



STAFF REPORT FOR THE HISTORIC REVIEW BOARD

FILE NUMBER: DR-16-01

HEARING DATE: May 17, 2016

REQUEST: Class II Design Review – Construct New 2-Story Mixed-Use Building

**APPROVAL
CRITERIA:** Community Development Code Chapter 58, Willamette Falls Drive
Commercial Design District
Community Development Code Chapter 99, Quasi-Judicial Decision Making

**STAFF REPORT
PREPARED BY:** Darren Wyss, Associate Planner

Planning Manager's Review DWB

EXECUTIVE SUMMARY

The subject property is 15,000 square feet and located in the Willamette Falls Drive Commercial Design District. This requires the Historic Review Board (HRB) to make a recommendation to the West Linn Planning Commission on compliance with design district standards. The subject property is located on the southwest corner of Willamette Falls Drive and 11th Street in the Willamette Neighborhood. There is an existing single-family home and detached accessory structure that will be demolished.

The applicant is proposing the construction of a 24,510 square foot, two-story mixed-use building with a 14,415 square foot underground parking garage. The garage will provide 29 parking spaces and an additional 13 parking spaces will be located in the rear along Knapps Alley. The applicant has requested a variance, which can be granted by the HRB, to utilize brick on the building façade as opposed to solely using horizontal wood siding as required by CDC 58.090.C(10).

Staff finds that the applicant's proposal, supplemented with one condition of approval, meets the applicable criteria. Therefore, staff recommends approval.

TABLE OF CONTENTS

STAFF ANALYSIS AND RECOMMENDATION

GENERAL INFORMATION 3
BACKGROUND 4
PUBLIC COMMENT 5
ANALYSIS 5
RECOMMENDATION 5

ADDENDUM

APPLICABLE REGULATIONS AND ASSOCIATED SUPPLEMENTAL FINDINGS 6-11

EXHIBITS

HRB-1 AFFIDAVIT OF NOTICE 12-13
HRB-2 NOTICE MAILING PACKET 14-17
HRB-3 APPLICANT SUBMITTAL 18-59

GENERAL INFORMATION

APPLICANT/ OWNER:	Icon Construction
SITE LOCATION:	1969 Willamette Falls Drive
LEGAL DESCRIPTION:	Clackamas County Assessor's Map 3-1E-02BA, Tax Lot 4100
SITE SIZE:	15,000 square feet
ZONING:	GC, General Commercial Willamette Falls Drive Commercial Design District
COMP PLAN DESIGNATION:	Commercial
120-DAY PERIOD:	This application became complete on April 26, 2016. The 120-day maximum application processing period ends on August 24, 2016.
PUBLIC NOTICE:	Public notice was mailed to the Willamette Neighborhood Association and to affected property owners on April 27, 2016. The property was posted with a sign on May 6, 2016. In addition, the application has been posted on the City's website. The notice requirements have been met.

Project Description: The applicant is proposing the construction of a 24,510 square foot, two-story mixed-use building with a 14,415 square foot underground parking garage. The garage will take access from 11th Street and provide 29 parking spaces. An additional 13 parking spaces will be located in the rear along Knapps Alley. The applicant has requested a variance, which can be granted by the HRB, to utilize brick on the building façade as opposed to solely using horizontal wood siding as required by CDC 58.090.C(10).

The proposed building will contain retail/office leasable space, with the possibility of accommodating a hotel on the second story. Building reliefs have been incorporated throughout the design by off-setting the building footprint and providing awnings and cornice projections. The roof is flat with a “Western False Front” façade.



Surrounding Land Use: The subject property is fully contained in the GC Zone and within the Willamette Falls Drive Commercial Design District. Surrounding properties include the MU zone to the east, GC zone to the north and west, and R-5 zone to the south.

Public comments. To date, staff has not received any comments from the public.

ANALYSIS

Community Development Code Chapter 58, Willamette Falls Drive Commercial Design District and Chapter 99, Quasi-Judicial Decision Making are applicable to this recommendation. Staff has found the proposal is consistent with the applicable criteria.

RECOMMENDATION

Staff recommends the Historic Review Board recommend approval of application DR-16-01 subject to the following proposed condition:

1. Site Plan, Elevations, and Narrative. The project shall conform to the plans, elevations, and narrative submitted in Exhibit HRB-3.

APPLICABLE REGULATIONS AND ASSOCIATED SUPPLEMENTAL FINDINGS DR-16-01

CHAPTER 58, WILLAMETTE FALLS DRIVE COMMERCIAL DESIGN DISTRICT

58.090 STANDARDS

A. *Standards are needed to provide a clear and objective list of design elements that are needed to bring new construction and remodels into conformance with 1880 – 1915 architecture. Buildings of the period saw relatively few deviations in design. Consequently, the Historic Review Board will require conformance with the standards. Deviations or deletions from the standards are addressed in the variance procedure of this chapter.*

Staff Finding 1: The applicant is requesting a variance from CDC.090.C(10) to allow brick on the building façade. This criterion is met.

B. *The use of neo-designs or simply contextual designs which only attempt to capture the basic or generalized elements such as building line, massing and form, etc., is not acceptable.*

Staff Finding 2: The applicant has not proposed any neo-designs or contextual designs. This criterion is met.

C. *The following standards shall apply to new construction and remodels.*

1. *Dimensional standards.*

a. *Front: zero-foot setback. Building may not be set back from the property line unless it is consistent with predominant building line.*

b. *Side and side street: zero-foot setback. Building may not be set back from the side property line except for side passageway, accessway, or stairway unless fire codes dictate otherwise. The setback shall not exceed six feet. The setback should be consistent with the rhythm of adjacent structures, or at least not deleterious to it.*

c. *Rear: 20-foot setback. Setbacks between zero and 20 feet are permitted only if the applicant can demonstrate that he can successfully mitigate any impacts associated with the building in current and future uses as they would relate to abutting residential and other properties.*

Staff Finding 3: Staff incorporates the applicant's findings. These criteria are met.

d. *Lot coverage: up to 100 percent of lot may be developed depending upon ability to mitigate impacts upon abutting residential and other uses.*

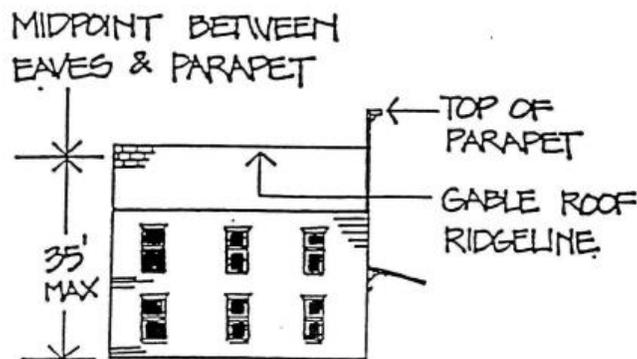
Staff Finding 4: The proposed building will cover 97 percent of the subject property. Impacts to properties on the north, east, and south are mitigated through separation by public rights-of-way. The property to the west has an existing building that has a side yard setback of 20 feet. The proposed building has a side yard setback of two-feet at this property line. The 22 feet of building separation provides adequate mitigation of impacts. This criterion is met.

