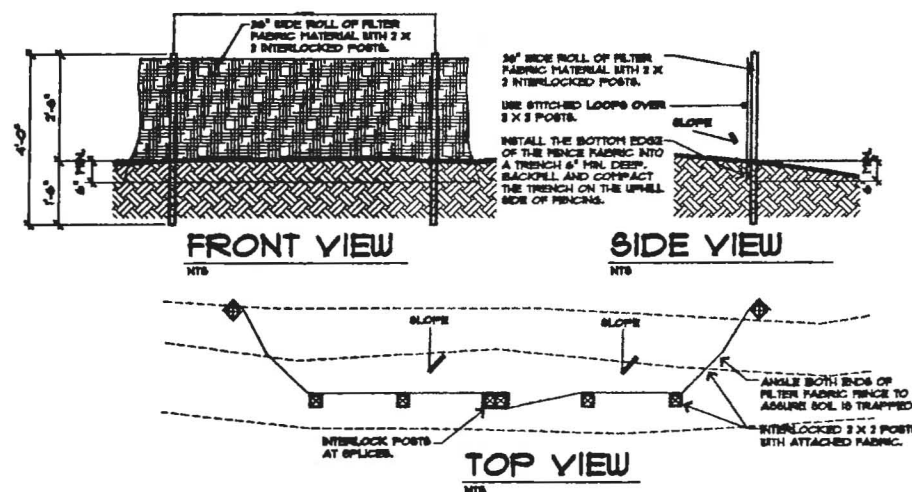


SITE PLAN NOTES:

1. ALL EXCESS GRADING MATERIAL TO BE EXPORTED TO AN APPROVED DISPOSAL LOCATION.
2. ALL FILL AREAS 16" UNDER GARAGE FLOORS, SIDEWALKS, DRIVEWAYS, ETC., TO BE COMPACTED GRANULAR FILL.
3. THERE SHALL BE A SLIGHT OVER EXCAVATION TO PROVIDE CONCRETE FORMING ALL AROUND NEW STRUCTURE.
4. PROVIDE COUNTY/CITY APPROVED SEDIMENT FENCING AROUND EXCAVATED AREA PRIOR TO EXCAVATION AND CONSTRUCTION.
5. PROVIDE COUNTY/CITY APPROVED STABILIZED GRAVELLED CONSTRUCTION ENTRANCE PRIOR TO EXCAVATION AND CONSTRUCTION.
6. STOCKPILES MUST BE COVERED WITH MULCH OR PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30.
7. CONTRACTOR/SUB-CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION AND CONSTRUCTION.
8. BOUNDARY AND TOPOGRAPHY INFORMATION HAS BEEN PROVIDED TO "OSTERMAN DESIGN, INC.". "OSTERMAN DESIGN, INC." WILL NOT BE HELD LIABLE FOR THE ACCURACY OF THIS INFORMATION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR/OWNER TO VERIFY ALL SITE CONDITIONS INCLUDING FILL PLACED ON SITE.
9. TOPOGRAPHY ELEVATIONS WERE COLLECTED FROM ACTUAL SITE SURVEY.
10. ELEVATION LEGEND:
 BE = EXISTING GRADE ELEVATION
 FE = FINAL GRADE ELEVATION
 FFB = FINISH FLOOR ELEVATION
1. PROVIDE A MINIMUM 6" DEEP GRAVEL BASE UNDER ALL DRIVEWAY AREAS.
2. PROVIDE A 4" MINIMUM GRAVEL BASE UNDER ALL SIDEWALK AND PATIO AREAS.
3. PIPE ALL STORM DRAINAGE FROM THE BUILDING TO A COUNTY/CITY DISPOSAL POINT/CONNECTION.
4. MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
5. PROVIDE AND MAINTAIN FINISH GRADE WITH POSITIVE DRAINAGE AWAY FROM STRUCTURE ON ALL SIDES WITH A SLOPE OF 6" MINIMUM IN 10'-0".

