



# LAND USE PRE-APPLICATION CONFERENCE

Thursday, December 2, 2010

City Hall  
22500 Salamo Road

## Willamette Conference Room

**9:00am** Small addition to back of house and addition of garage.

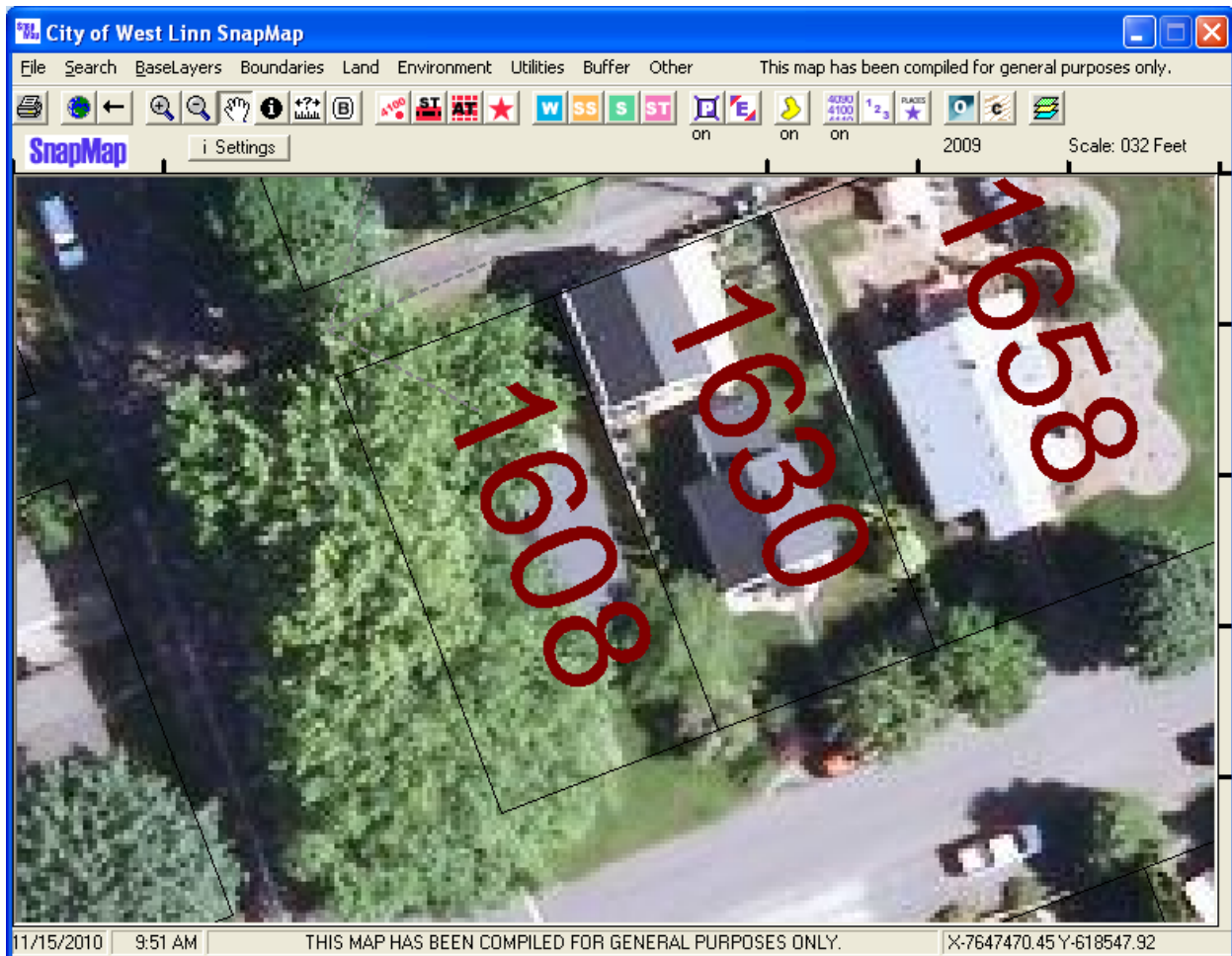
**Applicant:** Judy Hale

**Subject Property Address:** 1608 6<sup>th</sup> Ave.

**Neighborhood Assn:** *Willamette*

**Planner:** Sara Javoronok

**Project #:** PA-10-34





### PRE-APPLICATION CONFERENCE

THIS SECTION FOR STAFF COMPLETION		
CONFERENCE DATE: <u>DEC 2nd</u>	TIME: <u>9AM</u>	PROJECT #: <u>PA-10-34</u>
STAFF CONTACT: <u>SARA JAVORONOK</u>		FEE: <u>350-</u>

Pre-application conferences occur on the first and third Thursdays of each month. In order to be scheduled for a conference, this form including property owner's signature, the pre-application fee, and accompanying materials must be submitted at least 14 days in advance of the conference date. Twenty-four hour notice is required to reschedule.

Address of Subject Property (or map/tax lot): 1608 6th Ave., West Linn, OR.

