



LAND USE PRE-APPLICATION CONFERENCE

Thursday, August 5, 2010

City Hall
22500 Salamo Road

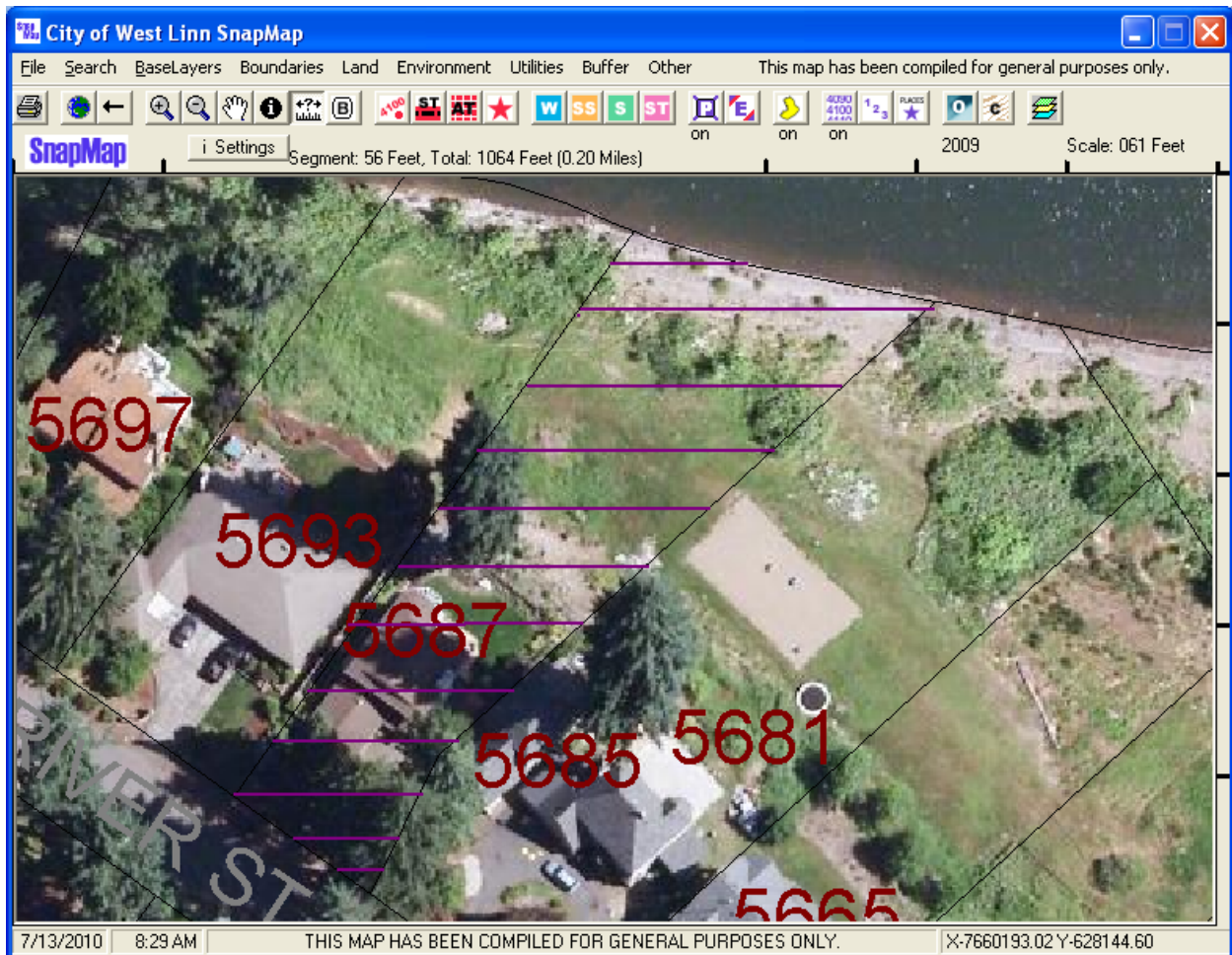
Willamette Conference Room

11:00 am Flood management plan
Applicant: Harding DiCenzo
Subject Property Address: 5687 River St.

Neighborhood Assn: *Bolton*

Planner: Peter Spir

Project #: PA-10-24





PRE-APPLICATION CONFERENCE

THIS SECTION FOR STAFF COMPLETION		
CONFERENCE DATE: <u>8/5/10</u>	TIME: <u>10AM</u>	PROJECT #: <u>PA 10-24</u>
STAFF CONTACT: <u>Peter Spir</u>		FEE: <u>350 -</u>

Pre-application conferences occur on the first and third Thursdays of each month. In order to be scheduled for a conference, this form including property owner's signature, the pre-application fee, and accompanying materials must be submitted at least 14 days in advance of the conference date. Twenty-four hour notice is required to reschedule.

Address of Subject Property (or map/tax lot): 5687 River St.

Brief Description of Proposal: FLOOD MANAGEMENT PLAN

HOME OWNER: JAMES OCHS
 Applicant's Name: HARDING DICENZO
 Mailing Address: 19363 WILLAMETTE DR WEST LINN, OR 97068
 Phone No: (503) 860-4369 Email Address: hardy@johnsondicenzo.com

Please attach additional materials relating to your proposal including a site plan on paper up to 11 x 17 inches in size depicting the following items:

- North arrow
- Scale
- Property dimensions
- Streets abutting the property
- Conceptual layout, design and/or building elevations
- Access to and from the site, if applicable
- General location of existing trees
- Location of creeks and/or wetlands
- Location of existing utilities (water, sewer, etc.)
- Easements (access, utility, all others)

Please list any questions or issues that you may have for city staff regarding your proposal:

By my signature below, I grant city staff right of entry onto the subject property in order to prepare for the pre-application conference.

[Signature] _____ 7/4/10
 Property owner's signature James ochs Date

5687 River St.
Property owner's mailing address (if different from above)

Description of Work:

The existing two-story single-family dwelling is approximately 2463 square feet of existing conditioned living space with an attached two-car garage. The project described within adds a 775 square foot "bedroom and studio wing" over the top of the existing one-story garage and new 352 sq. ft. new garage addition. The proposed addition adds one bedroom, adds one studio, relocates one bathroom, remodels one utility room and adds one garage bay. The completed work results in approximately 3238 square feet of total conditioned living space. Additional spaces include a front porch revision, and a 280 sq. ft. upper floor exterior covered balcony. If questions arise with regards to the work please consult your general contractor, the owner or the architect in an effort to provide the owner with a quality built product.

Construction Notes:

General: The contractor should verify conditions and dimensions to confirm extent of required work prior to commencing construction. If conditions vary significantly from drawings or the described work may in anyway affect the performance of the completed project notify architect.

Design: All new work to conform to 2008 Oregon Residential Specialty Code (effective 1 April 2008), regional codes and local codes. Load values; 25psf roof live load, 40psf floor live load, wind speed 100mph exposure B, seismic group D1.

Foundation: All new footings to be placed on firm undisturbed soil and a minimum of 18" below adjacent finished grade. Install 1/2" sill/anchor bolts at 4'-0" oc maximum spacing and within 12 inches of corners unless noted otherwise. All sill plate anchor bolts to have 0.229" thick x 3" square HDG plate washers for this seismic zone. Use minimum 3000-psi concrete (calcs based on 2500 psi) and 60K reinforcement, UNO. Damp proof foundation and provide permeable drain rock fill, verify additional foundation water protection requirements with owner.

Framing: Use minimum: Doug-fir grade #2 unless noted otherwise. Use 7/16" Exposure I, Exterior, or approved wall sheathing, 19/32" Exterior, or approved roof sheathing, and 3/4" t&g Exposure I, Exterior, or 7/8" Advantech sub floor, or approved sub-flooring, see structural for fasteners and additional requirements.

Insulation: New construction to conform to 2008 Oregon Residential Energy code "Prescriptive Envelope Requirements" as a minimum plus one additional measure, see HVAC below: walls R-21, under wood-framed floor R-30, under perimeter of slab floor edge R-15, flat ceilings R-38, vaulted ceilings R-30 dense for max ventilation (note: upper floor shown represents 775 sq. ft. of vaulted floor area and is significantly less than 50% of total floor area), windows U=0.35, doors U=0.20, skylight U=0.60, air ducts R-8.

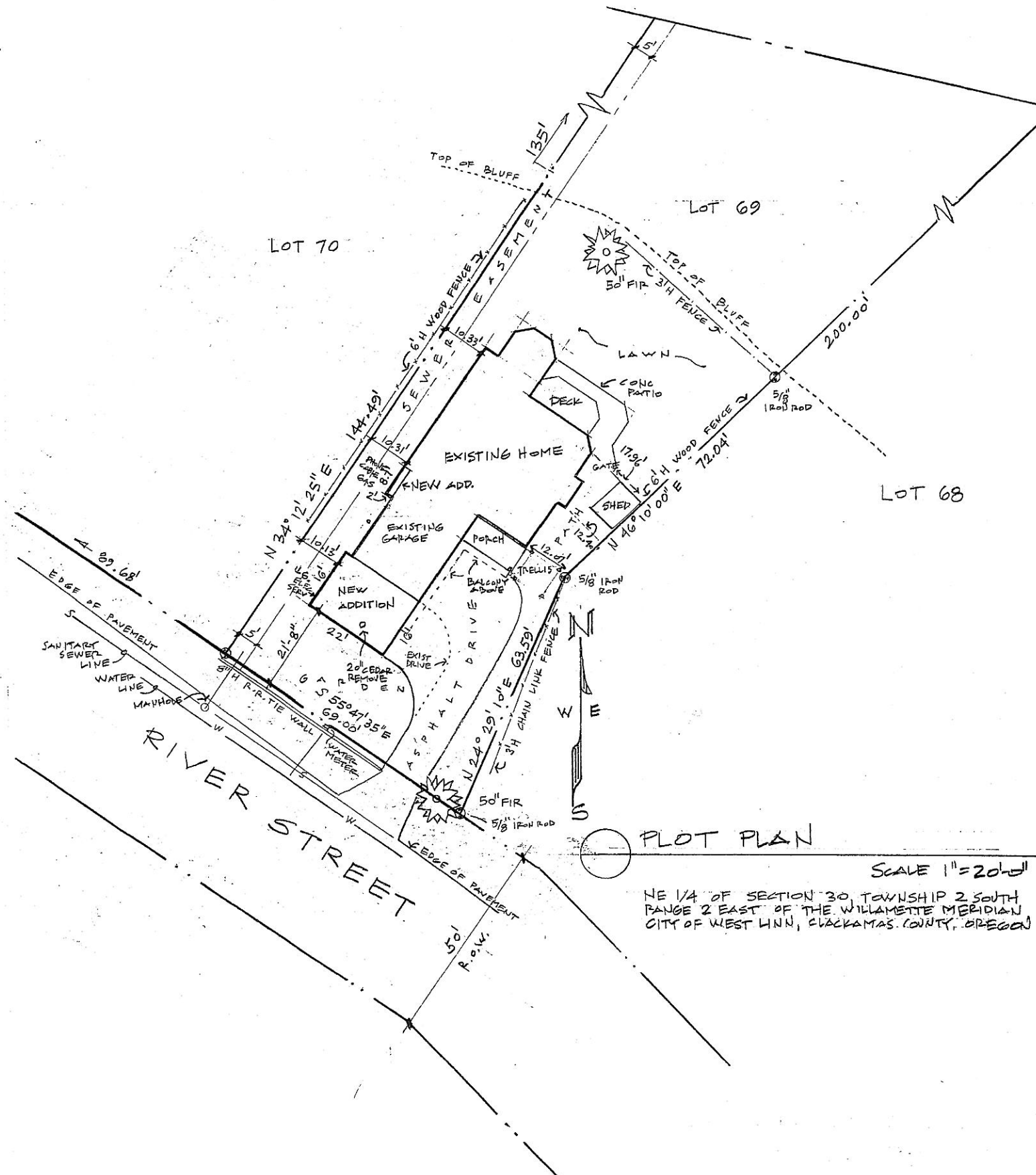
HVAC System: Provide high efficiency gas-fired forced air furnace w/ minimum APUE of 90%. Distribute air with rigid, insulated, and secured ductwork in concealed locations -- if necessary, review routing with architect prior to fabrication.

Hot Water System: Verify existing water heater is adequate for domestic water use.

Plumbing: Provide perimeter foundation drain system, under slab drains as necessary, and storm drain system. Verify existing outlet system is adequate for this small addition, if questions contact architect.

