

City of West Linn
PRE-APPLICATION CONFERENCE MEETING
Notes
November 4, 2010

SUBJECT: Installation of bridge and possible improvements to existing trail, both in water resource area at Robinwood Community Park, 3600 Fairview Way/18292 Shady Hollow Way

ATTENDEES: Applicants: Mike Perkins, Zach Pelz (Parks Department)
Planner: Tom Soppe

The following is a summary of the meeting discussion provided to you from staff meeting notes. Additional information may be provided to address any "follow-up" items identified during the meeting. These comments are PRELIMINARY in nature. Please contact the Planning Department with any questions regarding approval criteria, submittal requirements, or any other planning-related items. Please note disclaimer statement below.

Project Details

The applicant proposes a bridge across a tributary of Robinwood Creek at Robinwood Community Park in the Robinwood neighborhood. The bridge will cross the creek in the northeast area of the park, very close to where the tributary spills into Robinwood Creek itself.

Originally on the plans approved for this park (in file MISC-01-22, the appeal file for the original design review file DR-01-13) there was shown a bridge crossing this tributary at a different location further south. However this was labeled at that time as a potential future bridge (i.e. not as a bridge that was definitely planned). This bridge could still be built in the future, but in the meantime the applicant plans to build a bridge where an existing informal trail currently "crosses" the creek via a log further north. This pre-application conference regarded the bridge on the existing trail, and possible improvements to the trail itself.

The informal trail existed before the park was applied for and developed, per the applicant. However it was not shown as a trail on the original master plan for the park. Therefore while it is an existing trail it has never been reviewed as a trail under Planning Department design review standards. However if no improvements are applied for for the trail itself, only the installation of the bridge along a trail, the Class I Design Review permit would not be needed for the trail. If the applicant applies to make improvements to the trail itself, this would require Class I Design Review since it is a trail over 200 feet long that has never been reviewed under design review. See 56.020(C) (2) and (3) which require Class I Design Review for "new" trails and paths over 200 feet long. This trail would be considered the same as a new trail requiring design review, if improved as a

trail, since a) it has never been reviewed under design review before, and b) it is over 200 feet long.

While the bridge is a new structure in the park, it does not seem to fall under the purview of any of the new uses, structures, or facilities in parks that do require Class I Design Review permits per 56.020(C). Therefore if the applicant only plans a new bridge with no improvements to the trail served by the bridge, only a Water Resource Area permit should be needed.

The entire area of this trail and its proposed bridge is within the water resource area of this Robinwood Creek tributary and/or of Robinwood Creek itself. The footprint of the bridge will have to be mitigated for as it will be new impervious area within a water resource area.

Any areas of the trail that are proposed to be paved, any square footage added to the trail if it is widened, and/or any retaining walls or other features constructed to support the trail will also have to be mitigated for. If any of the trail is realigned, mitigation would also have to include the square footage of the new alignment that was not part of the existing trail.

Process

The Water Resource Area permit is required, and possibly the Class I Design Review permit if improvements are made to the trail itself, beyond building the bridge to connect the two existing segments of the trail.

No neighborhood meeting is required for the Water Resource Area permit or Class I Parks Design Review permit per CDC 99.038. However, these meetings are always encouraged to solicit public input and make the public more informed of an applicant's plans. If the applicant decides to present at a neighborhood meeting, contact Thomas Boes, Robinwood Neighborhood President, 503-699-6112 or presidentrna@gmail.com. If the applicant presents at a NA meeting, the applicant is required to provide the neighborhood association with conceptual plans and other material at least 10 days prior to the meeting.

The Water Resources Area permit will require a full and complete response to the submittal requirements of CDC 32.040 and narrative response to the approval criteria of CDC 32.050. Also required will be responses to 32.070 Mitigation Plan and 32.080 Revegetation Plan, the former providing for mitigation for areas to be newly and permanently cleared, developed, or converted to bridge footprint or trail footprint area, and the latter to provide for revegetation of areas temporarily disturbed during construction. The CDC is online at <http://westlinnoregon.gov/cdc>.

If a Class I Parks Design Review permit is needed, this will require a full and complete response to the submittal requirements of CDC 56.075 including a site plan. Per 56.090(D) the applicant shall respond in a narrative to the approval criteria of 56.100(C).

Per 56.090(3) Planning can require responses to other appropriate criteria of 56.100 as well. Therefore if this permit is applied for the applicant's narrative should also respond to the criteria of 56.100(G)(2-4, 7-9) Safety and Defensible Space, 56.100(I)(3,4,7) Paths and Trails, 56.100(K)(1) regarding Chapter 33 Stormwater Quality and Detention, 56.100(K)(9) regarding Chapter 52 Signs, and 56.100(K)(10) regarding Chapter 54 Landscaping.