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MAY 04 2011

BY:



STANDARD DETAIL
SEDIMENT CONTROL FENCING

1
G1.2

SCALE: 1" = 10'

SE 15th ST.

SE 6th AVE.

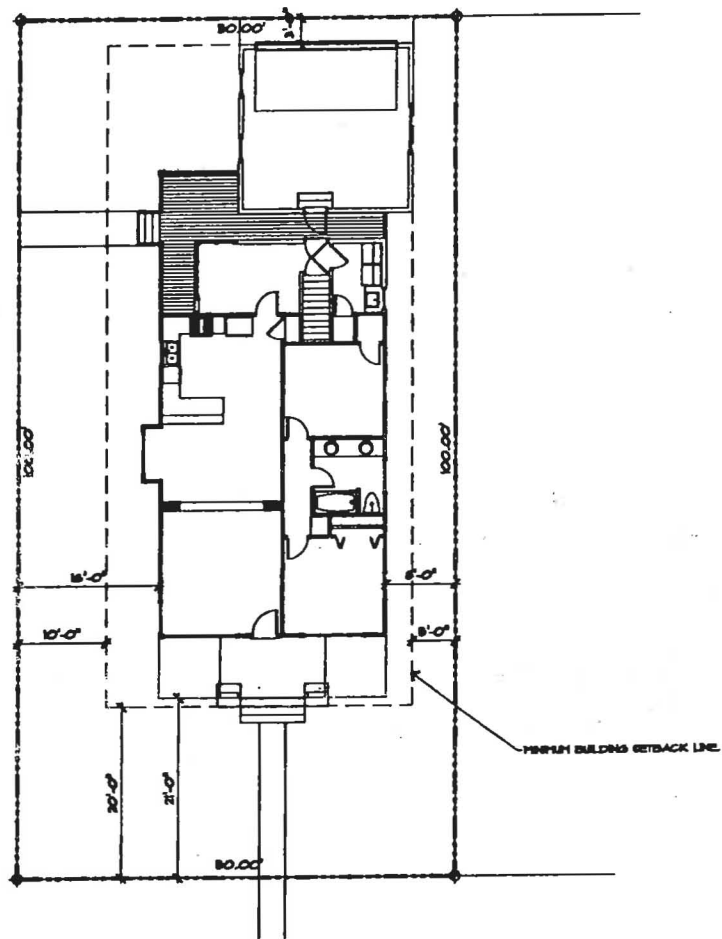
LEGAL
1608 SE 6th AVE.
CITY OF WEST LINN, OR
CLACKAMAS COUNTY

SITE DEVELOPMENT PLAN

SCALE: 1" = 10'

LOT INFORMATION:
 LOT AREA:
 BUILDING COVERAGE (NOT INCLUDING DRIVEWAY)
 BUILDING HEIGHT:
 MIN. BUILDING SETBACKS:

5,000 SQ. FT.
 1,198 SQ. FT. ± 38.36% (30% MAX)
 16'-0" FINISHED GRADE TO HIGHEST RIDGE
 20 FT. HOUSE FRONT
 3 FT. REAR
 10 FT. CORNER SIDE
 5 FT. INTERIOR SIDE



These plans have been prepared by the engineer for the use of the owner and are not to be used for any other purpose. The engineer is not responsible for any errors or omissions in these plans. The owner is responsible for obtaining all necessary permits and for the accuracy of the information provided to the engineer. The engineer is not responsible for any changes or modifications to these plans after they have been approved by the engineer.

Osterman
 DESIGNING
 18008 S. Broadbridge Road
 Oregon City, Oregon 97145
 Office: (503)-631-1128
 Fax: (503)-631-1116

SITE DEVELOPMENT PLAN

PROJECT:
 HALE REMODEL
 CONTACT:
 OWNER: JUDY HALE
 1608 SE 6th AVE. WEST LINN, OR 97136
 BOB 850-4433

AUTHENTICITY NOTICE:

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REVISED: 3-MAY-11
 DATE: 4-NOV-10
 PROJECT #:
 1910
 SHEET #:
 G
 1.2