Index of Drawings

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- A 9 Northwest Elevation & Opening Schedules
- A 10 Main Floor Lighting & Power Plan
- A 11 Upper Floor Lighting & Power Plan
- S 1.0 Lateral Design Requirements
- S 2.0 Lateral Design Requirements
- S 3.0 Lateral Design Requirements



Evergreen Architecture

D. Michael Danielson, Architect

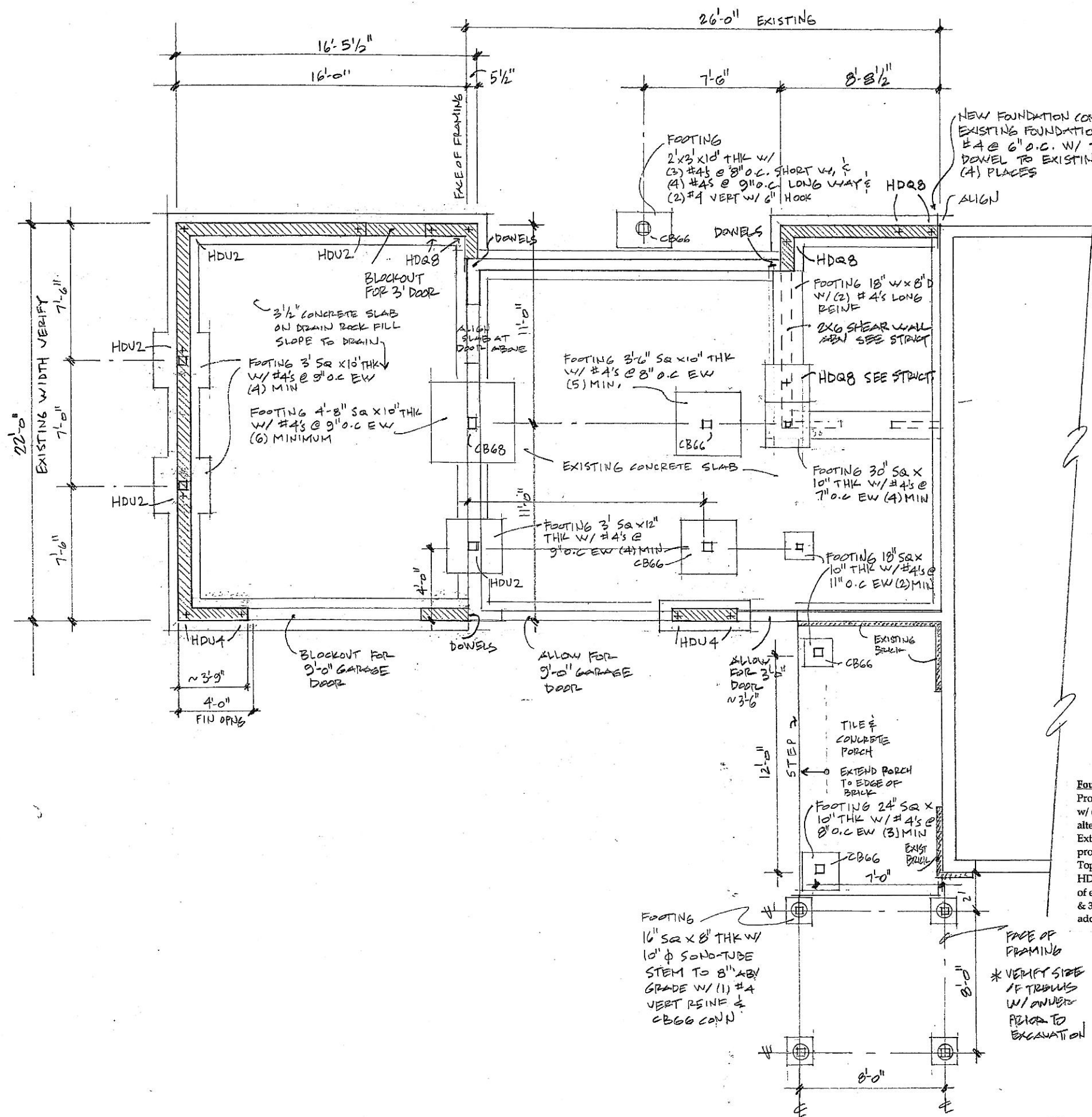
20627 87th Ave SW, Vancouver Island, WA 98070 206-463-2153 206-463-0947 fax

Ochs Studio & Additions

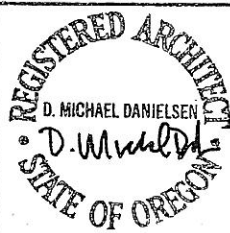
5687 River Street, West Linn, Oregon 97068

5-2-10

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Foundation Construction:
 Provide 20" w min. x 8" thk continuous footing (set at 18" min below finish grade) w/ (2) #4 longitudinal reinforcement & (1) #4 vert reinf @ 6'-0" oc & w/ 6" alternating hook (3'-0" @ new garage door opening & bend 2'-0" into slab). Extend vert reinf into & near top of continuous 8" thk concrete wall above & provide (1) #4 @ 2'-0" oc horizontal reinf - minimum (1) within top 6" of wall. Top of wall to be min 8" above fin grade. Provide 1/2" x 10" anchor bolts & 3" sq HDG plate washers @ 4'-0" o.c. max spacing - min (2) bolts per plate, within 12" of ends and no closer than 7 bolt diameters from ends. Use 1/2" x 12" anchor bolts & 3" sq HDG plate washers @ 3x PT plates, see structural. See structural for additional anchor bolt @ hold down requirements.



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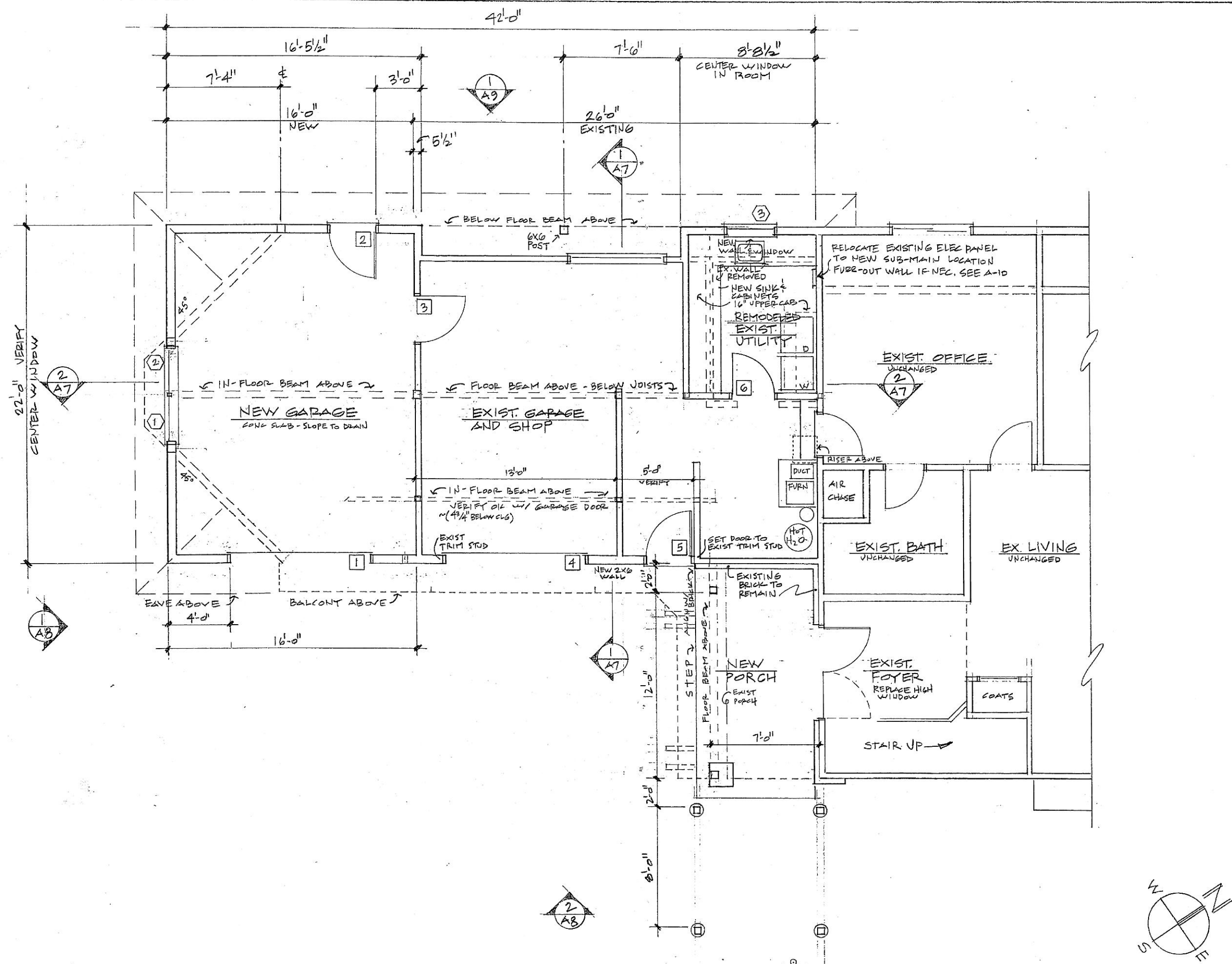
D. Michael Danielson, Architect
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Ochs Studio & Additions

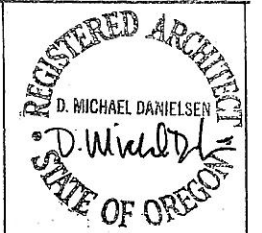
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FOUNDATION PLAN
 SCALE 1/4" = 1'-0"

5.21.10



GROUND FLOOR PLAN
SCALE 1/4" = 1'-0"



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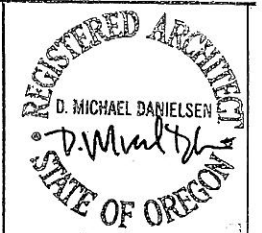
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Ochs Studio & Additions

5687 River Street, West Linn, Oregon 97068

5-21-10

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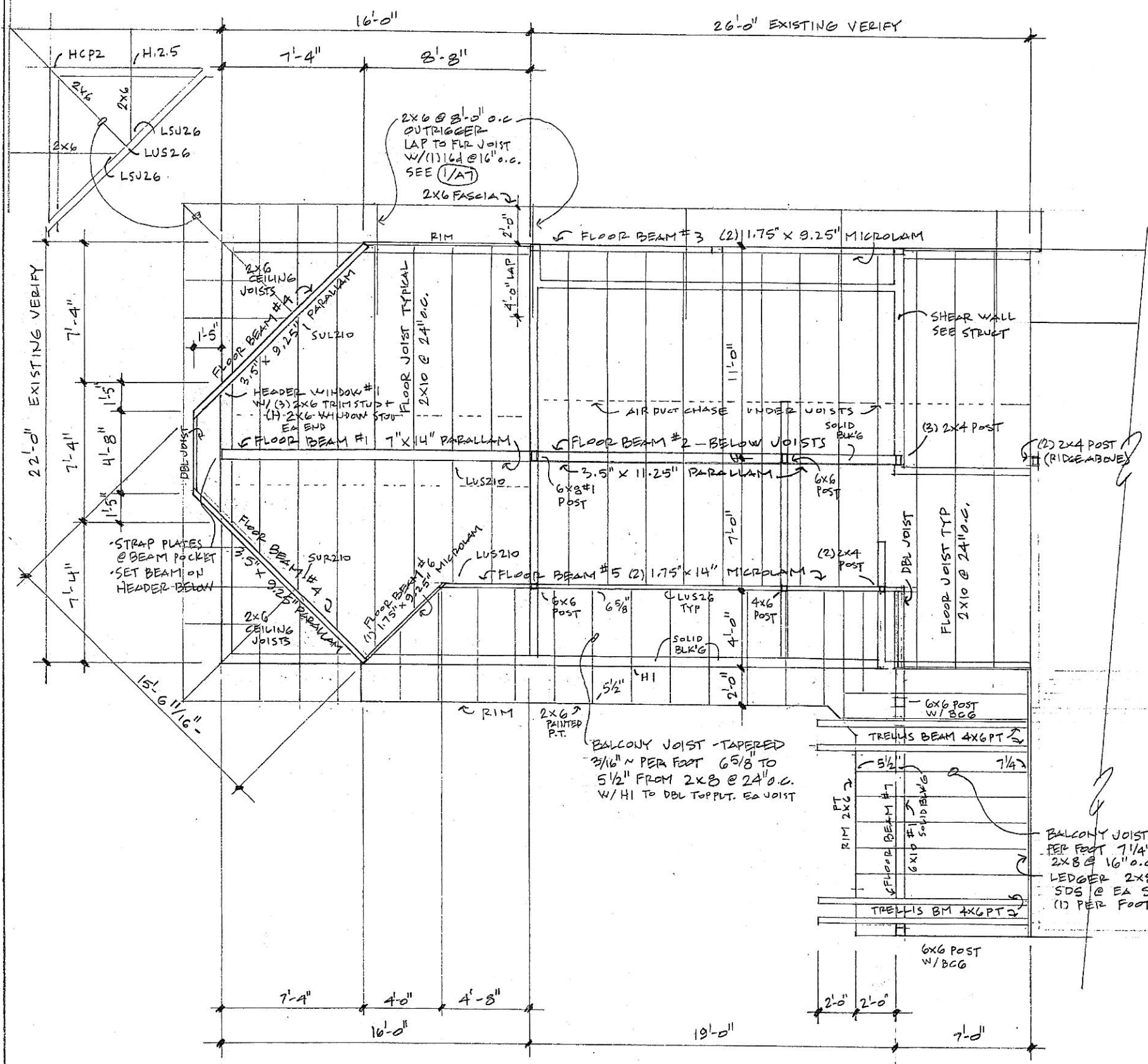