2. Minimum landscaping required. Sites in this district are exempt from landscaping requirements as identified in Chapter 54 CDC, Landscaping, with the exception of parking areas.

Staff Finding 5: The applicant is not required to provide parking. However, the applicant has proposed an underground parking garage with 20 spaces and 13 ground level tuck-under parking spaces. Neither are conducive to landscaping for lack of sunlight and precipitation.

The purpose statement of Chapter 54 reads “The landscaping is intended to provide an attractive natural balance to built areas, to reduce runoff, to provide shade, to screen or buffer uses, and to frame or complement views.” Placing landscaping in the proposed parking areas would not provide an attractive balance as the landscaping will not survive in the conditions. The landscaping would not reduce runoff as they would provide no interception, absorption, or infiltration of stormwater. The landscaping would not provide additional shade as it would be located under cover. The landscaping would not screen or buffer uses nor frame or complement views. Landscaping is not required as parking is not required in the Willamette Falls Drive Commercial Design District. This criterion is met.

3. Building height limitations. Maximum building height shall be 35 feet (as measured by this code), and two stories. False fronts shall be considered as the peak of the building if it exceeds the gable roof ridgeline.



Staff Finding 6: The applicant has proposed the flat roof line is equivalent to the eave line in the diagram, with the low point at the grade adjacent to the building at each point. The northwestern corner of the proposed building has the roof (eave) line at 31 feet, and the top of the parapet at 36 feet. This places the midpoint (building height) between eave and roof at 33 feet 6 inches, which is below 35 foot maximum height. This criterion is met.

4. External ground level or first story minimum height. Ten feet to allow transoms.

5. Roof form. Flat or pitched roofs. Pitched roof ridgeline shall run from the front of the building to the back.

6. Building form, scale and depth. Building shall emphasize the vertical through narrow, tall windows (especially on second floor), vertical awning supports, engaged columns, and exaggerated facades creating a height-to-width ratio of 1.5:1. Building depth shall be flat, only relieved by awning and cornice projections and the indented doorway.

Staff Finding 7: Staff incorporates the applicant’s findings. These criteria are met.

7. Spacing and rhythm. Buildings shall follow a regular rhythm. Strong vertical breaks or lines should be regularly spaced every 25 to 50 feet.
8. Facades. No gables, hipped, or pitched roofs shall be exposed to the street at the front. The “Western false front” shall be the preferred style although variations shall be allowed.
9. Cornice. Cornices shall be broad and may include regularly spaced supporting brackets. A cornice is not required, but preferred.

Staff Finding 8: Staff incorporates the applicant’s findings. These criteria are met.

10. Building materials and orientation. Wood shall be the principal building material. Horizontal wood siding in one-inch by eight-inch dimensions shall be used for siding. Brick and certain concrete configurations are permitted only by a variance under CDC 58.090.

Staff Finding 9: The applicant has proposed 1”x8” horizontal hardiplank siding and wood trim. The applicant is requesting a variance for a brick masonry base and partial elevation. Subject to the approval of the variance request, this criterion is met.

11. Awnings. All buildings shall have awnings extending out from building face. Awnings are preferred for micro-climate benefits. Ideally, the building will have both transom and awnings, although transoms are not required.

Awnings shall be either canvas or vinyl, or similar approved material, supported by an internal metal framework or metal or wood supported by a curved metal support, either attached to the building or a simple four-inch by four-inch wood post extending down to the outside of the sidewalk.

Awnings shall, therefore, extend beyond the front property line to the outside edge of the sidewalk, and shall possess a seven-foot clearance to the valance or any other part. The pitch of the awning shall be 10 to 40 degrees. No “bubble-type” awnings are permitted. No backlit awnings are permitted. Canvas or matte-finish vinyl, or similar approved material awnings, may be one-color or striped and shall have a free-hanging plain or crenelated valance. Canvas or matte-finish vinyl, or similar approved material awnings, should not be shared between two structures. Each structure should have its own awning.

Staff Finding 10: The applicant has proposed fabric awnings with internal metal supports. The awnings will be attached to the building above the pedestrian level windows and provide a seven foot clearance. The applicant is requesting a variance from the requirement to extend awnings to the outside edge of the sidewalk. The applicant is proposing to extend the awning seven feet to provide a one foot six inch clearance to the edge of the sidewalk to limit damage from parking vehicles. The applicant is also proposing to install metal canopies over the entrance doorways. Subject to the approval of the variance request, this criterion is met.

12. Extruded roofs. As a substitute for an awning, extruded roofs have a 10- to 40-degree pitch and extend one to two feet from the building face just above the transom windows where the first and

second stories meet. The roof runs along the entire building frontage. Standard roofing materials are used. Transoms are required with extruded roofs.

Staff Finding 11: Staff incorporates the applicant's findings. These criteria are met.

13. Doors and entryways. The entryway shall be centered in the middle of the building at grade. The buildings on street corners may position their doors on the corner at an angle as depicted in the illustration. The doors may be single or double doors. The doors shall be recessed three to five feet back from the building line. Doors shall have glazing in the upper two-thirds to half of the door. Panels should decorate the lower portions. The entryway shall have windows all the way around at the same level as the other display windows. Wood doors are preferable although alternatives with a dark matte finish may be acceptable.

Staff Finding 12: The applicant is proposing three foot recessed double entrance doors at the northeast corner of the building and five foot recessed double doors along the front façade near the northwest corner. Both entryways have windows all the way around at same level as other display windows. The doors will be wood. The applicant is requesting a variance from the requirement of panels on the bottom one-third to one-half of the doors and propose to install full glass light style doors. Subject to the approval of the variance request, this criterion is met.

14. Glazing. Clear glass only. No mirrored or tinted glass. No films applied to glass. Lettering on glass is permitted (see subsection (C)(25)(b) of this section).

Staff Finding 13: The applicant has proposed clear glass with no glazing for all windows and doors. This criterion is met.

15. Display or pedestrian level windows. Shall extend across at least 80 percent of building front. The windows shall start one and one-half to two and one-half feet above grade to a height of seven to eight feet, and shall be level with the top of the height of the adjacent entryway area, excluding transom. A single sheet of glass is not permitted. The window shall be broken up into numerous sections, also known as lights. From 1880 onwards, the number of lights was generally no more than six in a pedestrian-level window. The frames may be wood or vinyl-clad wood, or other materials so long as a matte finish is possible.

