.m.  
 31.5 Hz 68 dB 65 dB  
 63 Hz 65 dB 62 dB  
 125 Hz 61 dB 56 dB  
 250 Hz 55 dB 50 dB  
 500 Hz 52 dB 46 dB  
 1000 Hz 49 dB 43 dB  
 2000 Hz 46 dB 40 Db  
 55-27  
 4000 Hz 43 dB 37 dB  
 8000 Hz 40 dB 34 dB

See Chapter 2 for definitions of these terms, as sub-headings under the alphabetic category of "Noise Definitions."

Ambient degradation associated with new noise sources. Any new commercial or industrial development to be built on a vacant or previously unused industrial or commercial site shall not cause or permit the operation of a noise source if the noise levels generated, or indirectly caused by that noise source, would increase the ambient statistical noise levels, L50 or L10, by more than 5 dBA in any one hour. In some instances, the ambient degradation standard may establish lower allowable dBA levels than those established in Table 1, and in those instances, the lower level shall apply. Ambient noise levels shall be determined by a licensed acoustical engineer.

(ORD. 1442)

- *We have commissioned a noise study. See the attached acoustical report. According to the report, this development will not adversely affect its neighbors with noise issues. The lighting of the site will use "cut-off" lenses to minimize glare.*

**E. Private outdoor area.** This section only applies to multi-family projects.

- *N/A*

1. In addition to the requirements of residential living, unit shall have an outdoor private area (patio, terrace, porch) of not less than 48 square feet in area;
2. The outdoor space shall be oriented towards the sun where possible; and, 3. The area shall be screened or designed to provide privacy for the users of the space.
4. Where balconies are added to units, the balconies shall not be less than 48 square feet, if they are intended to be counted as private outdoor areas.

**F. Shared outdoor recreation areas.** This section only applies to multifamily projects and projects with 10 or more duplexes or single-family attached dwellings on lots under 4,000 square feet. In those cases, shared outdoor recreation areas are calculated on the duplexes or single-family attached dwellings only. It also applies to qualifying PUDs under the provisions of Section 24.170. (ORD. 1463)

- *N/A*

1. In addition to the requirements of subsection E, usable outdoor recreation space shall be provided in residential developments for the shared or common use of all the residents in the following amounts:
  - a. Studio up to and including two-bedroom units: 200 square feet per unit.
  - b. Three or more bedroom units: 300 square feet per unit.
2. The required recreation space may be provided as follows:
  - a. It may be all outdoor space; or,
  - b. It may be part outdoor space and part indoor space; for example, an outdoor tennis court and indoor recreation room; and,
  - c. Where some or all of the required recreation area is indoor, such as an indoor recreation room, then these indoor areas must be readily accessible to all residents of the

development subject to clearly posted restrictions as to hours of operation and such regulations necessary for the safety of minors. (ORD. 1408)

d. In considering the requirements of subsection F, the emphasis shall be on *usable* recreation space. No single area of outdoor recreational space shall encompass an area of less than 250 square feet. All common outdoor recreational space shall be clearly delineated and readily identifiable as such. Small, marginal, and incidental parcels of land are not usable recreation spaces. The location of outdoor recreation space should be integral to the overall design concept of the site and be free of hazards or constraints that would interfere with active recreation. (ORD. 1408)

3. The shared space shall be readily observable to facilitate crime prevention and safety.

**G. Demarcation of public, semi-public, and private spaces.** The structures and site improvements shall be designed so that public areas such as streets or public gathering places, semi-public areas, and private outdoor areas are clearly defined in order to establish persons having a right to be in the space, to provide for crime prevention, and to establish maintenance responsibility. These areas may be defined by:

1. A deck, patio, fence, low wall, hedge, or draping vine;
2. A trellis or arbor;
3. A change in level;
4. A change in the texture of the path material;
5. Sign; or,
6. Landscaping.

Use of gates to demarcate the boundary between a public street and a private access driveway is prohibited. (ORD. 1463)

- *Our site improvements promote safety. The public may enter the lobby but will not have access to the other doors without a key. The landscaping promotes views of all spaces and provides no area for hiding. The parking lot and building will be adequately lit without glare.*

#### H. Public transit.

- *N/A*

1. Provisions for public transit may be required where the site abuts an existing or planned public transit route. The required facilities shall be based on the following:

- a. The location of other transit facilities in the area.
- b. The size and type of the proposed development.
- c. The rough proportionality between the impacts from the development and the required facility. (ORD. 1442)

2. The required facilities shall be limited to such facilities as the following:

- a. A waiting shelter with a bench surrounded by a three-sided covered structure, with transparency to allow easy surveillance of approaching buses.
- b. A turnout area for loading and unloading designed per regional transit agency standards. (ORD. 1442)

c. Hard-surface paths connecting the development to the waiting and boarding areas.

d. Regional transit agency standards shall, however, prevail if they supersede these standards. (ORD. 1442)

3. The transit stop shall be located as close as possible to the main entrance to the shopping center, public or office building, or multifamily project. The entrance shall not be more than 200 feet from the transit stop with a clearly identified pedestrian link.

4. All commercial business centers (over 3 acres) and multi-family projects (over 40 units) may be required to provide for the relocation of transit stops to the front of the site if the existing stop is within 200-400 yards of the site and the exaction is roughly proportional to the impact of the development. The commercial or multi-family project may be required to provide new facilities in those cases where the nearest stop is over 400 yards away. The transit stop shall be built per 8(b) above. (ORD. 1442)

5. If a commercial business center or multi-family project is adjacent to an existing or planned public transit, the parking requirement may be reduced by the multiplier of .9 or ten percent. If a commercial center is within 200 feet of a multi-family project, with over 80 units and pedestrian access, the parking requirement may be reduced by ten percent or by a .90 multiplier. (ORD. 1425)

6. Standards of Section 85.200(D), "Transit Facilities," shall also apply.

#### I. Public facilities.

An application may only be approved only if adequate public facilities will be available to provide service to the property prior to occupancy. (ORD.1544)

1. Streets. Sufficient right-of-way and slope easement shall be dedicated to accommodate all abutting streets to be improved to City's Improvement Standards and Specifications. The City Engineer shall determine the appropriate level of street and traffic control improvements to be required, including any off-site street and traffic control improvements based upon the transportation analysis submitted. The City Engineer's determination of developer obligation, the extent of road improvement and City's share, if any, of improvements and the timing of improvements shall be made based upon the City's systems development charge ordinance and capital improvement program, and the rough proportionality between the impact of the development and the street improvements. (ORD. 1442) (ORD. 1526)

In determining the appropriate sizing of the street in commercial, office, multi-family, and public settings, the street should be the minimum necessary to accommodate anticipated traffic load and needs and should provide substantial accommodations for pedestrians and bicyclists. Road and driveway alignment should consider and mitigate impacts on adjacent properties and in neighborhoods in terms of increased traffic loads, noise, vibrations, and glare. (ORD. 1442)

The realignment or redesign of roads shall consider how the proposal meets accepted engineering standards, enhances public safety, and favorably relates to adjacent lands and land uses. Consideration should also be given to selecting an alignment or 55-32 design that minimizes or avoids hazard areas and loss of significant natural features (drainageways, wetlands, heavily forested areas, etc.) unless site mitigation can clearly

produce a superior landscape in terms of shape, grades, reforestation, and is fully consistent with applicable code restrictions regarding resource areas. Streets shall be installed per Chapter 85 standards. City Engineer has the authority to require that street widths match adjacent street widths. Sidewalks shall be installed per Section 85.200(A)(3)(e) for commercial and office projects, and Sections 85.200(A)(16) and 92.010(H) for residential projects, and applicable provisions of Chapter 55, Design Review.

Based upon the City Manager or Manager's designee determination, the applicant shall construct or cause to be constructed, or contribute a proportionate share of the costs, for all necessary off-site improvements identified by the transportation analysis commissioned to address CDC 55.125 that are required to mitigate impacts from the proposed development. Proportionate share of the costs shall be determined by the City Manager or Manager's designee who shall assume that the proposed development provides improvements in rough proportion to identified impacts of the development. (ORD. 1544)

- *With the help of the city engineer we can get a good plan worked out.*

2. Drainage. A registered civil engineer shall prepare a plan and statement which shall be supported by factual data that clearly shows that there will be no adverse impacts from increased intensity of runoff off site or the plan and statement shall identify all off-site impacts and measures to mitigate those impacts. The plan and statement shall, at a minimum, determine off site impacts from a 25-year storm. The City Engineer shall adjust storm drainage facilities for applications which contain permeable parking surfaces based upon a quantitative analysis of the increased water retention and 55-33 water quality characteristics of the permeable parking surface. (ORD. 1463)

Catch basins shall be installed and connected to pipelines leading to storm sewers or drainageways.

All plans will then be reviewed by the City Engineer.

- *See attached civil engineering*

3. Municipal water. A registered civil engineer shall prepare a plan for the provision of water which demonstrates to City Engineer's satisfaction, the availability of sufficient volume, capacity, and pressure to serve the proposed development's domestic, commercial, and industrial fire flows. All plans will then be reviewed by the City Engineer.

*With the help of the city engineer we can get a good plan worked out*

4. Sanitary sewers. A registered civil engineer shall prepare a sewerage collection system plan which demonstrates sufficient onsite capacity to serve the proposed development. The City Engineer shall determine whether the existing City system has sufficient capacity to serve the development.

*With the help of the city engineer we can get a good plan worked out*

5. Solid waste and recycling storage areas. Appropriately sized and located solid waste and recycling storage areas shall be provided. Metro standards shall be used.

*With the help of the city engineer we can get a good plan worked out*

**J. Crime prevention and safety/defensible space.**

1. Windows shall be located so that areas vulnerable to crime can be surveyed by the occupants.

- *Windows are located for this purpose*

2. Interior laundry and service areas shall be located in a way that they can be observed by others.

- *We are also concerned with this. Windows are provide into the laundry, services areas from the corridors*

3. Mail boxes, recycling, and solid waste facilities shall be located in lighted areas having vehicular or pedestrian traffic.

- *The trash area will be well lit.*

4. The exterior lighting levels shall be selected and the angles shall be oriented towards areas vulnerable to crime.

- *See the light plan.*

5. Light fixtures shall be provided in areas having heavy pedestrian or vehicular traffic and in potentially dangerous areas such as parking lots, stairs, ramps, and abrupt grade changes.

- *Ample lighting is provided throughout.*

6. Fixtures shall be placed at a height so that light patterns overlap at a height of seven feet which is sufficient to illuminate a person. All commercial, industrial, residential, and public facility projects undergoing design review shall use low or high pressure sodium bulbs and be able to demonstrate effective shielding so that the light is directed downwards rather than omni-directional. Omnidirectional lights of an ornamental nature may be used in general commercial districts only.

- *We agree. See the site lighting plan.*

7. Lines of sight shall be reasonably established so that the development site is visible to police and residents.

- *Line of sight will be allowed. Though we will be landscaping, the landscaping will not block line of sight to the extent which will adversely affect safety.*

8. Security fences for utilities (e.g., power transformers, pump stations, pipeline control equipment, etc.) or wireless communication facilities may be up to eight feet tall in order to protect public safety. No variances are required regardless of location. (ORD. 1408)

- *N/A; All Inside the building*

#### **K. Provisions for persons with disabilities.**

1. The needs of a person with a disability shall be provided for. Accessible routes shall be provided between all buildings and accessible site facilities. The accessible route shall be the most practical direct route between accessible building entries, accessible site facilities, and the accessible entry to the site. An accessible route shall connect to the public right-of-way to at least one on-site or adjacent transit stop (if the area is served by transit). All facilities shall conform to, or exceed, the Americans with Disabilities Act (ADA) standards, including those included in the Uniform Building Code.

- *Accessibility is one of our first concerns. From drop off areas under the porte cochere, accessible parking stalls and adjacent ramps the facility is in conformance with Accessible requirements.*

#### **L. Signs.**

1. Based on considerations of crime prevention and the needs of emergency vehicles, a system of signs for identifying the location of 55-35 each residential unit, store, or industry shall be established.
  2. The signs, graphics, and letter styles shall be designed to be compatible with surrounding development, to contribute to a sense of project identity, or, when appropriate, to reflect a sense of the history of the area and the architectural style.
  3. The sign graphics and letter styles shall announce, inform, and designate particular areas or uses as simply and clearly as possible.
  4. The signs shall not obscure vehicle driver's sight distance.
  5. Signs indicating future use shall be installed on land dedicated for public facilities (e.g. parks, water reservoir, fire halls, etc.).
  6. Signs and appropriate traffic control devices and markings shall be installed or painted in the driveway and parking lot areas to identify bicycle and pedestrian routes.
- *Signage will be provided as required.*

M. **Utilities.** The developer shall make necessary arrangements with utility companies or other persons or corporations affected for the installation of underground lines and facilities. Electrical lines and other wires, including but not limited to communication, street lighting, and cable television, shall be placed underground, as practical. The design standards of Tables 1 and 2 above, and of sub-section 5.484©of the West Linn Municipal Code relative to existing high ambient noise levels shall apply to this section. (ORD. 1442)

- *Will do!*

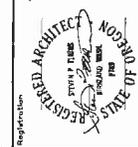
N. **Wireless Communication Facilities (WCF).** This section only applicable to WCFs.) WCFs as defined in CDC Chapter 57 may be required to go through Class I or Class II design review. The approval criteria for Class I design review is that the visual impact of the WCF shall be minimal to the extent allowed by CDC Chapter 57. Stealth designs shall be sufficiently camouflaged so that they are not easily seen by passersby in the public right-of-way or from any adjoining residential unit. WCFs that are classified as Class II design review must respond to all of the approval criteria of this chapter.





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425.457.3632  
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Member, American Institute  
of Architects



Design Team:  
Design: [Blank]  
S.D.P.: [Blank]  
Drawn: [Blank]  
Checked: [Blank]  
DATE: 08/00  
SHEET PROJECT NO.: [Blank]  
CLIENT PROJECT NO.: [Blank]

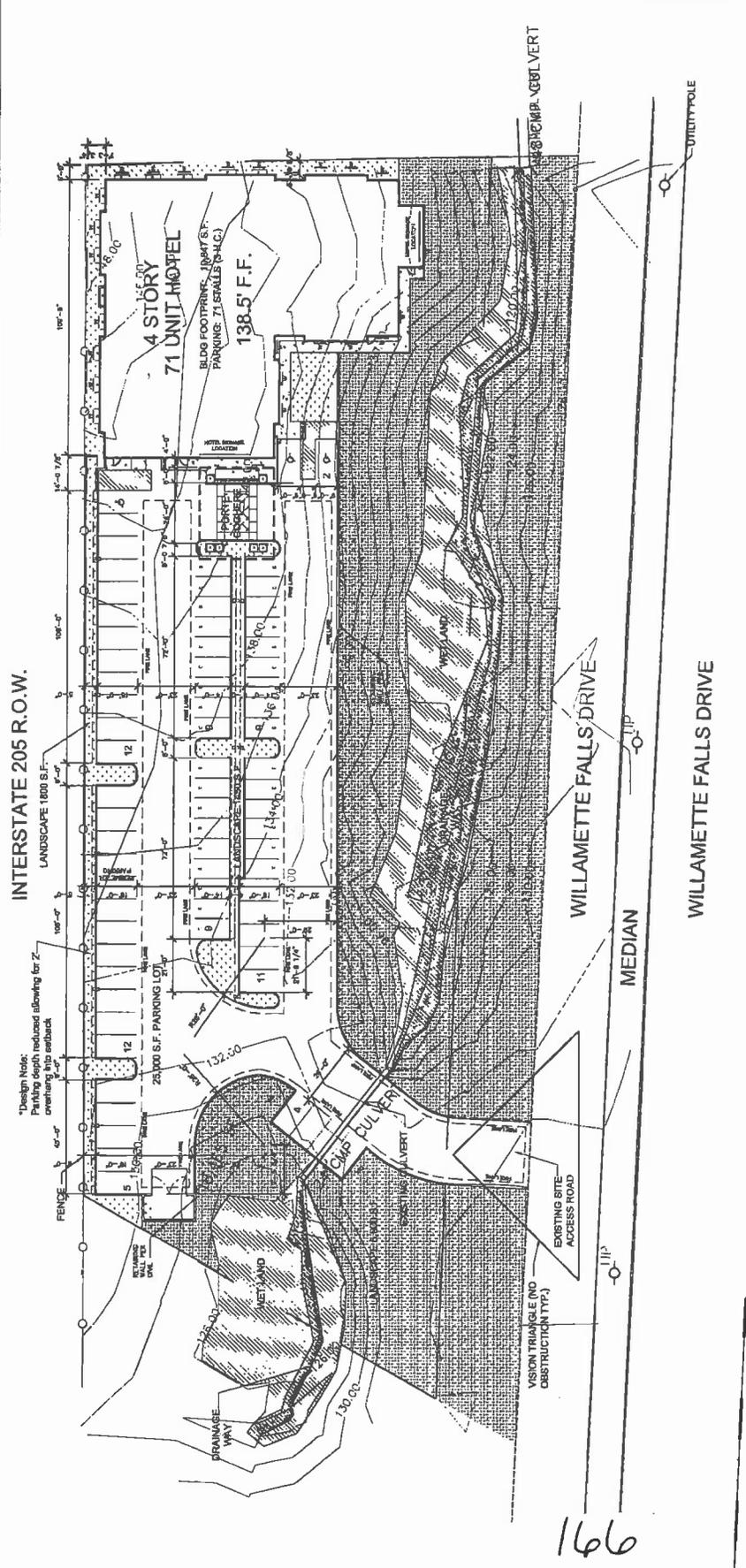
Owner:  
**Vic Patel**  
12709 SE McLoughlin  
Milwaukie, OR 97122

Project:  
**HOLIDAY INN EXPRESS**  
2400 Block Willamette Falls  
WEST LINN, OR 97068

| No. | Date     | Description       |
|-----|----------|-------------------|
| 1   | 08-17-00 | PROPOSE SUBMITTAL |

Sheet Title:  
**SITE PLAN**

Sheet No.  
**A0.1**



**SINGLE FAMILY HOMES**

**LEGEND**

- NETLAND BUFFER (SEE AND (NO WORK OR RESTURANCE))
- NETLAND BUFFER (RESTORATION FOR NETLAND REPORT)
- LANDSCAPING PER LANDSCAPE PLAN
- DRAINAGE WAY
- WOODS LOCATION
- DOOR LOCATION
- LIGHT POST

**LEGEND STATISTICS:**  
 FIRST FLOOR = 10,847 S.F.  
 SECOND FLOOR = 10,847 S.F.  
 FOURTH FLOOR = 10,847 S.F.  
 PARKING PROVIDED = 71 STALLS  
 CITY OF WILLAMETTE TRACTS, BLOCK 32, LOT 2400 & 2400

**LANDSCAPING:**  
 MINIMUM PARKING LOT REQUIRED = 28,000 S.F. X 100' = 2,800 S.F.  
 MINIMUM PARKING LOT PROVIDED = 10,847 S.F. X 205' = 2,223,635 S.F.  
 MINIMUM SITE PROVIDED = 32,400 S.F. X 117.24'

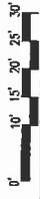
**SEASONAL AND GUEST MAT. IS REQUIRED AND DISTRIBUTED AT FRONT**

**DESK SPACE:**  
 MINIMUM PARKING LOCATIONS ARE FOR 1ST FLOOR ONLY. SEE ADDITIONAL TRUCK PLAN SHEETS FOR SPECIFIC SIZES AND LOCATIONS

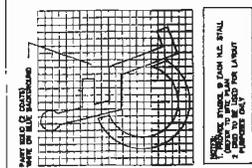
**-LIGHT POST INDICATE SPOKATE LOCATION. SEE ELEC. SITE PLAN FOR ILLUMINATION AND SPOKATE LOCATION.**

**SITE PLAN**  
A0.1

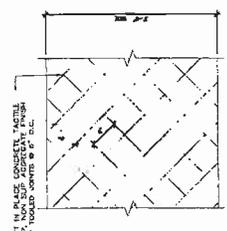
SCALE: 1" = 20'-0"