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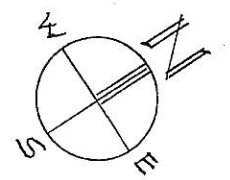
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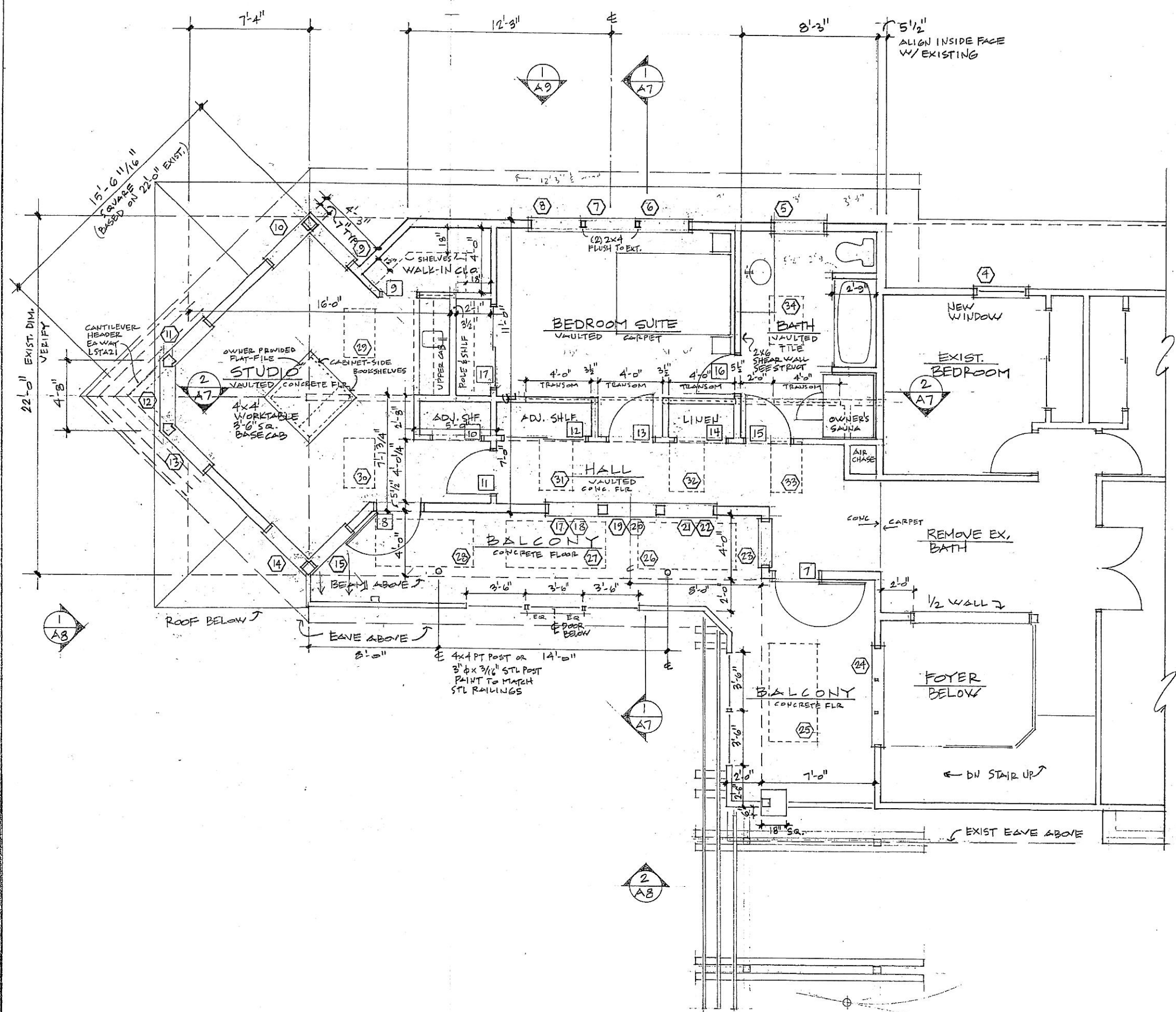
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UPPER FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"



5-21-10



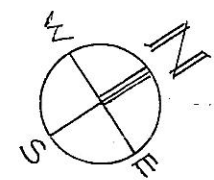
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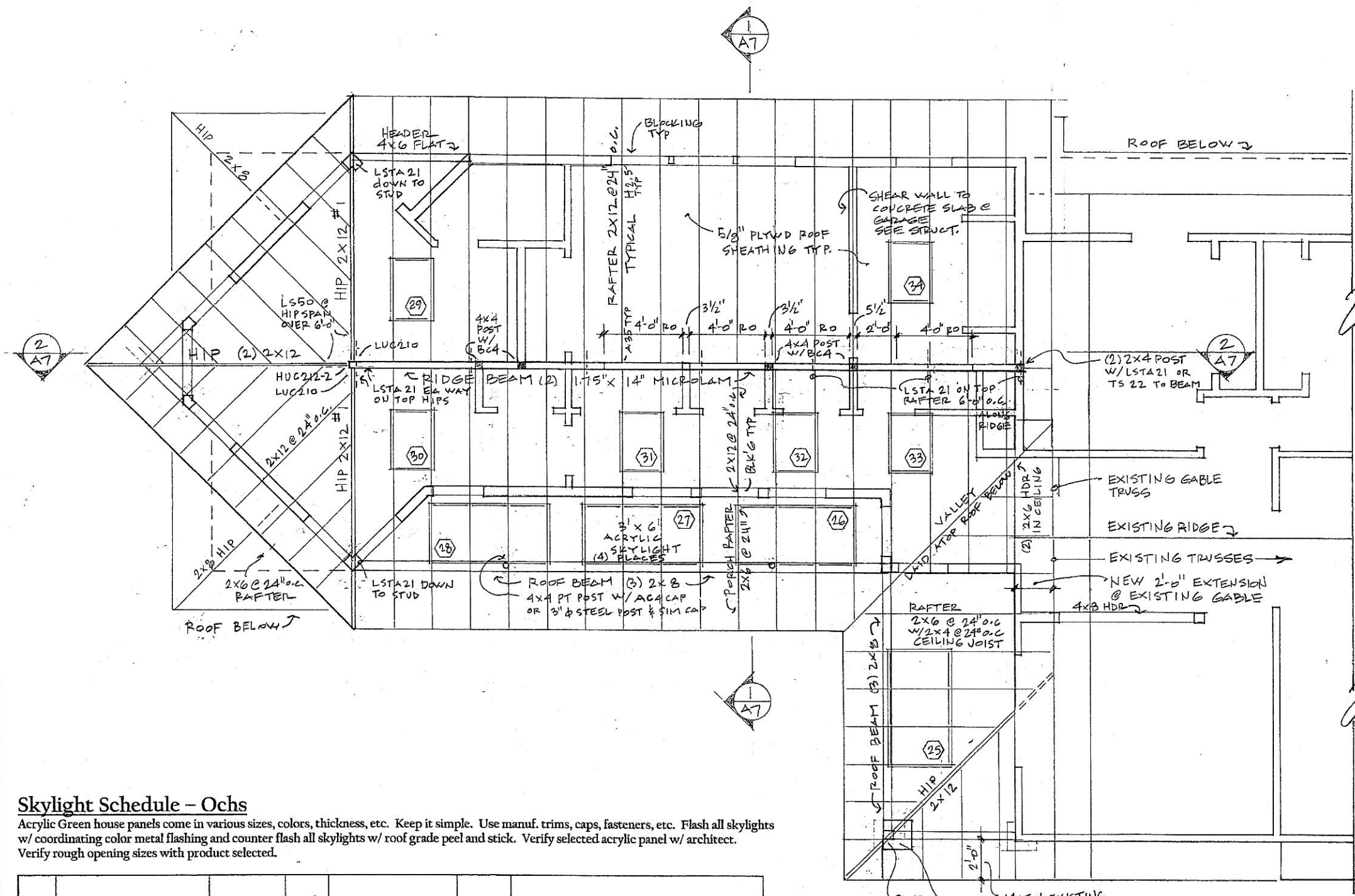
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UPPER FLOOR PLAN
 775 SQ. FT. NEW AREA SCALE 1/4" = 1'-0"



5-21-10





Skylight Schedule - Ochs

Acrylic Green house panels come in various sizes, colors, thickness, etc. Keep it simple. Use manuf. trims, caps, fasteners, etc. Flash all skylights w/ coordinating color metal flashing and counter flash all skylights w/ roof grade peel and stick. Verify selected acrylic panel w/ architect. Verify rough opening sizes with product selected.

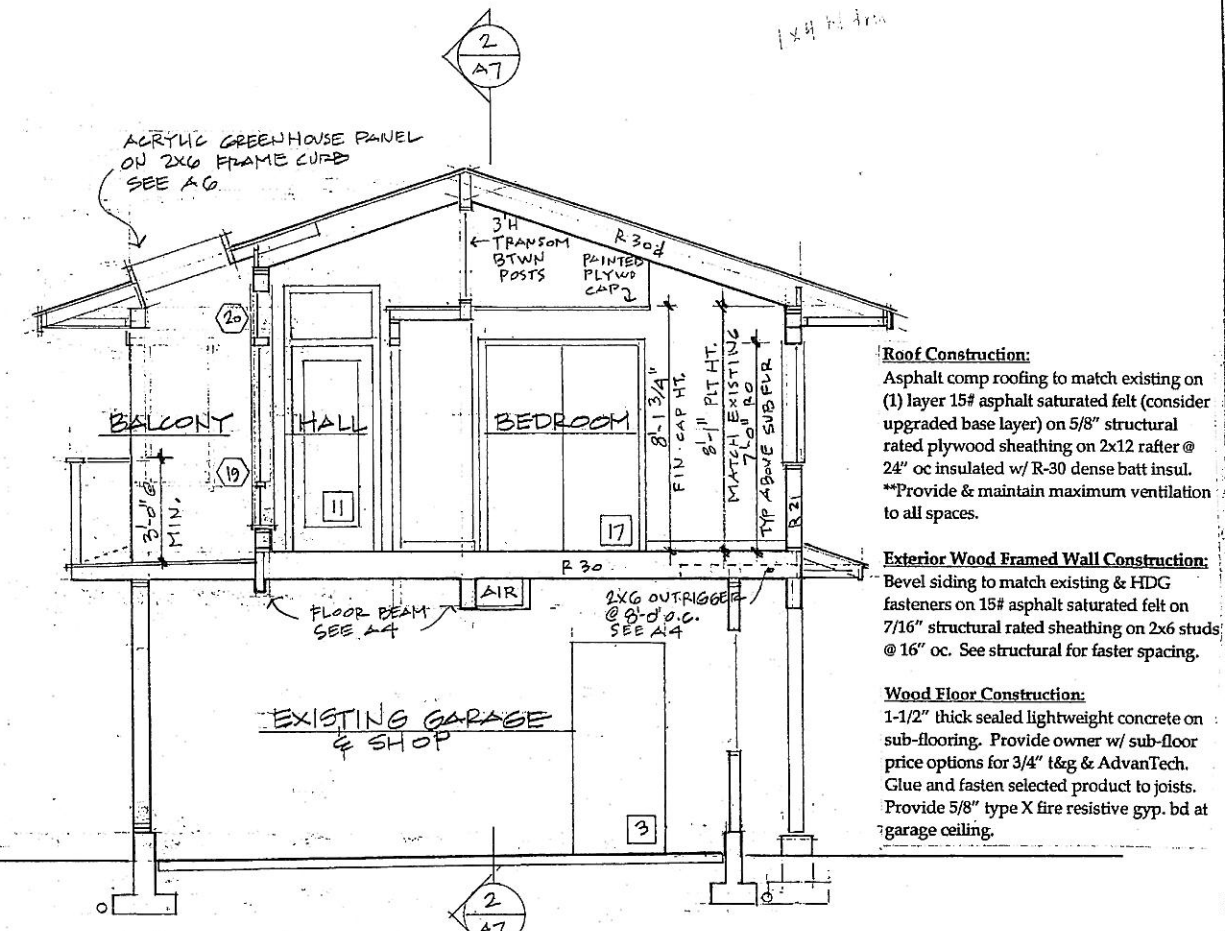
Unit #	Type & nominal Unit Size	Location	Wall size	Rough Opening verify	Header size	Notes
25.	Curb 6'-0" x 3'-0"	Balcony SW	rafter	5'-9" x 2'-9"		2x6 cedar curb w/ 2x6 @ 2' oc abv rafters typ
26.	Curb 6'-0" x 3'-0"	Balcony SE	rafter	5'-9" x 2'-9"		6' wide x 3' upslope x 1 1/2" thk panel
27.	Curb 6'-0" x 3'-0"	Balcony SE	rafter	5'-9" x 2'-9"		Provide trims and fasteners per manuf
28.	Curb 6'-0" x 3'-0"	Balcony SE	rafter	5'-9" x 2'-9"		
29.	Velux 2'-1 1/2" x 3'-1 1/2"	Studio NW	rafter	1'-10 1/2" x 2'-10 1/2"		Velux FCM 2234
30.	Velux 2'-1 1/2" x 3'-1 1/2"	Studio SE	rafter	1'-10 1/2" x 2'-10 1/2"		Velux FCM 2234, consider operable unit
31.	Velux 2'-1 1/2" x 3'-1 1/2"	Hall SE	rafter	1'-10 1/2" x 2'-10 1/2"		Velux FCM 2234
32.	Velux 2'-1 1/2" x 3'-1 1/2"	Hall SE	rafter	1'-10 1/2" x 2'-10 1/2"		Velux FCM 2234
33.	Velux 2'-1 1/2" x 3'-1 1/2"	Hall SE	rafter	1'-10 1/2" x 2'-10 1/2"		Velux FCM 2234
34.	Velux 2'-1 1/2" x 3'-1 1/2"	Bath NW	rafter	1'-10 1/2" x 2'-10 1/2"		Velux FCM 2234
35.						