Brief Description of Proposal: small addition to back of house and addition of garage

Applicant's Name: Judy Hale  
 Mailing Address: 1608 6th Ave.  
 Phone No: (503) 850-4433 Email Address: hale2362@comcast.net

Please attach additional materials relating to your proposal including a site plan on paper up to 11 x 17 inches in size depicting the following items:

- North arrow
- Scale
- Property dimensions
- Streets abutting the property
- Conceptual layout, design and/or building elevations
- Access to and from the site, if applicable
- General location of existing trees
- Location of creeks and/or wetlands
- Location of existing utilities (water, sewer, etc.)
- Easements (access, utility, all others)

Please list any questions or issues that you may have for city staff regarding your proposal:

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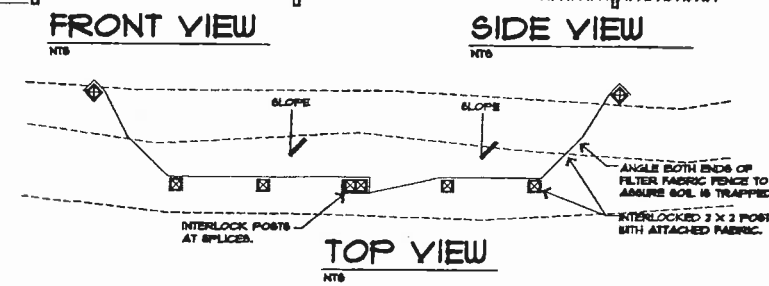
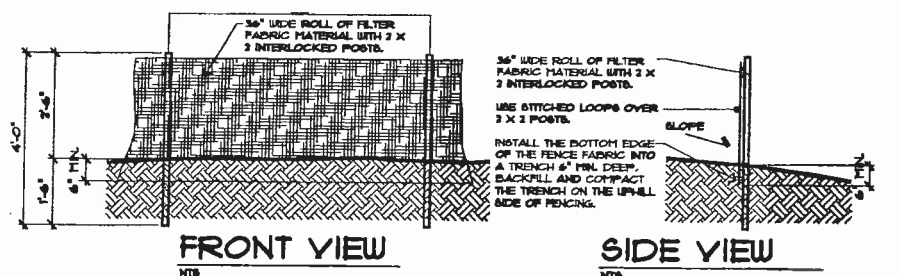
By my signature below, I grant city staff right of entry onto the subject property in order to prepare for the pre-application conference.

Judy A. Hale \_\_\_\_\_ 11/12/2010  
 Property owner's signature Date

Property owner's mailing address (if different from above)