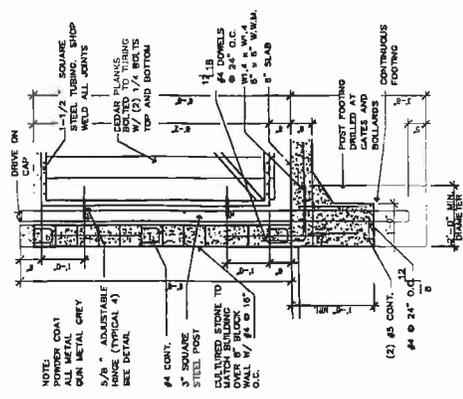
PERMIT



10.2 HANDICAP SYMBOL  
SCALE: NTS



11.2 WARNING STRIP  
SCALE: NTS



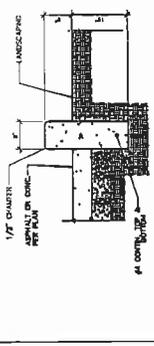
11.1 TRASH WALL SECTION  
SCALE: 3/4" = 1'-0"



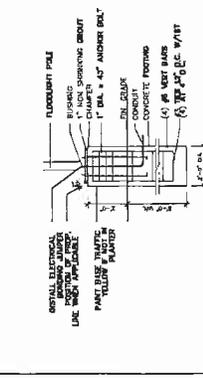
2.2 HANDICAP SIGN  
SCALE: NTS



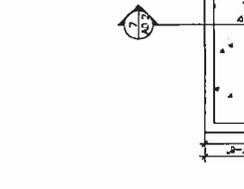
8.2 TRASH ENCLOSURE PLAN  
SCALE: 1/4" = 1'-0"



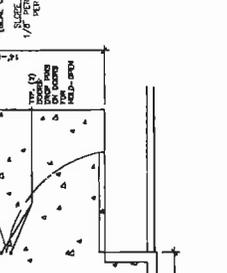
8.1 CURB AT LANDSCAPING  
SCALE: 1-1/2" = 1'-0"



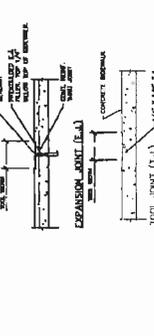
12.2 POLE BASE  
SCALE: NTS



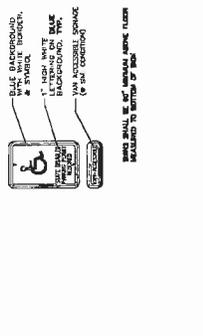
6.2 SIDEWALK JOINT  
SCALE: NTS



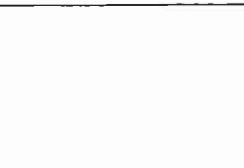
7.2 TRASH ELEVATION/SECTION  
SCALE: 1/4" = 1'-0"



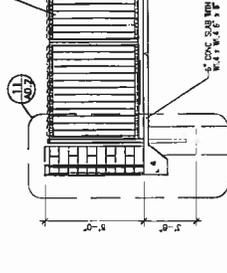
10.1 ADA RAMP  
SCALE: NTS



3.2 STRIPING  
SCALE: 1-1/2" = 1'-0"



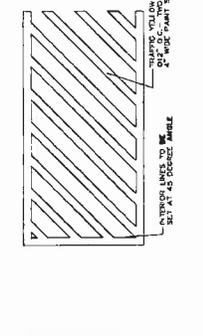
4.2 SIDEWALK  
SCALE: 1-1/2" = 1'-0"



7.1 TRASH ELEVATION/SECTION  
SCALE: 1/4" = 1'-0"



10.2 ADA RAMP  
SCALE: NTS



3.1 STRIPING  
SCALE: 1-1/2" = 1'-0"

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Design Team:  
Developer: Vic Patel  
Architect: Steven P. Belkins  
Engineer: [Blank]  
Contractor: [Blank]  
SPIC Project No.: [Blank]  
Client Project No.: [Blank]

Vic Patel  
19709 SE Mad Apple Ln.  
Milwaukie, OR 97122

Project: HOLIDAY INN EXPRESS  
2400 Black Williams Falls Drive  
WEST Linn, OR 97168

| No.      | Date     | Description        |
|----------|----------|--------------------|
| 15-17-01 | 15-17-01 | FINALISE SUBMITTAL |

Sheet Title: SITE DETAILS  
Scale: NTS

Permit No.: A0.2  
Scale: 3/4" = 1'-0"

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1100 N.E. 33rd Place, Suite 101  
Bellevue, Washington 98004  
PH: (206) 837-3232  
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Project: HOLIDAY INN EXPRESS  
2400 Block Willamette Falls Drive  
WEST LUN, OR 97268

Design: Vic Patel  
12700 SE McLoughlin  
Milwaukie, OR 97222

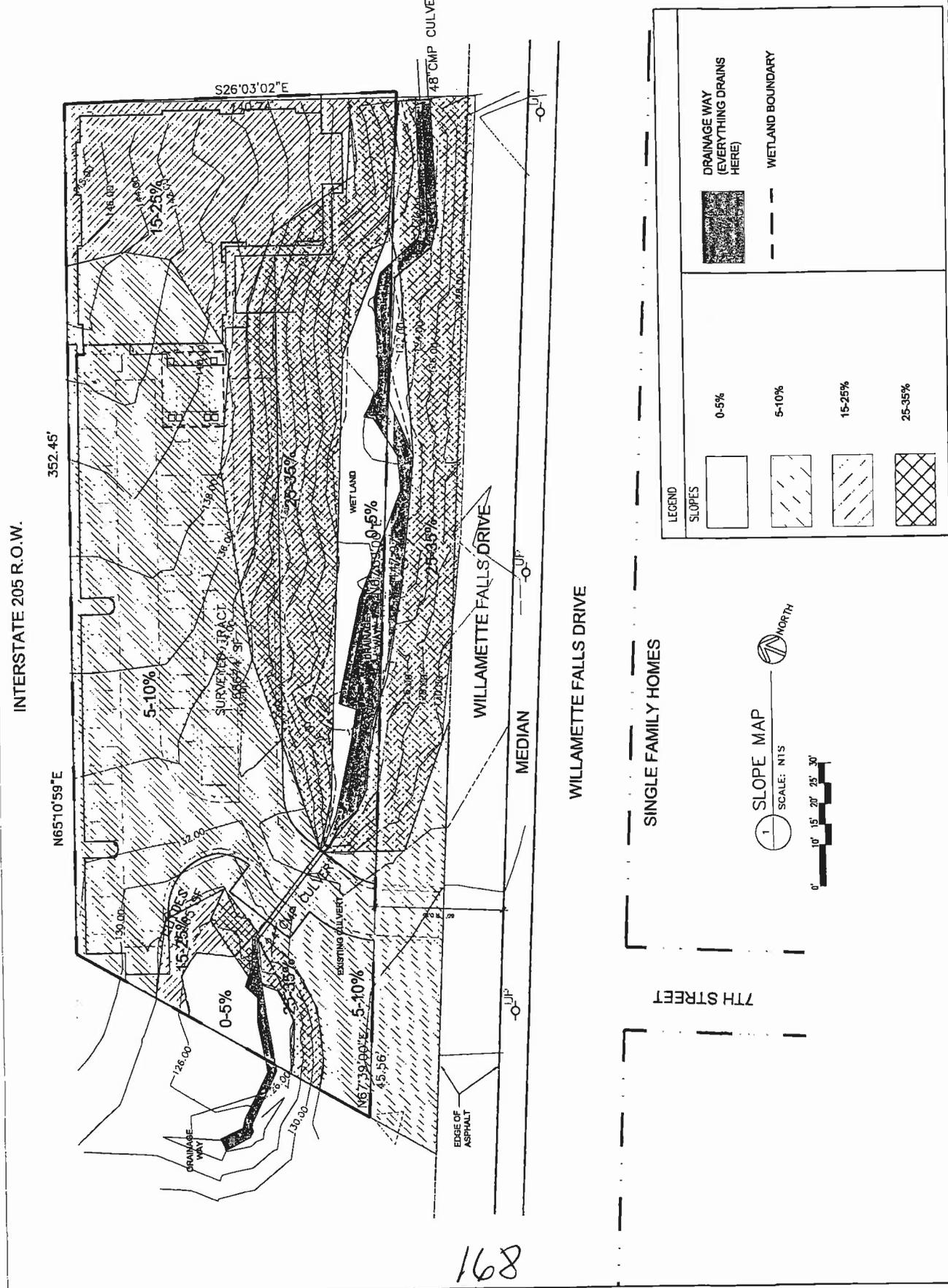
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| Date     | Description       |
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| 10-17-07 | PROVIDING SUPPORT |

Sheet Title: SITE ANALYSIS

Scale: 1"=24' (AS SHOWN)

© Steven B. Belkins Architects Inc. 7.5  
Sheet No. A0.3



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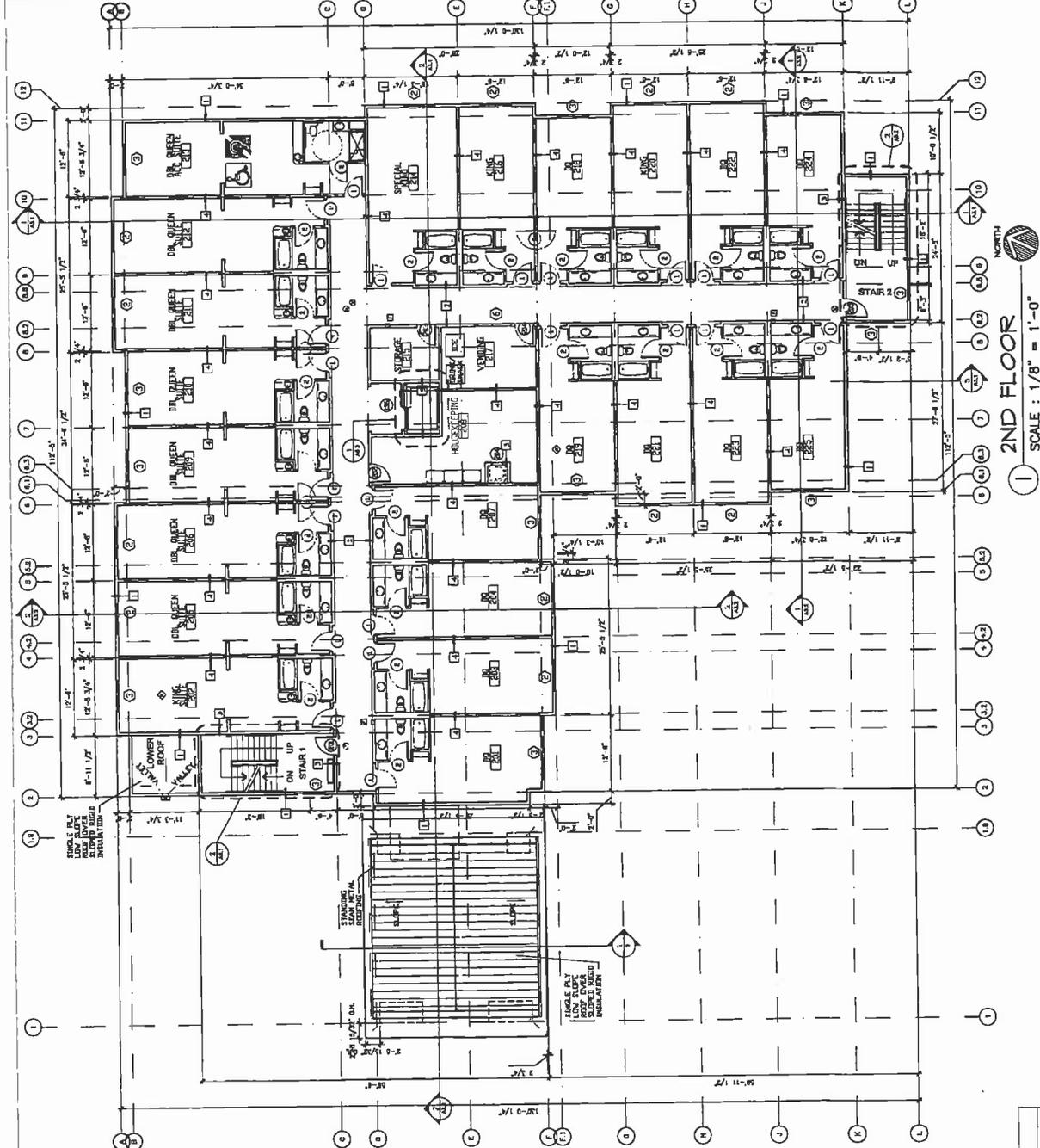
PROJECT  
OWNER  
ARCHITECT  
DATE  
DESCRIPTION

**Vc Patel**  
1700 DE LA SALLE BLVD  
ANNAPOLIS, MD 21403

PROJECT  
HOLIDAY INN EXPRESS  
3400 Black Meadows Park Drive  
West Linn, OR 97148

Table with columns: No., Date, Description, Material

DATE TYPED  
DRAWN BY  
CHECKED BY  
SCALE: 1/8" = 1'-0"



**FLOOR PLAN  
-2ND FLOOR**  
SCALE: 1/8" = 1'-0"

FLOOR PLAN LEGEND table with symbols and descriptions for doors, windows, stairs, etc.

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**STEVEN P. BELKINS ARCHITECTS INC. P.C.**  
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**REGISTERED ARCHITECT**  
 JAMES P. GARDNER  
 1100 NE 38th Place, Suite 101  
 Bellevue, WA 98005-3582  
 FAX (425) 889-3174

**Vic Patel**  
 6700 NE Midway Blvd  
 Vancouver, WA 98666

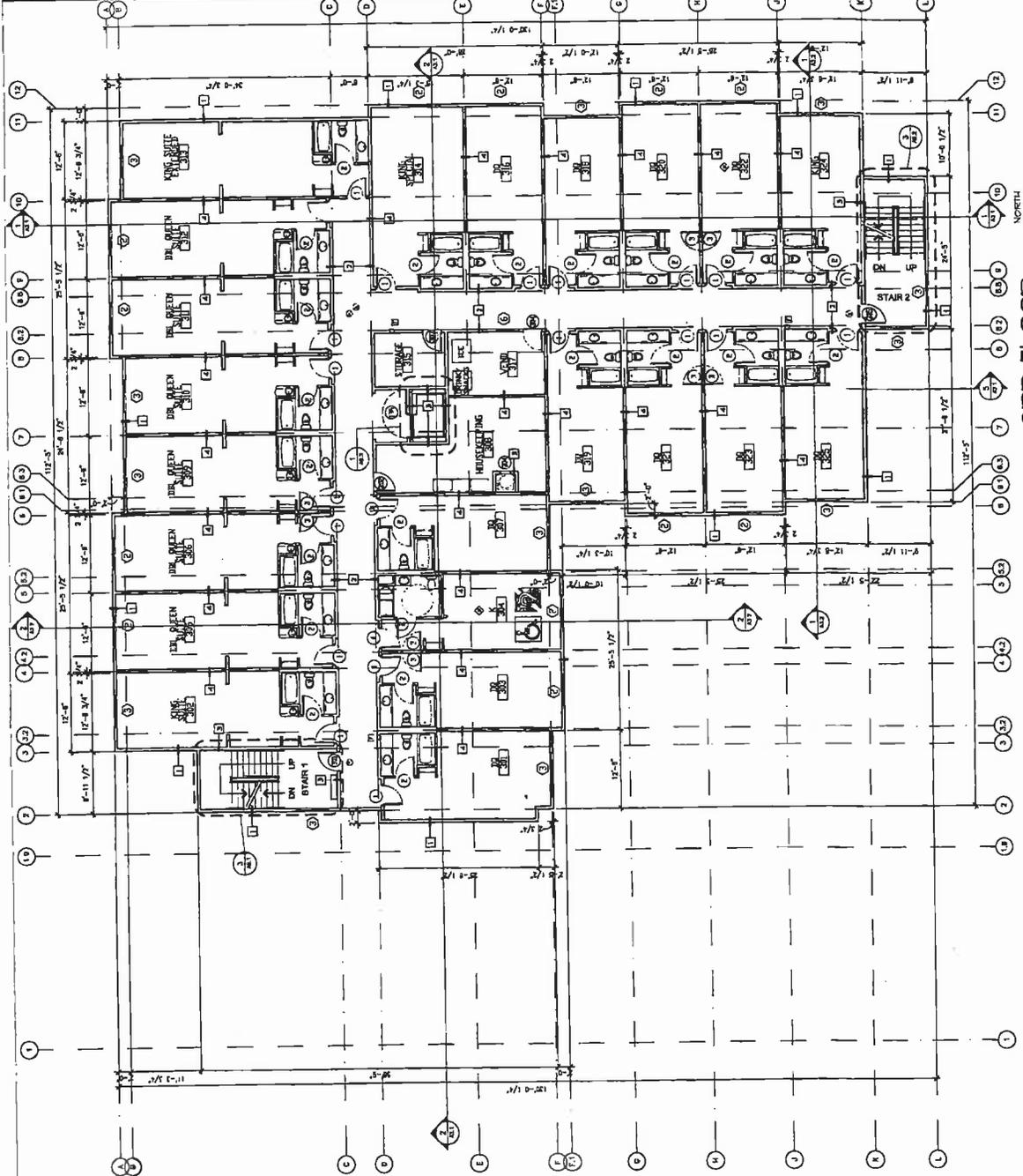
Project: **HOLIDAY INN EXPRESS**  
 2400 Brock Way  
 West Linn, OR 97146

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|--------------------|------------------------|----|
| Design Team        | Design                 | VP |
| Client Project No. | 6000                   |    |
| Sheet Title        | FLOOR PLAN - 3RD FLOOR |    |

**FLOOR PLAN - 3RD FLOOR**

Scale: 1/8" = 1'-0"

North Arrow



**1** 3RD FLOOR  
 SCALE: 1/8" = 1'-0"

**FLOOR PLAN LEGEND**

- 2" x 4" SHW. FTR. 18C 10113
- ◊ HANGING LAMPS SCHEDULE FOR THE
- ◊ HANGING MOUNTED - SEE SCHEDULE A1.2, A1.3
- ◊ SEE DOOR SCHEDULE
- ◊ SEE WINDOW SCHEDULE
- ◊ SEE SCHEDULE A1.1
- ◊ SEE SCHEDULE A1.2
- ◊ SEE SCHEDULE A1.3
- ◊ SEE SCHEDULE A1.4
- ◊ SEE SCHEDULE A1.5
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**STEVEN P. ELKINS ARCHITECTS INC. P.S.**  
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**Client:** Vic Patel  
**Address:** 2700 BE McLoughlin  
 Multnomah, OR 97222

**Project:** HOLIDAY INN EXPRESS  
 2400 Block Wilamette Falls Drive  
 WEST Linn, OR 97208

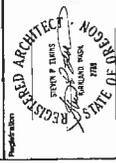
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| 315 | 01-12-13 | REVISED     |
| 316 | 02-12-13 | REVISED     |
| 317 | 03-12    |             |





11000 N.E. 35th Place, Suite #100  
Bellevue, Washington 98004  
425.487.3292  
FAX 425.898-9174

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Design Team  
Design: SPP  
Drawn: SPP  
Checked: SPP  
Client Project No.  
Client Project No.

