



LAND USE PRE-APPLICATION CONFERENCE

Thursday, January 6, 2011

City Hall
22500 Salamo Road

Willamette Conference Room

9:00 am Water resource permit and rear setback variance

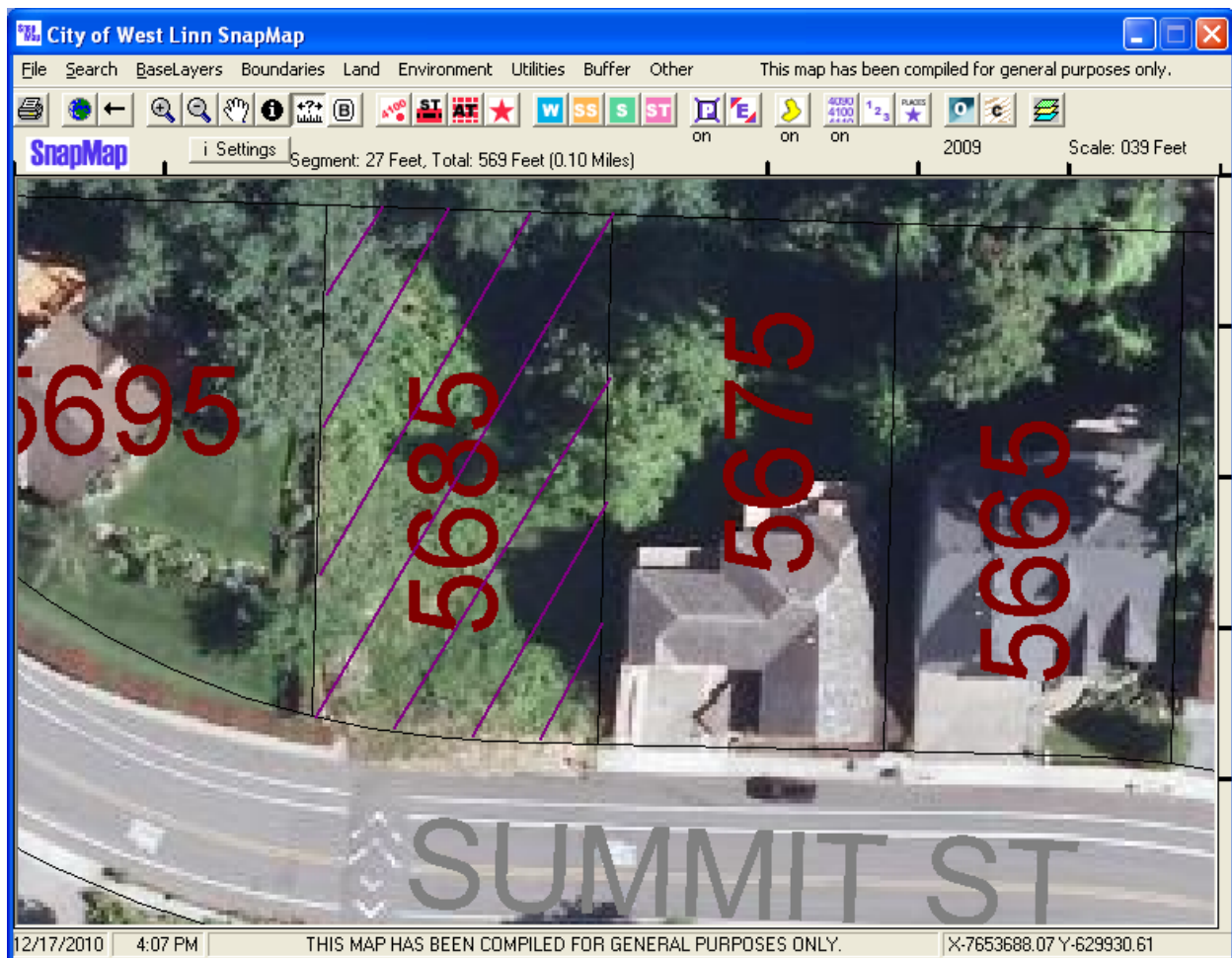
Applicant: Ken and Wendy Tinseth

Subject Property Address: 5685 Summit St.

Neighborhood Assn: Rosemont Summit, Hidden Springs and Bolton

Planner: Tom Soppe

Project #: PA-10-36





City of
West Linn

Planning & Development • 22500 Salamo
Telephone 503.656.4211 • Fax 503.656.4106

1000 West Linn, Oregon 97068
• westlinnoregon.gov

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DEC 17 2010

PRE-APPLICATION CONFERENCE

PLAN AND BUILDING
CITY OF WEST LINN

THIS SECTION FOR STAFF COMPLETION

CONFERENCE DATE: <u>1/6/2010</u>	TIME: <u>9 AM</u>	PROJECT #: <u>PA-10-36</u>
STAFF CONTACT: <u>Tom Soppe</u>	FEE: <u>\$350.00</u>	

Pre-application conferences occur on the first and third Thursdays of each month. In order to be scheduled for a conference, this form including property owner's signature, the pre-application fee, and accompanying materials must be submitted at least 14 days in advance of the conference date. Twenty-four hour notice is required to reschedule.