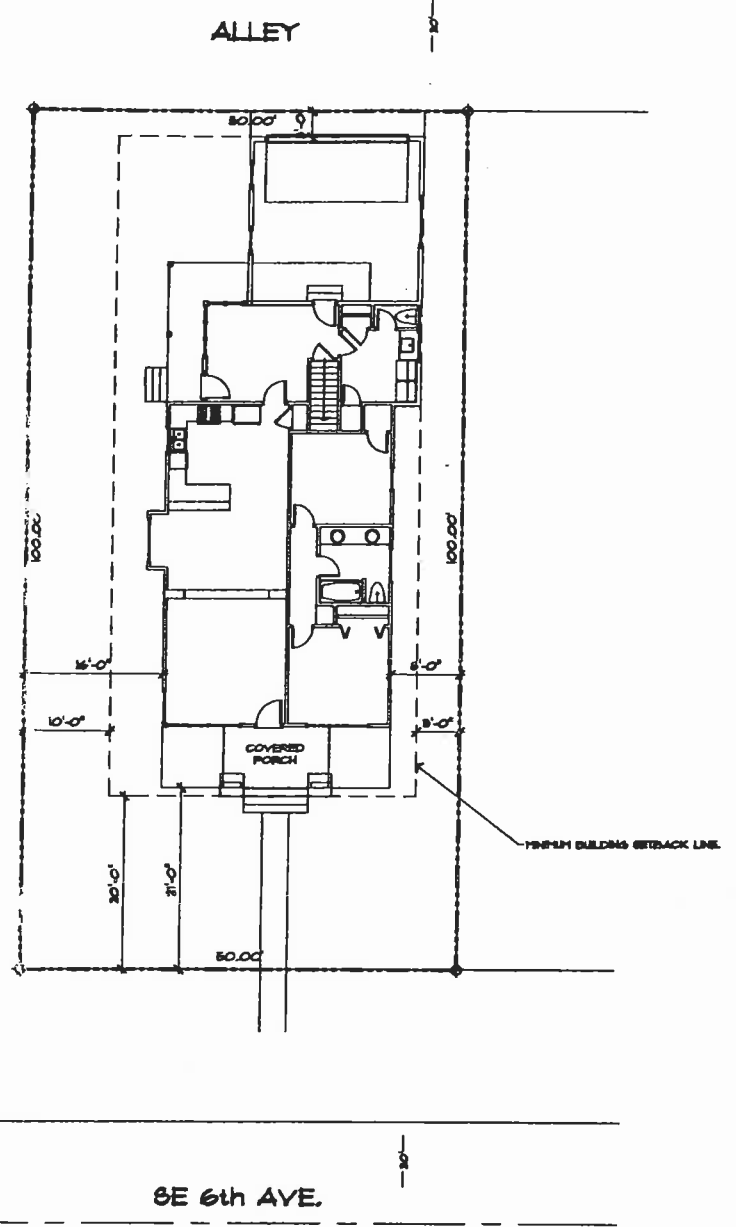
**SITE PLAN NOTES:**

1. ALL EXCESS GRADING MATERIAL TO BE EXPORTED TO AN APPROVED DISPOSAL LOCATION.
2. ALL FILL AREAS UNDER GARAGE FLOORS, SIDEWALKS, DRIVEWAYS, ETC... TO BE COMPACTED GRANULAR FILL.
3. THERE WILL BE A SLIGHT OVER EXCAVATION TO PROVIDE CONCRETE FORMING ALL AROUND NEW STRUCTURE.
4. PROVIDE COUNTY/CITY APPROVED BEDDENT FENCING AROUND EXCAVATED AREA PRIOR TO EXCAVATION AND CONSTRUCTION.
5. PROVIDE COUNTY/CITY APPROVED STABILIZED GRAVELED CONSTRUCTION ENTRANCE PRIOR TO EXCAVATION AND CONSTRUCTION.
6. STOCKPILES MUST BE COVERED WITH MULCH OR PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30.
7. CONTRACTOR/SUB-CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION AND CONSTRUCTION.
8. BOUNDARY AND TOPOGRAPHY INFORMATION HAS BEEN PROVIDED TO OSTERMAN DESIGN, INC.. OSTERMAN DESIGN, INC. WILL NOT BE HELD LIABLE FOR THE ACCURACY OF THIS INFORMATION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR/OWNER TO VERIFY ALL SITE CONDITIONS INCLUDING FILL PLACED ON SITE.
9. TOPOGRAPHY ELEVATIONS WERE COLLECTED FROM ACTUAL SITE SURVEY.
10. ELEVATION LEGEND:  
 BE = EXISTING GRADE ELEVATION  
 FE = FINAL GRADE ELEVATION  
 FFE = FINISH FLOOR ELEVATION
11. PROVIDE A MINIMUM 8" DEEP GRAVEL BASE UNDER ALL DRIVEWAY AREAS.
12. PROVIDE A 4" MINIMUM GRAVEL BASE UNDER ALL SIDEWALK AND PATIO AREAS.
13. PIPE ALL STORM DRAINAGE FROM THE BUILDING TO A COUNTY/CITY DISPOSAL POINT/CONNECTION.
14. MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
15. PROVIDE AND MAINTAIN FINISH GRADE WITH POSITIVE DRAINAGE AWAY FROM STRUCTURE ON ALL SIDES WITH A SLOPE OF 6" MINIMUM IN 10'-0".



STANDARD DETAIL  
**1**  
**G1.2**  
 SCALE: 1" = NONE

SE 15th ST.



**LEGAL:**  
 1608 SE 6th AVE.  
 CITY OF WEST LINN, OR  
 CLATSOP COUNTY

**SITE DEVELOPMENT PLAN**

SCALE: 1" = 10'

**LOT INFORMATION:**

LOT AREA:  
 BUILDING COVERAGE (NOT INCLUDING SAVEN):  
 BUILDING HEIGHT:  
 MIN. BUILDING SETBACKS:

5,000 SQ. FT.  
 1,286 SQ. FT. ± 37.0% (FOR MAX)  
 15'-0" FINISH GRADE TO HIGHEST RIDGE  
 30 FT. HOUSE FRONT  
 3 FT. REAR  
 10 FT. CORNER SIDE  
 5 FT. INTERIOR SIDE



**AUTHENTICITY NOTICE:**

NOTICE TO PRINTERS, BUILDING CODE OFFICIALS AND PURCHASER OF THIS PLAN:

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BUILDING SITE ADDRESS: \_\_\_\_\_ AUTHENTICITY STAMP:  
 1608 SE 6th AVE.  
 WEST LINN, OR  
 CLATSOP COUNTY

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Not to the satisfaction of your building code and not subject to the provisions of those codes or the provisions of any other laws, regulations, codes, ordinances, or rules. OSTERMAN DESIGN, INC. is not responsible for any damage resulting from the use of this plan. OSTERMAN DESIGN, INC. is not responsible for any damage resulting from the use of this plan. OSTERMAN DESIGN, INC. is not responsible for any damage resulting from the use of this plan. OSTERMAN DESIGN, INC. is not responsible for any damage resulting from the use of this plan.