THE BUILDING-CLASH CONTRACTOR/OWNER ASSUMES FULL RESPONSIBILITY FOR THE
BETTER BUILDING SEATHER ENVELOPE INCLUDING THE CORRECT INSTALLATION OF ALL
EXTERIOR MATERIALS / FINISHES AND WATERPROOFING.
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THE BUILDERS-CONTRACTOR(S) HEREBY ASSUMES FULL RESPONSIBILITY FOR THE ENTIRE BUILDING WEATHER ENVELOPE INCLUDING THE CORRECT INSTALLATION OF ALL INTERIOR MATERIALS / FINISHES AND WATERPROOFING.
"OSTERMAN DESIGN, INC." DOES NOT ASSUME RESPONSIBILITY FOR DETAILS AND/OR THE INTEGRITY OF THE BUILDING ENVELOPE.

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CONTACT:
OWNER, JUDY HALE
1808 SE 6th AVE., WEST LINN OR 97143

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1. ALL EXTERIOR WINDOWS AND DOOR HEADERS TO BE 4 X 6 DFL. NO. 2 UNLESS NOTED OTHERWISE.
2. ALL INTERIOR WALLS TO BE 3 X 4 STUDS @ 16" o.c. AND INTERIOR WALLS TO BE 3 X 4 STUDS @ 16" o.c. FOUNDATION CRIPPLE WALLS SHOULD BE FRAMED OF STUDS OF NOT LESS THAN THE STUDS ABOVE.
3. STANDARD STUD HEIGHT TO BE 10'-0" FOR 8'-0" CEILING HEIGHTS.
4. WINDOW AND DOOR HEADER HEIGHTS TO BE 6'-0" TYPICAL UNLESS NOTED OTHERWISE. ADJUST HEIGHT OF WINDOW ROUGH OPENINGS WITH DOOR ROUGH OPENINGS SO THAT CASING AT WINDOW AND DOOR HEADS ARE ALIGNED.
5. ALL WOOD IN DIRECT CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND/OR PROTECTED BY 18# ROLLED ROOFING FELT.
6. PROVIDE POLYSTYRENE/URETHANE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENINGS.
7. BEARINGS FOR JOISTS, SUPPORT MEMBERS, HEADERS, AND BEAMS TO BE 1/3 THE MEMBERS WIDTH AND SOLID BEARING TO FOOTINGS. 3 X JOISTS TO HAVE 1/2" MIN. BEARINGS.
8. PROVIDE FIRE BLOCKINGS, DRAFT STOPS AND FIRE STOPS AS PER U.S.C. SECTION 703.
9. BLOCK ALL STUD WALLS AT BREASTING SPLICES OR AS REQUIRED.
10. ALL HOLD-DOWNS, JOIST HANGERS, BEAM HANGERS AND OTHER CONNECTORS TO BE 1/2" MIN OR EQUAL.
11. ALL STUD WALLS SHALL HAVE DOUBLE TOP PLATES OF SAME SIZE AND DIMENSION AS THE STUD FRAMING. PLATES SHALL OVERLAP A MINIMUM OF 48" BETWEEN SPLICES WITH AT LEAST (6) 16d NAILS THOUGH BOTH PLATES EACH SIDE OF SPLICE.
12. DO NOT NOTCH OR DRILL THOUGH ANY SUPPORT COLLARS, ORDERS, BEAMS, JOIST BRACING, BEARING WALLS OR ANY OTHER CONCENTRATED LOAD BEARING MEMBER UNLESS SPECIFICALLY NOTED ON PLANS. CONTRACT DESIGNER P ANY QUESTIONS.
13. THIS STRUCTURE IS TO BE ADEQUATELY BRACED FOR WIND AND GRAVITY LOADS UNTIL THE FLOOR, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