**Vic Patel**

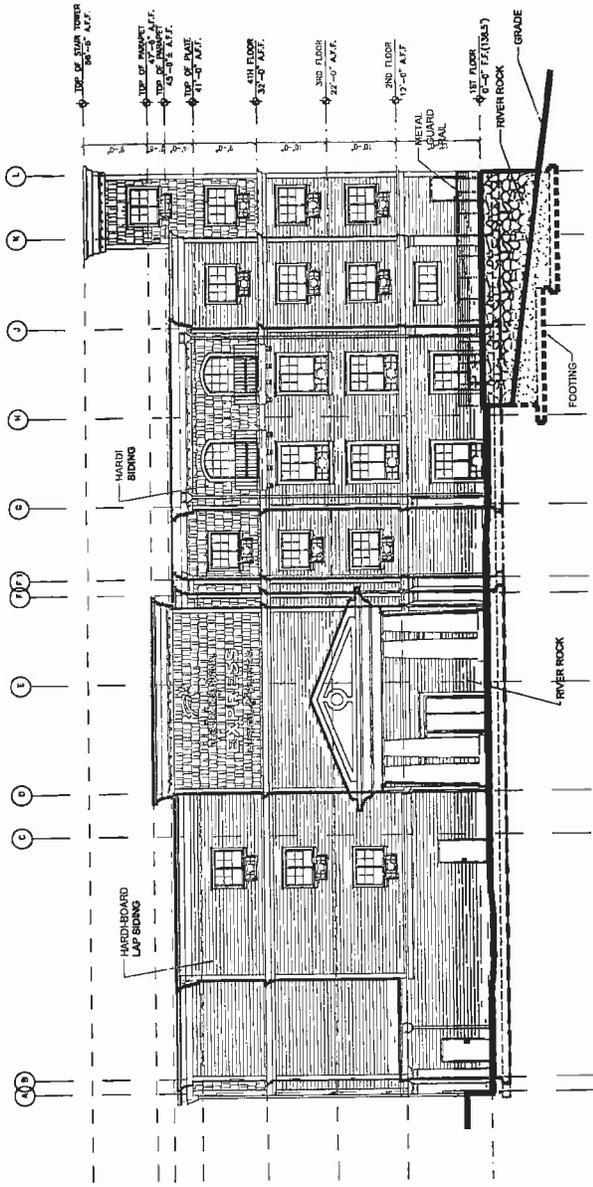
12700 SE McLoughlin  
Maplewood, OR 97222

PROJECT  
HOLIDAY INN EXPRESS  
2000 Block Winnette Falls Drive  
WEST Linn, OR 97008

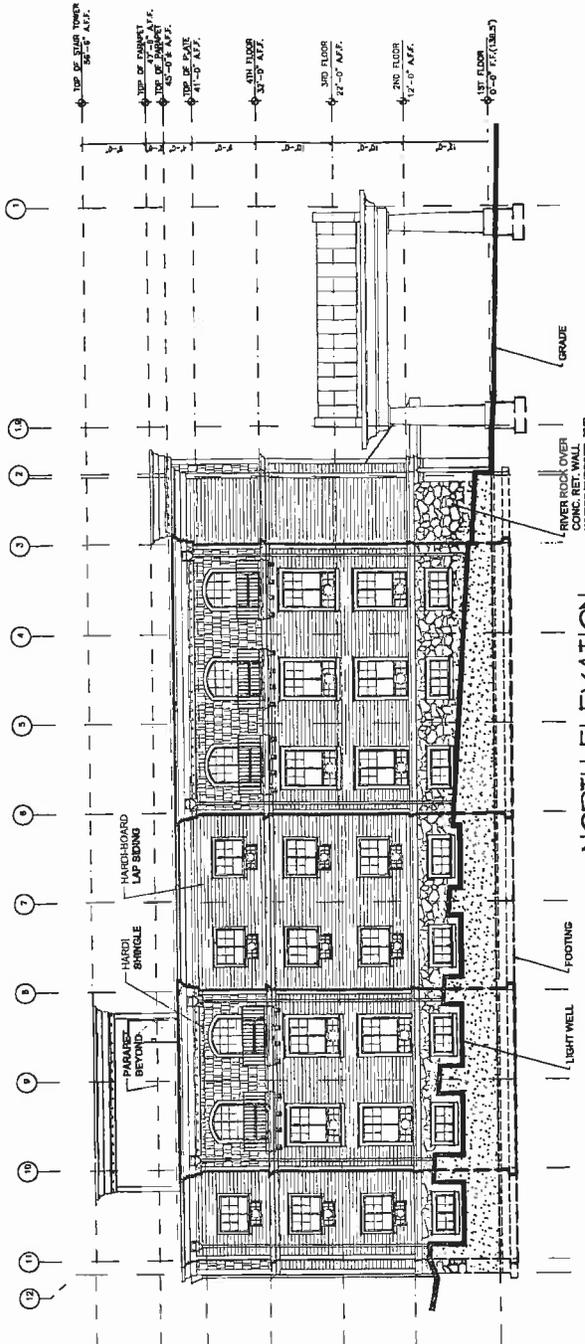
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|----------|----------|---------------|
| 10-11-07 | 10-11-07 | PROJECT       |

**EXTERIOR ELEVATIONS**

Sheet No. **A2.1**



**1 WEST ELEVATION**  
SCALE : 1/8" = 1'-0"

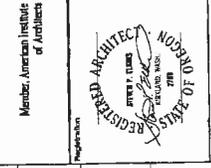


**2 NORTH ELEVATION**  
SCALE : 1/8" = 1'-0"

174



**STEVEN P. SELKINS ARCHITECTS INC. P.C.**  
 1100 N.E. 34th Place, Suite #101  
 Deltona, Florida 32725  
 TEL: (407) 255-3171  
 FAX: (407) 255-3174  
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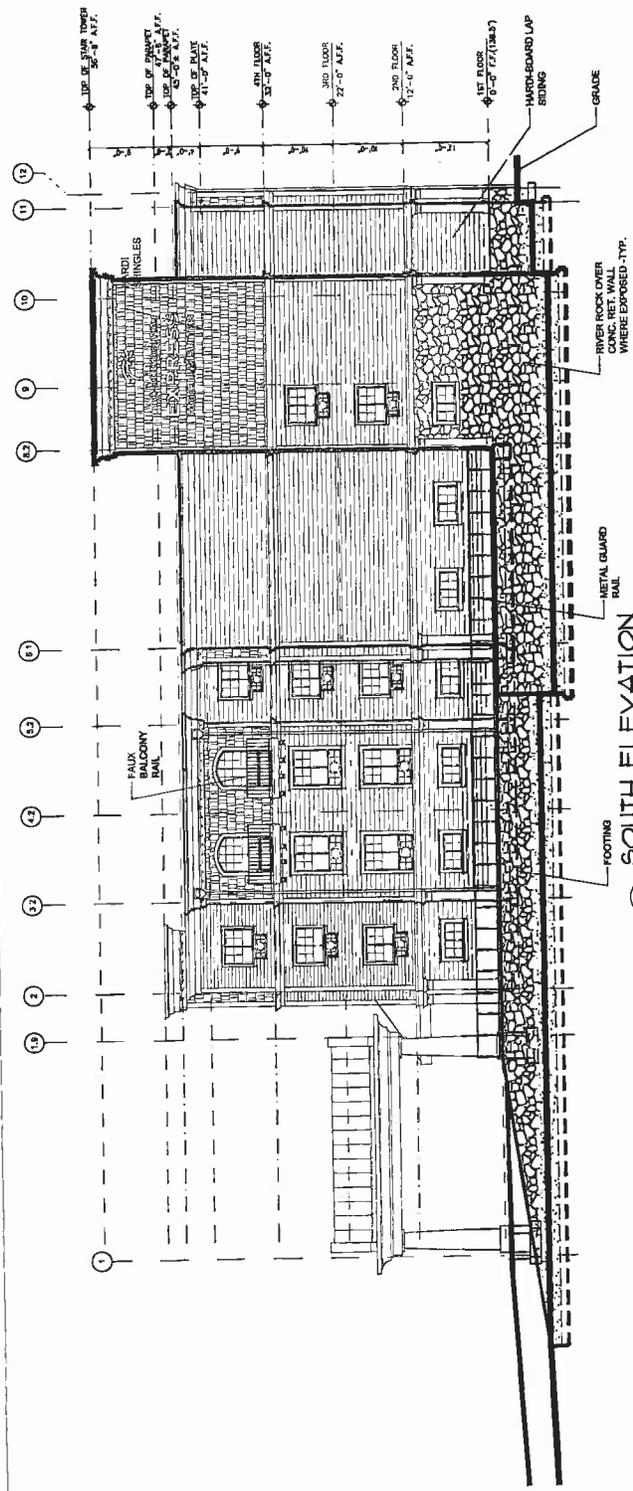
**Vic Patel**  
 9770 SE 144th Street  
 Miami, FL 33156  
 (305) 444-1111

**Project:** HOLIDAY INN EXPRESS  
 3400 Black Wilderness Falls Drive  
 WEST LAKA, OR 97266

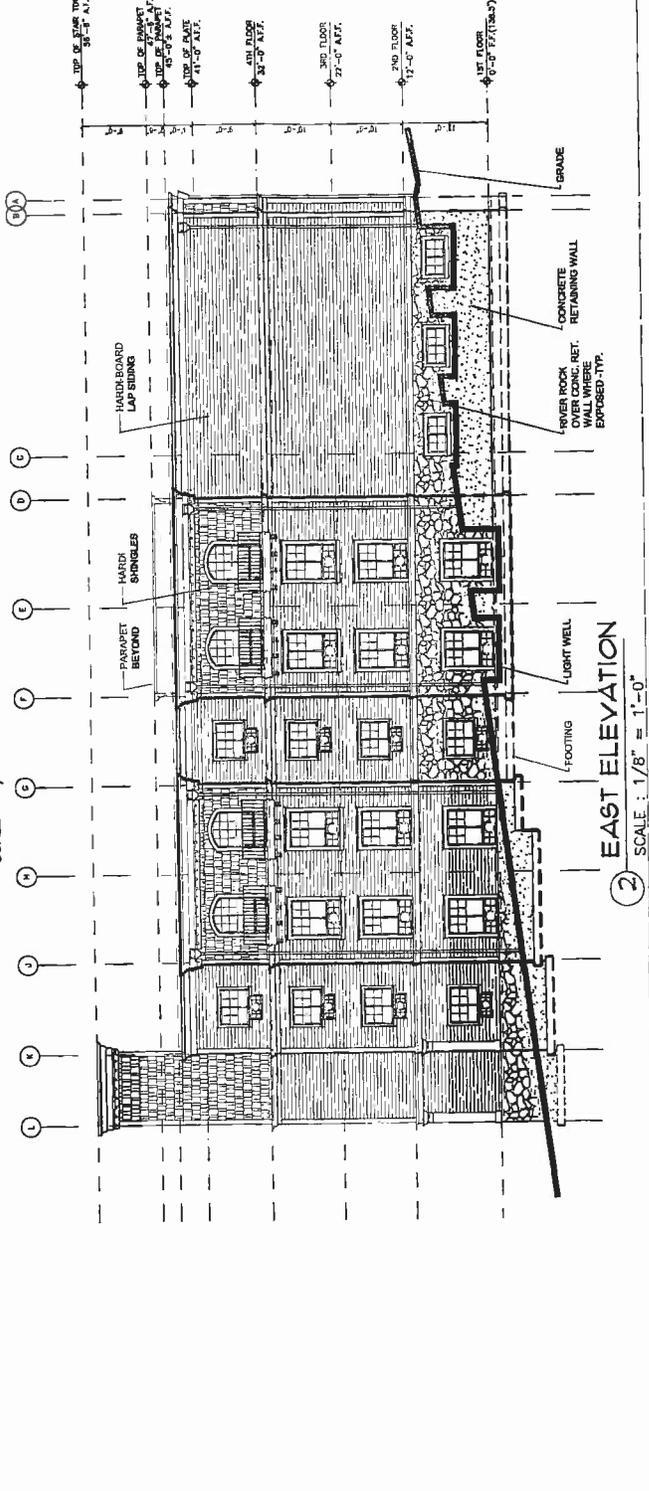
| No. | Date     | Description      |
|-----|----------|------------------|
| 01  | 11/11/11 | ISSUE FOR PERMIT |

**EXTERIOR ELEVATIONS**

**A2.2**



1 SOUTH ELEVATION  
 SCALE : 1/8" = 1'-0"



2 EAST ELEVATION  
 SCALE : 1/8" = 1'-0"



1100 NE 35th Place, Suite 4100  
 Beaverton, Oregon 97005  
 (503) 625-3820  
 FAX (503) 625-3174

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Design: T. Pat

Design: \_\_\_\_\_  
 Drawn: \_\_\_\_\_  
 Check: \_\_\_\_\_

Checked: \_\_\_\_\_  
 Date: \_\_\_\_\_

Client Project No. \_\_\_\_\_  
 Date: \_\_\_\_\_

Vic Patel

12700 SE McLoughlin  
 Milwaukie, OR 97122

Project:  
 HOLIDAY INN EXPRESS  
 2400 Beck, Westmore Falls Drive  
 WEST Linn, OR 97148

Architect:  
 Steven P. Elkins  
 1100 NE 35th Place, Suite 4100  
 Beaverton, Oregon 97005

Sheet No. \_\_\_\_\_

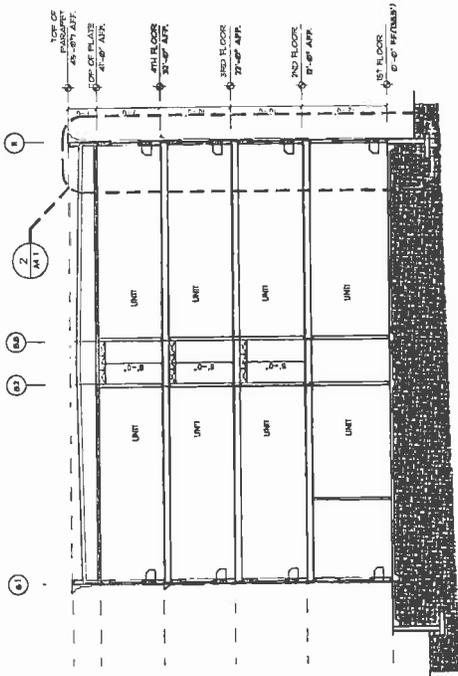
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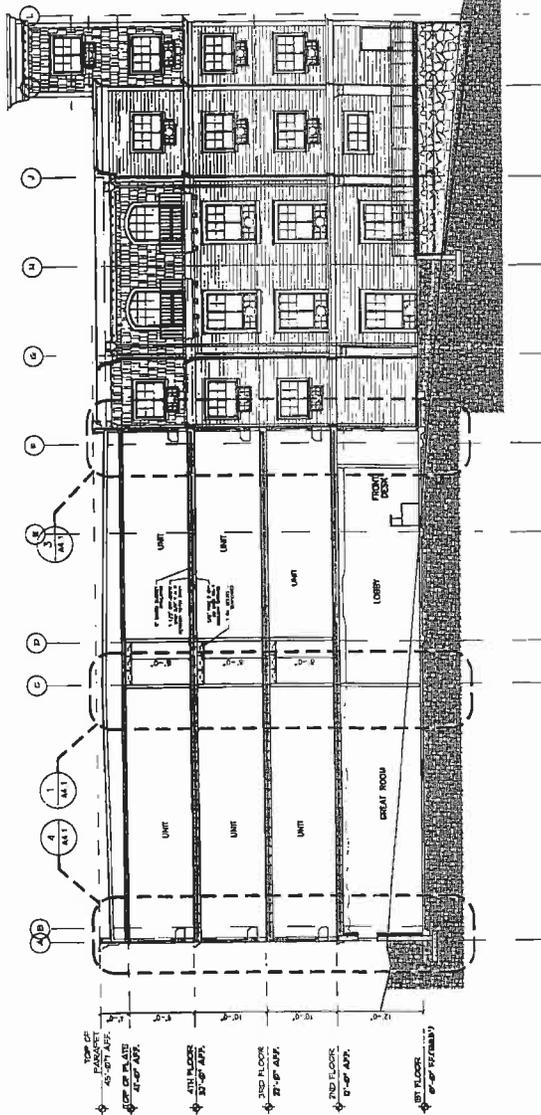
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 Steven P. Elkins Architects, Inc. P.S.

**A32**

PERMIT

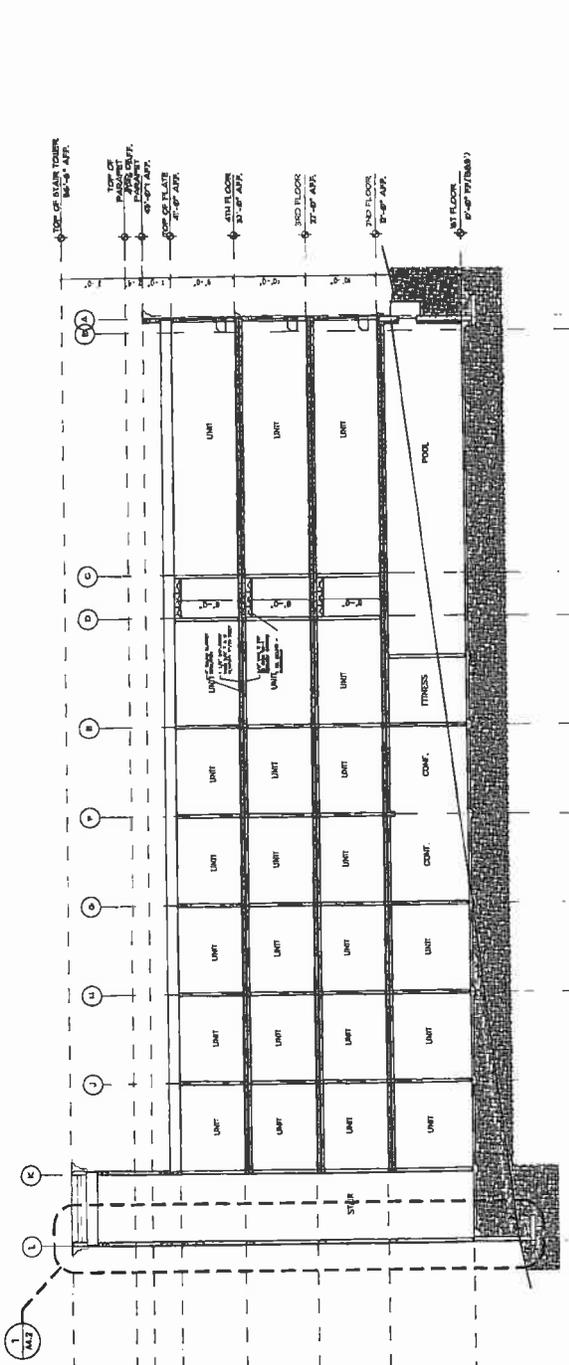


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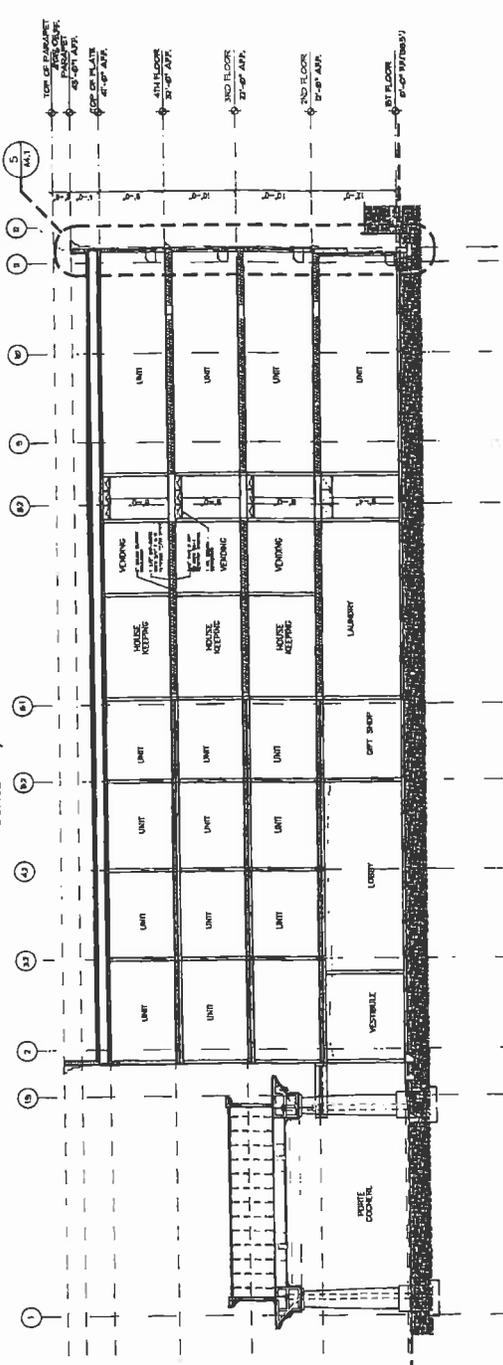


② BUILDING SECTION  
 SCALE: 1/8" = 1'-0"

| Revisions | No. | Date    | Description         |
|-----------|-----|---------|---------------------|
|           | 01  | 3/10/08 | FRANCHISE SUBMITTAL |



**1 BUILDING SECTION**  
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**2 BUILDING SECTION**  
 SCALE: 1/8" = 1'-0"