**Osterman**  
 DESIGN, INC.

1808 S. Straubridge Road  
 Oregon City, Oregon 97145  
 Office: (503)-631-1128  
 Fax: (503)-631-1116

**SITE DEVELOPMENT PLAN**

SCALE: 1" = 10'

**HALE REMODEL**

CONTRACTOR:  
 QUINN, JUDY HALE  
 1608 SE 6th AVE, WEST LINN, OR 97145  
 P.O. BOX 980-443

REVISED:

DATE: 4-NOV-10

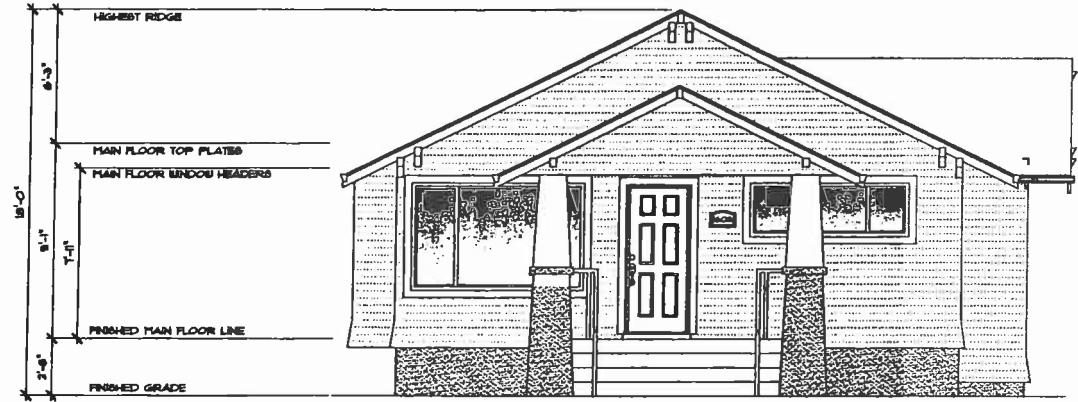
PROJECT #

1910

SHEET #

G

1.2



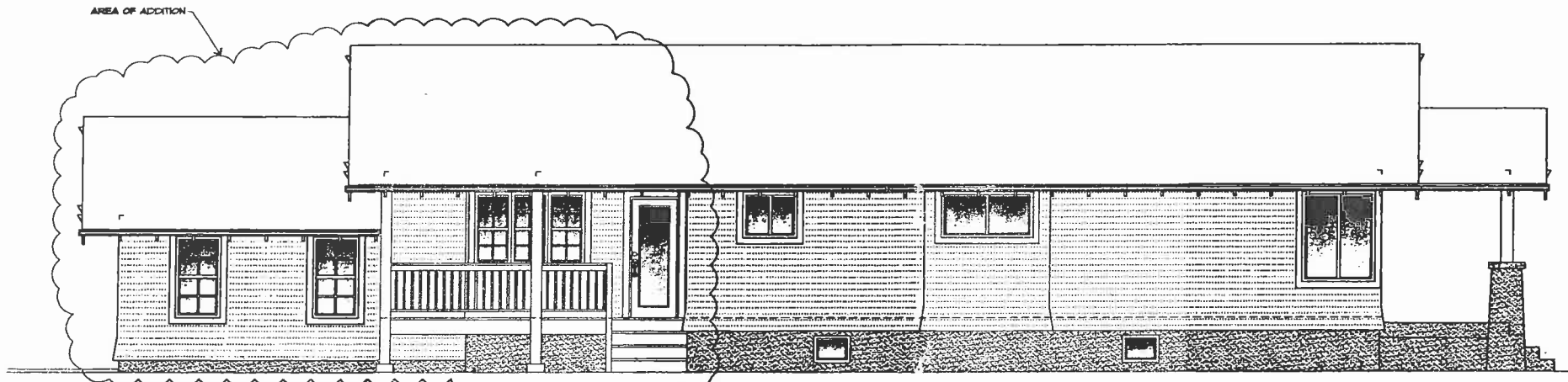
**1 FRONT BUILDING ELEVATION**  
 A1.1 SCALE: 1/4" = 1'-0"

THE BUILDER/OWNER/CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE ENTIRE BUILDING WEATHER ENVELOPE INCLUDING THE CORRECT INSTALLATION OF ALL EXTERIOR MATERIALS / FINISHES AND WATERPROOFING. OSTERMAN DESIGN, INC. DOES NOT ASSUME RESPONSIBILITY FOR DETAILS AND/OR THE INTEGRITY OF THE BUILDING ENVELOPE.