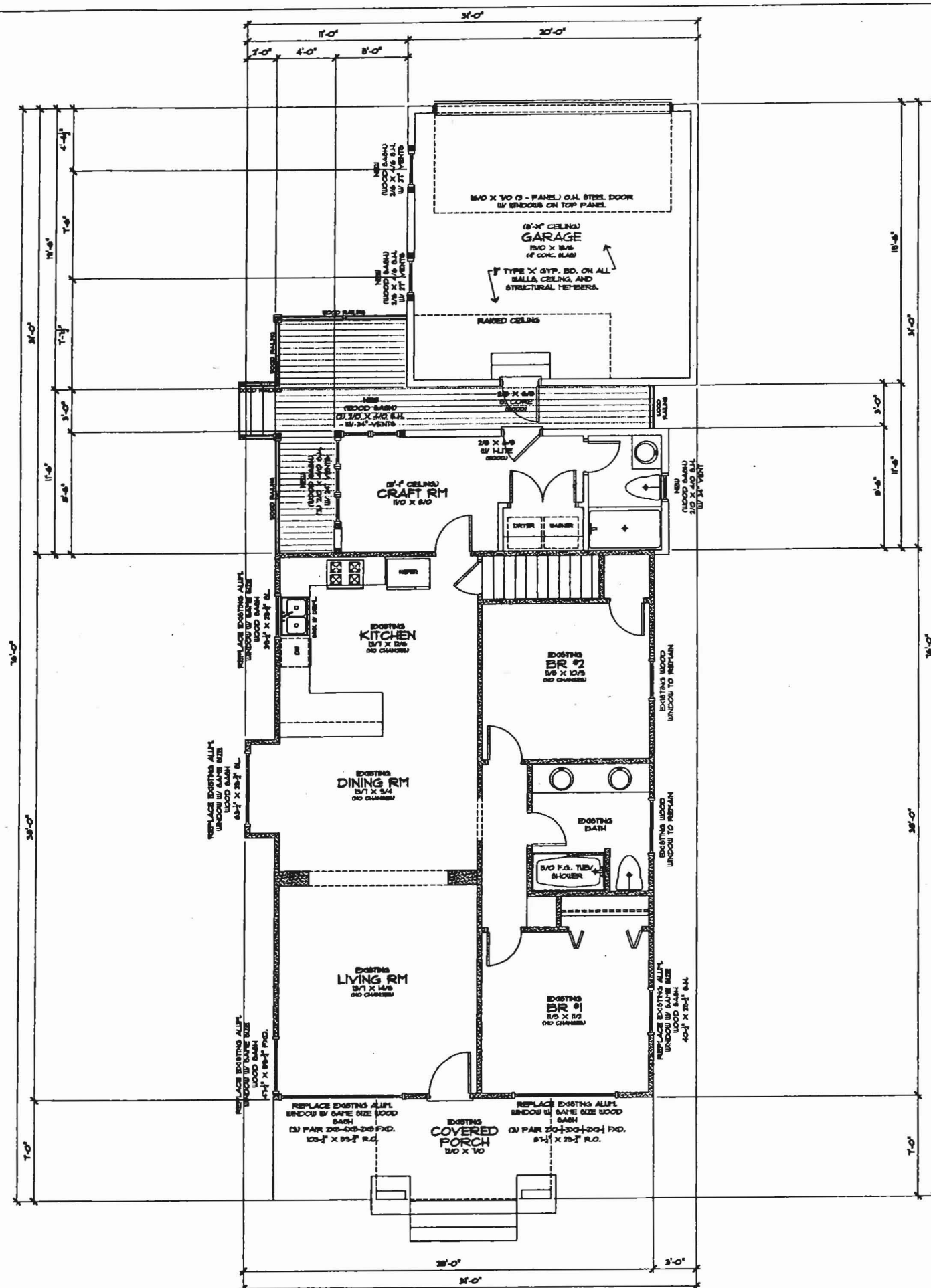
1. FLOOR, BEAMS, HEADERS.	DPL NO. 2
2. FLOOR JOISTS, GIRDERS JOISTS, RAFTERS.	DPL NO. 2
3. WALL PLATES, BLOCKS, BRICKS.	DPL NO. 2
4. STUDS.	DPL STUD GRADE
5. STUDS OVER 12' HIGH.	DPL NO. 3
6. FLOOR DECKING.	DPL UTILITY GRADE
7. GULL, ROOF SHEATHING.	CONC EXC. AREA RATED FLY OR GRS 3-4-4
8. GULLMAN MEMBERS.	PS-3-4-4, DRY EXC. INTERIOR TEXT. ADH. AT EXT. CONJ.
9. PARALLEL STRAND LUMBER (PSL) MATERIALS.	PS-3-4-4, DRY PS-3-4-4
10. LAMINATED VENEER LUMBER (LVL) MATERIALS.	PS-3-4-4, DRY PS-3-4-4