Submittal requirements may be waived. For this, the applicant must first identify the specific submittal requirement and request in letter form that it be waived by the Planning Director, and must identify the specific grounds for that waiver. The waiver may or may not be granted by the Planning Director.

N/A is not an acceptable response to the approval criteria. Prepare the application and submit to the Planning Department with deposit fees and signed application form.

No deposits will be required as the applicant is a City department. Once the application submittal is deemed complete, the Planning Director will send out public notice of the pending decision, then render a decision in approximately three to five weeks. The decision may be appealed by the applicant or anyone with standing to City Council, which would require at least one City Council hearing.

Pre-application notes are void after 18 months. After 18 months with no application approved or in process, a new pre-application conference is required.

Typical land use applications can take 6-10 months from beginning to end.

DISCLAIMER: This summary discussion covers issues identified to date. It does not imply that these are the only issues. The burden of proof is on the applicant to demonstrate that all approval criteria have been met. These notes do not constitute an endorsement of the proposed application. Staff responses are based on limited material presented at this pre-application meeting. New issues, requirements, etc. could emerge as the application is developed.



LAND USE PRE-APPLICATION CONFERENCE

Thursday, November 4, 2010

City Hall
22500 Salamo Road

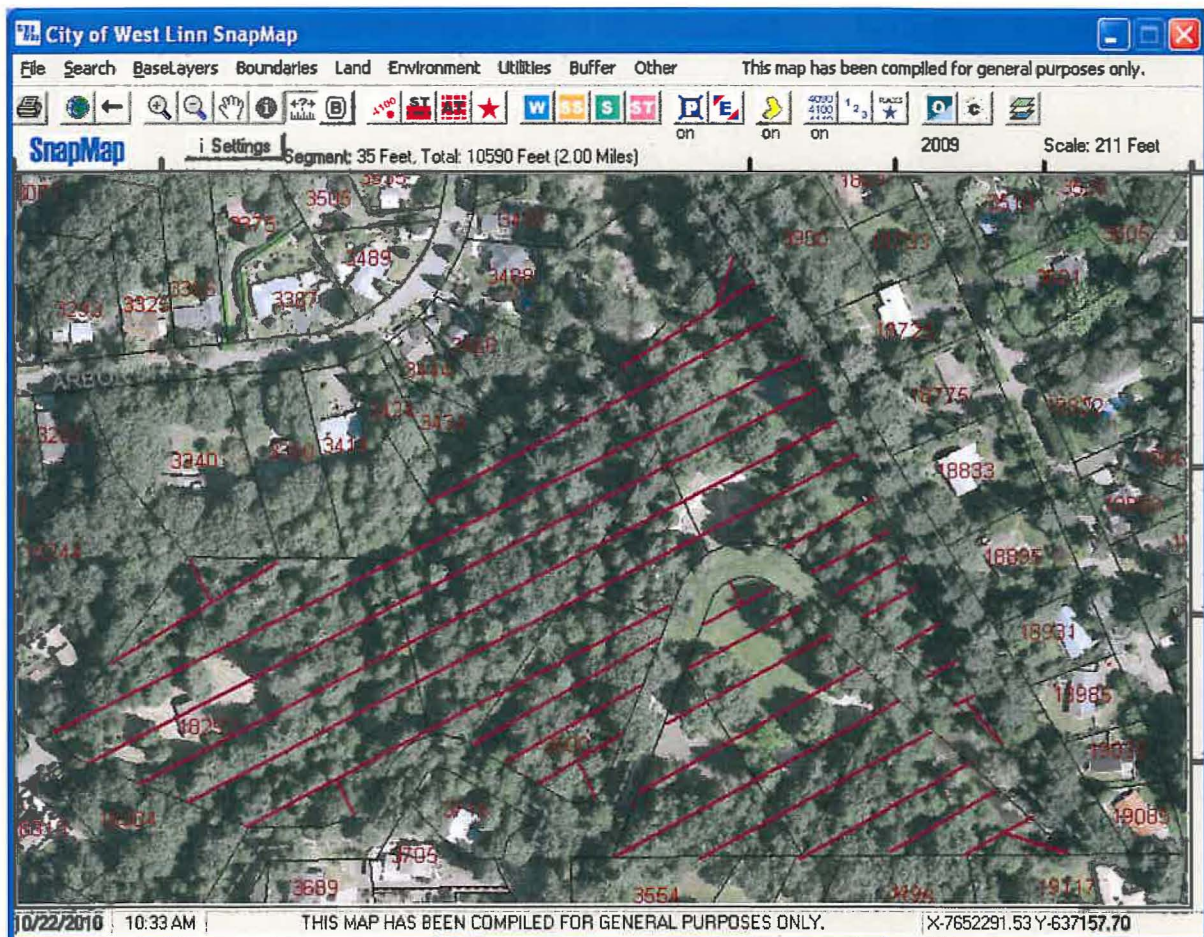
Willamette Conference Room

9:00 am New application for revised trail crossing of Robinwood Creek.
Applicant: City of West Linn, Parks and Recreation Department
Subject Property Address: Map 2 1E 14DA lots 03500, 03400, 03300, 01900, 02100, 02000, 02200, 03000