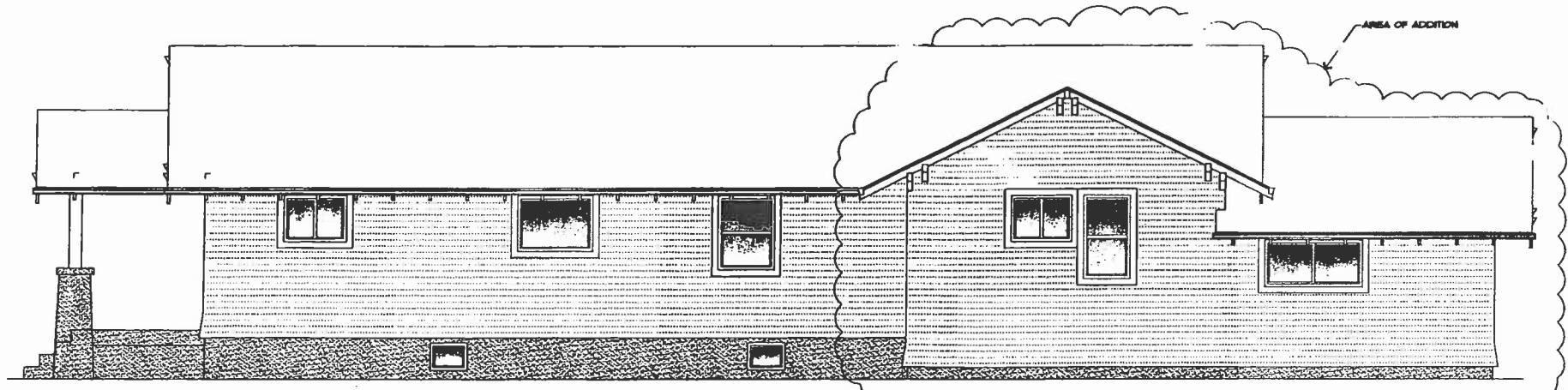
**2 REAR BUILDING ELEVATION**  
 A1.1 SCALE: 1/4" = 1'-0"

THE BUILDER/OWNER/CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE ENTIRE BUILDING WEATHER ENVELOPE INCLUDING THE CORRECT INSTALLATION OF ALL EXTERIOR MATERIALS / FINISHES AND WATERPROOFING. OSTERMAN DESIGN, INC. DOES NOT ASSUME RESPONSIBILITY FOR DETAILS AND/OR THE INTEGRITY OF THE BUILDING ENVELOPE.



**3 LEFT SIDE BUILDING ELEVATION**  
 A1.1 SCALE: 1/4" = 1'-0"

THE BUILDER/OWNER/CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE ENTIRE BUILDING WEATHER ENVELOPE INCLUDING THE CORRECT INSTALLATION OF ALL EXTERIOR MATERIALS / FINISHES AND WATERPROOFING. OSTERMAN DESIGN, INC. DOES NOT ASSUME RESPONSIBILITY FOR DETAILS AND/OR THE INTEGRITY OF THE BUILDING ENVELOPE.



**4 RIGHT SIDE BUILDING ELEVATION**  
 A1.1 SCALE: 1/4" = 1'-0"

THE BUILDER/OWNER/CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE ENTIRE BUILDING WEATHER ENVELOPE INCLUDING THE CORRECT INSTALLATION OF ALL EXTERIOR MATERIALS / FINISHES AND WATERPROOFING. OSTERMAN DESIGN, INC. DOES NOT ASSUME RESPONSIBILITY FOR DETAILS AND/OR THE INTEGRITY OF THE BUILDING ENVELOPE.

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BUILDING SITE ADDRESS: AUTHENTICITY STAMP:

1608 SE 64th AVE.

WEST LINN OR

CLACKAMAS

OREGON

IF THE ADDRESS IS NOT LISTED AND THE 'NET STAMP' IS NOT SHOWN IN RED THIS IS AN ILLEGAL COPY AND SUBJECT TO THE COPYRIGHT ACT, CUSTOMERS MAY OBTAIN LEGAL 'NET STAMP' COPIES BY CONTACTING OSTERMAN DESIGN, INC.

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**Osterman**  
 DESIGN INC.

1608 S. Strawberry Road  
 Oregon City, Oregon 97045  
 Office: (503)-631-1125  
 Fax: (503)-631-1116

SHEET TITLE: BUILDING ELEVATIONS  
 SCALE: 1/4" = 1'-0"  
 PROJECT: HALE REMODEL  
 CONTRACTOR: JEDY HALE  
 OWNER: JEDY HALE  
 1608 SE 64th AVE, WEST LINN OR 97045  
 BOX 890-413

