



LAND USE PRE-APPLICATION CONFERENCE

Thursday, October 7, 2010

City Hall
22500 Salamo Road

Willamette Conference Room

9:00 AM Extension of approval for a 3-lot partition that was granted October 2007.

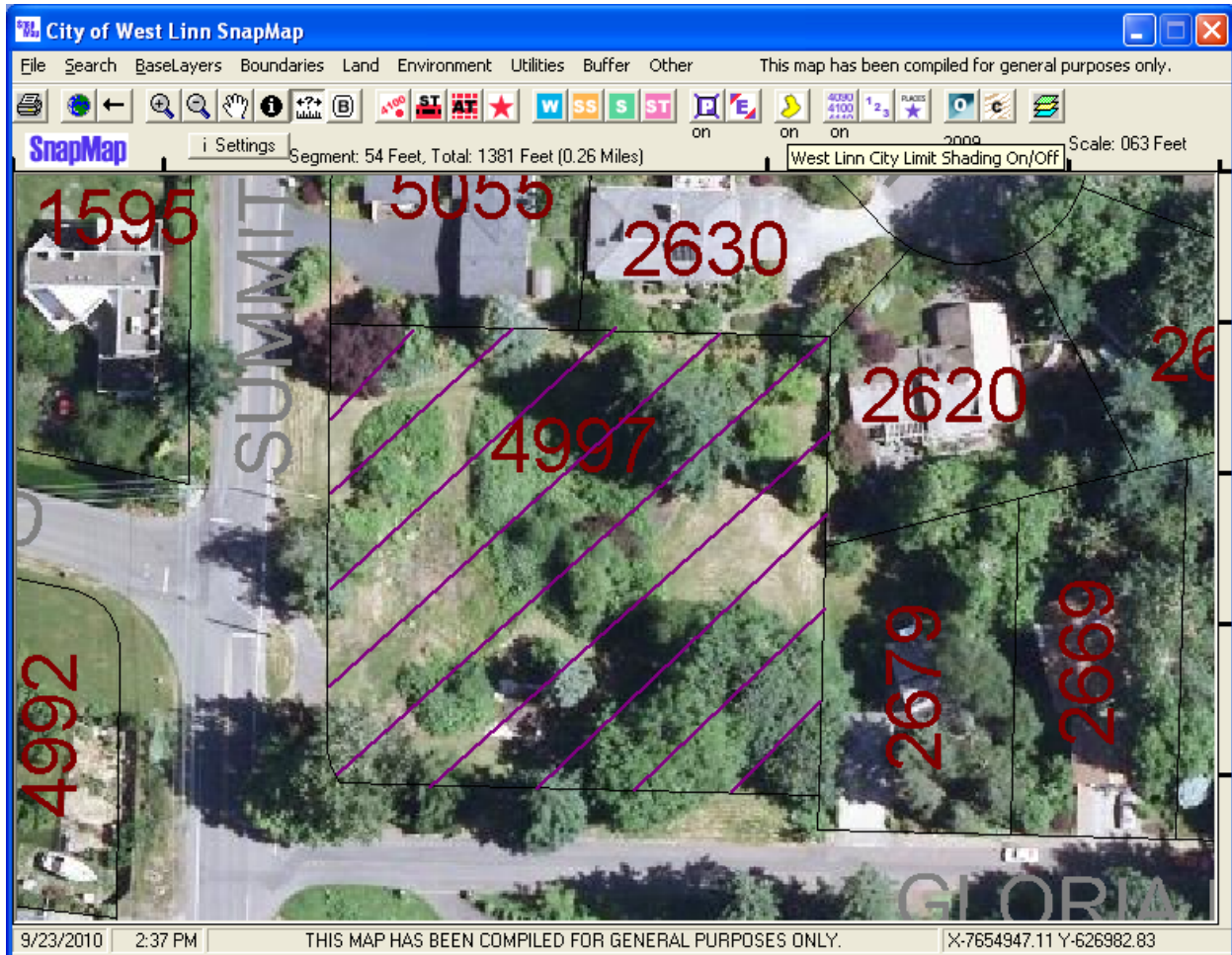
Applicant: Scott Foster

Subject Property Address: 4997 Summit St

Neighborhood Assn(s): *Sunset, Rosemont and Parker Crest*

Planner: Tom Soppe

Project #: PA-10-29





PRE-APPLICATION CONFERENCE

THIS SECTION FOR STAFF COMPLETION		
CONFERENCE DATE: 10/7/10	TIME: 9AM	PROJECT #: 10-29
STAFF CONTACT: TOM		FEE: 1000-

Pre-application conferences occur on the first and third Thursdays of each month. In order to be scheduled for a conference, this form including property owner's signature, the pre-application fee, and accompanying materials must be submitted at least 14 days in advance of the conference date. Twenty-four hour notice is required to reschedule.

Address of Subject Property (or map/tax lot): 4997 SUMMIT ST.

Brief Description of Proposal: EXTENSION OF 3-LOT PARTITION GRANTED OCT 2007.