Address of Subject Property (or map/tax lot): 5685 Summit Street

Brief Description of Proposal: The information provided is for a water resource permit that will be applied for concurrently with the rear set back variance in which the city of West Linn will be acting as a co-applicant

Applicant's Name: Ken and Wendy Tinseth
Mailing Address: 903 5th Avenue, Oregon City, OR 97045
Phone No: (503) 975-0636 Email Address: wendy.ti@johnlscott.com

Please attach additional materials relating to your proposal including a site plan on paper up to 11 x 17 inches in size depicting the following items:

- North arrow
- Scale
- Property dimensions
- Streets abutting the property
- Conceptual layout, design and/or building elevations
- Access to and from the site, if applicable
- General location of existing trees (tree canopy is from trees adjacent lots)
- Location of creeks and/or wetlands
- Location of existing utilities (water, sewer, etc.)
- Easements (access, utility, all others)

Please list any questions or issues that you may have for city staff regarding your proposal:

By my signature below, I grant city staff right of entry onto the subject property in order to prepare for the pre-application conference.

[Signature]
Property owner's signature

9 Nov 2010
Date

903 5th Avenue Oregon City, OR 97045
Property owner's mailing address (if different from above)

Ken and Wendy Tinseth
903 5th Avenue
Oregon City, OR 97045
November 3, 2010

Dennis Wright
Engineering Manager
City of West Linn
22500 Salamo Road, Box 800
West Linn, OR 97068

Mr Wright:

We are writing the following as the property owners of the vacant lot at 5685 Summit Street. The information provided is for a water resource permit that will be applied for concurrently with the rear set back variance in which the city of West Linn will be acting as a co-applicant.

32.000 Water Resource Area Protection

32.050 Approval Criteria

- A. Water resource is identified accurately on the City maps with a buried storm line nearly bisecting the property at an angle from West to East. The storm pipe becomes a open ditch/creek at a point approximately 105' North along the Eastern property line and then perpendicular 15' to the East on the adjoining lot.
- B. Proposed development shall be so designed as to maintain the existing natural drainage ways with no major changes to the existing contours with the exception of the dwelling footprint itself.
- C. See 32.070
- D. Final water source area can be preserved through a protective easement.
- E. Slope of the lot falls into the 0% - 25% slope and required width of setback and transition area on each side of the water feature per table 32-1 is 57.5' (50' plus structural setback of 7.5').
- F. No roads, driveways, utilities, or passive use recreation facilities will be built in or cross water resource areas.
- G. Prior to construction the water resource area will be protected with an approved fencing at its perimeter and such fencing will remain until construction is complete.

- H. N/A
- I. See 32.070 and/or site drawing
- J. See 32.070 and/or site drawing
- K. See 32.070 and/or site drawing
- L. See 32.070 and/or site drawing
- M. N/A

- N. N/A
- O. N/A
- P. N/A

32.060 Site Plan

See attached site plan.

32.070 Mitigation Plan

- A. With storm water and sanitary water easements the only area left with any usable square footage is the NW corner. Easement movement has been deemed not a financially feasible option. A compromise in building width was made, requesting a maximum of 40' in width, which is still considerably narrower than structures in the neighborhood but not as inconstant as a 25' wide structure would be.
- B. Adverse impacts will be minimal. Lot is kept in a cleared condition to adhere to the cities noxious vegetation guidelines. Lot has very little vegetation and so little to no de-vegetation will occur. Site runoff will be mitigated through down slope installation of filter/barrier fencing along the entire eastern property boundary encompassed in the setback/transition area. Owner will be responsible for adherence of this mitigation plan.
- C. A mitigation area equal to the area that the final building design encroaches upon the water resource area will be provided on the existing lot and re-vegetated to 32.050(K) requirements. Most suitable area will be the SE section.
- D. N/A
- E. Mitigation area will be protected through an easement with the City.

32.080 Re-vegetation Plan Requirements

Re-vegetation in the water resource area and mitigation area will follow the provisions this section.

32.090 Reduction Standards for Hardships

- A. N/A
- B. This lot is located partially inside the water resource area. We are requesting a hardship reduction of approximately 800sf (see site plan) due to the combination of the water resource area, storm and sanitary easements and standard structural setbacks. Without the water resource area reduction we would be denied our ability to build a structure consistent with the architectural designs of the neighborhood. While a 25' wide design could be built this design is more fitting in neighborhoods designed with narrower lots, is very limiting in design choices and would look out of place and in our opinion would do a disservice to the overall look of the neighborhood. While our request for a 40' width is not the largest width request we could have made, we do feel it is a reasonable compromise between minimizing the impact to the water resource area and suitable design restrains for the structure and the neighborhood.