Staff Finding 14: The applicant has proposed pedestrian level windows that extend 121 feet along 148 feet of building elevation for 81.7 percent of the building front. The windows are broken up into not more than six sections. The windows are proposed to be wood or vinyl-clad wood. The sidewalk along the Willamette Falls Drive elevation slopes down approximately 5 feet from west to east. At the west end of the elevation, and extending eastward to the main entry alcove, all windows start between 18 inches and 30 inches above the adjacent grade. From that entry to the east end of the elevation, the grade makes it impossible to meet these sill constraints without extending the sills below the finished floor line. The applicant attempted to meet the intent by creating an attractive building that has a historic feel by maintaining the sill line at 30 inches above the finished floor line. The applicant request

a variance to the maximum 30 inch above grade requirement for the start of the windows. Subject to the approval of the variance request, this criterion is met.

16. Second floor and other windows. Double- and single-hung windows proportionately spaced and centered should be used. Smaller square shaped windows may be permitted (one and one-half feet to two feet per side). A typical window should have a 3:1 height to width ratio for the glass area. There should be a minimum of two lights: “one over one” of equal size. “Two over one” or “four over one” is appropriate.

Staff Finding 15: The applicant has proposed double-hung second floor windows. The predominant second floor windows are 7’ tall and 4’ wide, for a ratio of 1.75:1. The applicant is requesting a variance from the height to width ratio on the grounds that the 30 inch sill and 9 foot 6 inch head heights were selected as appropriate for typical upper floor functions such as office spaces. To achieve a 3:1 height ratio with a 7 foot tall window, the window would be 2 foot 4 inches wide. In the applicant’s professional opinion, 2 foot 4 inch wide windows would look oddly narrow, even in a historical context. A review of the existing elevations along Willamette Falls Drive shows that most upper floor windows do not meet the 3:1 ratio, with no detriment to the historic character of the neighborhood.

In an effort to address the intent to provide verticality to the elevation, the applicant has divided the upper lights of the double hung units into two 2 foot wide lights each, which helps to make the windows feel narrower and more vertical. Subject to the approval of the variance request, this criterion is met.

17. Wainscotting. Wainscotting shall be consistent with primary material of the building, typically wood.

18. Shutters. Shutters are not allowed.

19. Balconies. No balconies are permitted except on rear of building.

20. Exterior stairs. Simple stairs are permitted on the rear or side of the building only.

21. Roof mounted mechanical equipment. Equipment shall be screened from view on all sides by normal and consistent architectural features of the building. CDC 55.100(D), Privacy and noise, shall apply.

22. Air conditioning. No window types on avenue or street side are permitted. Window-mounted air conditioners are not allowed at rear where abutting residential.

Staff Finding 16: Staff incorporates the applicant’s findings. These criteria are met.

23. Exterior lighting fixtures. Any lighting fixtures that can be traced to 1880 – 1915 period are permitted. Simple modern fixtures that are screened and/or do not attract attention are acceptable. Overly ornate fixtures of the Victorian era are to be discouraged.

Staff Finding 17: The applicant has provided examples of the proposed lighting fixtures and their locations. The hanging fixtures replicate the appropriate time period and the parking area and under flat canopies proposed lighting will not attract attention. This criterion is met.

24. Transoms. Transom windows are required with extruded roofs and optional with awnings. Transom windows shall cover the front of the building above, but not beyond, the main display windows and the entryway area. Transoms should be broken up into sections every six inches to three feet in a consistent and equal pattern. Height should not exceed three feet. Transoms may or may not open. False ceilings are allowed behind the transoms.

25. Planters. No planters are allowed.

Staff Finding 18: Staff incorporates the applicant's findings. These criteria are met.

26. Paint colors. Body color typically included white, cream, or a light, warm color of low intensity. Accents, trims, windows, etc., should be dark-colored. Contrasting colors should be compatible. Existing colors shall not enjoy protected status when repainting is proposed. A palette or color wheel of acceptable 1880 – 1915 period colors shall be the basis for color selection. No other colors are allowed. The palette is available at the Community Development Department.

Staff Finding 19: The applicant has submitted a color board and architectural renderings of the building colors. Staff finds the color schemes meet the intent of the code. These criteria are met.

27. Ornamental or advertising flags, pennants, or banners. Not permitted on buildings.

28. New materials. Permitted where it is demonstrated that new material visually replicates originally required material, except siding, which must be wood.

Staff Finding 20: Staff incorporates the applicant's findings. These criteria are met.

58.100 VARIANCE PROCEDURES

In those circumstances where a design proposal cannot meet the standards, or proposes an alternative to the standard, the Historic Review Board may grant a variance in those cases where one of the following criteria is met:

A. *The applicant can demonstrate by review of historical records or photographs that the alternative is correct and appropriate to architecture in the region, and especially West Linn, in 1880 – 1915.*

B. *The applicant is incorporating exceptional 1880 – 1915 architecture into the building which overcompensates for an omission. The emphasis is upon superior design, detail, or workmanship.*

Staff Finding 20: The applicant is requesting five variances: 1. Allowing brick masonry base and partial elevation; 2. Extending the awnings to seven feet and not to the eight feet six inches to outer edge of sidewalk; 3. Entryway doors being full glass light style; 4. Allowing greater than 30 inches between grade and start of first floor windows because of the grade; 5. Allowing second story windows to not meet the 3:1 height to width ratio.

The applicant has proposed all five variances contribute to superior design, detail, and workmanship. Subject to approval by the Historic Review Board, these criteria are met.

EXHIBIT HRB-1: AFFIDAVIT OF NOTICE

AFFIDAVIT OF NOTICE

We, the undersigned do hereby certify that, in the interest of the party (parties) initiating a proposed land use, the following took place on the dates indicated below:

GENERAL

File No. DK-16-01 Applicant's Name Icon Construction - Mark Handris
Development Name N/A
Scheduled Meeting/Decision Date 5-17-16

HERB
NOTICE: Notices were sent at least 20 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check below)

TYPE A

- A. The applicant (date) 4-27-16 (signed) S. Shroyer
- B. Affected property owners (date) 4-27-16 (signed) S. Shroyer
- C. School District/Board (date) _____ (signed) _____
- D. Other affected gov't. agencies (date) _____ (signed) _____
- E. Affected neighborhood assns. (date) 4-27-16 (All) (signed) S. Shroyer
- F. All parties to an appeal or review (date) 4-27-16 (signed) S. Shroyer

At least 10 days prior to the scheduled hearing or meeting, notice was published/posted:

Tidings (published date) 5-5-16 (signed) S. Shroyer
City's website (posted date) 4-27-16 (signed) S. Shroyer

SIGN

At least 10 days prior to the scheduled hearing, meeting or decision date, a sign was posted on the property per Section 99.080 of the Community Development Code.