REVISED:	
DATE:	4-NOV-10
PROJECT #	1910
SHEET #	A
	1.1

**FLOOR PLAN NOTES:**

- FRAMING:**
- ALL EXTERIOR WINDOW AND DOOR HEADERS TO BE 4 X 8 DFL. NO. 2 UNLESS NOTED OTHERWISE.
  - ALL EXTERIOR WALL TO BE 2 X 4 STUDS @ 16" O.C. AND INTERIOR WALLS TO BE 2 X 4 STUDS @ 16" O.C. FOUNDATION CRIPPLE WALLS SHALL BE FRAMED OF STUDS OF NOT LESS THAN THE STUDS ABOVE.
  - STANDARD STUD HEIGHT TO BE 59" FOR 8'-0" CEILING HEIGHTS.
  - WINDOW AND DOOR HEADER HEIGHTS TO BE 6'-0" TYPICAL UNLESS NOTED OTHERWISE. ADJUST HEIGHT OF WINDOW ROUGH OPENINGS WITH DOOR ROUGH OPENINGS SO THAT CASING AT WINDOW AND DOOR HEADS ARE ALIGNED.
  - ALL WOOD IN DIRECT CONTACT WITH CONCRETE TO BE PRESURE TREATED AND/OR PROTECTED BY 2" ROLLED SHEATHING PLY.
  - PROVIDE POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINE OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENINGS.
  - BEARINGS FOR JOIST SUPPORT MEMBERS, HEADERS, AND BEAMS TO BE 1/2 THE MEMBER BOTH AND SOLID BEARINGS. 2 X JOISTS TO HAVE 1/2" PNL BEARINGS.
  - PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER U.B.C. SECTION 703.
  - BLOCK ALL STUD WALLS AT SHEATHING SPLICES OR AS REQUIRED.
  - ALL HOLDINGS, JOIST HANGERS, BEAM HANGERS AND OTHER CONNECTORS TO BE "8" OR EQUAL.
  - ALL STUD WALLS SHALL HAVE DOUBLE TOP PLATES OF SAME SIZE AND DIMENSION AS THE STUD FRAMING. PLATES SHALL OVERLAP A MINIMUM OF 6" BETWEEN SPLICES WITH AT LEAST (8) NAIL EACH END THROUGH BOTH PLATES EACH SIDE OF SPLICE.
  - DO NOT NOTCH OR DRILL THROUGH ANY SUPPORT COLUMN, GIRDERS, BEAMS, JOIST SUPPORTING BEAMS WALLS OR ANY OTHER CONCENTRATED LOAD BEARING MEMBER UNLESS SPECIFICALLY NOTED ON PLANS. CONTACT DESIGNER IF ANY QUESTIONS.
  - THIS STRUCTURE TO BE ADEQUATELY BRACED FOR WIND AND GRAVITY LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

- LUMBER SPECIES AND GRADING:**
- A. POSTS, BEAMS, HEADERS DFL. NO. 2
  - B. FLOOR JOISTS, CEILING JOISTS, RAFTERS DFL. NO. 2
  - C. SILL PLATES, BLOCKING, BRIDGINS DFL. NO. 2
  - D. STUDS DFL. NO. 2
  - E. STUDS OVER 12" HIGH DFL. NO. 2
  - F. FLOOR DECKING DFL. UTILITY GRADE
  - G. WALL, ROOF SHEATHING CDX EXT. APA RATED PLY OR OSB 3/4"
  - H. GYPSUM BOARD 5/8" DRY ADH. INTERIOR (EXT. ADH. AT EXT. CONDU)
  - I. PARALLEL STRAND LUMBER (PSL) MATERIALS PERFORM 540 P-950
  - J. LAMINATED VENEER LUMBER (LVL) MATERIALS PERFORM 540 P-950