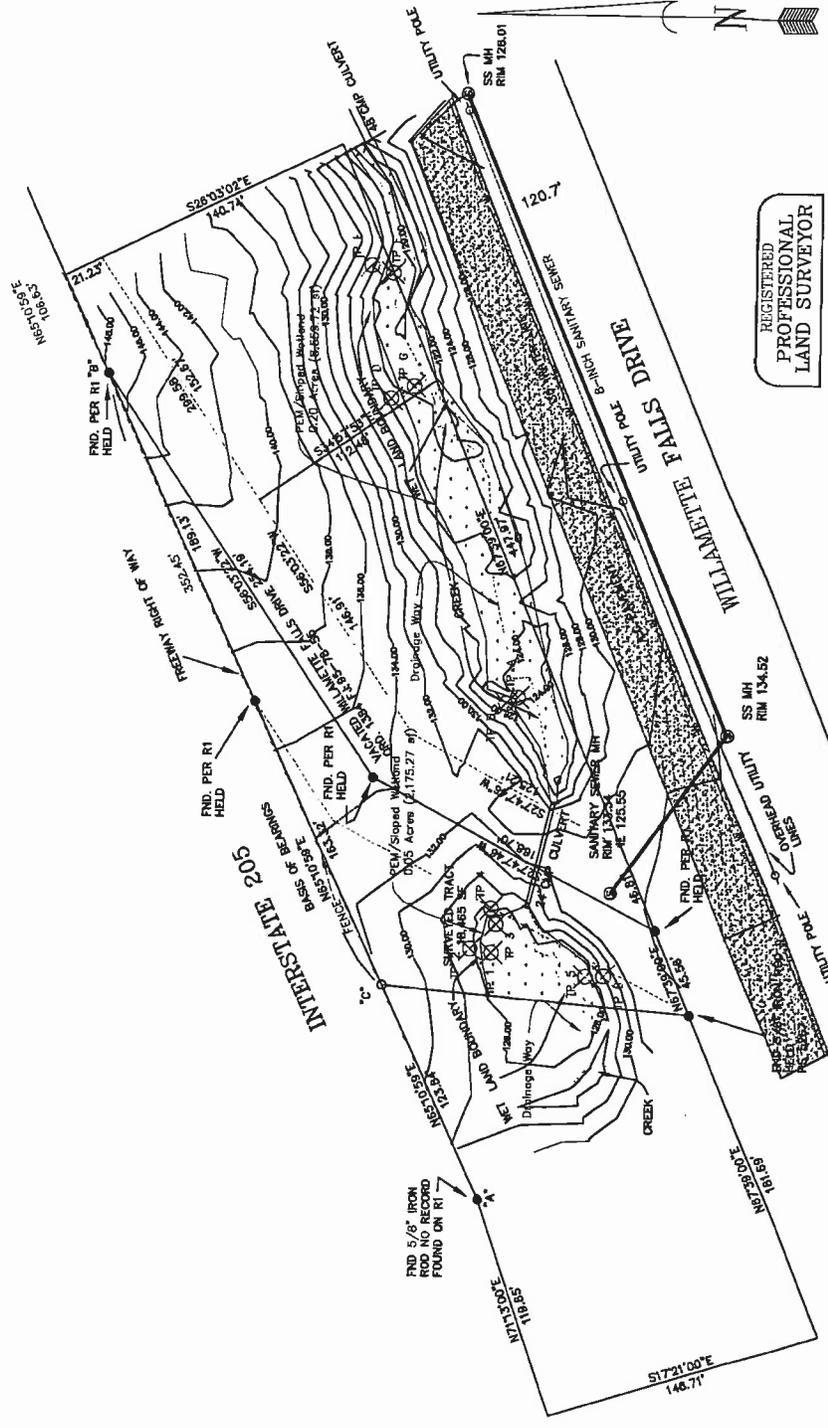
# TOPOGRAPHIC SURVEY

A PORTION OF TRACT 33 WILLAMETTE TRACTS  
AND A PORTION OF VACATED WILLAMETTE FALLS DRIVE  
AND TAX LOTS 3400 AND 3500

SE 1/4 OF SECTION 35, T.2 S., R.1 E., W.M.  
CITY OF WEST LINN  
CLACKAMAS COUNTY, OREGON

**SURVEYED BY:**  
BURTON ENGINEERING & SURVEYING  
10371 NE 122ND AVE  
CLACKAMAS, OREGON 97230  
(503) 251-2947

**SURVEYED FOR:**  
JAY PALM



SCALE 1"=30'  
DATE: 11/27/05  
JOB NO. 06-144

REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

OREGON  
JANUARY 19, 1983  
THOMAS H. BURTON  
P.S. 0

EXPIRES 12/31/07

**NARRATIVE**  
THE PURPOSE OF THIS SURVEY IS TO PROVIDE A BOUNDARY FOR THAT TRACT OF LAND Lying NORTHERLY OF THE CONTIGUOUS OF SURVEY PLANNING. THE FALLS DRIVE AS SHOWN ON THE ATTACHED THE BASIS OF BEARING IS THE SOUTHERLY RIGHT OF WAY LINE AS ESTABLISHED BY PS 2089B BETWEEN POINTS "A", "C", AND "D". POINT "C" WAS SET AT THE NORTHWEST CORNER OF PARCEL 1 AS DESIGNATED ON PS 2089B.

- BN SURVEY NUMBER IN CLACKAMAS COUNTY SURVEYORS OFFICE
- M---R---P---S--- FENCE, TYPE AS NOTED
- R1 PS 2042
- R2 PS 1917/8
- R3 PS 2042
- R4 5/8" IRON PIN WITH RED CAP MARKED PALM SURVEY

- D BEAR DISTANCE & BEARING & EXBERT C. GARRETT MONA L. GARRETT 2000-02485 12/14/92 PAGE 108-A
- E3 EXBERT C. GARRETT AND ELSA M. GARRETT 77-30784
- M PARCEL M. VAN BURCH 2000-02485 12/14/92 PAGE 108-A

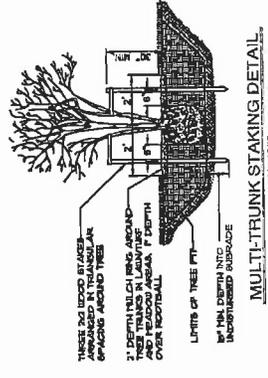
- LEGEND**
- D 5/8" IRON PIN AS NOTED WITH YELLOW PLASTIC CAP MARKED BURTON ENG. DATE SET
  - P FOUND MONUMENT AS NOTED
  - PS PRIVATE SURVEY NUMBER IN CLACKAMAS COUNTY SURVEYORS OFFICE
  - PM FOUND MONUMENT
  - R BEARING DISTANCE AND BEARING
  - M BEARING DISTANCE AND BEARING
  - CU CURVE UNKNOWN
  - P IRON PIPE BORED DIAMETER
  - PL PROPERTY LINE
  - SP BEARING DISTANCE AND BEARING
  - SS 1/2" IRON PIPE BORED WITH YELLOW PLASTIC CAP MARKED

178

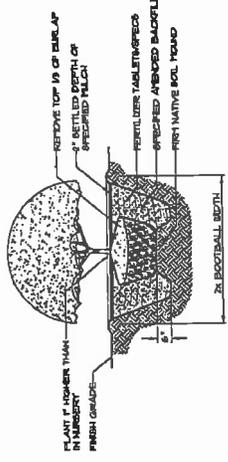


**GENERAL LANDSCAPE NOTES**

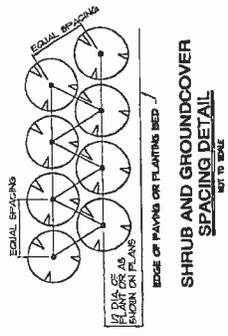
1. DO NOT USE EXPOSED UTILITIES.
2. UNDERGRADE INCLUDING BOWTIE TO WITHIN 18" FROM FOOT PROVIDED BY GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.
3. SUBGRADE SHALL BE INCORPORATED OR NOTICED BY CONTRACTOR BEFORE.
4. APPLY 4" DEPTH TYPICAL 3-WAY PER TOPSOIL IN ALL PLANTING AREAS OR AS OTHERWISE NOTED.
5. APPLY 2" DEPTH FERTILIZER/GRASS SEED MIXTURE IN ALL PLANTING AREAS. MULCH TO BE FREE OF WEED SEED, BARKS, RESIN OR TANNIN AND SHALL NOT CONTAIN ANY COMPONENTS DETRIMENTAL TO PLANT GROWTH.
6. CONTRACTOR IS RESPONSIBLE FOR DRAINAGE. ANY PROPOSED SUBMITTALS OR INFORMATION FIELD CONDITIONS TO THE ATTORNEY OR THE LANDSCAPE ARCHITECT.
7. LANDSCAPE ARCHITECT SHALL DETERMINE PLANT QUANTITIES OR VARIETIES BASED ON ALL PLANT MATERIAL SHALL BE DRAINAGE FREE AND ABOVE IN A VIGOROUS GROWING CONDITION.
8. ALL PLANT MATERIAL SHALL CONFORM TO AAN STANDARD FOR NURSERY STOCK LATEST EDITION.
9. CONTRACTOR IS RESPONSIBLE TO VISIT AND REVIEW PROJECT SITE PRIOR TO BIDDING.
10. ALL TREE PITS SHALL BE INFECTED TO INSURE PROPER DRAINAGE. PLANTING IN HEAVY SOILS REQUIRES ADDITIONAL DRAINAGE PROVISION. SEE TREE PLANTING DETAIL THIS SHEET.
11. CONTRACTOR AGREES TO MAINTAIN AND MAINTAIN ALL PLANT MATERIAL FOR ONE FULL GROWING SEASON FROM INSTALLATION AND SHALL REPLACE DEAD PLANT MATERIAL WITHIN THAT WARRANTY / MAINTENANCE PERIOD. WITH NO OBLIGATION TO THE OWNER.
12. DECIDUOUS TREES IN PLANTING AREAS SHALL HAVE SUPPORT BRANCHES HEIGHT OF 5 FT TALLEST ABOVE GRADE OR AS OTHERWISE NOTED.
13. TREE LOCATIONS ARE APPROXIMATE AND THEY NEED TO BE ADJUSTED PER LIGHTING AND UTILITY LOCATIONS.
14. ALL TREES SHALL BE DOUBLE STAKED AS SHOWN ON THE DETAILS. STAKES TO BE REPLACED WITHIN 30 DAYS OF PLANTING. TREES THAT HAVE DIED WITHIN THE ONE YEAR WARRANTY / MAINTENANCE PERIOD SHALL BE REPLACED AND RE-STAKED PER THE DETAIL.
15. LANDSCAPE CONTRACTOR SHALL MAINTAIN SITE UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER.



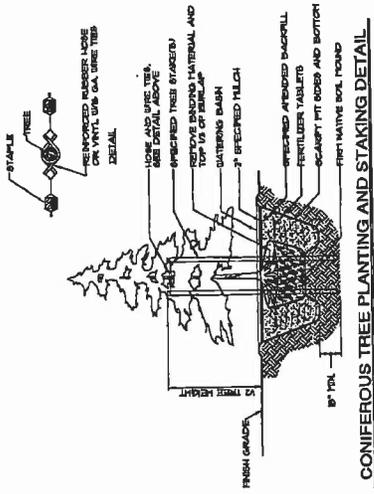
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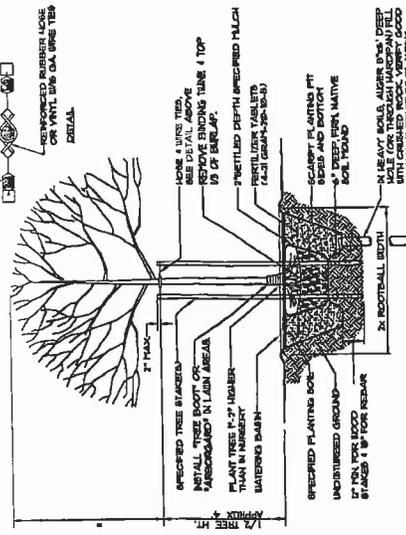
**SHRUB PLANTING DETAIL**  
NOT TO SCALE



**SHRUB AND GROUNDCOVER SPACING DETAIL**  
NOT TO SCALE



**CONIFEROUS TREE PLANTING AND STAKING DETAIL**  
NOT TO SCALE



**TREE PLANTING & STAKING DETAIL**  
NOT TO SCALE



STEVEN P. ELKINS ARCHITECTS INC. P.S.  
1100 N.E. 35th Place, Suite 101  
Portland, Oregon 97218  
TEL: 503.287.5352  
FAX: 503.287.9174

Member, American Institute of Architects  
REGISTERED ARCHITECT  
STATE OF OREGON  
1975 • 1985  
1995 • 2005  
2015

Design: \_\_\_\_\_  
Drawn: \_\_\_\_\_  
Checked: \_\_\_\_\_  
Scale: \_\_\_\_\_  
Date: \_\_\_\_\_  
Client Project No.: \_\_\_\_\_  
Client Project Name: \_\_\_\_\_

**Vic Patel**  
12700 SE McLoughlin  
Milwaukie, OR 97222

Project: HOLIDAY INN EXPRESS  
2400 Brock Wilmetta Falls Drive  
WEST Linn, OR 97068

| Rev. | Description        | Date       |
|------|--------------------|------------|
| 1    | ISSUED FOR PERMITS | 05/17/2017 |

**PLANTING DETAILS / GENERAL NOTES**

Sheet No. **L1.1**  
Drawing Title: \_\_\_\_\_  
Drawing No.: \_\_\_\_\_

# INTERSTATE 205



**ATKINSON & ELKINS ARCHITECTS INC.**  
 1100 NE 38th Place, Suite 401  
 Bellevue, Washington 98004  
 (206) 837-3252  
 FAX (206) 836-9174

Member American Institute of Architects



**EXPIRES 12/31/08**

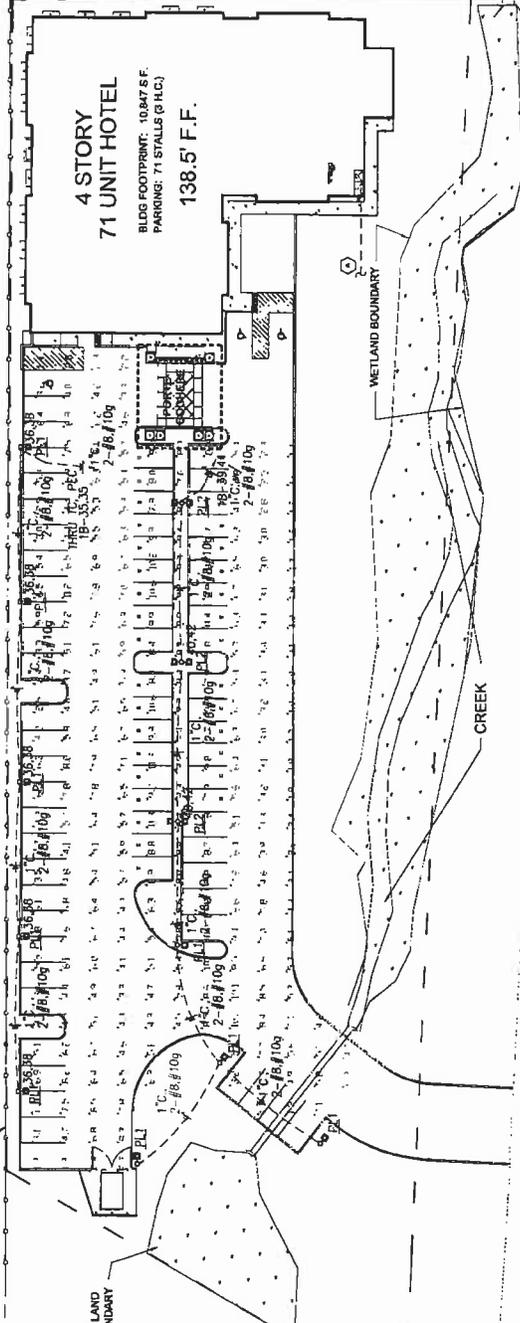
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 Date: \_\_\_\_\_  
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 Checked: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Project No.: \_\_\_\_\_

**Vict Patel**  
 12700 SE McLoughlin  
 Milwaukie, Ore. 97222

**HOLIDAY INN EXPRESS**  
 2400 West Villamette Falls Drive  
 West Linn, OR 97068

| Rev. | Date       | Description   |
|------|------------|---------------|
| 1    | 02/17/2008 | DESIGN REVIEW |

## ELECTRICAL SITE PLAN



**ELECTRICAL SITE PLAN**  
 SCALE: 1/8" = 1'-0"

# WILLAMETTE FALLS DRIVE

# 7TH STREET

**NOTES:**

1. VERIFY ALL UTILITIES ON SITE PRIOR TO BID TO BE COMPLETE. REFER TO CONELOG DIAGRAM SHEET FOR PROVIDE 2-4 TC TO TELEPHONE SERVICE POINT AT POLE OR PEDESTAL PROVIDE 2-2 TC TO TV SERVICE POINT AT POLE OR PEDESTAL.

| Symbol | Label                                                 | Qty | Location | Unit |
|--------|-------------------------------------------------------|-----|----------|------|
| PL 1   | 2-4 TC TO TELEPHONE SERVICE POINT AT POLE OR PEDESTAL | 2   | 2000     | 200  |
| PL 2   | 2-2 TC TO TV SERVICE POINT AT POLE OR PEDESTAL        | 2   | 2000     | 200  |

| Symbol | Qty | Location | Unit |
|--------|-----|----------|------|
| PL 1   | 2   | 2000     | 200  |
| PL 2   | 2   | 2000     | 200  |

### ELECTRICAL SYMBOLS

1. 1/8" = 1'-0" SCALE

2. ALL SYMBOLS ARE TO BE INSTALLED UNLESS OTHERWISE NOTED.

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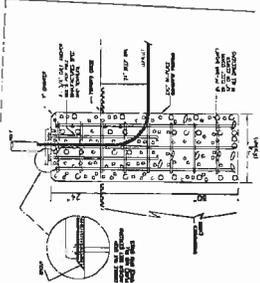
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**POLE BASE DETAIL**  
 NOT TO SCALE

CONSTRUCTION SET  
**E10**



11000 NE 38th Place S  
Bellevue, WA 98006  
(206) 461-1020  
FAX (206) 461-1021

Member, American  
of AIA

Registration No.

Design: Teach  
Design: [blank]  
Drawn: [blank]  
Checked: [blank]  
0000  
SIF Project No.  
Client Project No.