(date) 5-6-2016 (signed) Dan S Wynn

NOTICE: Notices were sent at least 14 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check below)

TYPE B _____

- A. The applicant (date) _____ (signed) _____
- B. Affected property owners (date) _____ (signed) _____
- C. School District/Board (date) _____ (signed) _____
- D. Other affected gov't. agencies (date) _____ (signed) _____
- E. Affected neighborhood assns. (date) _____ (signed) _____

Notice was posted on the City's website at least 10 days prior to the scheduled hearing or meeting.
Date: _____ (signed) _____

STAFF REPORT mailed to applicant, City Council/Planning Commission and any other applicable parties 10 days prior to the scheduled hearing.

(date) 5-6-2016 (signed) Dan S Wynn

FINAL DECISION notice mailed to applicant, all other parties with standing, and, if zone change, the County surveyor's office.

(date) _____ (signed) _____

EXHIBIT HRB-2: NOTICE OF MAILING PACKET

**CITY OF WEST LINN
HISTORIC REVIEW BOARD
PUBLIC HEARING NOTICE
FILE NO. DR-16-01**

The West Linn Historic Review Board (HRB) is scheduled to hold a public hearing on **Tuesday, May 17, 2016, at 7:00 p.m.** in the Council Chambers at City Hall, 22500 Salamo Road, West Linn, to consider an application for Class II Design Review to construct a new two-story, mixed-use building at 1969 Willamette Falls Drive. The purpose of the public hearing is to make a recommendation to the West Linn Planning Commission on the application's compliance with the Willamette Falls Drive Commercial Design District approval criteria.

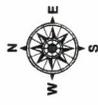
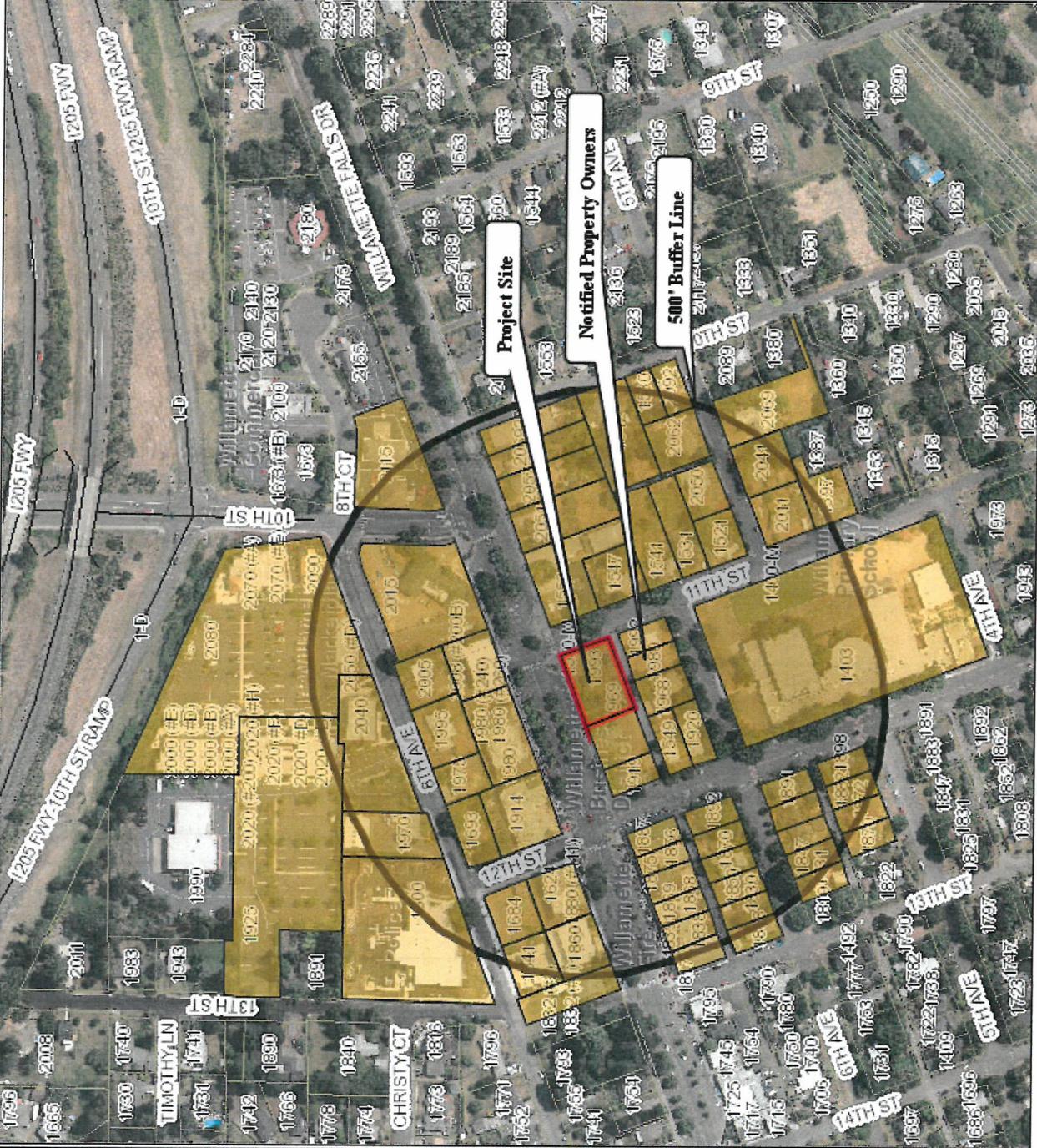
Criteria applicable to the request are found in CDC Chapters 19, 58, and 99. A recommendation of approval or disapproval of the request by the HRB will be based solely upon these criteria. At the hearing, it is important that comments relate specifically to the applicable criteria listed.

You have been notified of this proposal because County records indicate that you own property within 500 feet of the affected site on Clackamas County Assessor's Map 31E02BA, Tax Lot 4100, or as otherwise required by Chapter 99 of the CDC.

The complete application in the above noted file is available for inspection at no cost at City Hall or via the web site at <http://westlinnoregon.gov/planning/1969-willamette-falls-drive-class-ii-and-historic-design-review-mixed-use-building>. Copies can also be obtained for a minimal charge per page. At least 10 days prior to the hearing, a copy of the staff report will be available for inspection. For further information, please contact Associate Planner Darren Wyss at dwyss@westlinnoregon.gov or 503-722-5512. Alternately, visit City Hall, 22500 Salamo Road, West Linn, OR 97068.