Neighborhood Assn: Robinwood

Planner: ~~Zach Petz~~ Tom Soppe

Project #: PA-10-32





PRE-APPLICATION CONFERENCE

| THIS SECTION FOR STAFF COMPLETION | | |
|-----------------------------------|-----------|---------------------|
| CONFERENCE DATE: | 11/4/10 | TIME: 9 AM |
| STAFF CONTACT: | Zach Pelz | PROJECT #: PA 10 32 |
| | | FEE: NA |

Pre-application conferences occur on the first and third Thursdays of each month. In order to be scheduled for a conference, this form including property owner's signature, the pre-application fee, and accompanying materials must be submitted at least 14 days in advance of the conference date. Twenty-four hour notice is required to reschedule.

Address of Subject Property (or map/tax lot): Map 2 1E 14DA lots 03500, 03400, 03300, 01900, 02100, 02000, 01800, 02200, 03000

Brief Description of Proposal: New application for revised trail crossing of Robinwood Creek. Because proposal changes impact to water resource area from previous approved crossing (MISC 01-22) by more than 25 percent, a new application is being submitted.

Applicant's Name: City of West Linn, Parks and Recreation Department

Mailing Address: 22500 Salamo Rd

Phone No: (503) 557-4700

Email Address: mperkins@westlinnoregon.gov

Please attach additional materials relating to your proposal including a site plan on paper up to 11 x 17 inches in size depicting the following items:

- North arrow
- Scale
- Property dimensions
- Streets abutting the property
- Conceptual layout, design and/or building elevations
- Access to and from the site, if applicable
- General location of existing trees
- Location of creeks and/or wetlands
- Location of existing utilities (water, sewer, etc.)
- Easements (access, utility, all others)

Please list any questions or issues that you may have for city staff regarding your proposal:

By my signature below, I grant city staff right of entry onto the subject property in order to prepare for the pre-application conference.

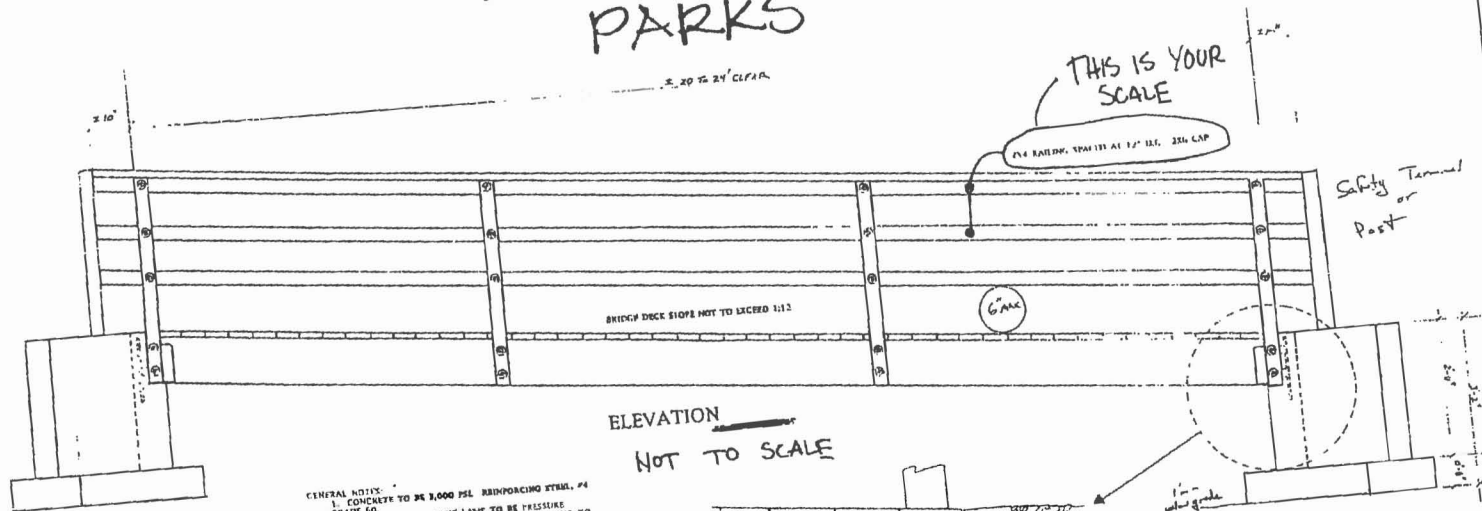
Property owner's signature

10/20/2010

Date

Property owner's mailing address (if different from above)