ROOF FRAMING PLAN
SCALE 1/4" = 1'-0"

Balcony Floor Construction:
 1-1/2" thick sealed lightweight concrete on waterproof membrane on 3/4" exterior grade plywood subfloor or similar see manuf req for selected waterproof membrane. Glue and fasten subfloor to joists. Provide 5/8" type X fire resistive gyp. bd at garage ceiling.

Concrete Floor Construction:
 3-1/2" min thickness concrete slab on drainage base with 6-mil vapor barrier. Consider optional #3 reinf @ 3'-0" oc ea way.

Foundation Construction:
 Provide 20" w min. x 8" thk continuous footing (set at 18" min below finish grade) w/ (2) #4 longitudinal reinforcement & (1) #4 vert reinf @ 6'-0" oc & w/ 4" alternating hook (3'-0" @ garage door opening & bend 2'-0" into slab). Extend vert reinf into & near top of continuous 8" thk concrete wall above & provide (1) #4 @ 2'-0" oc horizontal reinf - minimum (1) within top 6" of wall. Top of wall to be min 8" above fin grade. Provide 1/2"x10" anchor bolts & 3" sq HDG plate washers @ 4'-0" o.c. max spacing - min (2) bolts per plate, within 12" of ends and no closer than 7 bolt diameters from ends. See structural for additional anchor bolts @ hold down req.

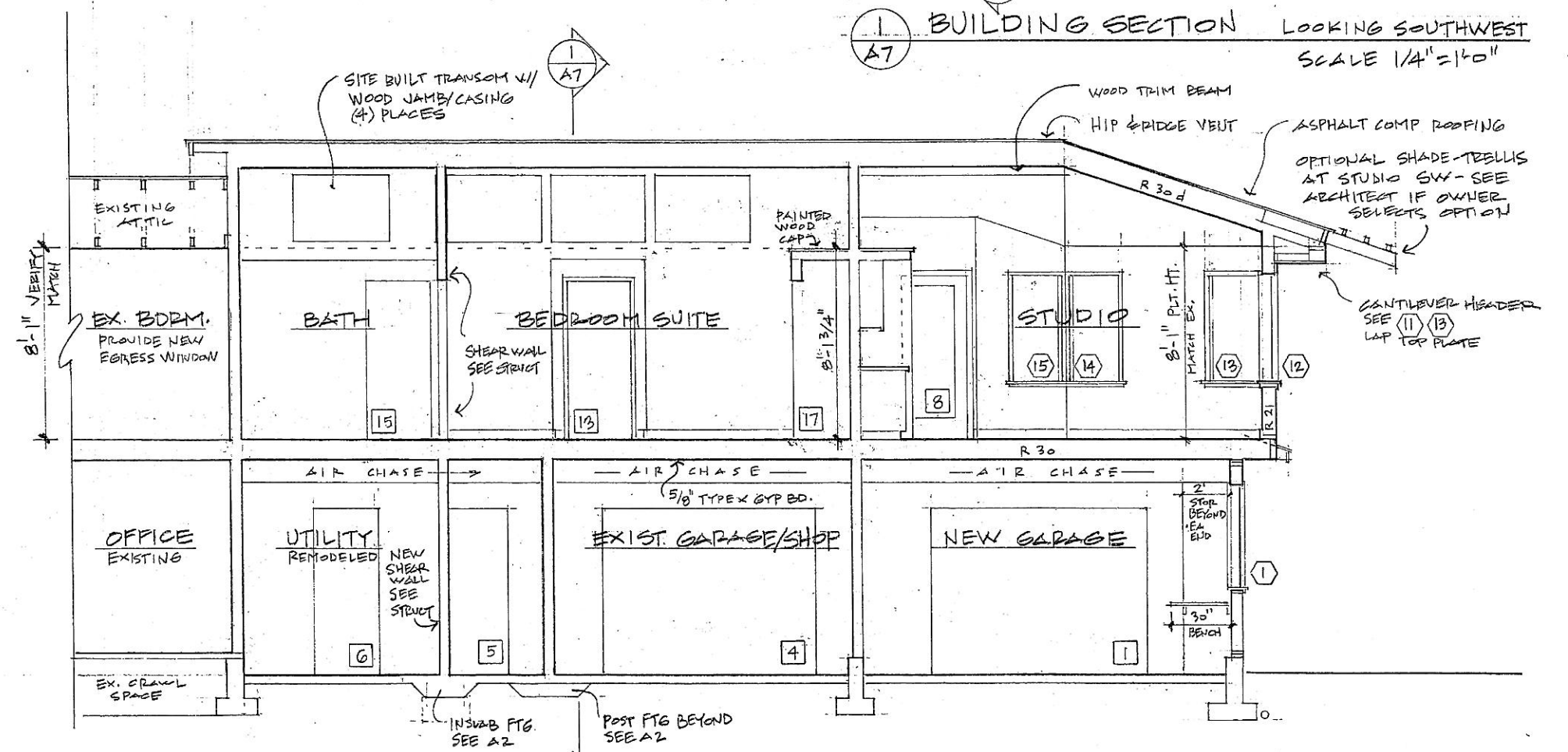


Roof Construction:
 Asphalt comp roofing to match existing on (1) layer 15# asphalt saturated felt (consider upgraded base layer) on 5/8" structural rated plywood sheathing on 2x12 rafter @ 24" oc insulated w/ R-30 dense batt insul. **Provide & maintain maximum ventilation to all spaces.

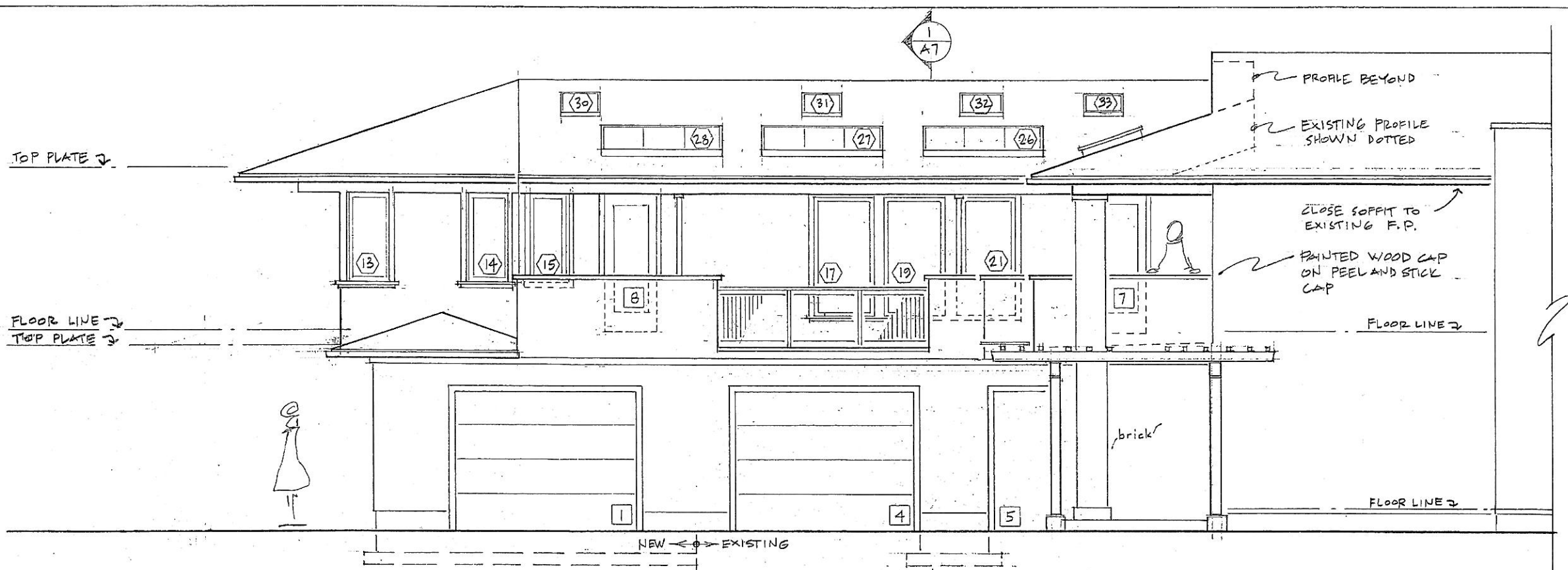
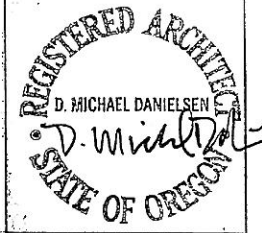
Exterior Wood Framed Wall Construction:
 Bevel siding to match existing & HDG fasteners on 15# asphalt saturated felt on 7/16" structural rated sheathing on 2x6 studs @ 16" oc. See structural for faster spacing.

Wood Floor Construction:
 1-1/2" thick sealed lightweight concrete on sub-flooring. Provide owner w/ sub-floor price options for 3/4" I&G & AdvanTech. Glue and fasten selected product to joists. Provide 5/8" type X fire resistive gyp. bd at garage ceiling.