The hearing will be conducted in accordance with the rules of Section 99.170 of the CDC. Anyone wishing to present written testimony on this proposed action may do so in writing prior to, or at the public hearing. Oral testimony may be presented at the public hearing. At the public hearing, the HRB will receive a staff presentation, and invite both oral and written testimony. The HRB may continue the public hearing to another meeting to obtain additional information, leave the record open for additional evidence, arguments, or testimony, or close the public hearing and take action on the application as provided by state law. **It is important to provide all evidence, both oral and written, to the HRB. Generally, the City Council will not be able to accept additional evidence if there is an appeal of this application.** Failure to raise an issue in person or by letter at some point prior to the close of the hearing, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes an appeal to the Land Use Board of Appeals (LUBA) based on that issue.

1969 Willamette Falls Drive Notification Map



Scale 1:3,600 - 1 in = 300 ft
Scale is based on 8-1/2 x 11 paper size



Map created by: SSHROYER
Date Created: 28-Mar-16 05:18 PM

WEST LINN GIS

DISCLAIMER: This product is for informational purposes and may not have been prepared for, or be suitable for, legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information. Source: West Linn GIS (Geographic Information System) MapPoplit.



CITY OF
West Linn

HISTORIC REVIEW BOARD PUBLIC HEARING

PROJECT # DR-16-01

MAIL: 4/27/16 TIDINGS: 5/5/16

CITIZEN CONTACT INFORMATION

To lessen the bulk of agenda packets, land use application notice, and to address the worries of some City residents about testimony contact information and online application packets containing their names and addresses as a reflection of the mailing notice area, this sheet substitutes for the photocopy of the testimony forms and/or mailing labels. A copy is available upon request.

EXHIBIT HRB-3: APPLICANT SUBMITTAL

DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT <i>Darren Wyss</i>	PROJECT NO(S). <i>DR-16-01</i>	
NON-REFUNDABLE FEE(S) <i>300-</i>	REFUNDABLE DEPOSIT(S) <i>20,000-</i>	TOTAL <i>20,300-</i>

Type of Review (Please check all that apply):

- | | | |
|--|---|--|
| <input type="checkbox"/> Annexation (ANX) | <input checked="" type="checkbox"/> Historic Review | <input type="checkbox"/> Subdivision (SUB) |
| <input type="checkbox"/> Appeal and Review (AP) * | <input type="checkbox"/> Legislative Plan or Change | <input type="checkbox"/> Temporary Uses * |
| <input type="checkbox"/> Conditional Use (CUP) | <input type="checkbox"/> Lot Line Adjustment (LLA) */** | <input type="checkbox"/> Time Extension * |
| <input checked="" type="checkbox"/> Design Review (DR) <i>CLASS II</i> | <input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan) | <input type="checkbox"/> Variance (VAR) |
| <input type="checkbox"/> Easement Vacation | <input type="checkbox"/> Non-Conforming Lots, Uses & Structures | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Extraterritorial Ext. of Utilities | <input type="checkbox"/> Planned Unit Development (PUD) | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP) |
| <input type="checkbox"/> Final Plat or Plan (FP) | <input type="checkbox"/> Pre-Application Conference (PA) */** | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG) |
| <input type="checkbox"/> Flood Management Area | <input type="checkbox"/> Street Vacation | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Hillside Protection & Erosion Control | | |

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

Site Location/Address:

1969 WILLAMETTE FALLS DRIVE

Assessor's Map No.: *35,1E,02BA*

Tax Lot(s): *4100*

Total Land Area: *15,000 SF.*

Brief Description of Proposal:

CONSTRUCTION OF A NEW TWO-STORY MIXED-USE BUILDING. APPROX. 25,000 SF OF OFFICE/RETAIL + BELOW GRADE PARKING STRUCTURE. 43 NEW PARKING STALLS.

Applicant Name:

ICON CONSTRUCTION

Phone: *503-657-0406*

Address:

1980 WILLAMETTE FALLS DR #200

Email: *MARK@ICONCONSTRUCTION.NET*

City State Zip:

WEST LINN, OR 97068

DARREN@ICONCONSTRUCTION.NET

Owner Name (required):

ICON CONSTRUCTION

Phone:

Address:

1980 WILLAMETTE FALLS DRIVE #200

Email:

City State Zip:

WEST LINN, OR 97068

MARK@ICONCONSTRUCTION.NET

DARREN@ICONCONSTRUCTION.NET

Consultant Name:

SG ARCHITECTOR, LLC

Phone: *503-201-0725*

Address:

10940 SW BARNES RD #36A

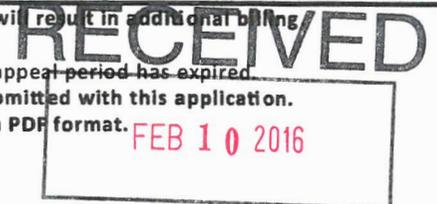
Email: *K.GOPWIN@SG-ARCH.NET*

City State Zip:

PORTLAND, OR 97225

- All application fees are non-refundable (excluding deposit). Any overruns to deposit will result in additional billing.
- The owner/applicant or their representative should be present at all public hearings.
- A denial or approval may be reversed on appeal. No permit will be in effect until the appeal period has expired.
- Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application. One (1) complete set of digital application materials must also be submitted on CD in PDF format. If large sets of plans are required in application please submit only two sets.

* No CD required / ** Only one hard-copy set needed



The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not constitute a complete submission. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

[Signature] *2/9/16* *[Signature]* *2/9/16*
Applicant's signature Date Owner's signature (required) Date

Wyss, Darren

From: Scot Sutton <ssutton@sg-arch.net>
Sent: Friday, May 06, 2016 2:45 PM
To: Wyss, Darren
Cc: Kevin Godwin
Subject: Re: 1969 Willamette Falls Dr
Attachments: 15-104 A3.1_elevations_REVISED-A3.1.pdf; ATT00001.htm

Hi Darren,

The windows are planned as double hung.

Regarding your other questions this morning:

58.090 STANDARDS

3. Building height limitations. Maximum building height shall be 35 feet (as measured by this code), and two stories. False fronts shall be considered as the peak of the building if it exceeds the gable roof ridgeline.

Q. Please address the '36'-0" Above Sidewalk' elevation tag at the east parapet as it relates to the maximum allowable building height.

A. For the following explanations, please refer to the attached elevations.

The definition of 'building height' in the Standard is somewhat vague. There is no definition for building height in Chapter 02 DEFINITIONS. A word search of the Code for 'height' does not return any hits related to determining from where to measure building height (i.e.: from grade at each point along the elevation, from an average grade, from finished floor, etc.). Further, the diagram provided in this section indicates that the maximum height is at the 'midpoint between eaves and parapet', but does not address where the 'eave' measurement should be taken when concerning a flat roof building.