TYPICAL TRAIL BRIDGE WEST LINN PARKS

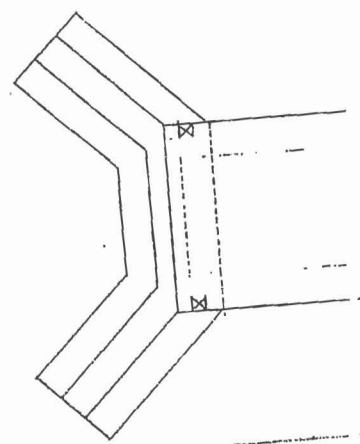
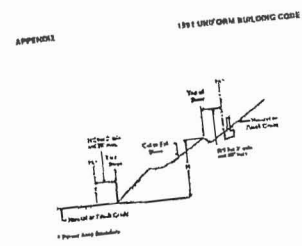
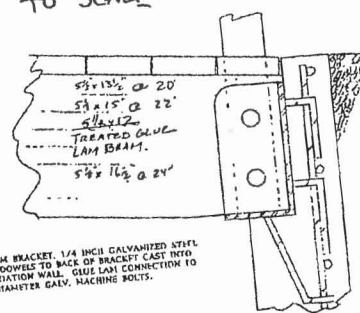


ELEVATION
NOT TO SCALE

GENERAL NOTES:
1. CONCRETE TO BE 3,000 PSI REINFORCING STEEL #4
GRADE 60.
2. ALL LUMBER AND GLUE LANS TO BE PRESSURE
TREATED. ALL DIMENSIONAL LUMBER AND TRUCKING TO
BE "OUTDOOR WHITE, OR EQUAL."
3. ALL WOOD TO WOOD JOINT FASTENERS TO BE 1/2"
GALV. BOLTS WITH MALLEABLE IRON WASHERS.
4. SCREW 256 DECKING TO GLUE LANS WITH NON-
CORROSIIVE DECK SCREWS.

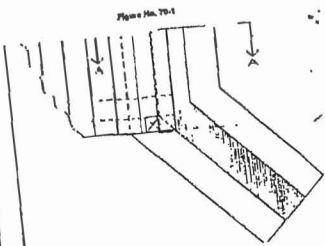
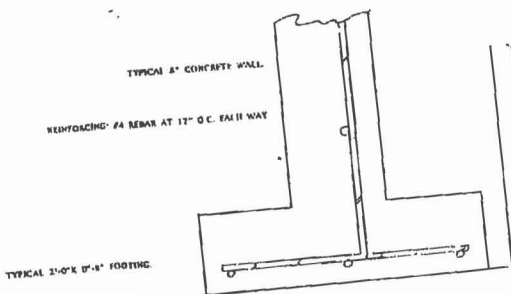
OPTIONAL FOUNDATION IN LINE OF CONCRETE:
RAILROAD TIES, SPLICED INTO HELIXES AND TIED
TOGETHER WITH #4 REINFORCING STEEL IN A
CONFIGURATION SIMILAR TO THE CONCRETE FOUNDATION
SHOWN.

FABRICATED BEAM BRACKET, 1/4 INCH GALVANIZED STEEL
WELD #4 REBAR DOVETS TO BACK OF BRACKET CAST INTO
CONCRETE FOUNDATION WALL. GLUE LAM CONNECTION TO
BE 2 EA. 5/8" DIAMETER GALV. MACHINE BOLTS.



APPROVED PLAN
City Engineer
Machine Engineer
DATE: 10/1/03
BY: [Signature]

THIS PLAN REVIEW APPROVAL
DOES NOT REPRESENT THE CITY
OR COUNTY ENGINEER.
THAT IS THE CASE



Safety Terminal
Post

| NAME | ADDRESS | E-MAIL | AFFILIATION |
|-----------------|-----------------|--------------------------|-------------|
| MIKE PERKINS | | | PARKS DEPT |
| Zach Futz | 22500 Salamo Rd | zputz@westinnaregion.gov | Parks |
| | | | |
| | | | |
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PLANNING TS

ENGINEERING _____

PARKS MP

































CITY OF WEST LINN
ROBINWOOD PARK
3600 FAIRVIEW