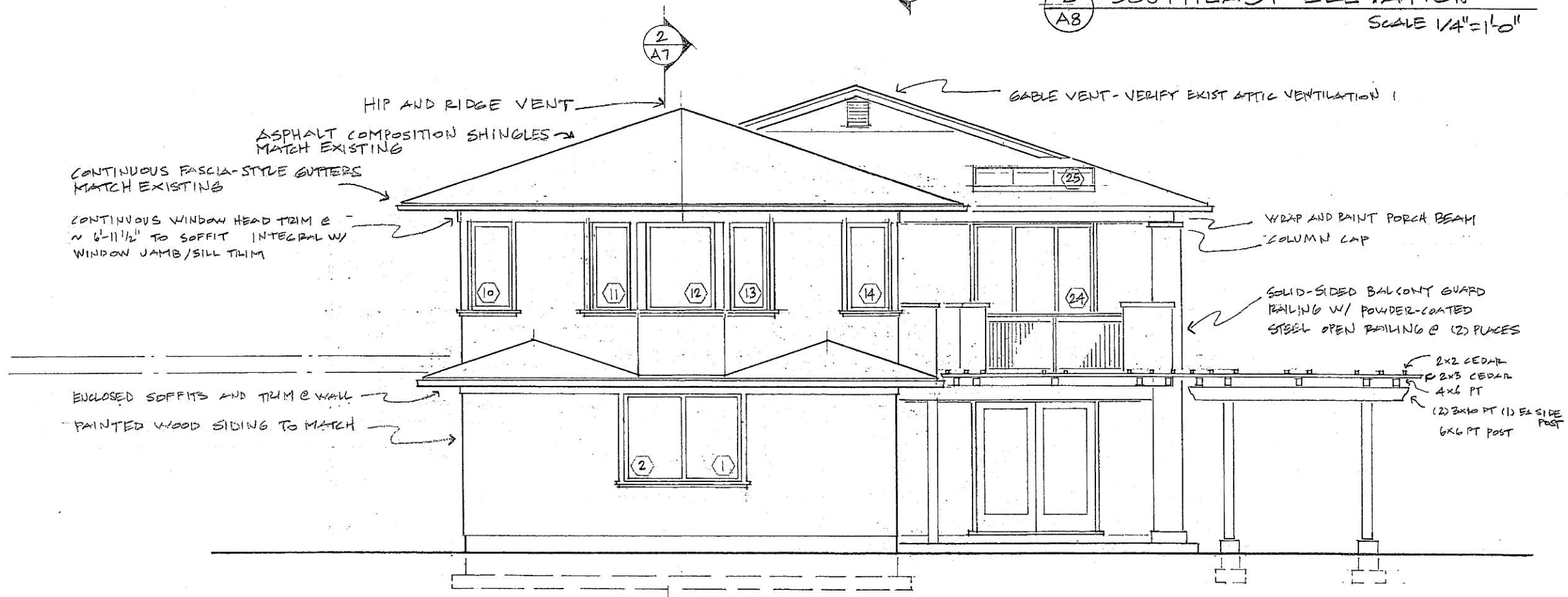
1 BUILDING SECTION LOOKING SOUTHWEST
 SCALE 1/4" = 1'-0"



2 BUILDING SECTION LOOKING SOUTHEAST
 SCALE 1/4" = 1'-0"



2
A8 SOUTHEAST ELEVATION
SCALE 1/4" = 1'-0"



1
A8 SOUTHWEST ELEVATION
SCALE 1/4" = 1'-0"

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5-21-10



Door Schedule - Ochs Studio

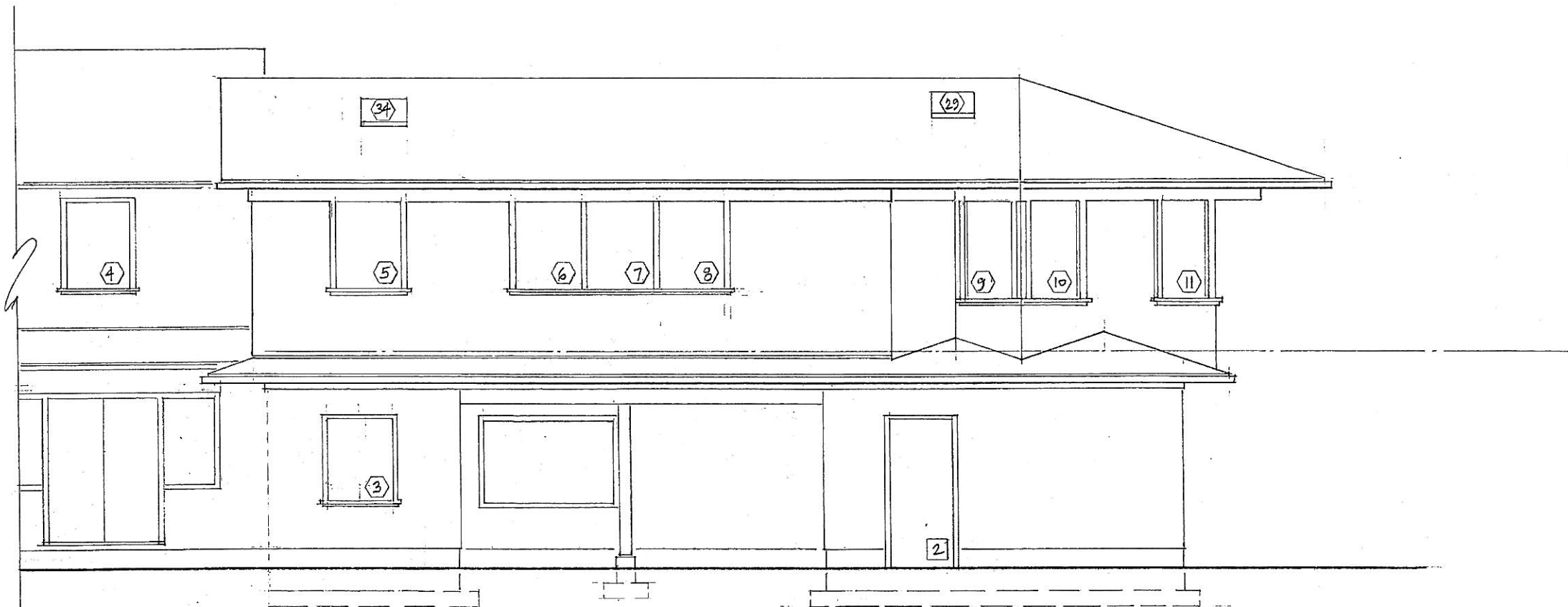
All doors wood stile & rail, natural finish, w/ lever handset hardware to unless otherwise noted. Head height of 7'-0" to sub-floor allows for concrete thickness of 1-1/2". Verify RO with product selected.

Unit #	Type and Door Size	Location	Wall size	Rough Opening	Header size	Notes
1.	9'-0" x 7'-0" roll-up sectional	New garage	6 9/16"	9'-0" x 7'-0" finish size	5.25x11.25 parallam	Verify glazing options w/ owner
2.	3'-0" x 6'-8" 1/2 light entry	New garage	6 9/16"	3'-2" x 6'-10 1/2"	6 x 10	Painted fiberglass door, keyed alike
3.	3'-0" x 6'-8" passage	New garage	4 9/16"	3'-2" x 6'-10"	4 x 10	Confirm if door is wanted
4.	9'-0" x 7'-0" roll-up sectional	Exist garage	6 9/16"	9'-0" x 7'-0" finish size	6 x 10	Verify glazing options w/ owner
5.	3'-0" x 6'-8" 1/2 light entry	Garage East	6 9/16"	3'-2" x 6'-10 1/2"	6 x 10	Painted fiberglass door, keyed alike
6.	2'-8" x 6'-8" passage	Utility	4 9/16"	2'-10" x 6'-10"	4 x 10	
7.	2'-8" x 6'-8" full light entry	Balcony/hall	6 9/16"	2'-10" x 7'-0"	6 x 8	Painted, Keyed alike
8.	2'-8" x 6'-8" full light entry	Balcony/Std	6 9/16"	2'-10" x 7'-0"	6 x 8	Painted, Keyed alike
9.	2'-0" x 6'-8" pocket	Studio clo	4 9/16"	4'-3" x 7'-1 1/2"	4 x 8	Verify RO w/ product selected
10.	Pair 1'-6" x 6'-8" passage	Studio/clo	4 9/16"	3'-2" x 7'-0"	4 x 4	Roller catch
11.	2'-8" x 6'-8" full light pass.	Studio/Hall	4 9/16"	2'-10" x 7'-0"	4 x 4 / 4 x 4	With oper transom above & casement adj hrdw
12.	Pair 2'-6" x 6'-8" bi-pass	Hall/closet	4 9/16"	5'-1" x 7'-0"	4 x 4	
13.	2'-8" x 6'-8" passage	Bdrm/Hall	4 9/16"	2'-10" x 7'-0"	4 x 4	
14.	Pair 1'-6" x 6'-8" passage	Linen	4 9/16"	3'-2" x 7'-0"	4 x 4	Roller catch
15.	2'-8" x 6'-8" privacy	Bath/Hall	4 9/16"	2'-10" x 7'-0"	4 x 4	
16.	2'-4" x 6'-8" privacy	Bath/Bdrm	4 9/16"	2'-6" x 7'-0"	4 x 4	
17.	Pair 2'-6" x 6'-8" bi-pass	Bedrm clo	4 9/16"	5'-1" x 7'-0"	4 x 4	

Window Schedule - Ochs

All units Ply Gem, 1000 Series Vinyl- color: White, white hardware, with screens, High efficiency glazing (match existing/verify w/ owner) unless noted otherwise. Align heads - @ Upper Floor: 7'-0" above sub floor (allows 1-1/2" for concrete floor thickness). Verify window sizes and rough openings with actual product selected.

Unit #	Type & nominal Unit Size	Location	Wall size	Rough Opening verify	Header size	Notes
1.	Casement 3'-0" x 4'-6" mul	Garage SW	6 9/16"	6'-0 1/2" x 4'-6 1/2"	See rt	5.25" x 9.5" 2.0E parallam header, *spl hd ht
2.	Casement 3'-0" x 4'-6" mul	Garage SW	6 9/16"	6'-0 1/2" x 4'-6 1/2"	See abv	Top of hdr is bearing for floor beam above
3.	Casement 2'-0" x 3'-0"	Lndry NW	6 9/16"	verify	6x6	Relocate from existing Bath SW
4.	Casement 3'-0" x 4'-0"	Ex Bdr NW	existing	3'-0 1/2" x 4'-0 1/2"	6x6	New egress unit -verify
5.	Dbl Csm 4'-0" x 4'-0"	Bath NW	6 9/16"	verify	6x6	Relocate from existing Bedroom SW
6.	Casement 3'-0" x 4'-0"	Bdr Ste NW		3'-0 1/2" x 4'-0 1/2"	6x6	Egress unit w/(2) 2x4 stud between units
7.	Casement 3'-0" x 4'-0"	Bdr Ste NW		3'-0 1/2" x 4'-0 1/2"	6x6	Egress unit w/(2) 2x4 stud between units
8.	Casement 3'-0" x 4'-0"	Bdr Ste NW		3'-0 1/2" x 4'-0 1/2"	6x6	Egress unit w/(2) 2x4 stud between units
9.	Casement 3'-0" x 4'-6"	Studio N	6 9/16"	3'-0 1/2" x 4'-6 1/2"	6x6	
10.	Casement 3'-0" x 4'-6"	Studio W	6 9/16"	3'-0 1/2" x 4'-6 1/2"	6x6	
11.	Casement 3'-0" x 4'-6"	Studio W	6 9/16"	3'-0 1/2" x 4'-6 1/2"	6x8 #1	Cant hdr to corner, mitre & strap to hdr #13
12.	Casement 3'-6" x 4'-6"	Studio SW	6 9/16"	3'-6 1/2" x 4'-6 1/2"	6x6	
13.	Casement 3'-0" x 4'-6"	Studio S	6 9/16"	3'-0 1/2" x 4'-6 1/2"	6x8 #1	Cant hdr to corner, mitre & strap to hdr #11
14.	Casement 3'-0" x 4'-6"	Studio S	6 9/16"	3'-0 1/2" x 4'-6 1/2"	6x6	
15.	Casement 3'-0" x 4'-6"	Studio E	6 9/16"	3'-0 1/2" x 4'-6 1/2"	6x6	
16.	Not used					
17.	Pict/Awn 3'-0" x 6'-0"	Hall SE	6 9/16"	3'-0 1/2" x 6'-0 1/2"	2x6 flat	4'-6" picture mulled over 1'6" awning
18.	Awning 3'-0" x 1'-6"	Hall SE	6 9/16"	3'-0 1/2" x 1'-6 1/2"	6x6	8'-8" head height, may have single top plate
19.	Pict/Awn 3'-0" x 6'-0"	Hall SE	6 9/16"	3'-0 1/2" x 6'-0 1/2"	2x6 flat	4'-6" picture mulled over 1'6" awning
20.	Awning 3'-0" x 1'-6"	Hall SE	6 9/16"	3'-0 1/2" x 1'-6 1/2"	6x6	8'-8" head height, may have single top plate
21.	Pict/Awn 3'-0" x 6'-0"	Hall SE	6 9/16"	3'-0 1/2" x 6'-0 1/2"	2x6 flat	4'-6" picture mulled over 1'6" awning
22.	Awning 3'-0" x 1'-6"	Hall SE	6 9/16"	3'-0 1/2" x 1'-6 1/2"	6x6	8'-8" head height, may have single top plate
23.	Pict/Awn 3'-0" x 6'-0"	Hall SW	6 9/16"	3'-0 1/2" x 6'-0 1/2"	6x6	4'-6" picture mulled over 1'6" awning
24.	(3) Picture 2'-0" x 5'-0"	Exist Foyer	existing	6'-0 1/2" x 5'-0 1/2"	4x8	Mulled, this unit replaces existing octagonal