This ambiguity leads us to address the maximum height question in two ways:

1.

Assume that the flat roof line is equivalent to the eave line in the diagram, with the low point at the grade adjacent to the building at each point. In this case, the roof (eave) line is at 31'-0", and the top of the parapet at 36'-0". This places the midpoint (building height) between eave and roof at 33'-6", which is below 35'-0" and meets the Code.

2.

Alternatively, assume that the 35'-0" maximum height is measured from an average grade level to the top of the parapet. In that scenario, the top of the east parapet is 4'-0" above the top of the predominant parapet which is 29'-0" above the adjacent sidewalk/grade at the mid-point/average of the elevation. In this case, the top of the east parapet is 33'-0" above this average grade point (29' + 4'), which meets the Code.

15. Display or pedestrian level windows. Shall extend across at least 80 percent of building front. The windows shall start one and one-half to two and one-half feet above grade to a height of seven to eight feet, and shall be level with the top of the height of the adjacent entryway area, excluding transom. A single sheet of glass is not permitted. The window shall be broken up into numerous sections, also known as lights. From 1880 onwards, the number of lights was generally no more than six in a pedestrian-level window. The frames may be wood or vinyl-clad wood, or other materials so long as a matte finish is possible.

Q. Please verify the percentage length of the first floor windows shown on the Willamette Falls Drive elevation.

A. There are 121' of window along 148' of elevation, equal to 81.7%, which meets the Code.

Q. Please address starting height (sill height) of the first floor windows above grade.

A. As is shown in the elevations, the sidewalk along the Willamette Falls Drive elevation slopes down approximately 5 feet from west to east. At the west end of the elevation, and extending eastward to the main entry alcove, all windows are between 18" and 30" above the adjacent grade. From that entry to the east end of the elevation, the grade makes it impossible to meet these sill constraints without extending the sills below the finished floor line. We attempted to meet the intent of the Chapter of creating attractive buildings that have a historic feel by maintaining the sill line at 30" above the finished floor line. Based upon the above explanation and mitigation efforts, we would request a variance to this section of the Code.

16. Second floor and other windows. Double- and single-hung windows proportionately spaced and centered should be used. Smaller square shaped windows may be permitted (one and one-half feet to two feet per side). A typical window should have a 3:1 height to width ratio for the glass area. There should be a minimum of two lights: "one over one" of equal size. "Two over one" or "four over one" is appropriate.

Q. Please address the 3:1 height to width ratio.

A. The predominant second floor windows are 7' tall and 4' wide, for a ratio of 1.75:1. The 30' sill and 9'-6" head heights shown were selected as appropriate for typical upper floor functions such as office spaces. to achieve a 3:1 height ratio with a 7' tall window, the window would be 2'-4" wide. In our professional opinion, 2'-4" wide windows would look oddly narrow, even in a historical context. Further, a review of the existing elevations along Willamette Falls Drive shows that most upper floor windows do not meet the 3:1 ratio, with no detriment to the historic character of the neighborhood.

In an effort to address the intent of this Section, that is, to provide verticality to the elevation, we have divided the upper lights of these double hung units into two 2'-0" wide lights each, which helps to make the windows feel narrower and more vertical. Based upon the above explanation and mitigation efforts, we would request a variance to this section of the Code.

Thanks Darren, let us know if we can be of any additional help,

Scot Sutton | SG Architecture, LLC
10940 SW Barnes Rd #364 | Portland OR 97225 | 503-347-4685
ssutton@sg-arch.net

This email is confidential, intended only for the named recipient(s) above and may contain information that is

Willamette Falls Mixed Use

West Linn, Oregon

Design Review Class II Submittal – Chapter 58

February 2016

A. Introduction

The following Narrative, Plans and Supplemental materials will demonstrate that the proposed project is in compliance with the applicable site plan and design review standards set forth in the West Linn Community Development Code.

B. Narrative

Icon Development is proposing a new two-story development located at 1912 Willamette Falls Drive- east of 12th Street. The site has one temporary existing structure that will be demolished and is boarded primarily by commercial development with some residential development to the north.

The proposed mixed use development is two-story office/retail with an underground parking facility. The total building area is approximately 24,510 s.f. of leasable building area and 42 on-site parking spaces have been provided behind and under the building. Spring/Summer 2016 construction start is anticipated.

C. Conformance

58.90 STANDARDS

- A. Standards are needed to provide a clear and objective list of design elements that are needed to bring new construction and remodels into conformance with 80c1915 architecture. Buildings of the period saw relatively few deviations in design. Consequently, the Historic Review Board will require conformance with the standards. Deviations or deletions from the standards are addressed in the variance procedure of this chapter.
- B. The use of "neo-designs" or simply contextual designs which only attempt to capture the basic or generalized elements such as building line, massing and form, etc. is not acceptable.
- C. The following standards shall apply to new construction and remodels.
1. Dimensional standards:
 - a. Front: zero-foot setback. Building may not be set back from the property line unless it is consistent with predominant building line.
RESPONSE: The proposed building frontage (north elevation) is located on this property line.
 - b. Side and Side Street: zero-foot setback. Building may not be set back from the side property line except for side passageway, accessway, or stairway unless fire codes dictate otherwise. The setback shall not exceed six feet. The setback should be consistent with the rhythm of adjacent structures, or at least not deleterious to it. (ORD. 1391)
RESPONSE: West (side) building elevation is setback 2'0" from the existing property line to allow for the building to have reliefs and pilasters without extending into the adjacent property.

c. Rear: 20-foot setback. Setbacks between 0-20 feet are permitted only if the applicant can demonstrate that he can successfully mitigate any impacts associated with the building in current and future uses as they would relate to abutting residential and other properties.

RESPONSE: South (rear) building elevation is on the property line, and fronts onto Knapp's Alley. The alley provides the separation from adjacent properties to mitigate the impact of this project. Access to employee parking and the trash enclosure will occur from Knapp's Alley as well.

d. Lot coverage: Up to 100 percent of lot may be developed depending upon ability to mitigate impacts upon abutting residential and other uses.

RESPONSE: The proposed lot coverage based on the street level ground floor area is 66.33%.

Site area = .0344 acres = 15,000 s.f.

2. Minimum landscaping required: Structures in this area are exempt from landscaping requirements as identified in Section 55.100(A)(1)(b), Design Review. The provision of CDC Section 55.100(A)(1)(c)(1-8) shall still apply where parking lots are proposed.

RESPONSE: There is no landscaping required for this project. There will be landscaping provided at the proposed water quality facility at the west property line.

3. Building height limitations: Maximum building height shall be 35 feet (as measured by this Code), and two stories. False fronts shall be considered as the peak of the building if it exceeds the gable roof ridgeline.