Sincerely,

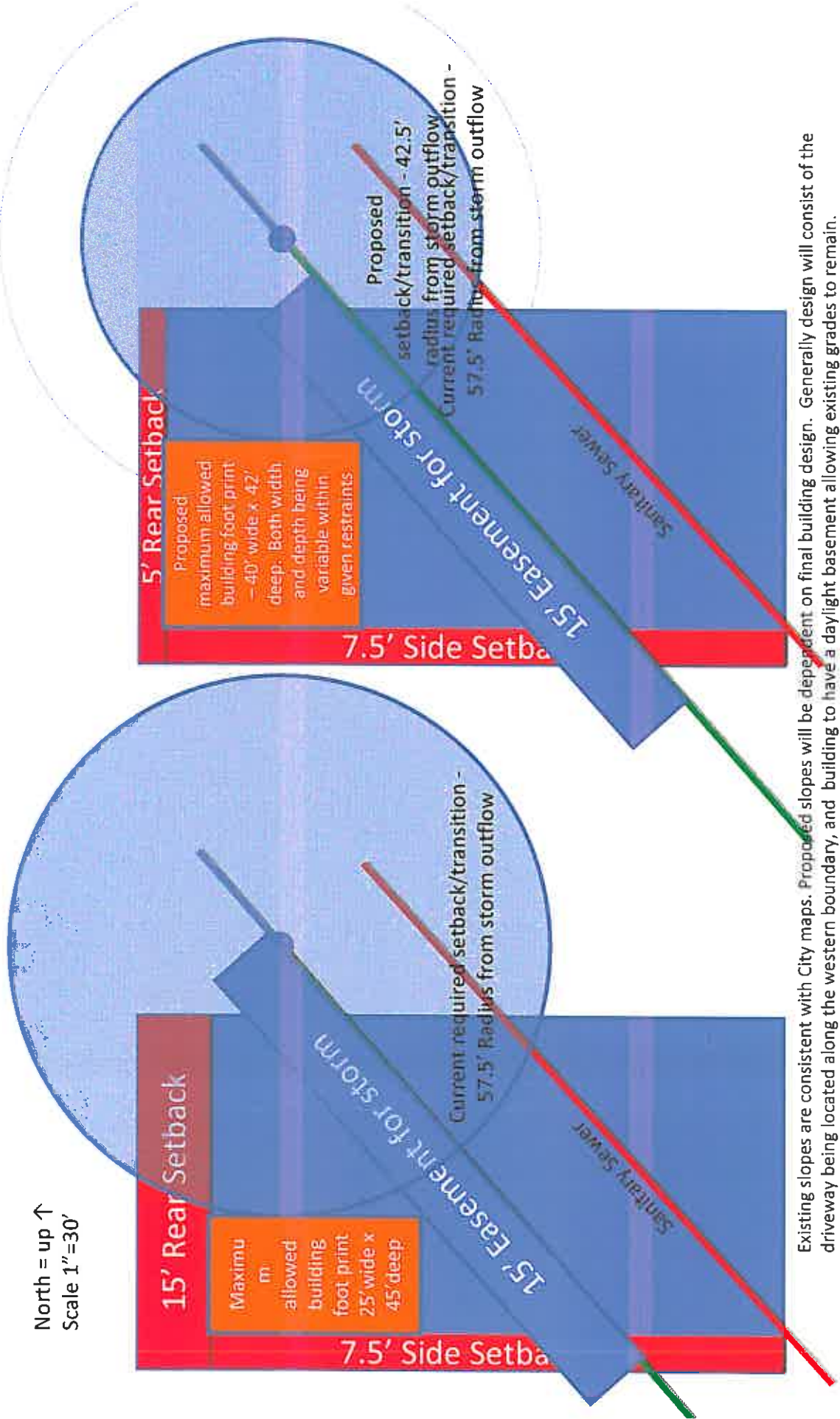
Ken and Wendy Tinseth
PH: (503) 975-0636

Tinseth 5685 Summit Street-Water Resource Permit Drawing

Drawing depicting proposed changes to the water resource setback/transition area. Current on left, proposed on right.

Ken and Wendy Tinseth, 903 5th Ave, Oregon City, OR 97045, PH (503) 975-0636

North = up ↑
Scale 1"=30'



Existing slopes are consistent with City maps. Proposed slopes will be dependent on final building design. Generally design will consist of the driveway being located along the western boundary, and building to have a daylight basement allowing existing grades to remain.