Client: Vic Patel

12700 SE McLoughli  
Millsdale, OR, 9722

Project:  
HOLIDAY INN EXPRE  
2400 Block Willams  
WEST LINN, OR 97

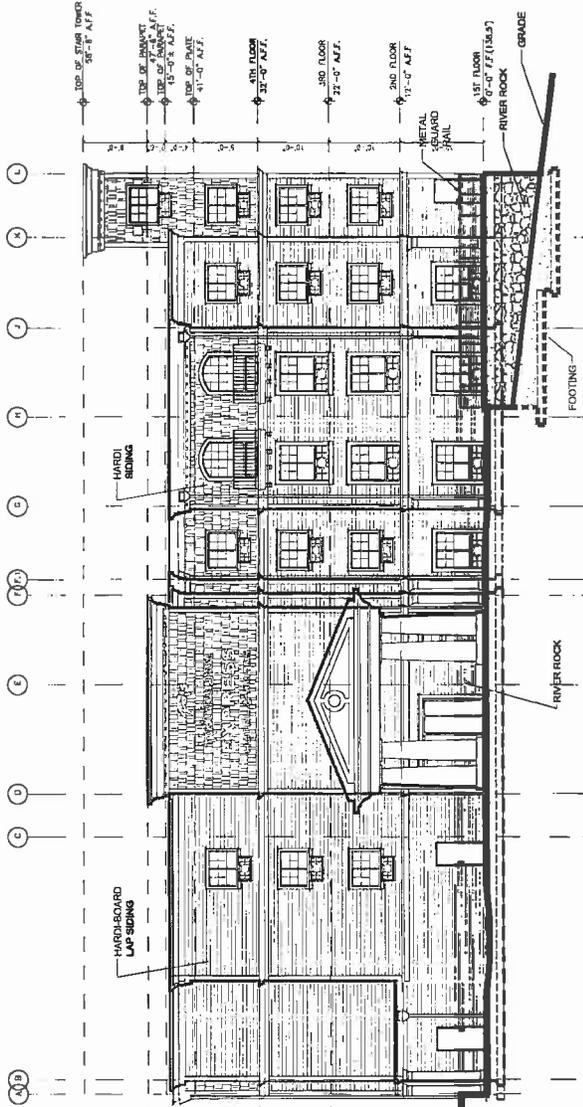
Sheet Title  
EXTERIOR  
ELEVATION

Sheet Title  
EXTERIOR  
ELEVATION

A-2.1

01/24/2011 10:00 AM  
3000 S. Eastern Avenue  
Gresham, OR 97030  
Phone: 503-665-1111

A2.1



1 WEST ELEVATION  
SCALE : 1/8" = 1'-0"



2 NORTH ELEVATION  
SCALE : 1/8" = 1'-0"

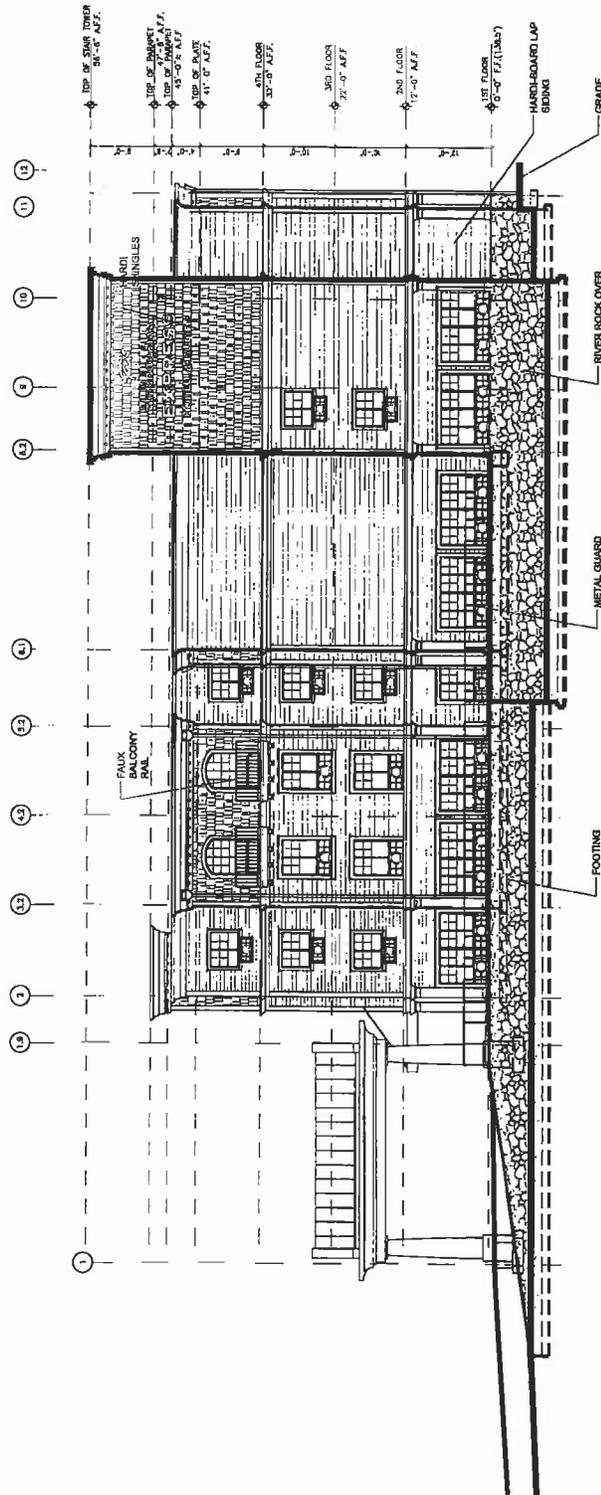
|                    |    |
|--------------------|----|
| Design             | AP |
| Drawn              | DM |
| Checked            | DM |
| SPE Project No.    |    |
| Client Project No. |    |

**Vic Patel**  
12700 SE McLoughlin  
Milwaukie, OR 97222

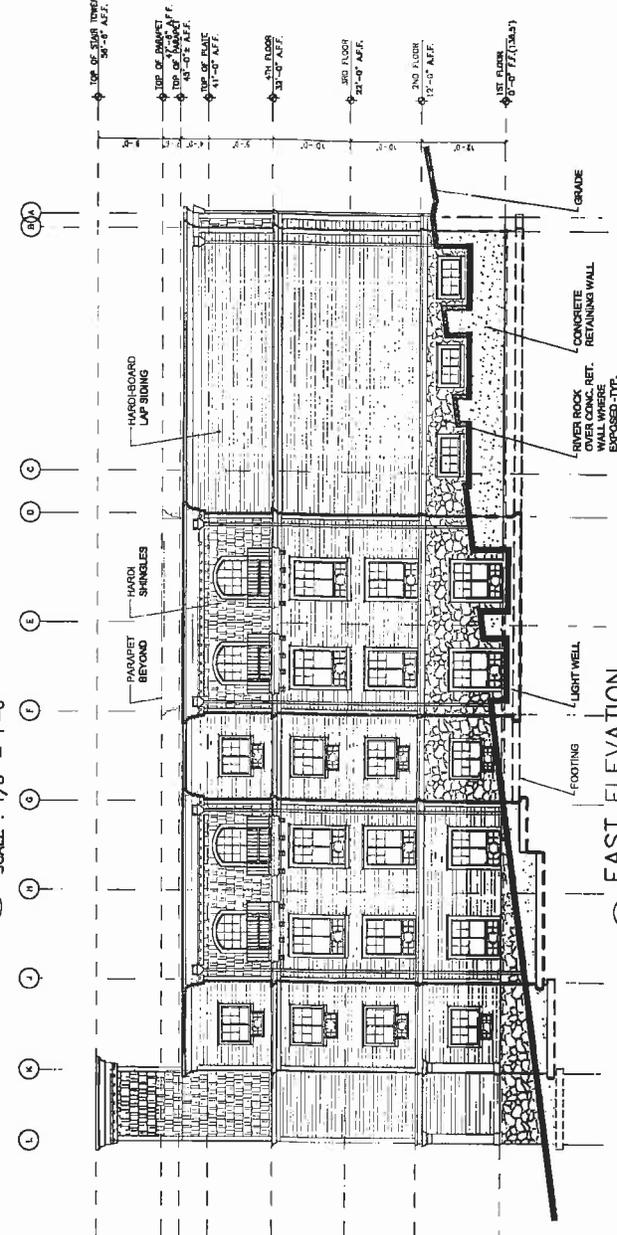
**Project:**  
HOLIDAY INN EXPRESS  
2400 Block Willamette Falls  
West Linn, OR 97146

| No.      | Date | Description       |
|----------|------|-------------------|
| 10-17-07 |      | PERMITS SUBMITTAL |
| 3-21-08  |      | PERMITS REVIEW 1  |
| 11-14-07 |      |                   |

**Sheet No.**  
EXTERIOR ELEVATIONS



**1 SOUTH ELEVATION**  
SCALE : 1/8" = 1'-0"



**2 EAST ELEVATION**  
SCALE : 1/8" = 1'-0"





**Exterior  
Facade  
Color  
Example**



**Holiday Inn  
Express  
WEST LINN  
OREGON**

105

**WATER RESOURCE AREA REPORT  
FOR  
HOLIDAY INN EXPRESS**

**Prepared for:**  
VKNW, Inc.  
12700 SE McLoughlin Blvd  
Milwaukie, OR 97222  
503-504-5566  
Attn: Vic Patel

**Prepared by:**  
Dale Gulliford, Jr.

March 2008

Project #1920



## SCHOTT & ASSOCIATES Ecologists & Wetlands Specialists

21018 NE Hwy 99E • P.O. Box 589 • Aurora, OR 97002 • (503) 678-6007 • FAX: (503) 678-6011

### INTRODUCTION

The approximate 1.58-acre subject property is located northeast of Willamette Falls Drive in West Linn, Clackamas County, Oregon (SE ¼, SE 1/4 of T2S, R1E, Sec. 35, Tax lots 3400, 3500, and Parcels 1 & 4). The irregular shaped subject property is situated between Willamette Falls drive to the southeast and the Interstate 205 right-away to the northwest. Commercial buildings are located to the northeast and southwest of the subject property. The vacant road grade of Willamette Falls Drive, which encompasses Parcel 1 and part of Parcel 4, is still visible and extends along the northwest boundaries of Tax Lots 3400 and 3500.

### EXISTING CONDITIONS

A drainage way flowed from northwest to southeast onto Parcel 1 where it flowed into an onsite pond on the eastern portion of the parcel. The pond overlapped onto Parcel 4 where stormwater flow was directed into a 24-inch culvert that extended beneath the abandoned road grade. The culvert emptied onto the southwestern corner of Lot 3400 where the drainage resumed its meander path. The drainage flowed through a depression that extended across Tax Lots 3400 and 3500. The depression was created as a result of the construction of the abandoned Willamette Falls Drive and the currently used Willamette Falls Drive. The property in these tax lots sloped down from the two road grades at 0-10% on old fill material into the small floodplain that flanks the drainage. The vegetation in the western two-thirds of Tax lots 3400 and 3500 consisted of grass and forb species. The drainage way exited the property through a second culvert that extended offsite to the northeast beneath Willamette Falls Drive.

Approximately 8.2% of the 1.58 acre water resource area is comprised of canopy cover of trees 6 inches or more in diameter at breast height. Woody vine and juvenile trees species occupy approximately 15.2% of the water resource area, while the remainder (76.6%) is covered by grasses and forbs. The canopy layer is comprised of mature Oregon ash (*Fraxinus latifolia*), big-leaf maple (*Acer macrophyllum*), English hawthorn (*Crataegus monogyna*), pine (*Pinus sp.*), and Oregon white oak (*Quercus garryana*). The woody vine, shrub, and juvenile tree species included Himalayan blackberry (*Rubus discolor*), English hawthorn (*Crataegus monogyna*), willow (*Salix sp.*), hazelnut (*Corylus cornuta*), and black hawthorn (*Crataegus douglasii*). Grass and forb species consisted of reed canary grass (*Phalaris arundinacea*), tall fescue (*Festuca arundinacea*), teasel (*Dipsacus Thapsus*), velvet grass (*Holcus lanatus*), common horsetail (*Equisetum arvense*), bull thistle (*Cirsium vulgare*), orchard grass (*Dactylis glomerata*), European bittersweet (*Solanum dulcamara*), and bracken fern (*Pteridium aquilinum*).

The depression on the east side of the road was an extension of the upstream section of Parcels 1 and 4. The flood plain in the depression in these two parcels was wider than the downstream sections. This is due to the two artificial constraints the road grades impose. There were sections of fill on both

the north and south sides of this section as well. The vegetation in this portion of the subject property consisted of mature deciduous trees, non-native shrubs and woody vine species, ferns, and grasses.

The Local Wetland Inventory (LWI) for the City of West Linn indicates a drainage way flowing through two wetlands separated by an abandoned road on the subject property (BE-01 & BE-02). The Clackamas County Soil Survey indicated Woodburn silt loam on 3 to 8 percent slopes. The Woodburn series is not listed to be hydric. The topographic map indicates there to be an old road grade extending from southwest to northeast through the middle of the subject property, and a drainage flowing from northwest to southeast. The topographic map also shows the drainage to flow through a well defined northwest to southeast situated swale.

Based on the vegetation, soils and hydrology data collected onsite, 0.25 acres (10,734.99 sf) of PEM/Sloped wetland were found onsite. The wetland boundaries were flagged. The flagging was surveyed by Burton Engineering, a Professional Land Surveyor (PLS).

## METHODS

The analysis method used for the site visit is based on the City of West Linn Proposed Water Quality Resource Area and Wetland Code Revisions, Water Resource Area Protection Chapter 32. Pursuant to § 32.050 (A) an assessment by a qualified wetland specialist (Schott & Associates, Inc.) was conducted. The property was surveyed by Burton Engineering & Surveying, a registered professional Land Surveyor (PLS).

## 32.050 – APPROVAL CRITERIA

No application for development on property containing water resource area shall be approved unless the decision-making authority finds that the following standards have been satisfied, or can be satisfied by conditions of approval.

- A. Proposed development submittals shall identify all water resource areas on the project site. The most currently adopted Storm Drainage Master Plan shall be used as the basis for determining existence of drainage ways. The exact location drainage ways identified in the Storm Drainage Master Plan, and drainage way classification may have to be verified by the City Engineer. The Local Wetlands Inventory shall be used as the basis for determining existence of wetlands. The exact location of wetlands identified in the Local Wetland Inventory shall be verified in a wetlands delineation analysis prepared for the applicant by a certified wetlands specialist.

*An Existing Conditions Map and a copy of the Wetland Delineation Report (Prepared by Schott & Associates, Inc.) has been attached to this application, which show the location of all water resource areas on the project site. A copy of the West Linn Local Wetland Inventory has been provided as well.*

- B. Proposed developments shall be so designed as to maintain the existing natural drainage ways and utilize them as the primary method of stormwater conveyance through the project

site unless the Storm Drainage Master Plan calls for alternate configurations. Proposed development shall, particularly in the case of subdivisions, facilitate reasonable access to the drainage way for maintenance purposes.

*The proposed development plan was designed to maintain the existing drainage way and will be utilized as the primary method of stormwater conveyance through the project site.*

- C. Development should be conducted in a manner that will minimize adverse impact on water resource areas. Alternatives which avoid all adverse environmental impacts associated with the proposed action shall be considered first. For unavoidable adverse environmental impacts, alternatives that reduce or minimize these impacts shall be selected. If any portion of the water quality resource area is proposed to be permanently disturbed, the applicant shall prepare a mitigation plan as specified in CDC 32.070 designed to restore disturbed areas, either existing prior to development or disturbed as a result of the development project to a healthy natural state.

*See Alternative Analysis and Mitigation Plan below.*

- D. Wetlands, natural drainage ways and transition areas should be protected from development or encroachment by dedicating the land title deed to the City for open space purposes if either 1) a finding can be made that the dedication is roughly proportional to the impact of the development; or, 2) the applicant chooses to dedicate these areas. Otherwise, these areas shall be preserved through a protective easement. Protective or conservation easements are not preferred because natural drainage and transition areas protected by easements have shown to be harder to manage and, thus, more susceptible to disturbance and damage.

*The applicants are not proposing to impact the onsite water features however, a large portion of the transition zone will be impacted by the proposed development. A deed restriction will be provided during the application process.*

- E. The protected water resource area shall include the drainage channel, creek, wetlands, and the transition zone.

*The drainage channel, wetlands, and transition zone have been shown on the Existing Condition Map (Attached). The transition zone was measured from the edge of the delineated wetlands however, the slopes of the banks surrounding the wetlands are greater than 25%. The starting measurement to the top of the bank was greater than 30 feet in most areas, but never more than 150 feet.*

- F. Roads, driveways, utilities, or passive use recreation facilities may be built in the transition zone and across drainage ways when no other practical alternative exists. Construction shall minimize impacts. Construction to the minimum dimensional standards for roads is required. Full mitigation and revegetation is required, with the applicant to submit a

mitigation plan pursuant to CDC Section 32.070 and a revegetation plan pursuant to CDC Section 32.080.

*The proposed ingress/egress road to access the site is an existing road crossing between the two onsite water features. The crossing currently has a 55-foot long 24-inch culvert that conveys flow between the two water features. The original plan called for two access points rather than one. Limiting the plan to one access point minimizes impacts to the transition zone and eliminates the need for a Wetland Removal-Fill Permit Application that would be required to be submitted if a second access point was proposed. The existing road crossing is currently the only way to access the northern portion of the site, which is where the majority of the development is proposed. Based on the current site plan, the existing culvert will not need to be lengthened to accommodate the proposed access road. A full mitigation and revegetation plan pursuant to CDC Section 32.070 and 32.080 has been included with this application, respectively (See below).*

- G. Prior to construction, the water resource areas shall be protected with a chain link fence at its perimeter and shall remain undisturbed except as specifically allowed by an approved water resource area permit. Such fencing shall be maintained until construction is complete. The transition area (an area that is to be protected) shall be identified with City approved permanent markers at all boundary direction changes and at 30 to 50-foot intervals that clearly delineate the extent of the protected area.

*A chain link fence will be erected prior to construction to protect the onsite water resource area. Because a large portion of the Vegetated Corridor is proposed to be impacted by the development, the fence will be erected along the boundary of the construction limits. The fence will remain until construction of the Holiday Inn Express is complete.*

*Permanent survey stakes shall be established at 30 to 50-foot intervals along transition area. The stakes will be placed at all boundary direction changes, which will clearly delineate the extent of the protected area.*

- H. Paved trails, walkways, or bike paths shall be located at least 15 feet from the edge of a protected water feature except for approved crossings. All trails, walkways, and bike paths shall be constructed so as to minimize disturbance to existing native vegetation.

*No paved trails, walkways, or bike paths are proposed at this time.*

- I. Sound engineering principles regarding downstream impacts, soil stabilization, erosion control, and adequacy of improvements to accommodate the intended drainage through the drainage basin shall be used. Storm drainage should not be diverted from its natural watercourse. Inter-basin transfers of storm drainage shall not be permitted.

*There will be no downstream impacts as a result of the proposed development. The stormwater plan proposes to match the post development peak flow rates with pre-existing flow rates.*

*The existing vegetation currently provides good soil stabilization within the water resource and the Vegetated Corridor. Most of the Transition Zone is vegetated by grasses and forbs, which are good short term erosion control as long as it is healthy and provides complete coverage on slopes that aren't too steep and have suitable soil. The remainder of the area consists of shrubs and trees with a grass and forb understory, which provides better long-term erosion control. The proposed mitigation plan (See below) will add native trees, shrubs, forbs, and grass species to the Transition Zone. The addition of these plantings will further bolster the already good soil stabilization in place.*

*The Erosion Control Plan (See Attached) proposes to establish a sediment fence along the eastern and southern sides of the construction area. The fence will also extend along the eastern side of the existing access road to Willamette Falls Drive. A second fence will be installed on the west side of the access road, around the western water resource.*

*As previously stated, the post development rates of flow will match the pre-development rates of flow. The existing drainage way will not be diverted, dewatered, or altered by the proposed development. Inter-basin transfer is not possible at the project site because there is only one drainage way and one outlet.*

- J. Appropriate erosion control measures based on CDC Chapter 31 requirements shall be established throughout all phases of construction.

*See Erosion & Control Plan.*

K.

*Much of the natural drainage way is considered to be "disturbed" or "unhealthy based on CDC Section 32.050 (K) standards. The transition area does not have a combination of native trees, shrubs, and groundcover on less than 80% of the water resource area and less than 50% tree canopy coverage in the water resource area. However, we do not recommend enhancing these portions of the water resource. Much of the wetland/drainage areas contain reed canary grass and other non-native or nuisance species. Reed canary grass is very difficult to eradicate and the best measure needed to do so will require a wetland removal-fill permit. To rid the area of reed canary grass, the transition area will need to be graded to strip the topsoil. The topsoil would then have to be carried offsite and disposed. Stringent erosion control techniques will then be implemented to prevent onsite erosion and downstream sedimentation. Finally, a re-vegetation plan would be implemented, consisting of a native planting scheme and several years of monitoring. A second option would be to spray the area with an herbicide such as Garalon-5. This method has been used in the past and yields mixed results. Spraying an herbicide within or*

*near a water resource should be avoided if possible. The applicant does not propose to impact any portion of the water resource area and therefore, we do not recommend the aforementioned measures being used.*

- L. Due to site constraints, it is impossible to maintain a 15-foot setback area from all foundations walls and footings from the transition area. The proposed site plan would impact approximately 32,074.45 sf (0.74 acres) of onsite transition area, which is far more than what the CDC Chapter 32 allows. The applicant intends to apply for a variance from the City of West Linn in order to develop the subject property.*
- M. No Stormwater Treatment Facilities will encroach in to any of the onsite wetlands/drainage ways.*
- N. The only "piped" or "covered" drainage way located onsite is the 24-inch culvert currently extending between the onsite water features. Opening this part of the drainage way will leave the building area without access.*
- O. The proposed Holiday Inn Express is zoned General Commercial therefore there are no required front yard setbacks for this development.*

### **32.070 MITIGATION PLAN**

A mitigation plan shall be required if any portion of the water resource areas is proposed to be permanently disturbed by development.

- A. All mitigation plans must contain an alternative analysis demonstrating that:
  - 1. No practicable alternatives to the requested development exist that will not disturb the water resource area, and;
  - 2. Development in the water resource areas has been limited to the area necessary to allow for the proposed use; and,
  - 3. an explanation of the rationale behind choosing the alternative selected, including how adverse impacts to the water resource area will be avoided and/or minimized.