RESPONSE: All proposed building heights are at or below the maximum allowable by code (35'0" high)

Front (north) parapet = 32-35 feet

Rear (south) parapet = 30-33 feet

Side (west) parapet = 26 feet

Side (east) parapet = 32-35 feet

4. External ground level or first story minimum height: 10 feet to allow transoms.

RESPONSE: The ground level first story height is 14'0" A.F.F to allow for window transoms.

5. Roof form: Flat or pitched roofs. Pitched roof ridgeline shall run from the front of the building to the back.

RESPONSE: All proposed flat sloped roofs run from front to back of the building.

6. Building form, scale and depth: Building shall emphasize the vertical through narrow, tall windows (especially on second floor), vertical awning supports, engaged columns, and exaggerated facades creating a height-to-width ratio of 1.5:1. Building depth shall be flat, only relieved by awning and cornice projections and the indented doorway.

RESPONSE: The proposed exterior elevations emphasize many vertical elements using tall windows, cornices, and awnings. The second floor has been provided with many windows that align with the main floor below that enhance the "verticality" of each building elevation. Building reliefs have been incorporated throughout the overall design by off- setting the building footprint and providing awnings and cornice projections.

7. Spacing and rhythm: Buildings shall follow a regular rhythm. Strong vertical breaks or lines should be regularly spaced every 25 to 50 feet.

RESPONSE: Appropriate spacing and vertical breaks in the building vernacular, have been incorporated into all the building elevations. No vertical spacing exceeds 50'-0" in length (see elevation sheet).

8. Facades: No gables, hipped, or pitched roofs shall be exposed to the street at the front. The "Western false front" shall be the preferred style although variations shall be allowed.

RESPONSE: All roofs are 'flat' for the entire building, and are concealed by "Western False Front" facades (see elevations sheet).

9. Cornice: Cornices shall be broad and may include regularly spaced supporting brackets. A cornice is not required, but preferred.

RESPONSE: The cornice at the northeast corner is enhanced with supporting brackets. All other cornices are enhanced with framed panel decoration (see elevations & wall section sheets.)

10. Building materials and orientation: Wood shall be the principal building material. Horizontal wood siding in 1" X 8" dimensions shall be used for siding. Brick and certain concrete configurations are permitted only by a variance under Section 58.090.

RESPONSE: The primary materials list will be wood:

Siding: 1x8 horizontal siding minimum (hardiplank)

Cornices/trim: 2x wood trim - painted

Ornamental trim: Wood - painted

The applicant requests a variance under the terms of Section 55.100 for a brick masonry base and partial elevation.

11. Awnings: All buildings shall have awnings extending out from building/face. Awnings are preferred for micro-climate benefits. Ideally, the building will have both transom and awnings, although transoms are not required. Awnings shall be either canvas or vinyl, or similar approved material, supported by an internal metal framework or metal or wood supported by a curved metal support, either attached to the building or a simple 4" X 4" wood post extending down to the outside of the sidewalk. Awnings shall, therefore, extend beyond the front property line to the outside edge of the sidewalk, and shall possess a seven-foot clearance to the valance or any other part. The pitch of the awning shall be 10-40 degrees. No "bubble-type" awnings are permitted. No backlit awnings are permitted. Canvas or matte finish vinyl, or similar approved material awnings may be one color or striped and shall have a free-hanging plain or crenelated valance. Canvas or matte finish vinyl, or similar approved material awnings should not be shared between two structures. Each structure should have its own awning. (ORD. 1401)

RESPONSE: Building awnings will be a combination of fabric awnings and metal canopies that extend beyond the building and above the existing sidewalk. However, due to the possibility of vehicles damaging the awnings, the applicant would petition to reducing the awnings depth to 7'-0" instead of the full sidewalk width of 8'-6". All supports will be fastened to the building by metal supports and have a minimum clearance height of 7'-0". Each building window facade will have a separate awning with a slope between 10 - 40 degrees (see elevations.)

12. Extruded roofs: As a substitute for an awning, extruded roofs have a 10-40 degree pitch and extend 1-2 feet from the building face just above the transom windows where the first and second stories meet. The roof runs along the entire building frontage. Standard roofing materials are used. Transoms are required with extruded roofs.

RESPONSE: No "extruded roofs" are being proposed. Transom windows will be provided beneath both the fabric awnings and metal canopies.

13. Doors and entryways: The entryway shall be centered in the middle of the building at grade. The buildings on street corners may position their door on the corner at an angle as depicted in the illustration. The doors may be single or double doors. The doors shall be recessed 3-5 feet back from the building line. Doors shall have glazing in the upper two-thirds to half of the door. Panels should decorate the lower portions. The entryway shall have windows all the way around at the same level as the other display windows. Wood doors are preferable although alternatives with a dark matte finish may be acceptable.

RESPONSE: Recessed double entrance doors have been provided at the center of the building along with additional recessed entry doors at each end of the building (see elevation and floor plan). The door styles will be full glass light style and will meet the intent of the code.

14. Glazing: Clear glass only. No mirrored or tinted glass. No films applied to glass. Lettering on glass is permitted (see item 25(b) of this section).

RESPONSE: Clear glass is proposed for all windows.

15. Display or pedestrian level windows: Shall extend across at least 80 percent of building front. The windows shall start 1-1/2 - 2-1/2 feet above grade to a height of 7-8 feet, and shall be level with the top of the height of the adjacent entryway area, excluding transom. A single sheet of glass is not permitted. The window shall be broken up into numerous sections, also known as lights. From 1880 onwards, the number of lights

was generally no more than six in a pedestrian level window. The frames may be wood or vinyl clad wood, or other materials so long as a matte finish impossible.

RESPONSE: The proposed street level windows and storefronts extend across the entire front elevation and meets or exceeds the intent of the code (see elevation sheet).

16. Second floor and other windows: Double and single hung windows proportionately spaced and centered should be used. Smaller square shaped windows may be permitted (1-112' - 2' per side). A typical window should have a 3:1 height to width ratio for the glass area. There should be a minimum of two lights: "one over one" of equal size. "Two over one" or "four over one" is appropriate.

RESPONSE: The proposed upper level windows have a double-hung appearance that meets or exceeds the intent of the code (see elevation sheet).

17. Wainscoting: Wainscoting shall be consistent with primary material of the building, typically wood.

RESPONSE: The applicant would like to propose an alternate brick masonry wainscoting instead of the primary wood material used on the building (see 55.090.10). This alternative provides for a more durable building longevity and is consistent with other buildings in the district (see attached photo for example).

18. Shutters: Shutters are not allowed.

RESPONSE: No shutters are proposed.

19. Balconies: No balconies are permitted except on rear of building.

RESPONSE: No balconies are proposed.