DESCRIPTION OF BUILDINGS ELEMENTS	PARTNER # & TYPE	SPACE
A. JOIST TO BELL OR GARDER.	3-4d (3-1/2" X 0.185")	TOE NAIL
B. 1" X 6" SUBFLOOR OR JOIST TO EACH JOIST.	3-4d (3-1/2" X 0.185")	PAGE NAIL
C. 2" SUBFLOOR OR JOIST TO GARDER.	3-4d (3-1/2" X 0.185")	BLIND & FACE
D. SOLID PLATE TO JOISTS, SOLID DECK OR BLOCKINGS.	1-4d (3-1/2" X 0.185")	FACE NAIL
E. TOP OR SOLID PLATE TO STUD.	3-4d (3-1/2" X 0.185")	END NAIL
F. STUD TO SOLID PLATE.	3-4d (3-1/2" X 0.185")	TOE NAIL
G. DOUBLE STUDS.	1-4d (3-1/2" X 0.185")	FACE NAIL
H. DOUBLE TOP PLATES.	1-4d (3-1/2" X 0.185")	FACE NAIL
I. SOLID PLATE TO JOIST, SOLID DECK OR BLOCKING AT BRACED WALL PANELS.	3-4d (3-1/2" X 0.185")	FACE NAIL
J. DOUBLE TOP PLATES, 2X4 MFL OR END JOISTS.	3-4d (3-1/2" X 0.185")	FACE NAIL - IN LAP AREA
K. BLOCKINGS BETWEEN JOISTS OR RAFTERS TO TOP PLATE.	3-4d (3-1/2" X 0.185")	TOE NAIL
L. RM JOIST TO TOP PLATE.	3-4d (3-1/2" X 0.185")	FACE NAIL
M. TOP PLATES, LAPS AT CORNERS & INTERSECTIONS.	3-4d (3-1/2" X 0.185")	TOE NAIL
N. BUILT UP HEADER, 2 PIECES WITH 1/2" SPACER.	1-4d (3-1/2" X 0.185")	FACE NAIL
O. CONTINUED HEADER, 3 PIECES.	3-4d (3-1/2" X 0.185")	FACE NAIL
P. CEILING JOIST TO PLATE.	3-4d (3-1/2" X 0.185")	TOE NAIL
Q. CONTINUOUS HEADER TO STUD.	3-4d (3-1/2" X 0.185")	TOE NAIL
R. CEILING JOIST, LAP OVER PARTITIONS.	3-4d (3-1/2" X 0.185")	FACE NAIL
S. CEILING JOIST TO PARALLEL RAFTERS.	3-4d (3-1/2" X 0.185")	FACE NAIL
T. RAFTER TO PLATE.	3-4d (3-1/2" X 0.185")	TOE NAIL
U. 1/2" BRACE TO EACH STUD & PILE.	3-4d (3-1/2" X 0.185")	FACE NAIL
V. 1" X 8" BREATHING TO EACH BEARING.	3-4d (3-1/2" X 0.185")	FACE NAIL
W. 1" X 8" BREATHING TO EACH BEARING.	3-4d (3-1/2" X 0.185")	FACE NAIL
X. BEARING 1" X 8" BREATHING TO EACH BEARING.	3-4d (3-1/2" X 0.185")	FACE NAIL
Y. BUILT UP CORNER STUDS.	1-4d (3-1/2" X 0.185")	FACE NAIL
Z. BUILT UP CORNER STUDS, 1/2" LUGGER LAYERS.	1-4d (3-1/2" X 0.185")	FACE NAIL
AA. 1/2" PLANKS.	3-4d (3-1/2" X 0.185")	FACE NAIL
BB. ROOF RAFTERS TO RIDGE.	3-4d (3-1/2" X 0.185")	FACE NAIL
CC. VARYING ROOF RAFTERS.	3-4d (3-1/2" X 0.185")	FACE NAIL
DD. RAFTER TIE TO RAFTERS.	3-4d (3-1/2" X 0.185")	FACE NAIL
EE. COLLAR TIE TO RAFTER.	3-4d (3-1/2" X 0.185")	FACE NAIL OR