*Three alternative plans have been provided to illustrate the limited buildable space and the minimum requirements of the Holiday Inn franchise. The three alternative plans include a "No Build Site Plan", a "Reduced Impact Site Plan", and the "Preferred Site Plan".*

*The "No Build Site Plan" is insufficient because of the limited buildable space. Avoidance of the transitional zone is impossible for this project therefore, the applicant are forced to look to alternative plans that satisfy the franchise requirements. It would be impossible to construct any type of commercial development without impacting the onsite transitional zone.*

*The second alternative (Reduced Impact Site Plan) consists of one two-way ingress/egress point that accesses Willamette Falls Drive from the southwest property*

corner, a 4-story 67 unit hotel (10, 500 sf) located in the northeast corner, and a 67 space parking lot extending along the northern portion of the property. The remaining 17,480.21 sf of undeveloped property is proposed to be revegetated with native vegetation listed in the Metro native plant list.

In the "Preferred Site Plan", the amount of the parking was also reduced from 30,000 sf to 25,000 sf, which in turn minimized the amount of transitional zone from 18,550 sf to 17,480.21 sf. Although the amount of parking was reduced, the Holiday Inn Express franchise has a parking lot requirement of 1.1 stalls per 1 unit (Hotel room). This requirement will be superseded by the City of West Linn's minimum ratio of 1 stall per 1 unit.

The preferred site plan was chosen over the "No Build Site Plan" and the "Reduced Impact Site Plan" because it meets the City of West Linn requirements and those of the Holiday Inn Express franchise. The specific reasons the "

1. The hotel building footprint has been minimized by constructing the building as tall as possible, which minimizes the sprawl of the building. Incidentally, the number of units has been reduced to the minimum allowed per franchise requirements.
2. One entrance to the site is proposed. The original plan called for two entrances but the two entrance plan would require an extension of the culvert located in the southeast corner of the site. By extending the culvert the wetland and drainage way would be impacted, which is not desired by the applicant. A single entrance eliminates the need for a second porte cochere.
3. The "Preferred Site Plan" will result in a smaller parking lot and smaller building footprint from that of a maximum impact plan. Minimization of these two impacts results in lesser impacts to the Vegetated Corridor. The amount of parking area (Impervious surface i.e. parking lot, sidewalk, hard surfaces) is reduced from 31,865 sf to 25,000 sf. Areas of pervious surfaces (Not included the pervious asphalt) is increased from 24,809 sf to 32,480 sf.
4. Measures to further lessen impacts include paving the parking lot with pervious surface, which will reduce the amount of storm run-off.
5. The parking lot provides more area to be landscaped than what is required by the city.

B. A mitigation plan shall contain the following information:

1. A description of adverse impacts that will be caused as a result of development.

*Unavoidable adverse impacts will result from the proposed impacts, which include the loss of 32,074.45 sf (0.74 acres) of transition zone on the project site. The impacts are unavoidable due to the size of subject property, location of the drainage/wetlands, and the minimum parking and room requirements set forth by the Holiday Inn Express franchise. Onsite vegetation that will be lost due to the proposed development includes*

*big-leaf maple (Acer macrophyllum), Himalayan blackberry (Rubus discolor), English hawthorn (Crataegus monogyna), hazelnut (Corylus cornuta), bull thistle (Cirsium vulgare), orchard grass (Dactylis glomerata), European bittersweet (Solanum dulcamara), and bracken fern (Pteridium aquilinum). Of the 8 species previously listed, the blackberry, hawthorn, thistle, orchard grass, and European bittersweet are introduced species not on Metro's native plants list. The native species such as big-leaf maple, hazelnut, and bracken fern are present, but in few numbers. The majority of the onsite vegetation is non-native and/or invasive species that comprise a low level and structural diversity habitat.*

2. An explanation of how adverse impacts to resource areas will be avoided, minimized, and/or mitigated in accordance with, but not limited to, the re-vegetation provisions of CDC Section 32.050(K).

*Although much of the transition zone will be impacted by development, the site development plan demonstrates how the applicant proposes to avoid the onsite drainage and associated wetlands. Additional adverse impacts to the water resource areas will be avoided by utilizing the existing road crossing for ingress/egress, erecting a multi-floor hotel to minimize sprawl, eliminating all but one building entrance, and reducing the number of parking spaces. By utilizing the existing road crossing for ingress and egress a second access point will not be needed. A second access point would impact the existing drainage/wetland area on the eastern side of the property, which would require a wetland removal/fill permit application. Silt fences will be placed between the wetlands and construction areas, which will create work area isolation. Exposed areas should be covered in straw to prevent erosion and sedimentation.*

3. A list of all responsible parties including, but not limited to, the owner, applicant, contractor, or other persons responsible for work on the development site.

Owners: VKNW, Inc., Attn: Vic Patel  
12700 SE McLoughlin Blvd  
Milwaukie, OR. 97222  
503.504.5566: Office  
503.788.9473: Fax

Applicant: Same as above

Contractor: Bob Wright  
2333 NW Vaughn  
Portland, OR 97210  
503.484.1111: Office  
503.484.1119: Fax

Architect: Steven P Elkins Architects Inc PS  
11000 NE 33rd Place, Suite 101  
Bellevue, WA 98004-1460  
425.827.3252: Office  
425.889.9174: Fax

Engineer: Tim Turner  
2636 SE Market St.  
Portland, OR 97214  
503.235.7592 Office

Monitoring: Schott & Associates, Inc.  
Attn: Dale R. Gulliford, Jr.  
21018 NE Hwy 99E, P.O. Box 589  
Aurora, OR 97002  
503.678.6007: Office  
503.678.6011: Fax

4. A map showing where the specific mitigation activities will occur.

*Onsite Rehabilitation Plan and Offsite Mitigation Area are attached.*

5. An implementation schedule, including timeline for construction, mitigation, mitigation maintenance, monitoring, reporting, and a contingency plan.

*See the "Planting Schedule and Construction Sequence", "Goals", "Objectives", "Success Criteria", "Mitigation Monitoring", and "Contingency Plan" sections below.*

6. Assurances shall be established to rectify any mitigation actions that are not successful. This may include bonding or other surety.

*A bond will be provided during the City review process.*

7. Provide evidence that this application has been or will be submitted soon to DSL and Army Corps.

*This project does not fall under the jurisdiction of DSL or the COE therefore no applications need be submitted.*

- C. Mitigation of any water resource areas that are not wetlands that are permanently disturbed shall be accomplished by creation of a mitigation area equal in to the area being disturbed. Mitigation areas maybe onsite or offsite. The applicant shall prepare and implement a revegetation plan for the mitigation area pursuant to CDC Section 32.080, and which shall result in the areas meeting the standards set forth in CDC Section 32.050(K). The City

Department of Parks and Recreation shall prepare an inventory of potential off-site re-vegetation candidate areas on City Park property. Any offsite mitigation occurring on privately owned land shall be protected with a conservation easement.

*The applicant proposes to re-vegetate the remaining 17,480.21 sf of onsite transition zone and mitigating the 32,074.45 sf (0.74 acres) of onsite transition zone impacts to an offsite location. A Revegetation Plan for both onsite and offsite areas can be found below (32.080 Revegetation Plan Requirements). In meetings with Ken Worchester from the City Parks and Recreation Department, it was agreed upon that Fields Bridge Park would be a suitable offsite mitigation location. The park, owned by the City of West Linn, has areas that do not meet the standards set forth in CDC Section 32.050(K). The applicant proposes to re-vegetate 32,074.45 sf of the park in areas designated for mitigation (See Mitigation Plan). There is no one contiguous "disturbed" area large enough to mitigate for all of the impacts so we have proposed to re-vegetate multiple small "disturbed" areas to meet our 1:1 mitigation ratio (See Mitigation Plan).*

*Four areas have been selected because of the presence of Japanese knotweed, which is an exotic invasive species the City wishes to eliminate. The fourth, fifth, sixth, and seventh areas are degraded and would benefit from enhancement. Poison oak will be eradicated out of Area 8 however; no plantings will be installed (See below).*

- D. The Mitigation Plan for any wetland area to be disturbed shall be prepared and implemented with the guidance of professionals with experience and credentials in wetland areas and values. Where the alternatives analysis demonstrates that there are no practicable alternatives for mitigation onsite, off-site mitigation shall be located as follows:
1. As close to the development site as is practicable above the confluence of the next downstream tributary, or if this is not practicable;
  2. Within the watershed where the development will take place, or as otherwise specified by the City in an approved wetland mitigation bank.

*The onsite water resources are not proposed to be impacted however the Vegetated Corridor will be impacted by the development of the Holiday Inn Express. Offsite mitigation for the Vegetated Corridor impacts has been approved for areas of Fields Bridge Park by the City of West Linn.*

- E. To ensure that the mitigation area will be protected in perpetuity, proof that the area has been dedicated to the City or a conservation easement has been placed on the property where the mitigation is to occur is required.

*There are no wetland impacts therefore no wetland creation is required.*

### **32.080 Revegetation Plan Requirements**

Metro's native plant list is incorporated by reference as a part of CDC Chapter 32, and all plants used in revegetation plans shall be plants found on the Metro native plant list. Performance standards for planting upland and riparian plants include the following:

- A. Native trees and shrubs will require temporary irrigation from June 15 to October 15 for the three years following planting.

*A temporary irrigation system will be setup in both the onsite and offsite mitigation areas. The irrigation system layout and installation will be implemented by the landscape contractor.*

- B. Invasive non-native or noxious vegetation shall be removed within the area to be re-vegetated prior to planting.

*The removal of invasive non-native or noxious vegetation is outlined below in "Onsite Revegetation Plan & Offsite Mitigation" section.*

- C. Replacement trees must be at least one-half inch in caliper, measured at 6 inches above the ground level for field grown trees or above the soil line for container grown trees (the one-half inch minimum size may be an average caliper measure, recognizing that trees are not uniformly round) unless they are oak or madrone, which may be one gallon size. Shrubs must be in at least a one-gallon container or the equivalent in ball and burlap and must be at least 12 inches in height.

*See Planting Legends for "Offsite Mitigation Fields Bridge Park" and "Mitigation/Enhancement Planting Plan for the Holiday Inn Express".*

- D. Trees shall be planted between 8 and 12 feet on-center and shrubs shall be planted between 4 and 5 feet on-center, or clustered in single species groups of no more than 4 plants, with each cluster planted between 8 and 10 feet on center. When planting near existing trees, the dripline of the existing trees shall be the starting point for plant spacing requirements. A copy of this report shall be supplied to the landscape contractor.

*See Planting Legends for "Offsite Mitigation Fields Bridge Park" and "Mitigation/Enhancement Planting Plan for the Holiday Inn Express". A copy of this report shall be supplied to the landscape contractor.*

- E. Shrubs must consist of at least two different species. If 10 trees or more are planted, then no more than 50% of the trees may be of the same species. The proposed Revegetation Plan requires three trees species and four shrub species.

*See Planting Legends for "Offsite Mitigation Fields Bridge Park" and "Mitigation/Enhancement Planting Plan for the Holiday Inn Express".*

- F. A deposit of 125% of the cost of the plantings shall be submitted to the City. The deposit will be returned after five years have passed and 80 percent survival of the plants has been achieved.

*A deposit for 125% of the cost of the plantings will be submitted to the City. The cost of the plantings will be based on current market prices at the time of the submittal review.*

### **Onsite Revegetation Plan & Offsite Mitigation**

Both onsite revegetation and offsite mitigation are proposed for the impact of 32,074.45 sf (0.74 acres) of impact for the proposed 10,847 sf 4 floor, 71 unit Holiday Inn Express. Mitigation will involve 32,074.45 sf (0.74 acres) of enhancement at Fields Bridge Park and 17,480.21 sf of enhancement on the subject property. Enhancement and mitigation will include the removal of invasive vegetation, grading of soils if needed, and revegetation of plants found on the Metro native plant list.

Offsite Mitigation Areas 1-7 actually total 41,785 sf, which is an additional 9,711 sf of enhancement area however; we have included the additional area to compensate for portions of the mitigation areas that are currently in good condition or currently have existing, mature native trees present. Mitigation Area 7 has a line of mature evergreen trees along the southwestern boundary. These trees are to remain and plants will be installed on the perimeter of the drip-line. Forbs and low growing shrubs may be installed within their drip-line if needed.

#### *Onsite Nuisance/Prohibited Species*

The remaining transition area on the east side of the property not impacted by development is currently vegetated by tall fescue, velvet grass, perennial rye grass, and reed canary grass. The transition area west of the water resource areas consists of Himalayan blackberry, hazelnut, English hawthorn, snowberry, red alder and assorted grasses. Himalayan blackberry and English hawthorn are listed on the nuisance plant list and reed canary grass is listed on prohibited plant list.

#### *Offsite Nuisance/Prohibited Species*

Currently, the offsite mitigation areas have a variety of invasive/nuisance species that will be removed prior to installing native vegetation. Mitigation Area 1 is currently void of tree and shrub species, but does contain knotweed that is listed on Metro's nuisance plant list (See Offsite Mitigation Locations).

Mitigation Areas 2 and 3 contain knotweed as well but are also vegetated by reed canary grass, which is found on Metro's prohibited plant list.

Area 4A was also covered by knotweed and reed canary grass. Area 4B had several undesirable species such as field bindweed, Himalayan blackberry, and reed canary grass.

Area 5 and the planter strip contain Himalayan blackberry, Queen Anne's lace, velvet grass, English plantain, field bindweed, Canada thistle. All of the plants found at Area 5 and the planter strip are listed in Metro's nuisance and prohibited plant list except for velvet grass (Invasive species) and English plantain (Exotic).

Area 6A-C contained mixed grass and forb species with very little canopy coverage and was in degraded condition.

Area 7 was a mix of invasive and native species including red alder, Himalaya blackberry, bracken fern, velvet grass, and tall fescue. Ken Worchester indicated that Area 7 had been previously enhanced with western red cedar however; invasive species were still present in high numbers and not all of the enhancement plantings have survived. Red cedar and unidentified deciduous saplings were observed in Area 7. The saplings had no leaves or any signs of new growth, but most of the cedars appeared to be alive and well.

Area 8 is a small area that is not slated for enhancement but the removal of poison oak is required.

#### *Removal & Control of Nuisance/Prohibited Species*

The onsite and offsite species present in the enhancement areas that are listed on the City of Portland nuisance and prohibited plant list will need to be removed and controlled after the completion of enhancement. These species include giant knotweed, reed canary grass, Himalayan blackberry, Canada thistle, field morning glory, Queen Anne's lace, and poison oak.

The Himalaya blackberry, reed canary grass, and field bindweed spread rapidly and can wreak havoc on mitigation/enhancement projects. These species should be controlled via appropriate herbicides. The herbicides should be applied by a licensed applicator during appropriate conditions. The application should start at the bottom of any slope and work towards the top and only applied to areas where these species are found. Prior to applying the herbicide the undesirable species should be grubbed away from all native plant species or in this case species that are to remain.

Reed canary grass will be sprayed with Rodeo prior to any excavation, but only in the buffer areas. Follow-up treatments will occur on an as-needed basis. Dense native herbaceous vegetation and the development of a healthy tree and shrub layer will help control establishment of reed canary grass, however, if stands do establish, immediate measures should be taken to ensure control of this species.

The most effective way to rid Area 8 of poison oak is to cut the main stalk and apply herbicide to the plant. The herbicide should be a mix a 1.3:1 ratio of Round-up and Crossbow herbicides, and the mixed with a small amount of surfactant (Fabric softener). The surfactant helps cut through the waxy surface of the poison oak leaf, which in turn facilitates the application of the herbicide. This application should take place in late August or early September. Note: This application should not be applied to poison oak if growing on or near tree saplings however; the mature fir trees in Area 8 will not be affected by the mixture.

An application of Round-up will decimate field bindweed. The plant will turn black and die after the first application.

The Himalayan blackberry within 25 feet of the water resource areas should be removed by hand (grubbed) prior to any herbicide application. This will help prevent any accidental contamination of the water resource areas by the herbicide.

Queen Anne's lace (*Daucus carota*), Canada thistle (*Cirsium arvense*), horsetail (*Equisetum arvense*), and blue bindweed (*Solanum dulcamara*) are also present and listed as nuisance plants on the Portland Plant List, which are somewhat detrimental to the mitigation but removal is not required.

#### *Planting Requirements*

Three trees species are proposed for both the offsite mitigation areas at Fields Bridge Park and the Willamette Falls Drive project site. The tree species proposed offsite include Douglas-fir, big-leaf maple, and red alder. The onsite enhancement area is proposed to be planted with red alder, big-leaf maple, and vine maple.

Offsite, the Douglas fir plantings should be heavily concentrated in Mitigation Area 4B and Mitigation Area 7. Both of these areas have suitable soils and existing Douglas-fir trees in the vicinity.

Big-leaf maples plantings are appropriate in offsite Mitigation Areas 1 – 7 and throughout the onsite enhancement area. The big-leaf maples will provide excellent shade near water resource areas such as the Tualatin River and pond located in the southeast corner of the park.

Red alder trees are the most ubiquitous of all the proposed tree species proposed and may be planted in the onsite enhancement and any of the offsite mitigation areas. Red alders grow quickly and will help shade the other species in the first few years of growth.

The vine maple trees planted in the onsite enhancement area should be should be planted near the toe of the banks of the drainage and in areas that receive partial shade. Vine maple is a small tree that prefers moist soils and indirect sunlight however it is known to grow in open areas.

Four shrub species are proposed to be planted in the offsite mitigation areas. These species include snowberry, hazelnut, Indian plum, and tall Oregon grape. The snowberry, hazelnut, and sword fern are proposed in the onsite enhancement area.

The snowberry shrub prefers dry soils and partial sunlight. This shrub species will do well in most of the offsite mitigation areas, especially Mitigation Areas 4B and 7. Snowberry should be planted on the upper reaches of the stream banks in the onsite enhancement area. This species should be planted in clusters of 3 – 5 plants.

The hazelnut shrub is a common native species found in the region. This shrub prefers moist to dry soils and can thrive in various light conditions. Hazelnut can be planted in all of the offsite mitigation area and on the upper slopes of the onsite stream banks.

Tall Oregon grape is a suitable shrub planting at both the onsite and offsite locations because it prefers dry soils and full sunlight. Tall Oregon grape is also pleasing to the eye and provides berries for local wildlife. Existing tall Oregon grape shrubs were observed at the offsite mitigation site. This shrub would be best planted in offsite Mitigation Areas 2, 3, 4A, 5, and in most of the onsite enhancement area.

Indian plum is proposed in the offsite mitigation location but not in the onsite enhancement area. Indian plum is generally a tall, slender shrub that grows in moist soils and in partial sunlight conditions. It would be best planted in Mitigation Areas 1, 4A, 4B, and 7. The plant produces edible plums and existing individuals were observed during our site visits.

The invasive species should be controlled prior to any plantings. All the plantings should occur during the winter of 2006 – 2007.

### **Planting Schedule and Construction Sequence**

Dense planting with small stock is preferred to sparse planting with large stock. Plantings should be installed between February 1 and May 1, or between October 1 and November 15. When plantings must be installed outside these times, additional measures may be needed to assure survival. Plantings should be placed in groups ranging from three to seven of the same species to encourage massing. Groupings of different species can be placed next to each other, as long as the species are appropriate for the given hydrologic conditions.

Trees, shrubs, and groundcovers should be adequately mulched with an appropriate material (e.g. compost or straw) to retain moisture and discourage weed growth around newly installed plant material.

Planting trees, shrubs, and rhizomes will occur during the first winter upon completion of the site grading, but no later than the beginning of March. The mitigation area will be hydro seeded at the same time the shrubs and trees are planted.

The enhancement/mitigation site will be irrigated by using a temporary irrigation line. The line will be under ground with sprinkler heads at intervals of approximately 30 feet. The sprinklers may be adjusted to ensure that full coverage is provided but we recommend that 20-foot spraying radius be the average. The enhancement/mitigation site will be watered twice a month for 3 to 4 hours, during the evening. The intent of this system is not to pamper the plants but to give the adequate water to survive the summer months during the critical first years. Watering will also be temperature dependent. If the weather forecast calls for temperatures above 87 degrees Fahrenheit, the plants must be watered the night before.

### **Goals**

The goal of the enhancement plan is to enhance 32,074.45 sf (0.74 acres) at Fields Bridge Park and 17,480.21 sf of enhancement on the subject property. It is also a goal to replace low quality upland such as the existing onsite Vegetated Corridor, with an Vegetated Corridor that provides high functional capacity and values of functions.

### **Objectives**

The objective is to replace a low to moderate-quality Vegetated Corridor to a high value and functional Vegetated Corridor at both the project site and the enhancement areas in Fields Bridge Park.

The enhancement areas will be created to provide wildlife habitat and thermoregulation functions for the Tualatin River, and the onsite drainage way and wetland.