**NAILING SCHEDULE (PER ORSC 2008, TABLE R602.3 (U))**

DESCRIPTION OF BUILDING ELEMENTS	FASTENER # & TYPE	TOE NAIL	SPACING
A. JOIST TO SILL OR GIRDER	3-6d (3-1/2" X 0.135")	FACE NAIL	-
B. 2" X 4" SUBFLOOR OR LESS TO SILL/GIRDER	3-6d (3-1/2" X 0.135")	FACE NAIL	-
C. 2" SUBFLOOR TO JOIST OR GIRDER	3-6d (3-1/2" X 0.135")	BLIND & FACE	-
D. SOLE PLATE TO JOIST, SOLID DECK OR BLOCKING	1-6d (3-1/2" X 0.135")	FACE NAIL	16" O.C.
E. TOP OR SOLE PLATE TO STUD	3-6d (3-1/2" X 0.135")	END NAIL	-
F. STUD TO SOLE PLATE	3-6d (3-1/2" X 0.135")	TOE NAIL	-
G. DOUBLE STUDS	1-6d (3" X 0.108")	FACE NAIL	34" O.C.
H. DOUBLE TOP PLATES	1-6d (3" X 0.108")	FACE NAIL	34" O.C.
I. SOLE PLATE TO JOIST, SOLID DECK OR BLOCKING AT BRACED WALL PANELS	3-6d (3-1/2" X 0.135")	FACE NAIL	-
J. DOUBLE TOP PLATE, PNL 3/4" OFFSET OF END JOISTS	3-6d (3-1/2" X 0.135")	FACE NAIL	-
K. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	3-6d (3-1/2" X 0.135")	TOE NAIL	-
L. RFT. JOIST TO TOP PLATE	3-6d (3-1/2" X 0.135")	TOE NAIL	6" O.C.
M. TOP PLATES LAP AT CORNERS & INTERSECTIONS	3-6d (3-1/2" X 0.135")	FACE NAIL	-
N. BUILT UP HEADER, 2 PIECES WITH 1/2" SPACER	1-6d (3-1/2" X 0.135")	FACE NAIL	16" O.C. EACH EDGE
O. CONTIGUOUS HEADER, 2 PIECES	1-6d (3-1/2" X 0.135")	FACE NAIL	16" O.C. EACH EDGE
P. CEILING JOIST TO PLATE	3-6d (3-1/2" X 0.135")	TOE NAIL	-
Q. CONTIGUOUS HEADER TO STUD	4-6d (3-1/2" X 0.135")	TOE NAIL	-
R. CEILING JOIST, LAP OVER PARTITIONS	3-6d (3" X 0.108")	FACE NAIL	-
S. CEILING JOIST TO PARALLEL RAFTERS	3-6d (3" X 0.108")	FACE NAIL	-
T. RAFTER TO PLATE	3-6d (3-1/2" X 0.135")	TOE NAIL	-
U. 1" BRACE TO EACH STUD & PLATE	3-6d (3-1/2" X 0.135")	FACE NAIL	-
V. 1" X 8" SHEATHING TO EACH BEARING	3-6d (3-1/2" X 0.135")	FACE NAIL	-
W. 1" X 8" SHEATHING TO EACH BEARING	3-6d (3-1/2" X 0.135")	FACE NAIL	-
X. BEARER THAN 1" X 8" SHEATHING TO EACH BEARING	3-6d (3-1/2" X 0.135")	FACE NAIL	-
Y. BUILT UP CORNER STUDS	1-6d (3" X 0.108")	FACE NAIL	34" O.C.
Z. BUILT UP GIRDERS & BEAMS, 2" LUMBER LAYERS	1-6d (3" X 0.108")	FACE NAIL	34" O.C. AT TOP & BOTTOM & STAGGERED, 3 NAILS AT ENDS & AT EACH BEARING AT EACH BEARING
AA. 2" PLANKS	3-6d (3-1/2" X 0.135")	FACE NAIL	-
BB. ROOF RAFTERS TO RIDGE	4-6d (3-1/2" X 0.135")	TOE NAIL	-
CC. VALLEY OR HP RAFTERS	3-6d (3-1/2" X 0.135")	FACE NAIL	-
DD. RAFTER TIBS TO RAFTERS	3-6d (3-1/2" X 0.135")	FACE NAIL	-
DD. COLLAR TIE TO RAFTER	3-6d (3" X 0.108")	FACE NAIL OR 1/4" X 20 GAGE RIDGE STRAP	-