Applicant's Name: SCOTT FOSTER

Mailing Address: 1400 ROSEMONT RD

Phone No: (503) 860-9318 Email Address: scott@solderproperties.com

Please attach additional materials relating to your proposal including a site plan on paper up to 11 x 17 inches in size depicting the following items:

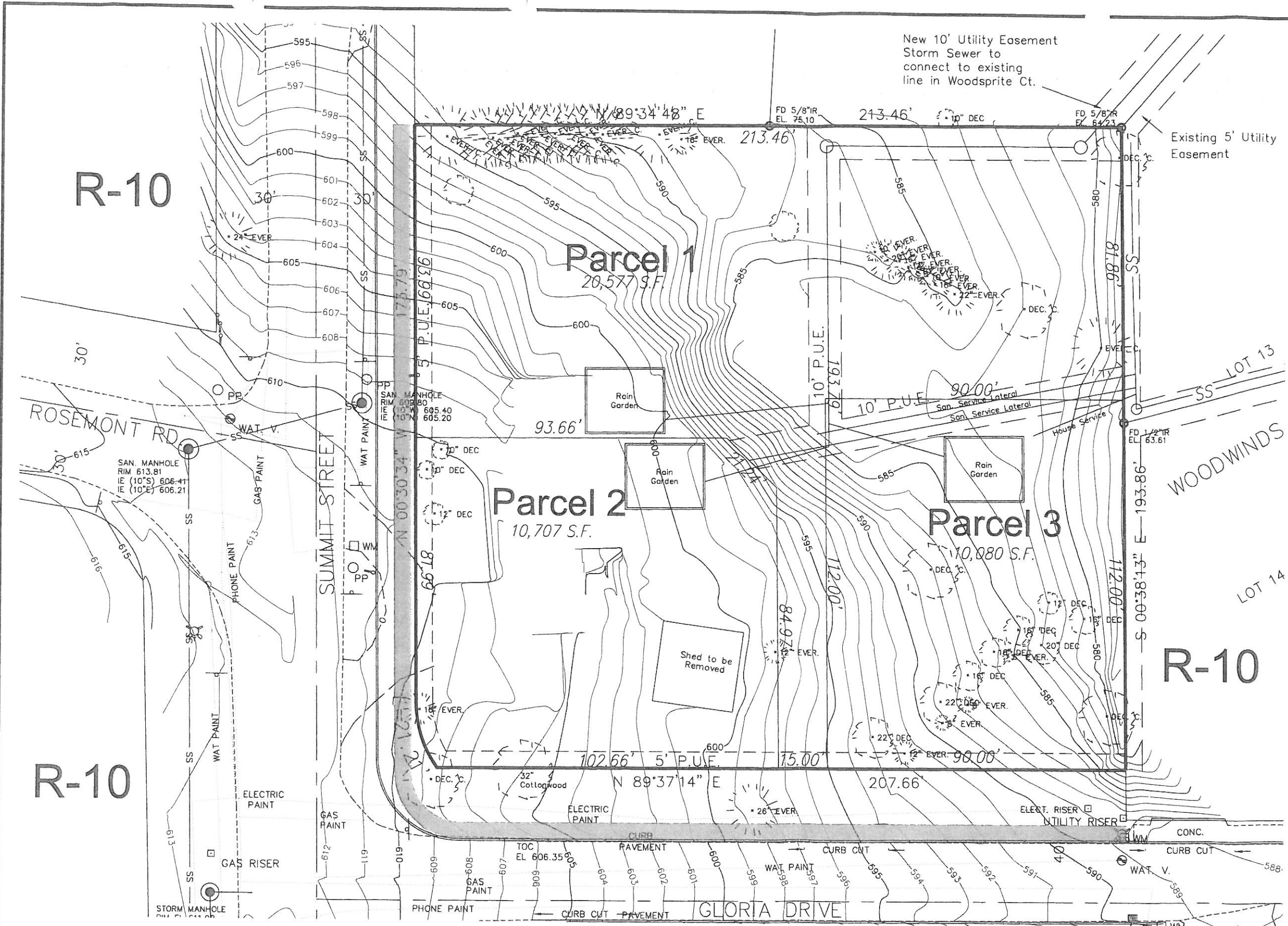
- North arrow
- Scale
- Property dimensions
- Streets abutting the property
- Conceptual layout, design and/or building elevations
- Access to and from the site, if applicable
- General location of existing trees
- Location of creeks and/or wetlands
- Location of existing utilities (water, sewer, etc.)
- Easements (access, utility, all others)

Please list any questions or issues that you may have for city staff regarding your proposal:

By my signature below, I grant city staff right of entry onto the subject property in order to prepare for the pre-application conference.

Property owner's signature: Scott Foster Date: 9-23-10

Property owner's mailing address (if different from above): SAME.



New 10' Utility Easement
Storm Sewer to
connect to existing
line in Woodsprite Ct.

Existing 5' Utility
Easement

Legal: 21E25DB TL 500
Zoning: R-10
Site Area: 41,365 square feet
Sewer: City of West Linn
Water: City of West Linn
Surveyor: Centerline Concepts



RECEIVED

OCT 01 2007

PLANNING & BUILDING
CITY OF WEST LINN
INT. TIME 3:30pm

DESIGNED:	R.E.G.		
DRAWN:	R.E.G.		
SCALE:	1" = 30'		
DATE:	July 31, 2007	9/24/07	1
FILE:	07-FOS-100	DATE	NO.
			REVISION
			Changed Lots to Access Lot 1 from Gloria.

Richard E. Givens, Planning Consultant
204 SE 10th Avenue
Canby, Oregon 97013
PH: (503) 263-4966 -- Fax: (503) 266-4718

APPLICANT: Scott Foster
1400 Rosemont Rd.
West Linn, OR 97068
PH: (503) 655-6079

**Minor Partition
Tentative Map**

SHEET:
1/3