### **Success Criteria**

A survivorship of 80% is proposed for the tree and shrub plantings after three years. Invasive species should not exceed 20% cover.

### **Mitigation Monitoring**

A three-year monitoring effort of the mitigation area is proposed. The monitoring biologist will complete a field investigation of the site and submit an annual written report to the City of West Linn.

The following explains the timing of the monitoring, the photograph documentation, and the vegetation assessment.

#### *Timing*

The monitoring methods will involve a yearly site visit from the monitoring biologist to inspect the sites and do a stem count and species inventory. This should be at the middle of the growing season (near the end of August). If the plants of the mitigation sites appear to be stressed, the monitoring biologist may suggest irrigation during the summer months.

#### **Photographs**

Permanent photo-stations will be established at the mitigation sites. These photo points will be placed in such a way as to give an overview of the general condition of the site. These photo points will be shown on the mitigation plan.

#### **Vegetation Assessment**

Percent survivorship of woody species will be estimated by counting the dead of each species, and then subtracting that number from the number planted. This number will be divided by the number planted, then multiplied by 100 to obtain the percentage of survivorship.

Canopy cover or herbaceous species (Quadrat sampling) will be estimated by the monitoring biologist using five one sq. micro-plots.

**Table 1. Performance Standards, Monitoring Methods, Contingencies**

| Performance Standard        | Monitoring Methods                                                                                         | Contingency                                                                                |
|-----------------------------|------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|
| Survival of planted species | Stem Counts<br>Species inventory                                                                           | Plant additional vegetation,<br>weed control, substrate<br>amendment, herbivore<br>control |
| Herbaceous cover            | Arial cover (quadrant<br>sampling)                                                                         | Plant additional vegetation,<br>weed control, substrate<br>amendment, herbivore            |
| Woody cover                 | Arial cover (line<br>intercept sampling)<br>Arial cover (belt-<br>transect or large area<br>plot sampling) | Plant additional vegetation,<br>weed control substrate<br>amendment, herbivore<br>control  |

### Contingency Plan

Numerous problems can prevent a mitigation area from developing as proposed. Contingency measures will be designed and implemented once the problems have been identified. Possible corrections include animal disturbances, or incorrect species for the local conditions. The vegetation will be monitored by the project biologist. If, during the monitoring process problems are identified corrective measures will be determined and implemented. If survival of planted individuals proves to be inadequate then additional vegetation and/or weed control will be needed to insure the 80% survival at the end of the three years. Herbivore control may also be needed.

Plant mortality may come from many causes. The main causes are weak nursery stock and water stress. If survivorship of any planted species falls below 80%, the cause of the mortality will be assessed. If the mortality is due to inappropriate placement of the plant in relation to the hydrology of the site, adjustments to the replanting site will be recommended by the monitoring biologist. In the event of weak nursery stock, the mortality should be immediately evident (within a few days) and should be detected in the review of the planting.

The contingency measures for herbivory and plant mortality (often linked) are to replant the affected plants and protect them. Plantings can be surrounded by plant cages formed by 3' chicken wire to protect them from damage from beavers and nutria. If the individual plant cages are not sufficient to deter the beavers, fencing the entire area with 3' chicken wire may be needed to ensure success of the site. If small rodent girdling of the plantings is the problem, the base of the tree may need to be protected with a rodent guard.

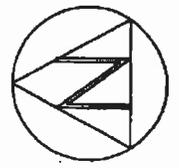
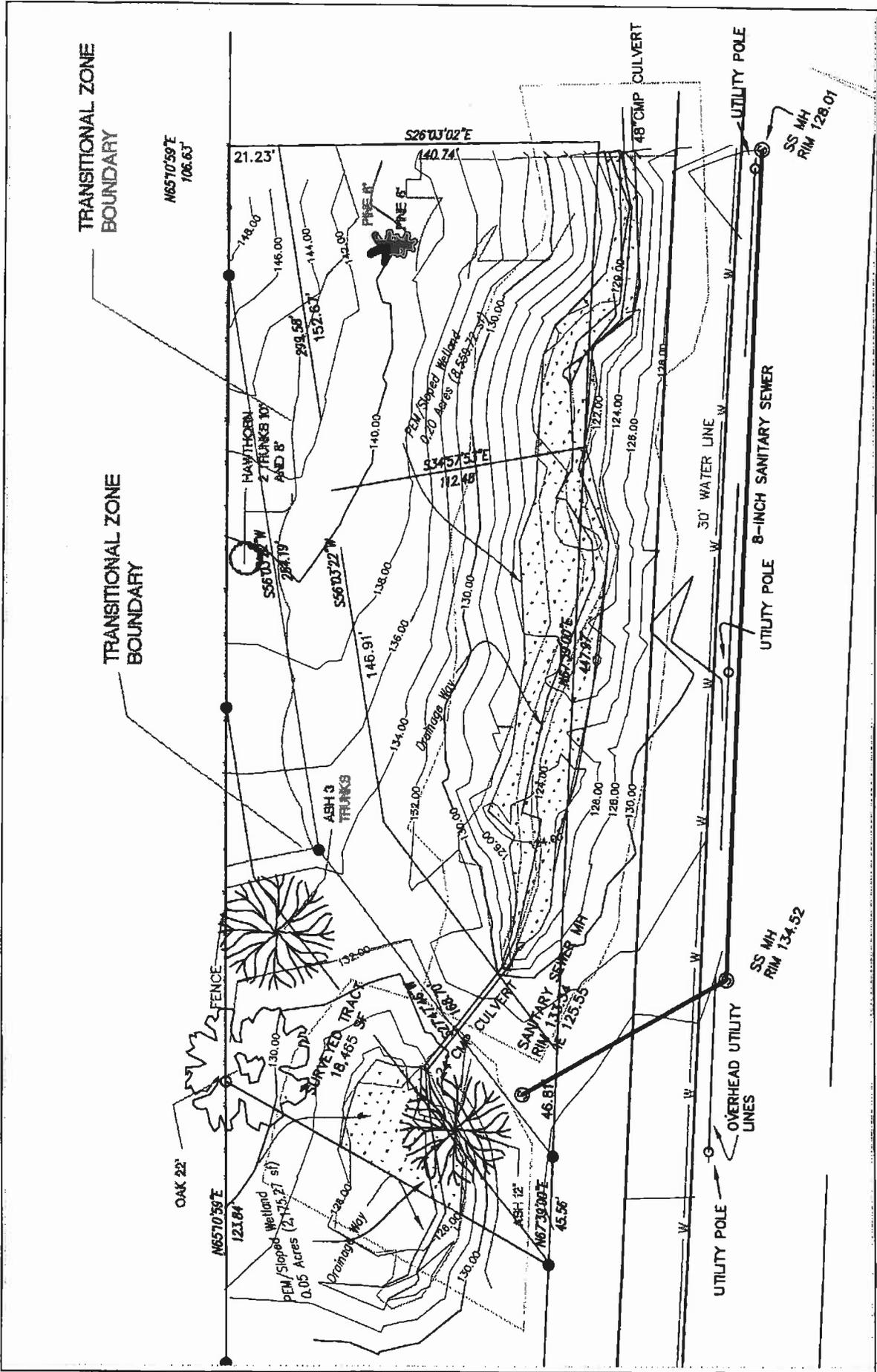
In the event of an extended drought, irrigation may be necessary to ensure establishment of the plantings. If mortality is due to water stress, watering of the site will be done up to 7 times during the period from July 1 to August 31.

Invasive species will be controlled before planting takes place. If cover of invasive species becomes greater than 20%, more dramatic control measures will need to take place. These include cutting the

canes of Himalayan blackberry in summer and applying, by painting or daubing (not spraying) new sprouts with an herbicide approved for use near water and in wetlands. This application should be done in 2 months after cutting and again in late summer or early fall (if needed). Reed canary grass will be sprayed with Rodeo prior to any excavation. Areas not graded will also be sprayed. Follow-up treatments will occur on an as-needed basis.

Dense native herbaceous vegetation and the development of a healthy tree and shrub layer will help control establishment of reed canary grass, however, if stands do establish, immediate measures should be taken to ensure control of this species. Close mowing of the grass and direct application of approved herbicide should keep the grass from overtaking the mitigation area.

**APPENDIX A: Existing Conditions Map with Tree Locations**



SCALE  
 1" = 60'

Wetland map and survey provided by Burton Engineering (PLS).  
**EXISTING CONDITION MAP - HOLIDAY INN EXPRESS**  
**WEST LINN, OREGON - PROJECT# 1920**

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**APPENDIX B: Reduced Impact Site Plan**

207

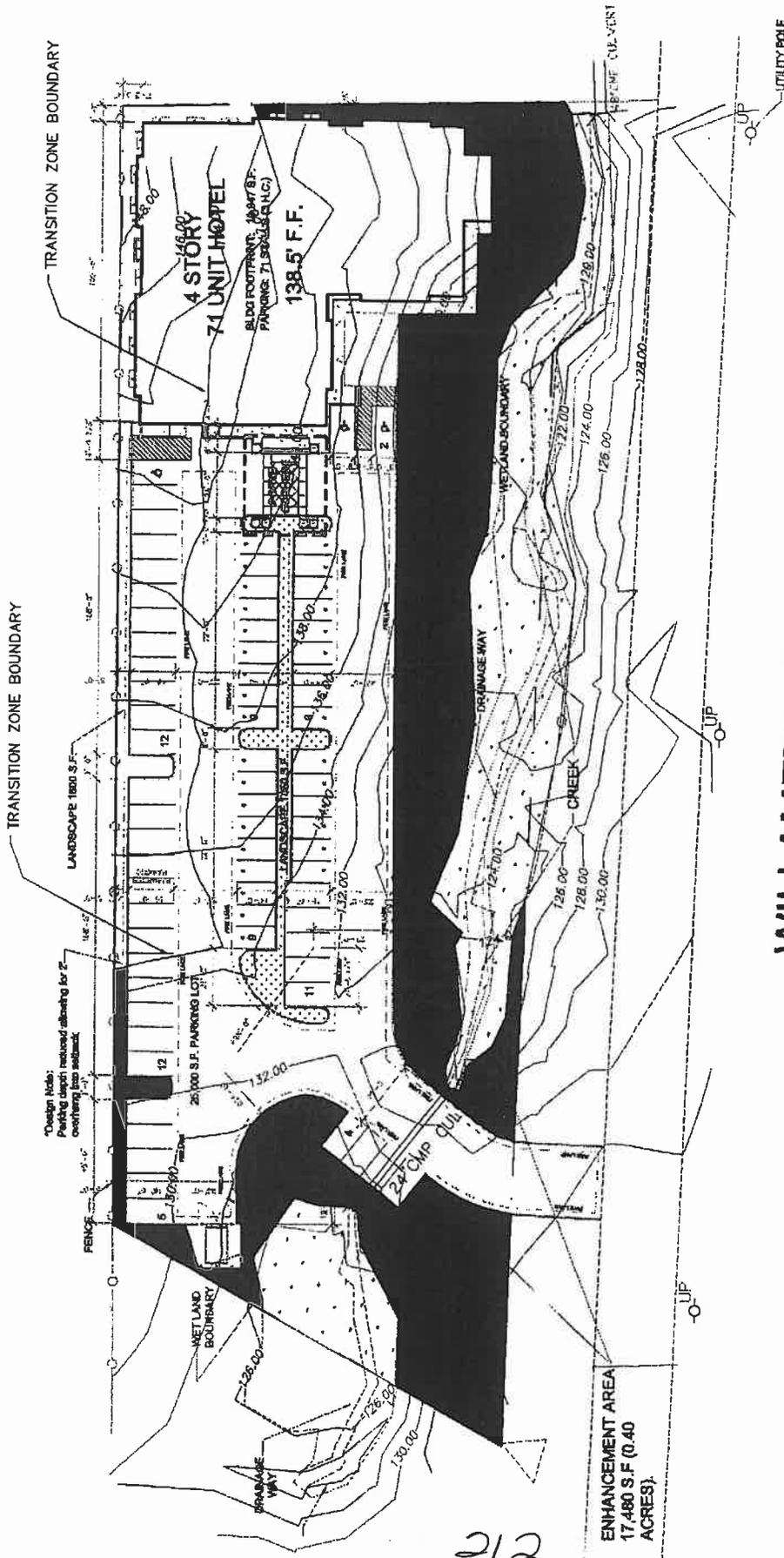


**APPENDIX C: Preferred Site Plan**



**APPENDIX D: Onsite Enhancement Area**

# INTERSTATE 205

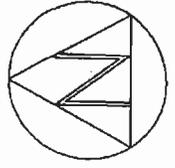


# WILLAMETTE FALLS DRIVE

Wetland map and survey provided by Burton Engineering (PLS).

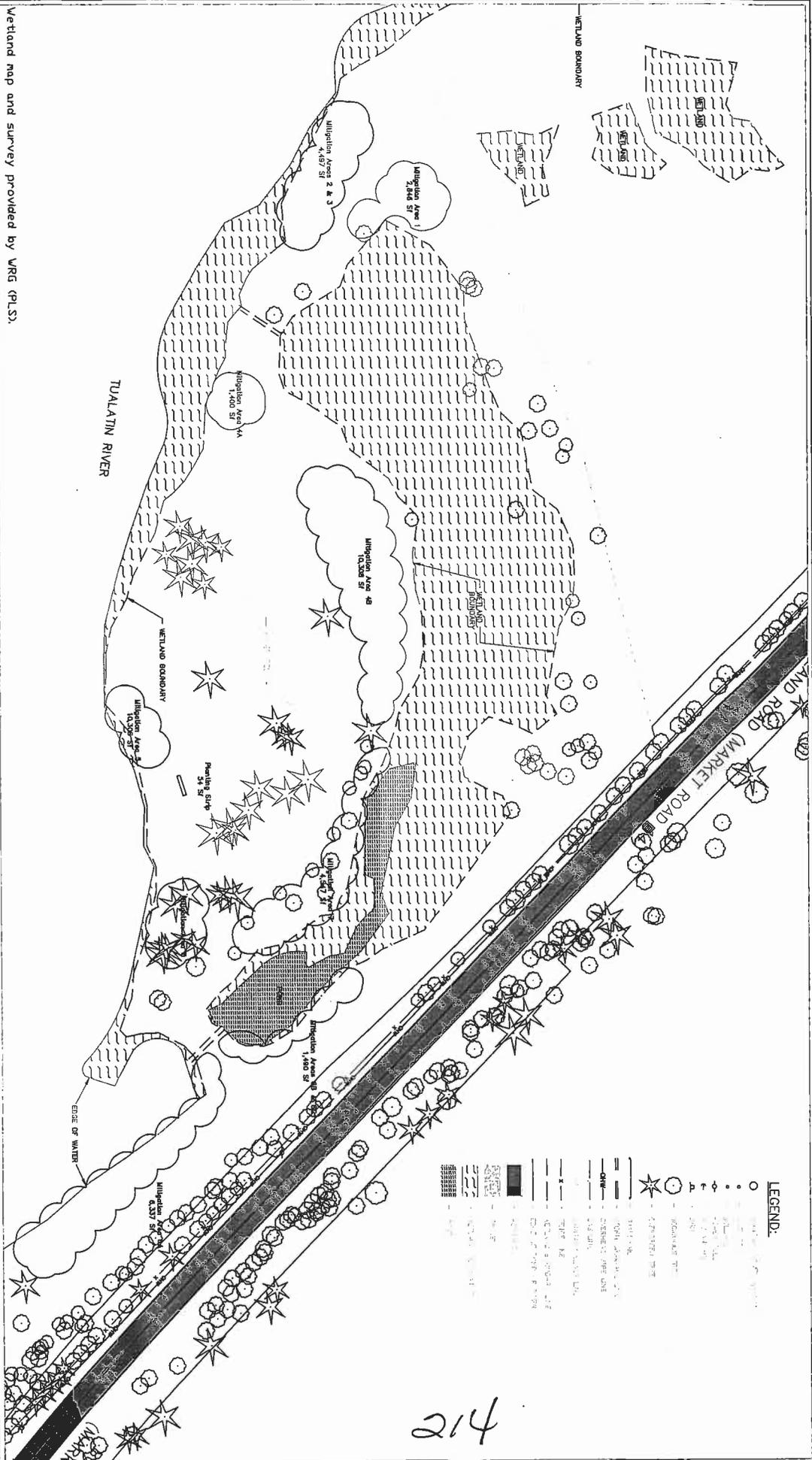
ONSITE ENHANCEMENT AREA - HOLIDAY INN EXPRESS  
 WEST LINN, OREGON - PROJECT# 1920

SCALE



**APPENDIX E: Offsite Mitigation Areas**

213



Wetland map and survey provided by WRG (PLS).

- LEGEND:**
- - 1" - 2" TALL VEGETATION
  - - 3" - 6" TALL VEGETATION
  - ◐ - 7" - 12" TALL VEGETATION
  - ◑ - 13" - 18" TALL VEGETATION
  - ◒ - 19" - 24" TALL VEGETATION
  - ◓ - 25" - 30" TALL VEGETATION
  - ◔ - 31" - 36" TALL VEGETATION
  - ◕ - 37" - 42" TALL VEGETATION
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**APPENDIX F: Planting Legends**

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**Mitigation/Enhancement Planting Plan for the Holiday Inn Express  
 Willamette Falls Drive, West Linn, Oregon  
 17,480.21 sf (0.40 acres)**

| Plant Communities                                        | Plant Category | Water Requirements | Light Requirements | Minimum Rooting Size | Minimum Plant Height | On Center/ Seeding rate | Spacing Format | Qty. |
|----------------------------------------------------------|----------------|--------------------|--------------------|----------------------|----------------------|-------------------------|----------------|------|
| Red alder<br>( <i>Alnus rubra</i> )                      | Tree           | Moist              | Sun                | 1 gal.               | 3'                   | 10'                     | Single         | 58   |
| Big-leaf maple<br>( <i>Acer macrophyllum</i> )           | Tree           | Dry                | Sun                | 2 gal.               | 3'                   | 10'                     | Single         | 58   |
| Vine maple<br>( <i>Acer circinatum</i> )                 | Tree           | Moist              | Part               | 2 gal.               | 2'                   | 10'                     | Single         | 59   |
| Hazelnut<br>( <i>Corylus cornuta</i> )                   | Shrub          | Dry                | Part               | 1 gal.               | 1.5'                 | 5'                      | Single         | 174  |
| Common snowberry<br>( <i>Symphoricarpos albus</i> )      | Shrub          | Dry                | Part               | 1 gal.               | 1.5'                 | 5'                      | Cluster (3-5)  | 450  |
| Tall Oregon grape<br>( <i>Mahonia aquifolium</i> )       | Shrub          | Dry                | Sun                | 1 gal.               | 6"                   | 5'                      | Single         | 250  |
| Blue wild rye<br>( <i>Elymus glaucus</i> )               | Grass          | Dry                | Part               | Seed                 | n/a                  | Variable                | Mass           | 60%  |
| Native red fescue<br>( <i>Festuca rubra var. rubra</i> ) | Grass          | Dry                | Part               | Seed                 | n/a                  | Variable                | Mass           | 30%  |
| Large leaved lupine<br>( <i>Lupinus polyphyllus</i> )    | Grass          | Moist              | Shade              | Seed                 | n/a                  | Variable                | Mass           | 10%  |

**PLANTING LEGEND  
FOR OFFSITE MITIGATION  
FIELDS BRIDGE PARK  
32,074 sf (0.74 acres)**

| Plant Communities                                  | Plant Category | Water Requirements | Light Requirements | Minimum Rooting Size | Minimum Plant Height | On Center/ Seeding rate | Spacing Format | Qty. |
|----------------------------------------------------|----------------|--------------------|--------------------|----------------------|----------------------|-------------------------|----------------|------|
| <b>Riparian Forest (RF)</b>                        |                |                    |                    |                      |                      |                         |                |      |
| Douglas fir<br>( <i>Pseudotsuga menziesii</i> )    | Tree           | Dry                | Sun                | 2 gal.               | 3'                   | 12'                     | Single         | 122  |
| Red alder<br>( <i>Alnus rubra</i> )                | Tree           | Moist              | Sun                | 2 gal.               | 2'                   | 12'                     | Single         | 100  |
| Big-leaf maple<br>( <i>Acer macrophyllum</i> )     | Tree           | Dry                | Sun                | 2 gal.               | 3'                   | 12'                     | Single         | 100  |
| Hazelnut<br>( <i>Corylus cornuta</i> )             | Shrub          | Dry                | Part               | 1 gal.               | 2"                   | 8'                      | Cluster        | 267  |
| Snowberry<br>( <i>Symphoricarpos albus</i> )       | Shrub          | Dry                | Part               | 1 gal.               | 1.5'                 | 4'                      | Clusters of 15 | 1069 |
| Indian plum<br>( <i>Oemleris cerasiformis</i> )    | Shrub          | Moist              | Shade              | 2 gal.               | 2'                   | 8'                      | Single         | 267  |
| Tall Oregon grape<br>( <i>Mahonia aquifolium</i> ) | Shrub          | Dry                | Sun                | 1 gal.               | 6"                   | 5'                      | Single         | 428  |

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**PLANTING LEGEND  
FOR OFFSITE MITIGATION  
FIELDS BRIDGE PARK  
32,074 sf (0.74 acres)**

| Plant Communities                                      | Plant Category | Water Requirements | Light Requirements | Minimum Rooting Size | Minimum Plant Height | On Center/ Seeding rate | Spacing Format | Qty. |
|--------------------------------------------------------|----------------|--------------------|--------------------|----------------------|----------------------|-------------------------|----------------|------|
| <b>Riparian Forest (RF)</b>                            |                |                    |                    |                      |                      |                         |                |      |
| Native California brome<br>( <i>Bromus carinatus</i> ) | Grass          | Dry                | Sun                | Seed                 | NA                   | 15-30 lbs/acre          | Mass           | NA   |
| Blue wildrye<br>( <i>Elymus glaucus</i> )              | Grass          | Dry                | Part               | Seed                 | NA                   | 15-30 lbs/acre          | Mass           | NA   |
| Lupine<br>( <i>Lupinus albicaulus</i> )                | Herb           | Dry                | Sun                | Seed                 | NA                   | 15-30 lbs/acre          | Mass           | NA   |
| Western yarrow<br>( <i>Achillea millefolium</i> )      | Herb           | Dry to moist       | Part               | Seed                 | NA                   | 15-30 lbs/acre          | Mass           | NA   |

2/00

**APPENDIX G: Slope Map**

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**APPENDIX H: DSL Wetland Concurrence**

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# Oregon

Theodore R. Kulongoski, Governor

1920-01

Department of State Lands  
775 Summer Street NE, Suite 100  
Salem, OR 97301-1279  
(503) 378-3805  
FAX (503) 378-4844  
www.oregonstatelands.us.