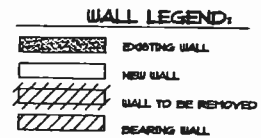
**NAILING SCHEDULE (PER ORSC 2008, TABLE R602.3 (I))**

WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF & WALL SHEATHING FRAMING, & PARTICLEBOARD WALL SHEATHING TO FRAMING

SHEATHING TO FRAMING	FASTENER # & TYPE	EDGE SPACING	FIELD SPACING
A. 5/8" - 1/2" SUBFLOOR / WALL & COMMON	6d (3" X 0.135")	6" O.C.	12" O.C.
B. 5/8" - 1/2" ROOF	6d (3" X 0.135")	6" O.C.	12" O.C.
C. 1/2" - 1"	6d (3" X 0.135")	6" O.C.	12" O.C.
D. 1/2" - 1/4"	6d (3" X 0.135")	6" O.C.	12" O.C.

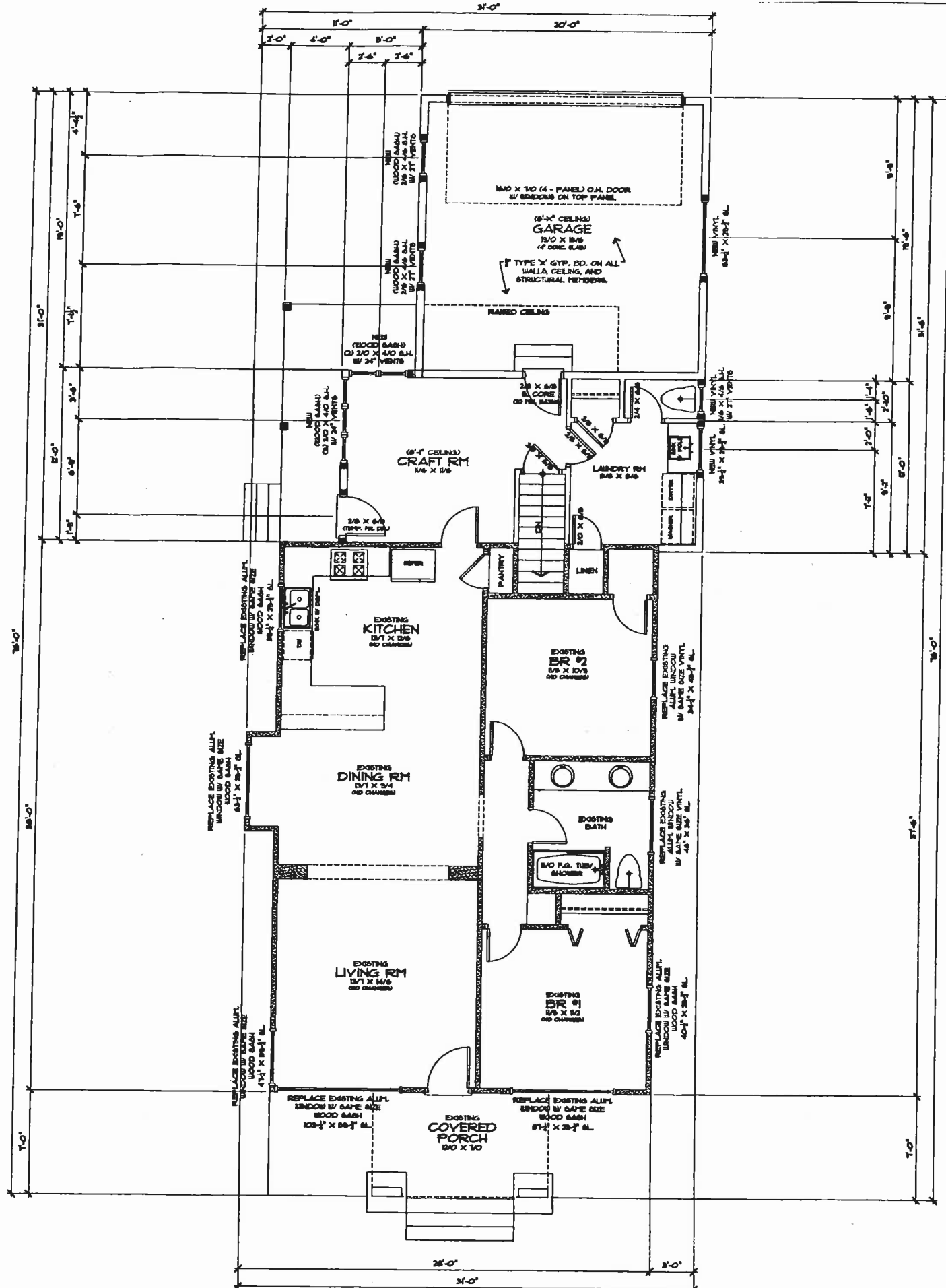
**SQUARE FOOTAGE CALCULATIONS:**

FLOOR	EXISTING	NEW	TOTAL
MAIN	1002	301	1303
BASEMENT	945	0	945
GARAGE	0	380	380
COVERED PORCH	84	89	173
TOTAL	2031	770	2801



**FLOOR PLAN NOTES: (CONT'D)**

- MISCELLANEOUS:**
- EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM CLEARANCE BOTTOM OF 20 INCHES AND A BOTTOM SILL HEIGHT LESS THAN 44 IN. ABOVE FINISHED FLOOR.
  - ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2" DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. PROVIDE PEEP-HOLES 34"-44" ABOVE FINISHED EXT. DOOR FLOOR.
  - WINDOWS MUST MEET THE U-VALUE OR 'CLASS' REQUIREMENT FOR THE APPROPRIATE ENERGY PATH AND BE LABELED ACCORDINGLY. SITE BUILT WINDOWS MAY BE USED PROVIDED THEY MEET THE CRITERIA AS OUTLINED IN SEC. C704.
  - WINDOWS ARE TO BE TEMPERED IF THEY ARE WITHIN 18 INCHES OF THE FLOOR WITHIN A 34 INCH ARCH OF ANY DOOR IN A CLOSED POSITION. GLAZING USED IN BALCONIES, GLAZING IN FENCED OR SLIDING DOORS, WHERE THE BOTTOM EDGE IS WITHIN 60 INCHES ABOVE STAIRS, HOT TUBS, BATHUBS, SHOWERPOOLS, AND/OR SHOWERS.
  - ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, EXTERIOR LOCATIONS AND GARAGES SHALL BE G.F.I. OR G.F.C.E. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
  - RECESSED LIGHT FIXTURES ARE NOT PERMITTED IN ANY INSULATED CAVITY UNLESS THE FIXTURES ARE LABELED AS BEING SUITABLE (I.C. LABEL) FOR DIRECT CONTACT WITH INSULATION.
  - ALL DOORS BETWEEN GARAGE AND LIVING AREAS SHALL BE ONE-HOUR FIRE RATED ASSEMBLIES WITH 1-3/4" SOLID CORE DOOR OR CODE APPROVED EQUAL WITH A SELF-CLOSING MECHANISM.
  - USE 1/2" GYPSUM BOARD IN HOUSE WALLS AND CEILING AND UNDER STAIRS. USE 1/2" TYPE X GYPSUM BD. ON WALLS AND CEILING BETWEEN GARAGE AND LIVING AREAS. PROVIDE 1/2" WATERPROOF GYPSUM BD. ABOVE ALL SHOWER AND TUB/SHOWER UNITS AND IN ANY WATER SPLASH AREAS.



**MAIN LEVEL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

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**Osterman DESIGN INC.**  
1808 S. Stonebridge Road  
Oregon City, Oregon 97058  
Office: (503)-631-1125  
Fax: (503)-631-7116

**MAIN LEVEL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
**HALE REMODEL**  
PROJECT: 1910  
CONTACT: ADY HALE  
1808 SE 64th AVE, WEST LINN, OR 97068  
503 890-4433

REVISED: \_\_\_\_\_  
DATE: 4-NOV-10  
PROJECT: 1910  
SHEET: A  
**2.1**