(1) NORTHWEST ELEVATION
SCALE 1/4" = 1'-0"

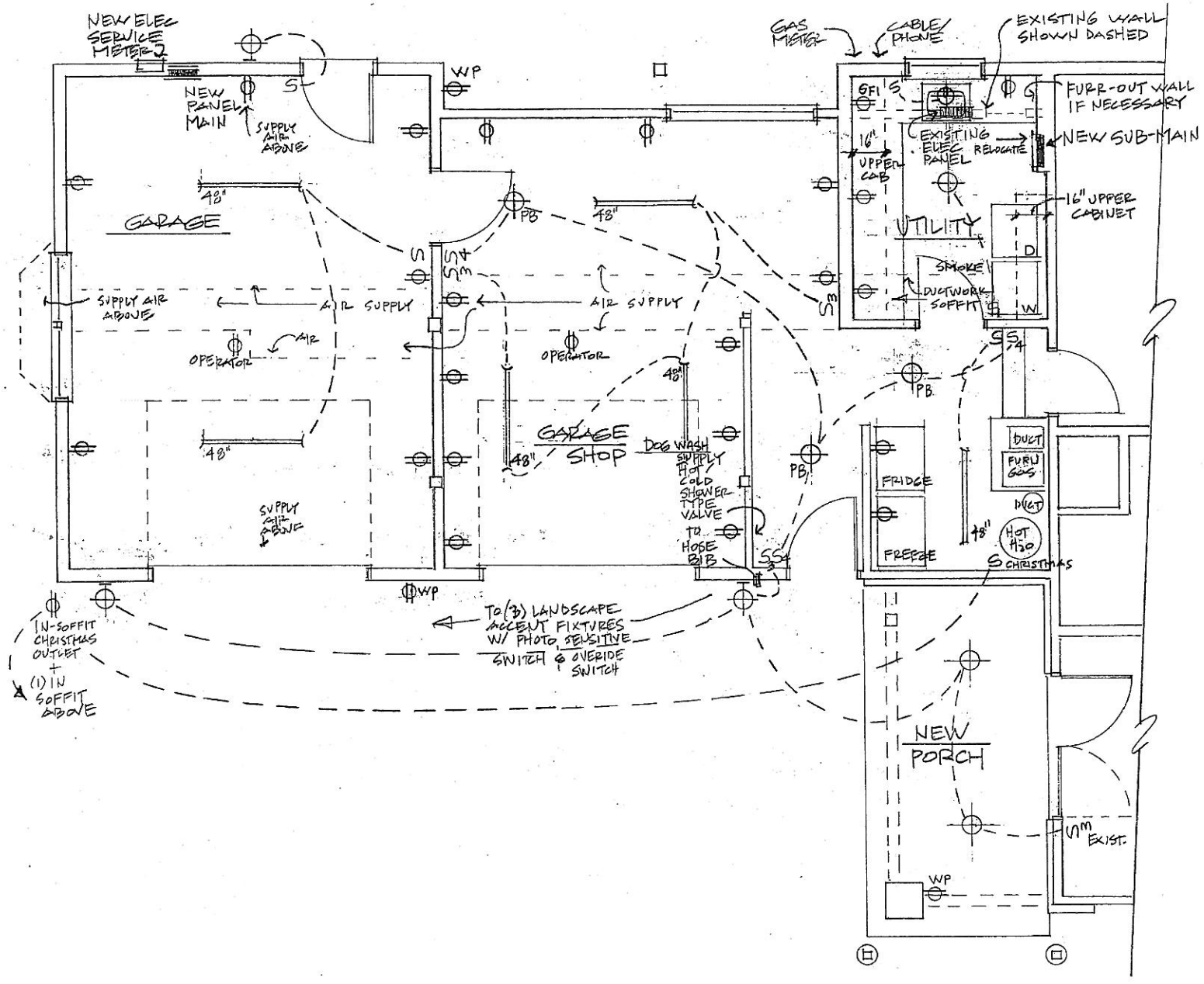


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ELECTRICAL SYMBOL LEGEND

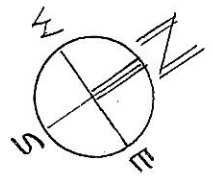
- 110-volt receptacle/ht-flr.
- Waterproof receptacle
- Ground-fault receptacle
- Computer circuit
- 220-volt receptacle
- Single pole switch
- 3-way switch
- Timer switch
- Dimmer switch
- Ceiling mounted fixture
- Wall mounted fixture
- Fluorescent fixture/size
- Low-voltage fixture
- Porcelain base
- Recessed can fixture
- Recessed can - wall wash
- Phone jack
- TV/data cable jack
- Fan
- Smoke detector

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D. Michael Danielsen, Architect
20627 87th Ave SW, Vashon Island, WA 98070 206-463-2133 206-463-0947 fax

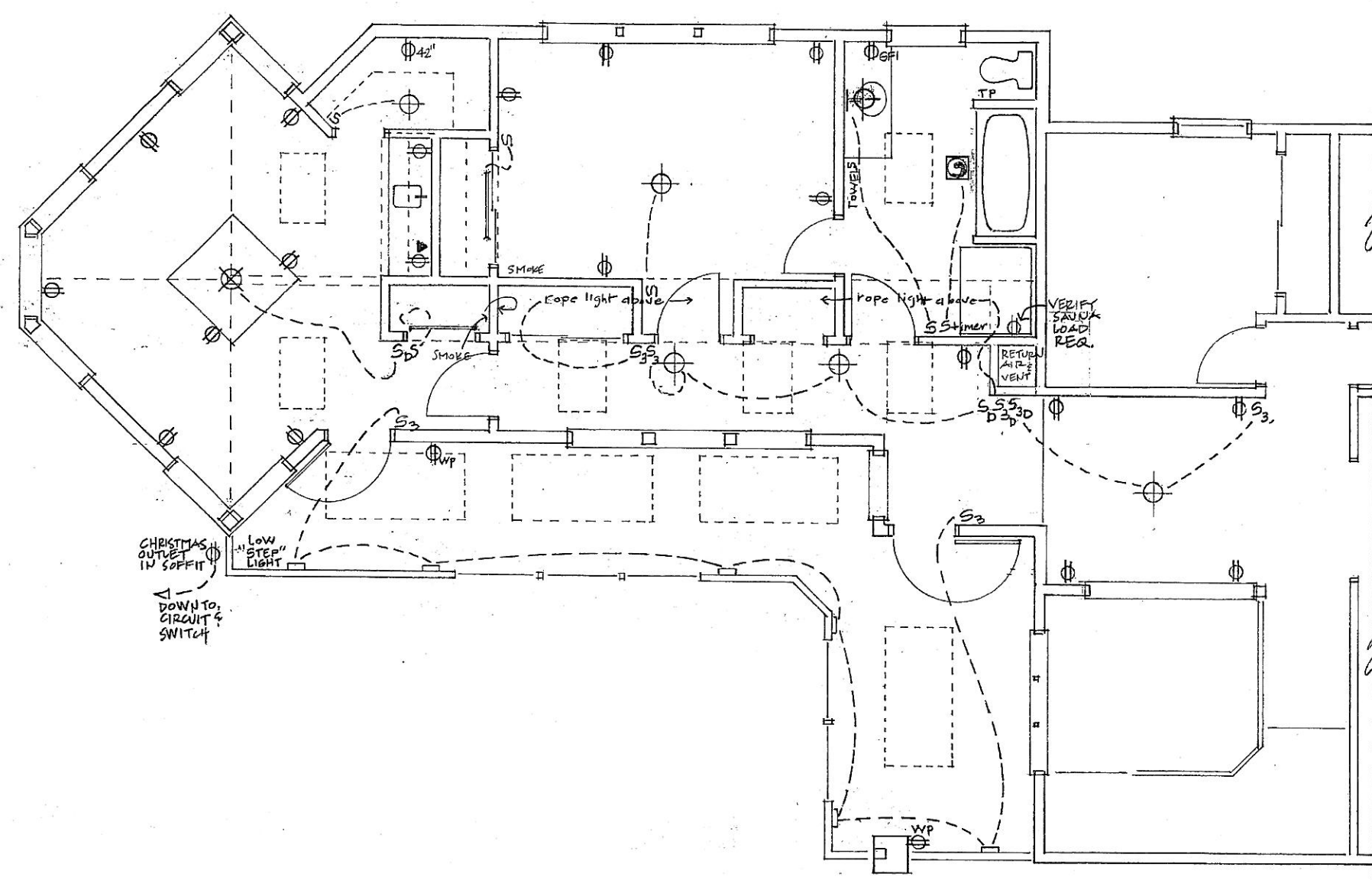
Ochs Studio & Additions

5687 River Street, West Linn, Oregon 97068



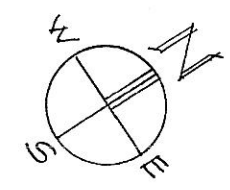
LOWER FLOOR POWER AND LIGHTING PLAN
SCALE 1/4" = 1'-0"