December 13, 2007

State Land Board

Manish Patel  
VKNW, Inc.  
12700 SE McLoughlin Blvd.  
Milwaukie, OR 97222

Theodore R. Kulongoski  
Governor

Bill Bradbury  
Secretary of State

Re: Wetland Delineation Report for Willamette Falls Drive Proposed Hotel Site, West Linn, Clackamas County, T2S R1E Sec. 35D, Tax Lot 2000 and Sec. 35DD, Tax Lots 3400 and 3500 Including Vacated Willamette Falls Drive Right-of-Way Between Tax Lots; WD #06-0708

Randall Edwards  
State Treasurer

Dear Mr. Patel:

The Department of State Lands has reviewed the wetland delineation report prepared by Schott and Associates for the site referenced above. Based on the information presented in the report, we concur with the wetland and waterway boundaries as mapped in Figure 3 of the report. Within the study area, 2 wetland units were identified, totaling 0.25 acres. A waterway flows within the mapped wetlands. The wetlands and waterway are subject to the permit requirements of the state Removal-Fill Law. A state permit is required for fill or excavation of 50 cubic yards or more in a wetland area or below the ordinary high water line of a waterway.

This concurrence is for purposes of the state Removal-Fill Law only. Federal or local permit requirements may apply as well. The Army Corps of Engineers will review the report and make a determination of jurisdiction for purposes of the Clean Water Act at the time that a permit application is submitted. We recommend that you attach a copy of this concurrence letter to both copies of any subsequent joint permit application to speed application review.

Please be advised that state law establishes a preference for avoidance of wetland impacts. Because measures to avoid and minimize wetland impacts may include reconfiguring parcel layout and size or development design, we recommend that you work with Department staff on appropriate site design before completing the city or county land use approval process. The permit coordinator for this site is Mike McCabe.

This concurrence is based on information provided to the agency. The jurisdictional determination is valid for five years from the date of this letter, unless new information necessitates a revision. Circumstances under which the Department may change a determination and procedures for renewal of an expired determination are found in OAR 141-090-0045 (available on our web site or upon request). The applicant, landowner, or agent may submit a request for reconsideration of this determination in writing within 60 calendar days of the date of this letter.

Thank you for having the site evaluated. Please phone me at (503) 986-5236 if you have any questions.

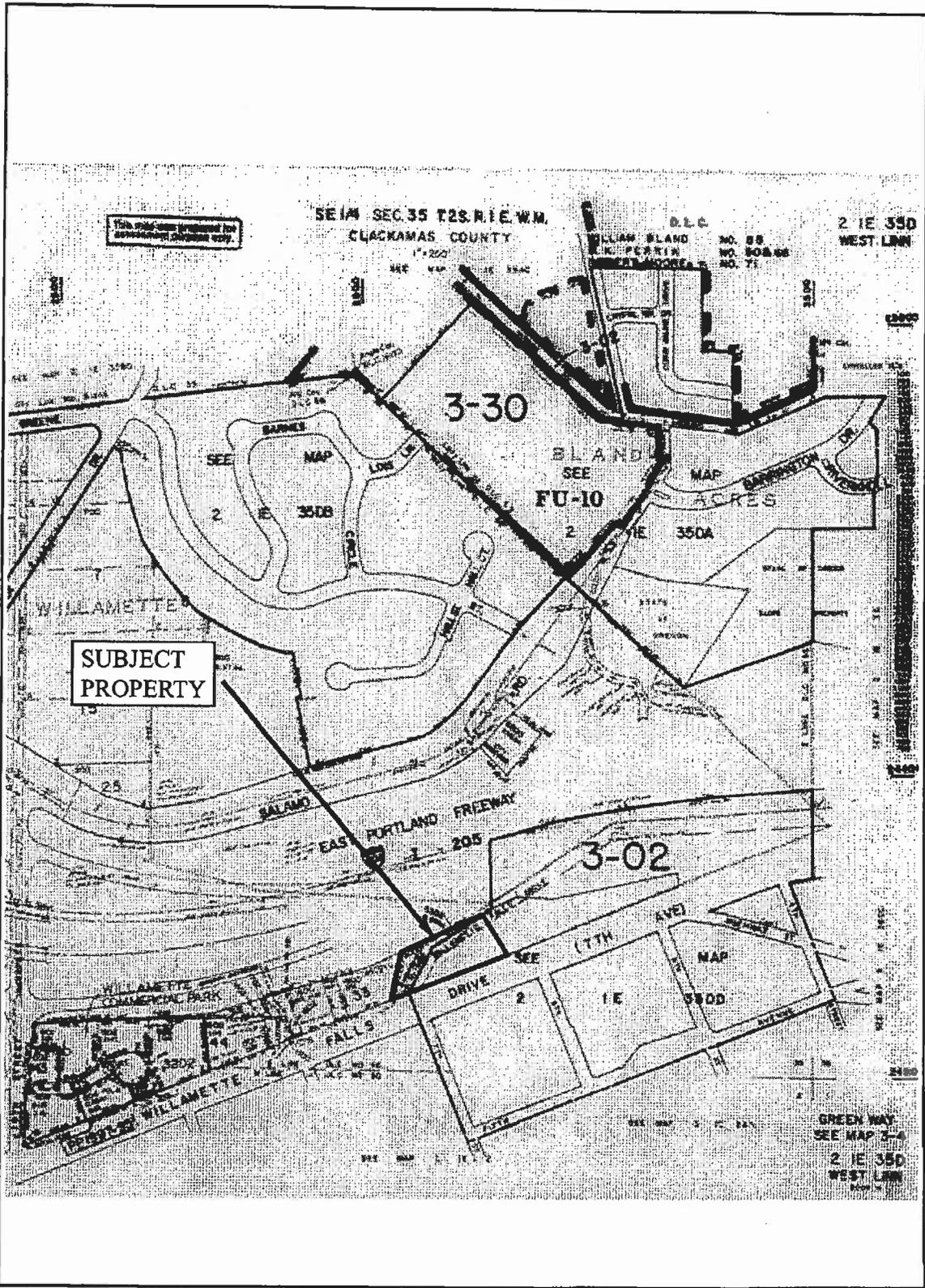
Sincerely,

  
Janet C. Morlan, PWS  
Wetlands Program Manager

cc: Dale Gulliford, Schott and Associates  
City of West Linn, Planning Department (Maps enclosed for updating LWI)  
James Holm, Corps of Engineers  
Mike McCabe, DSL

**APPENDIX I: Tax Lot Maps**

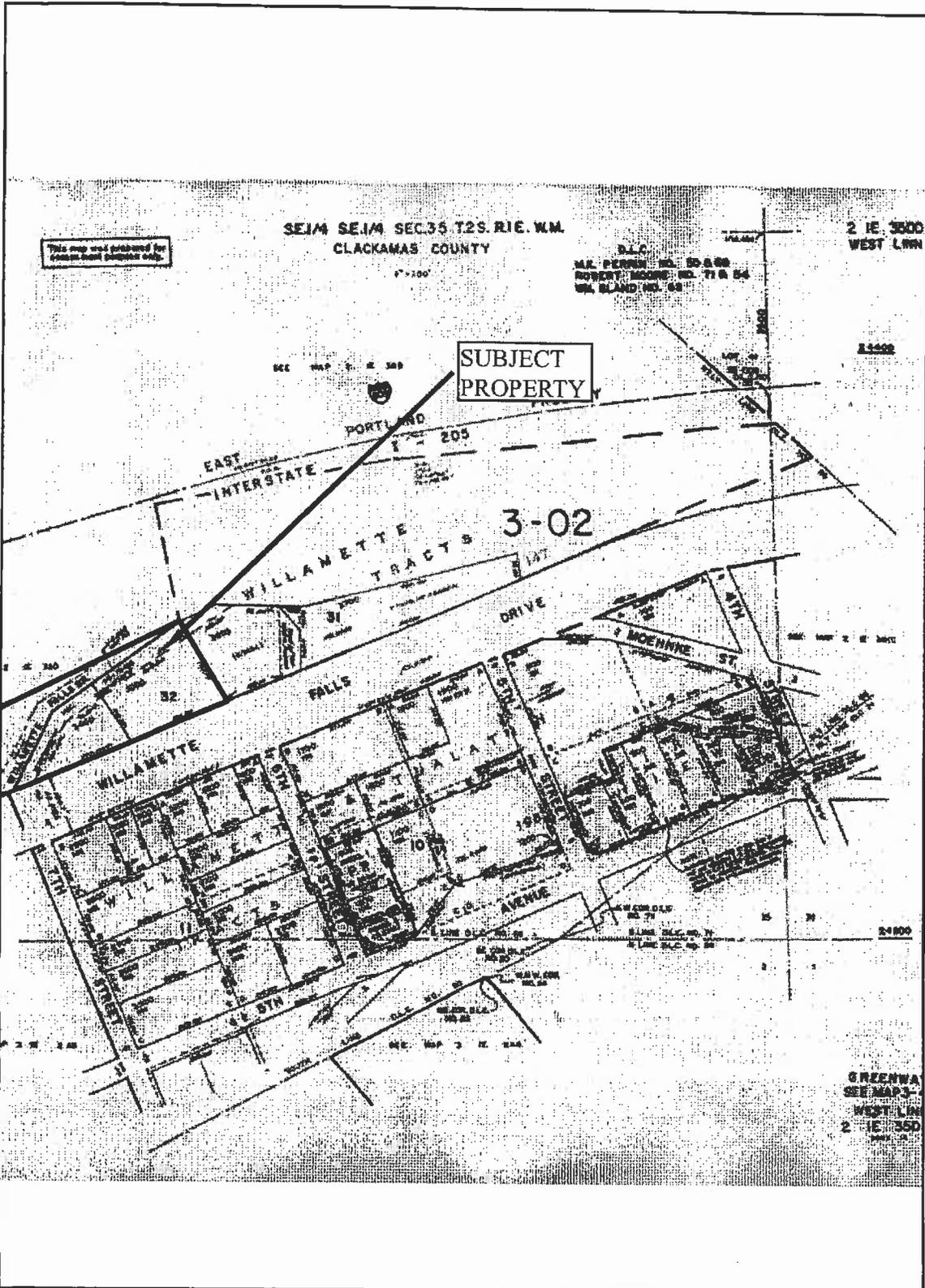
224



Tax Map 2 1E 35D  
 Holiday Inn Property – West Linn, OR

Schott & Associates  
 P.O. Box 589  
 Aurora, OR. 97002  
 503.678.6007

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Tax Map 2 1E 35DD

Holiday Inn Property – West Linn, OR

Schott & Associates  
 P.O. Box 589  
 Aurora, OR. 97002  
 503.678.6007

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**APPENDIX J: Photographs**

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Offsite Mitigation Site 1: Northeast view (Knotweed in foreground).



Offsite Mitigation Site 1: East view (Knotweed in foreground).

Offsite Mitigation Locations – Fields Bridge Park  
Holiday Inn Express - West Linn, Oregon

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Schott & Associates  
P.O. Box 589  
Aurora, OR. 97002  
503.678.6007



Offsite Mitigation Site 2: East view (Knotweed in middle of picture).



Offsite Mitigation Site 2: South view (Knotweed in middle of picture).

Offsite Mitigation Locations – Fields Bridge Park  
Holiday Inn Express - West Linn, Oregon

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P.O. Box 589  
Aurora, OR. 97002  
503.678.6007



Offsite Mitigation Site 3: East view (Knotweed in middle of picture).



Offsite Mitigation Site 3: South view (Knotweed in foreground).

Offsite Mitigation Locations – Fields Bridge Park  
Holiday Inn Express - West Linn, Oregon



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Aurora, OR. 97002  
503.678.6007



Offsite Mitigation Site 4A: Picture taken on walking path, southern view.



Offsite Mitigation Site 4A: Picture taken on the walking path, northern view.

Offsite Mitigation Locations – Fields Bridge Park  
Holiday Inn Express - West Linn, Oregon

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Aurora, OR. 97002  
503.678.6007



Offsite Mitigation Site 4B: Picture taken north of path (North view).



Offsite Mitigation Site 4B: Picture taken north of path (South view).

Offsite Mitigation Locations – Fields Bridge Park  
Holiday Inn Express - West Linn, Oregon

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Aurora, OR. 97002  
503.678.6007



Offsite Mitigation Site 5A: Northeast view.



Offsite Mitigation Site 5A: East view.

Offsite Mitigation Locations – Fields Bridge Park  
Holiday Inn Express - West Linn, Oregon

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Aurora, OR. 97002  
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Offsite Mitigation Site 5A: East-southeast view.



Offsite Mitigation Site 6A: East view.

Offsite Mitigation Locations – Fields Bridge Park  
Holiday Inn Express - West Linn, Oregon

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Aurora, OR. 97002  
503.678.6007



Offsite Mitigation Site 6A: West view.



Offsite Mitigation Site 6B: Southeast view.

Offsite Mitigation Locations – Fields Bridge Park  
Holiday Inn Express - West Linn, Oregon

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Offsite Mitigation Site 6C: East view.



Offsite Mitigation Site 7: West view.

Offsite Mitigation Locations – Fields Bridge Park  
Holiday Inn Express - West Linn, Oregon

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Offsite Mitigation Site 7: North view.



Offsite Mitigation Site 7: East view.

Offsite Mitigation Locations – Fields Bridge Park  
Holiday Inn Express - West Linn, Oregon

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Offsite Mitigation Site 6C: East view.



Project Site: Northwest view. Picture taken near Willamette Falls Drive.

Offsite Mitigation Location & Project Site  
Holiday Inn Express - West Linn, Oregon

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503.678.6007



Project Site: North view. Picture taken near Willamette Falls Drive.



Project Site: North-northeast view. Picture taken near Willamette Falls Drive.

Project Site – Willamette Falls Drive  
Holiday Inn Express - West Linn, Oregon

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Aurora, OR. 97002  
503.678.6007



Project Site: Northeast view. Picture taken near Willamette Falls Drive.



Project Site: East view. Picture taken near Willamette Falls Drive.

Project Site – Willamette Falls Drive  
Holiday Inn Express - West Linn, Oregon

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P.O. Box 589  
Aurora, OR. 97002  
503.678.6007



January 17, 2008  
Planning and Building

Vic Patel  
VKNW, Inc.  
12700 SE McLoughlin Blvd.  
Milwaukie, OR 97222

SUBJECT: DR-08-01/WAP-08-01/VAR-08-01

Dear Mr. Patel:

You submitted this application on January 14, 2008. The Planning and Engineering Departments finds that the Class II Design Review, Class II Variance, and Water Resources Area permit application is **incomplete**. You have 180 days (until July 12, 2008) to make this application complete.

The specific grounds for incompleteness from the Community Development Code as found by the Planning Department are as follows:

**Section 32.040(G)**

Provide inventory of vegetation including percentage ground and canopy coverage.

**Section 32.050(G)**

Respond to this criterion.

**Section 32.050(I)**

Respond to this criterion.

**Section 32.060(B)(2)**

Provide slope map.

**Section 32.060(B)(4)**

Show/label stormwater facility on site maps provided in wetland report.

**Section 32.060(B)(6)**

Describe vegetation across the site.

**Section 32.060(B)(7)**

Grading and utility site plans need to be submitted in large form as well.

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22500 Salamo Road, #1000 West Linn, OR 97068

**Section 32.060(B)(8)**

Provide written concurrence from DSL.

**Section 32.070(A)(3)**

Explain why selected plan is selected over non-selected plan.

**Section 32.070(B)(5)**

Provide implementation schedule and contingency plan as described here.

**Section 32.070(B)(7)**

Provide the evidence requested.

**Section 32.070(C)**

Do you mean Fields Bridge Park?

**Section 32.070(D)**

Please respond to this mitigation plan criterion.

**Section 32.070(D)(2)(a)**

Provide site analysis including everything listed in 55.110.

**Section 32.080(A-F)**

Respond to each criteria individually.

**Section 32.090**

Respond to each section.

**Section 55.070(D)(2)(c)**

Again, provide larger grading plan.

**Section 55.070(D)(2)(d)**

Provide floor plan.

**Section 55.070(D)(2)(f)**

Provide sign plan.

**Section 55.070(D)(2)(h)**

Utility plan should address solid waste and recycling storage.

**Section 55.070(D)(4)**

Provide responses to all 55.100 criteria.

**Section 55.070(E)**

Submit samples of all exterior building materials and colors in the case of new buildings or building remodeling.

**Section 55.120(A) & 55.120(G)(1)**

Show enough on site plan to show relationship to surrounding development, as explained in these sections.

**Section 55.120(H)(7)**

Show sign locations.

**Section 55.120(J)**

Show where mailboxes (if applicable), lights, windows, doors, will be on site plan.

**Section 55.140**

Provide color of building materials.

**Section 55.150**

Submit landscaping plan fulfilling all appropriate sections of 55.150.

**Section 75.060(B)(1)**

Put either a) subdivision name, block, and lot number or b) the section, township range, and tax lot number on map.

The following comments were received from the Engineering Department:

Engineering finds the application incomplete.

The packet received contains:

- Water Resource Area Report
- Jurisdictional Wetland Determination and Delineation
- Acoustical Evaluation
- Geotechnical Evaluation
- Traffic Impact Study
- Site Plan

The packet did not contain:

- Application
- Utility Plans are too small. Would like at least tabloid (11x17) size including frontage improvements, domestic water service, sanitary sewer connection, etc.
- Stormwater Report
- I had also asked them to consider a connection from 8<sup>th</sup> Court to WFD in conjunction with their application and would like to see that discussion in their application. The City will work with them on this effort that I see as a win for them, a win for 8<sup>th</sup> Court, and a win for the City.
- No chapter 55 responses

Please contact me at 503-742-8660, or by email at [tsoppe@ci.west-linn.or.us](mailto:tsoppe@ci.west-linn.or.us) if you have any questions or comments, or if you wish to meet with planning and engineering staff regarding these issues.

Sincerely,



Tom Soppe  
Associate Planner

c: Schott & Associates, Inc., P.O. Box 589 Aurora, OR 97002

c: Steven P. Elkins, Steven P. Elkins Architects, Inc. P.S., 11000 NE 33<sup>rd</sup> Place, Ste. 101,  
Bellevue, WA 98004

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