<u>CLADDING TO FRAMING</u>	<u>FASTENER TYPE</u>	<u>EDGE SPACING</u>	<u>FIELD SPACING</u>
A. 3/4" - 1/2" SUBFLOOR / WALL and COMMON	1" x 0.15"	6" o.d.	12" o.d.
B. 3/4" - 1/2" ROOF	2d COMMON (3/4" x 0.15")	6" o.d.	12" o.d.
C. 1 1/2" - f	2d COMMON (3/4" x 0.15")	6" o.d.	12" o.d.
D. 1 1/2" - 1 1/4"	1sd COMMON (3" x 0.148") or 2d (3/4" x 0.15") DEFORMED	6" o.d.	12" o.d.

1. EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM CLEARANCE WIDTH OF 20 INCHES AND A BOTTOM SILL HEIGHT LESS THAN 44 IN. ABOVE FINISHED FLOOR.
2. ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2" DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. PROVIDE FEET-HOLES 34"-46" ABOVE FINISHED EXT. DOOR FLOOR.
3. WINDOWS MUST MEET THE U-VALUE OR CLASS' REQUIREMENT FOR THE APPROPRIATE ENERGY RATIO AND BE LABELED ACCORDINGLY. IF WINDOWS THAT BE USED PROVIDED THEY MEET THE CRITERIA AS OUTLINED IN REC. C104.
4. WINDOWS ARE TO BE TEMPERED IF THEY ARE WITHIN 8 INCHES OF THE FLOOR, WITHIN A 24 INCH ARCH OF ANY DOOR IN A CLOSED POSITION, GLAZING USED IN RAILINGS, GLAZING IN FLOYD OR SLIDING DOORS, BETWEEN THE BOTTOM EDGE IS WITHIN 60 INCHES ABOVE STAIRS, HOT TUBS, BATHTUBS, SHOWERPOOLS, AND/OR SHOWERS.
5. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, EXTERIOR LOCATIONS AND GARAGES SHALL BE GFI OR GFCI PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
6. RECESSED LIGHT FIXTURES ARE NOT PERMITTED IN ANY PENETRATED CAVITY UNLESS THE FIXTURES ARE LABELED AS BEING SUITABLE (I.E. LABEL) FOR DIRECT CONTACT WITH INSULATION.
7. ALL DOORS BETWEEN GARAGE AND LIVING AREAS SHALL BE ONE-HOUR FIRE RATED ASSEMBLIES WITH 1-3/4" SOLID CORE DOOR OR CODE APPROVED EQUAL WITH A SELF-CLOSING MECHANISM.
8. USE 1/2" GYPSUM BOARD IN HOUSE WALLS AND CEILING AND UNDER STAIRS. USE 1/2" TYPE 'X' GYPSUM BOARD ON WALLS AND CEILING BETWEEN GARAGE AND LIVING AREAS, AND 1/2" WATERPROOF GYPSUM BOARD ABOVE ALL BATHS AND TUB/SHOWER UNITS AND IN ALL WATER SPLASH AREAS.

	EXISTING WALL
	NEW WALL
	WALL TO BE REMOVED
	BEARING WALL



MAIN LEVEL FLOOR PLAN

SCALE 1/4" = 1'-0"

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MAIN LEVEL FLOOR PLAN

HALE REMODEL

CONTACT:

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