5.2.10

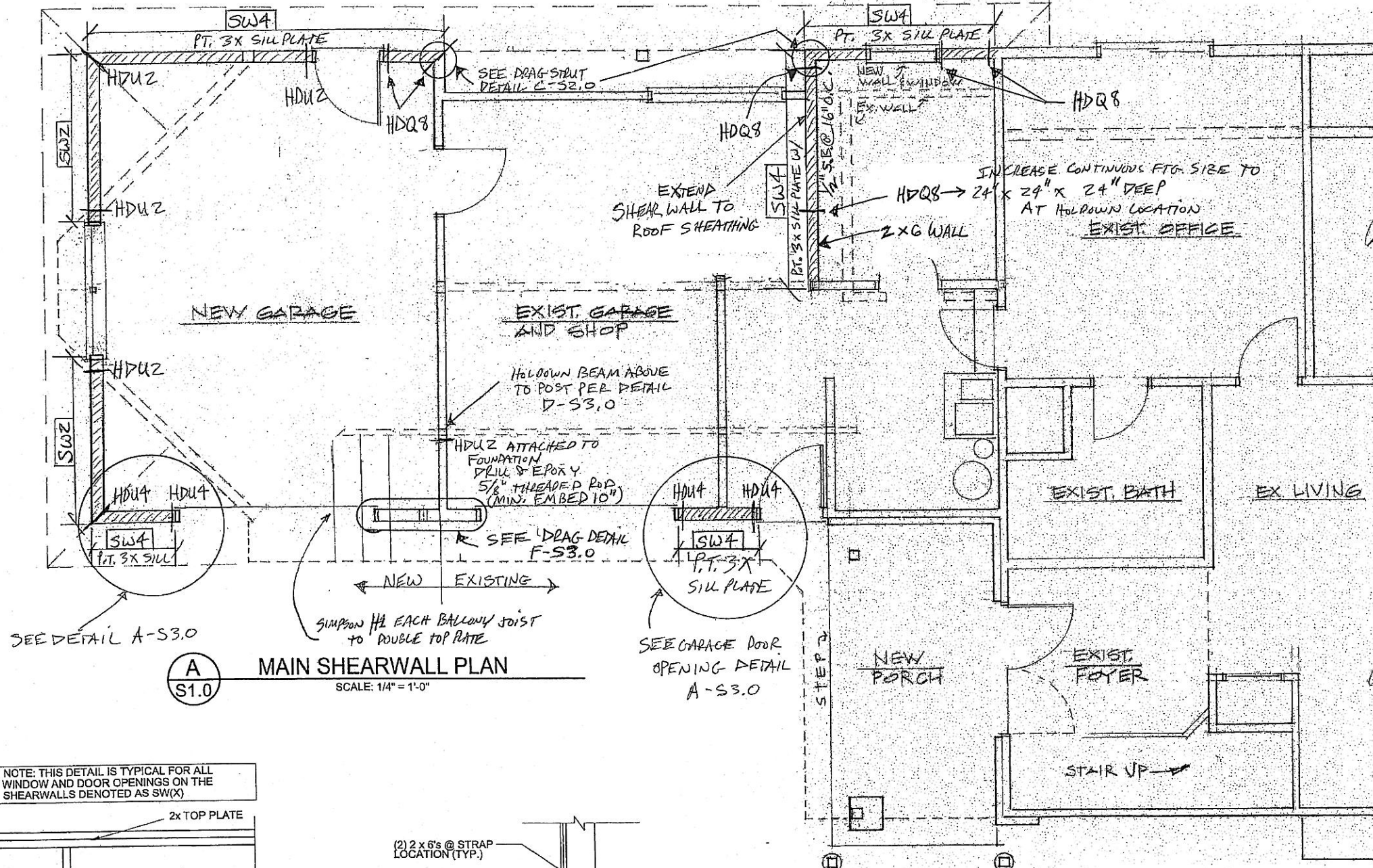


ELECTRICAL SYMBOL LEGEND

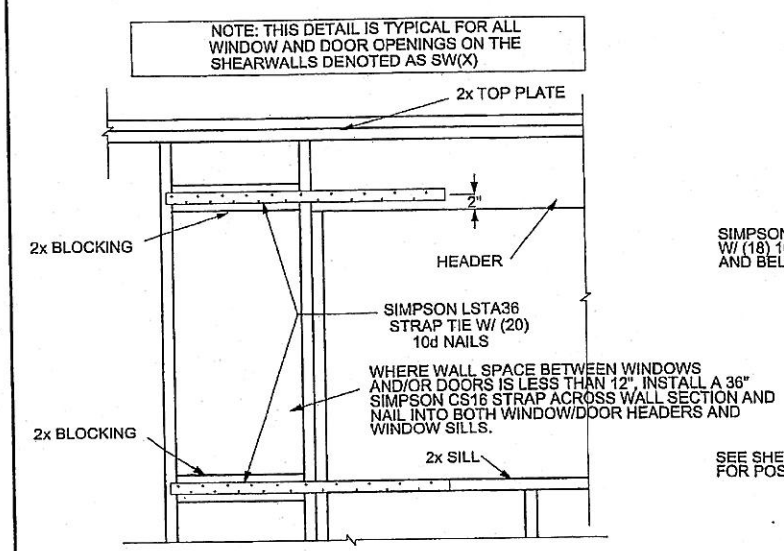
- 110-volt receptacle/ht-flr.
- Waterproof receptacle
- Ground-fault receptacle
- Computer circuit
- 220-volt receptacle
- Single pole switch
- 3-way switch
- Timer switch
- Dimmer switch
- Ceiling mounted fixture
- Wall mounted fixture
- Fluorescent fixture/size
- Low-voltage fixture
- Porcelain base
- Recessed can fixture
- Recessed can - wall wash
- Phone jack
- TV/data cable jack
- Fan
- Smoke detector



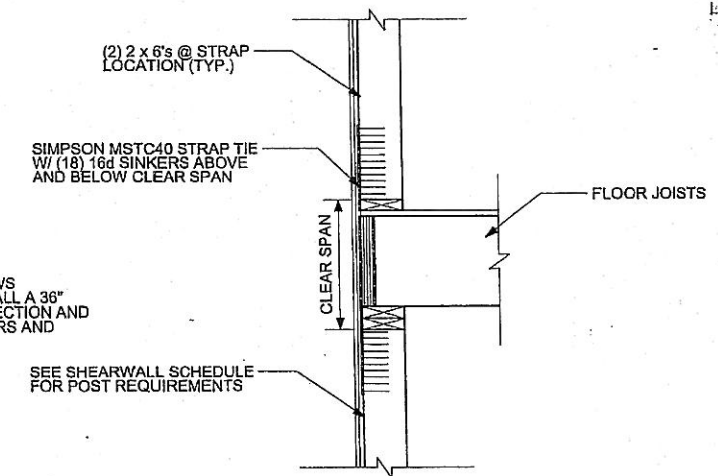
UPPER FLOOR POWER & LIGHTING PLAN
 SCALE 1/4"=1'-0"



A MAIN SHEARWALL PLAN
S1.0
SCALE: 1/4" = 1'-0"



B SHEARWALL SW(X) DETAIL
S1.0
NOT TO SCALE



C WALL TO WALL HOLDOWN (TYP.)
S1.0
NOT TO SCALE

ROOF DIAPHRAGM NOTES:
1.) DIAPHRAGM TO BE MIN. 5/8" CDX PLYWOOD OR OSB WITH ALL SUPPORTED PANEL EDGES TO BE NAILED MIN. 10d @ 8" O.C. AND PANEL FIELD TO BE NAILED 12" O.C. U.N.O.

FLOOR DIAPHRAGM NOTES:
1.) DIAPHRAGM TO BE MIN. 3/4" CDX PLYWOOD OR OSB WITH ALL SUPPORTED PANEL EDGES TO BE NAILED 10d @ 8" O.C. (OR #8 (2 1/2") SCREWS @ 8" O.C.) AND PANEL FIELD TO BE NAILED 12" O.C. U.N.O.

CONSTRUCTION NOTES:
1) USE 3000 PSI CONCRETE AND 60000 PSI STEEL. NOTE THAT CALCULATIONS WERE BASED ON A DESIGN OF 2500 PSI CONCRETE. THEREFORE SPECIAL INSPECTION IS NOT REQUIRED.
2) WOOD FRAMING TO BE #2 DOUGLAS FIR OR BETTER UNLESS NOTED OTHERWISE ON THE PLANS.
3) RAFTERS TO BE ATTACHED TO DOUBLE TOP PLATE W/ SIMPSON H1 TIES AT ALL SHEARWALL AND BEARING WALL LOCATIONS UNLESS NOTED OTHERWISE.
4) PROVIDE 2X BLOCKING BETWEEN TRUSSES/RAFTERS OVER ALL SUPPORTS.
5) DO NOT SCALE DIMENSIONS OFF OF DRAWINGS. IF A DIMENSION IS REQUIRED THAT IS NOT SHOWN ON THE PLANS CONTACT STABILITY ENGINEERING INC.
6) IT IS THE RESPONSIBILITY OF THE BUILDER TO PROVIDE PROPER WATERPROOF PROTECTION OF THE STRUCTURE.



EXP 6/30/10

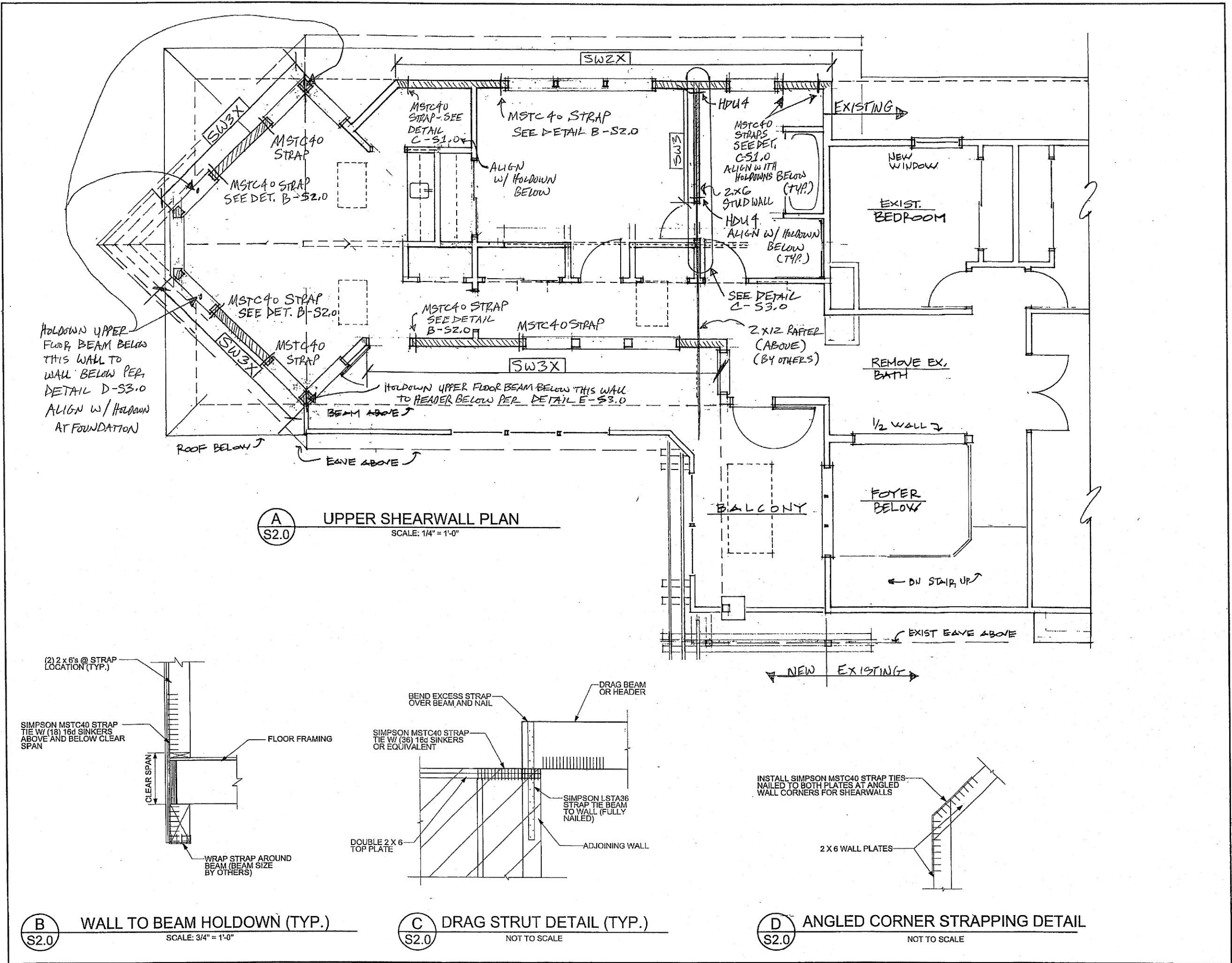
REVISIONS	No.	DATE	DESCRIPTION

PROJECT: OCHS STUDIO & ADDITIONS
LOCATION: 5687 RIVER STREET WEST LINN, OR 97068

SHEET TITLE: LATERAL DESIGN REQUIREMENTS
CLIENT: EVERGREEN ARCHITECTURE

STABILITY ENGINEERING INC.
1600 SW WESTERN BLVD, SUITE 260
P.O. BOX 2646, CORVALLIS, OR 97339
TEL.: (541)223-5360 FAX: (541)223-5278

JOB NO. 10-0274
DATE: 5/18/2010
DRAWN: SS
SCALE: AS SHOWN
SHEET **S1.0**
OF SHEETS IN SET: 3

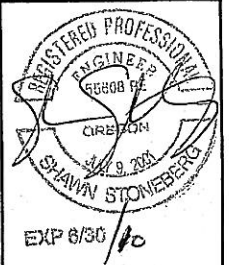


A UPPER SHEARWALL PLAN
 S2.0 SCALE: 1/4" = 1'-0"

B WALL TO BEAM HOLDOWN (TYP.)
 S2.0 SCALE: 3/4" = 1'-0"

C DRAG STRUT DETAIL (TYP.)
 S2.0 NOT TO SCALE

D ANGLED CORNER STRAPPING DETAIL
 S2.0 NOT TO SCALE



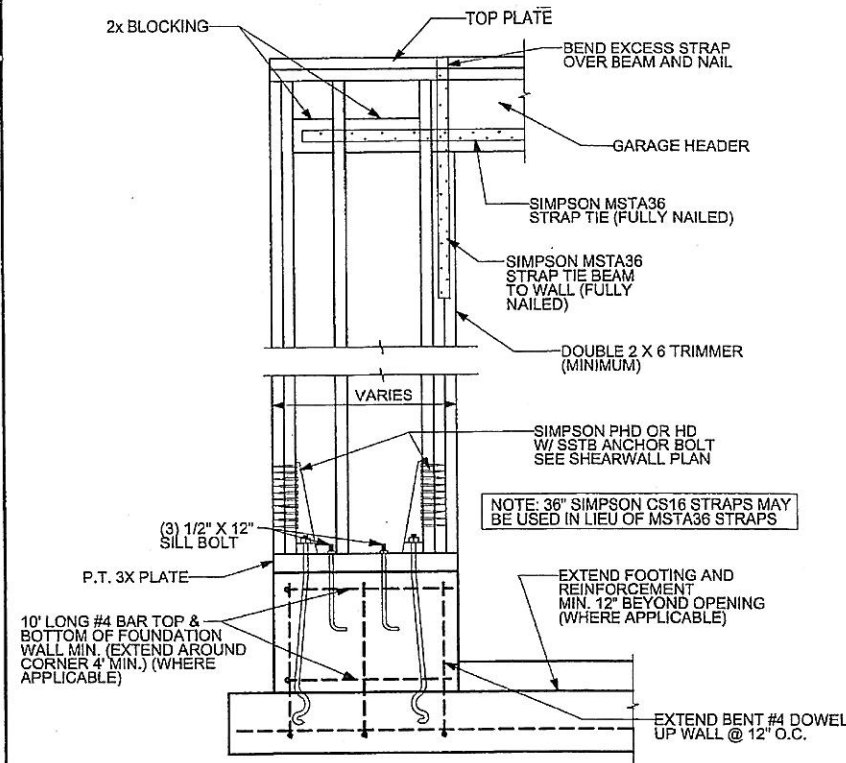
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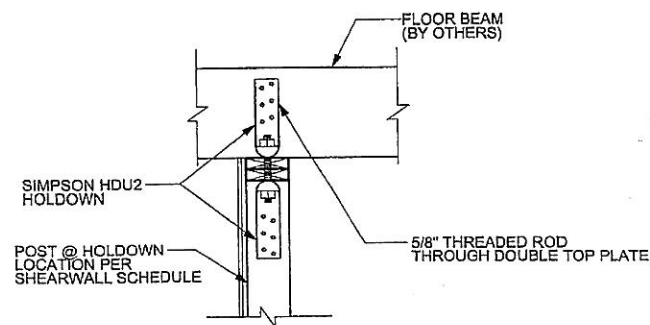
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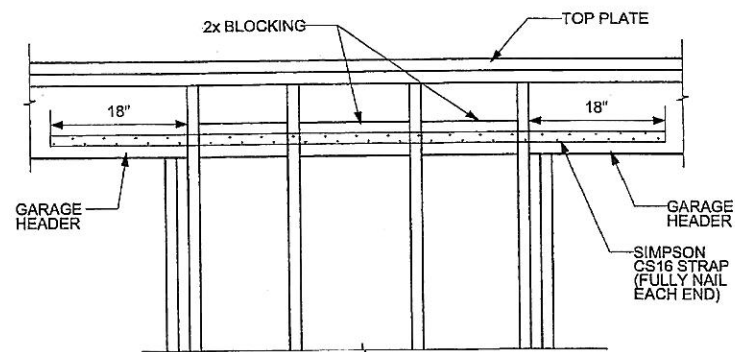
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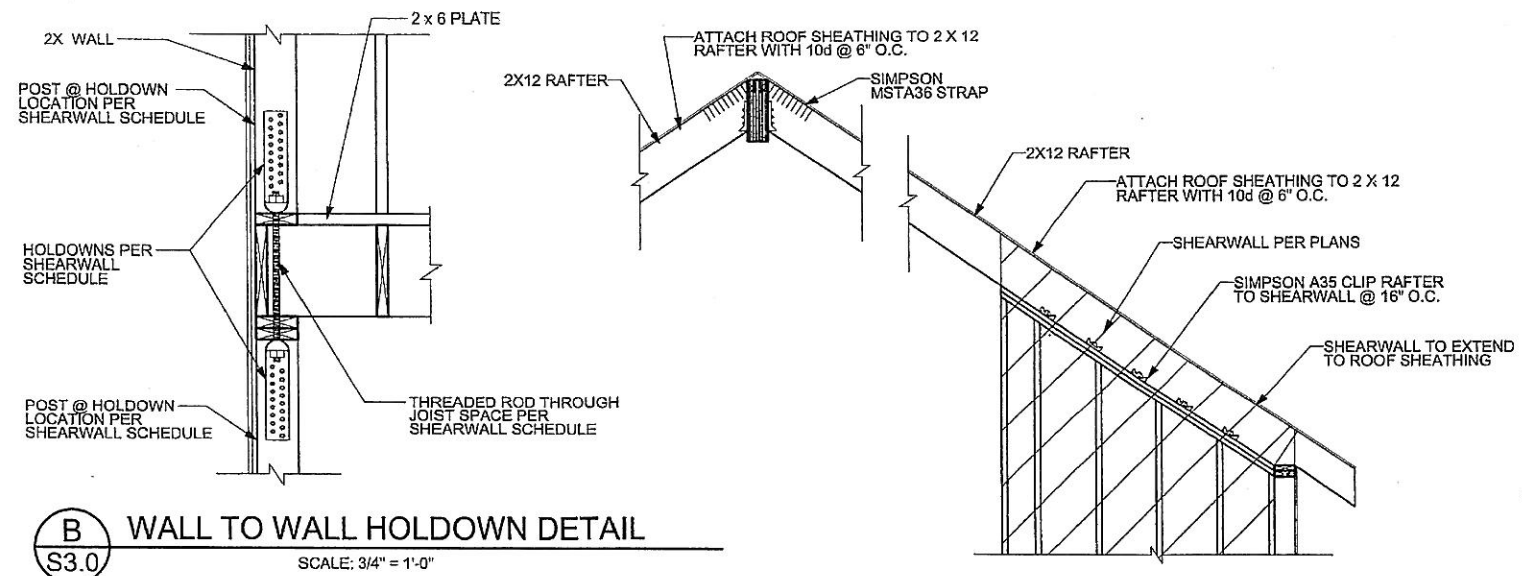
A GARAGE DOOR OPENING DETAIL
S3.0 NOT TO SCALE



D WALL TO WALL HOLDOWN DETAIL
S3.0 SCALE: 3/4" = 1'-0"

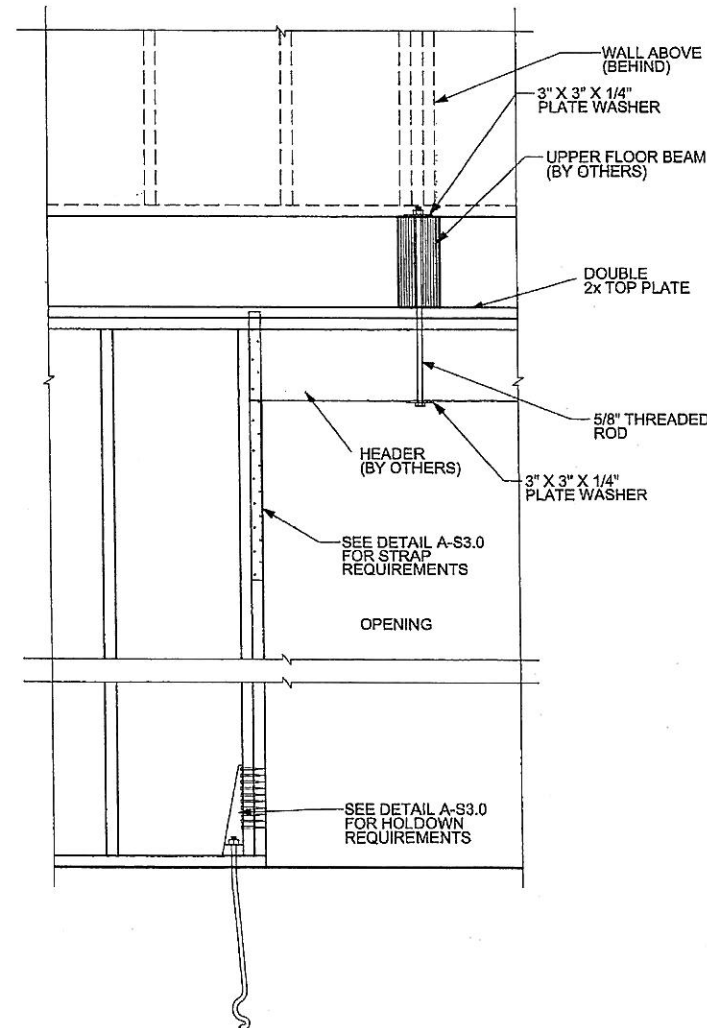


F DRAG STRUT DETAIL
S3.0 NOT TO SCALE



B WALL TO WALL HOLDOWN DETAIL
S3.0 SCALE: 3/4" = 1'-0"

C RAFTER DRAG STRUT DETAIL
S3.0 SCALE: 3/8" = 1'-0"



E HOLDOWN TO HEADER DETAIL
S3.0 NOT TO SCALE

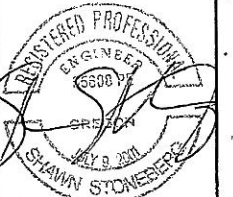
SHEAR WALL SCHEDULES

- SW2- 7/16" PLYWOOD WITH ALL PANEL EDGES TO BE NAILED 8D @ MAXIMUM 4" O.C.
- SW2X- 7/16" PLYWOOD WITH ALL PANEL EDGES TO BE NAILED 8D @ MAXIMUM 4" O.C. PROVIDE STRAPPING AROUND ALL WINDOW AND DOOR OPENINGS AS SHOWN ON SHEARWALL DETAIL B-S1.0.
- SW3- 7/16" PLYWOOD WITH ALL PANEL EDGES TO BE NAILED 8D @ MAXIMUM 3" O.C.
- SW3X- 7/16" PLYWOOD WITH ALL PANEL EDGES TO BE NAILED 8D @ MAXIMUM 3" O.C. PROVIDE STRAPPING AROUND ALL WINDOW AND DOOR OPENINGS AS SHOWN ON SHEARWALL DETAIL B-S1.0.
- SW4- 7/16" PLYWOOD WITH ALL PANEL EDGES TO BE NAILED 8D @ MAXIMUM 2" O.C. USE 3" OR 4" NOMINAL FOR ALL PANEL EDGES.

SHEARWALL NOTES:

- 1) 7/16" OSB MAY BE USED IN LIEU OF 7/16" PLYWOOD IN SHEARWALL APPLICATIONS. (M-S OR M-2) GRADE W/ EXTERIOR GLUE).
- 2) PROVIDE 2X BLOCKING ALONG ALL UNSUPPORTED PLYWOOD PANEL EDGES UNLESS NOTED OTHERWISE.
- 3) NAIL SHEATHING TO HOLDOWN STUD W/ PANEL EDGE NAILING PER SHEARWALL SCHEDULE.
- 4) ALL SHEARWALL NAILINGS ARE TO EXTEND DOWN TO THE FOUNDATION PLATE LINE.
- 5) P.T. 2x SILL PLATE W/ 1/2" x 10" SILL BOLTS @ 32" O.C. W/ A 3" X 3" X 1/4" GALVANIZED PLATE WASHER ALL SHEARWALLS U.N.O.
- 6) PROVIDE P.T. 3X SILL PLATE AND 12" LONG SILL BOLTS AT ALL SHEARWALLS WITH NAILING REQUIREMENTS GREATER THAN SW3X. (SW4)
- 7) FOR SHEARWALL APPLICATIONS WHERE 4X NOMINAL FRAMING IS REQUIRED ALONG PANEL EDGES, DOUBLE 2X MEMBERS MAY BE USED PROVIDED THEY ARE NAILED TOGETHER WITH (2) ROWS OF 10d NAILS SPACED @ 6" O.C.
- 8) USE HOT-DIP GALVANIZED NAILS FOR ALL NAILS IN PRESSURE TREATED PLATES
- 9) PROVIDE SIMPSON MSTC40 STRAP TIES ACROSS FLOOR FRAMING AT MSTC40 LOCATIONS SHOWN. SEE DETAILS C-S1.0 & B-S2.0.
- 10) USE THREADED RODS WHERE HOLDOWNS ARE SHOWN AT FLOOR LEVELS. TWO HOLDOWNS ARE REQUIRED AT EACH LOCATION (ONE ABOVE AND ONE BELOW FLOORS) SEE DETAIL B-S3.0. USE SIMPSON SSTB ANCHOR BOLTS AS INDICATED ON SCHEDULE AT FOUNDATION LOCATIONS. WHERE MULTIPLE STUDS ARE USED FOR HOLDOWNS IN LIEU OF 4x AND 6x MEMBERS NAIL STUDS TOGETHER W/ 10d @ 4" O.C. (STAGGERED) ALONG ENTIRE LENGTH. PROVIDE THE FOLLOWING BOLTS AND THREADED RODS FOR HOLDOWNS.

HOLDOWN #	ANCHOR BOLT REQ.	STUD BOLT/ SCREW REQ.	STUD REQ	STUD BOLT/ SCREW REQ	THREADED ROD
HDU2	SSTB24	SDS1/4x2.5	(2) 2 X 6's	6	5/8"
HDU4	SSTB24	SDS1/4x2.5	(2) 2 X 6's	10	5/8"
HDO8	SSTB28	SDS1/4X3	(3) 2 X 6's	20	7/8"



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