20. Exterior stairs: Simple stairs are permitted on the rear or side of the building only.

RESPONSE: All exit stairs are fully enclosed within the building envelope design (see elevation sheet).

21. Roof mounted mechanical equipment: Equipment shall be screened from view on all sides by normal and consistent architectural features of the building. Section 55.100(A)(4), "Privacy and Noise, "shall apply.

RESPONSE: The mechanical rooftop units (RTUs) will be located in a structurally designed "mechanical zone" that is located at the middle of the building. This location will allow the parapets to provide adequate screening from below to hide the units (see roof plan sheet). A preliminary noise study has been provided with this application.

22. Air conditioning: No window type on avenue or street side are permitted. Window mounted air conditioners are not allowed at rear where abutting residential.

RESPONSE: All air conditioning/units will be mounted on the roof (see Item 21).

23. Exterior lighting fixtures: Any lighting fixtures that can be traced to 1880-1915 period is permitted. Simple modern fixtures that are screened and/or do not attract attention are acceptable. Overlay ornate fixtures of the Victorian era are to be discouraged.

RESPONSE: All exterior light fixtures will meet the intent of the code "period fixtures 1880-1915". A cutsheet of the light fixture can be provided to the city at a later date.

24. Transoms: Transom windows are required with extruded roofs and optional with awnings. Transom windows shall cover the front of the building above, but not beyond, the main

display windows and the entryway area. Transoms should be broken up into sections every six inches to three feet in a consistent and equal pattern. Height should not exceed three feet. Transoms may or may not open. False ceilings are allowed behind the transoms.

RESPONSE: The storefront windows proposed will have a metal canopies or fabric awnings above their entire width. No upper separate transom windows are proposed, however the window style will have transom influence by the use of grids and mullions. All window sizes will meet the intent of the code (see elevations).

25. Signs:

a. Signs shall not exceed 10 percent of the square footage of the front elevation. The calculation of allowable signage is explained in Section 52.300. The sign(s) shall be proportionate to buildings and signs on adjacent buildings. The "10percent" shall be broken up into multiple signs. The sign(s) shall be mounted or painted on the second floor, on the valance of the awning, on the windows at pedestrian level, or on 4 X 4 awning posts. Signs shall not be of the internally lit "can" type or channel light type. No backlit awnings are allowed. Illumination by spotlight is permitted. Neon signs are permitted only inside the windows. No flashing signs are allowed. By temporary sign permit only, neon colored lettering or designs painted on windows or on paper or banners in the windows are allowed, but discouraged. Small signs or plaques which describe the building in a historical sense are exempt from the allowable square footage restrictions. Signs cannot project out from building face.

b. Sign typeface: Antique lettering as shown in the illustration is required. Variations are permitted where the lettering would not clash with the predominant font or style. "Gay Nineties or P. T Barnum" type styles and other exaggerated styles are discouraged. Lettering may be horizontal, vertical, or slanting up from lower left to upper right. Semi-circle designs on windows are permitted. Window lettering should be either white, black, or gold with black shading.

c. Temporary signs: Temporary sandwich board signs are permitted and shall be designed to be consistent with the aforementioned sign and typeface provision.

RESPONSE: All signage shall meet the intent of the code. A separate sign permit will be obtained from the City prior to the installation of any tenant or building signage.

26. Planters: No planters are allowed.

RESPONSE: The proposed site/plaza plan provides for "no planters."

27. Paint colors: Body color typically included white, cream, or a light warm color of low intensity. Accents, trims, windows, etc. should be dark colored. Contrasting colors should be compatible. Existing colors shall not enjoy protected status when repainting is proposed. A palette or color wheel of acceptable 1880-1915 period colors shall be the basis for color selection. No other colors are allowed. The palette is available at the Planning Department.

RESPONSE: A material and color board has been submitted with this application. The applicant was told by the city that a color palette that was referenced in the city code was not available at this time. The City will review the proposed colors/materials submitted by the applicant. The colored elevations provided indicate the proposed color locations.

28. Ornamental or advertising flags, pennants, or banners: Not permitted on buildings.

RESPONSE: No flags, pennants, or banners are being proposed.

29. New materials: Permitted where it is demonstrated that new material visually replicates originally required material, except siding, which must be wood.

RESPONSE: The only 'new' material being proposed is the brick masonry on the north and east walls of the building. This material will help provide longevity to the building

for years to come due to the amount of pedestrian traffic, and is consistent with similar materials on buildings along Willamette Falls Drive.

58.100 VARIANCE PROCEDURES

In those circumstances where a design proposal cannot meet the standards, or proposes an alternative to the standard, the Historic Review Board may grant a variance in those cases where one of the following criteria is met:

1. The applicant can demonstrate by review of historical records or photographs that the alternative is correct and appropriate to architecture in the region, and especially West Linn, in 1880-1915.

2. The applicant is incorporating exceptional 1880-1915 architecture into the building which overcompensates for an omission. The emphasis is upon superior design, detail, or workmanship.

RESPONSE: A variance to the standards is requested to allow the lower portion of the north and east walls, along with a full height portion of the north wall, to be brick masonry. This alternative provides superior design and detail to the wood standard by helping to break up the elevations in a more attractive way than strictly wood and pain. It also provides a more durable base to the building which will withstand ongoing pedestrian traffic and the elements.

WILLAMETTE FALLS

PROFESSIONAL BUILDING

Willamette Falls Drive & 11th Street West Linn, Oregon



THE HANDRIS BUILDING

BRICK BASE/WAINSCOT



TVFR STATION 59

FULL-HEIGHT BRICK FACADE

VARIANCE REQUEST

DESCRIPTION

THE APPLICANT REQUESTS A VARIANCE TO THE ABOVE STANDARD TO ALLOW THE USE OF BRICK ON THE PROPOSED BUILDING.

RESPONSE TO CRITERIA

CRITERIA A - 'THE ALTERNATIVE IS APPROPRIATE TO ARCHITECTURE IN THE REGION':

THE PHOTOS PRESENTED AS PART OF THIS VARIANCE REQUEST SHOW FIVE SEPARATE BUILDINGS ALONG WILLAMETTE FALLS DRIVE, IN THE COMMERCIAL DESIGN DISTRICT. FOUR OF THE FIVE EXAMPLES INCLUDE BRICK AS A BASE/WAINSCOT, COLUMNS, OR FULL FACADE. THE FIFTH EXAMPLE USES CONCRETE AS A BASE, AN EXAMPLE OF ANOTHER NON-WOOD DURABLE SURFACE AT THE STREET LEVEL.

THE PROPOSED BUILDING INCLUDES A CONTINUOUS BRICK BASE/WAINSCOT, ALONG WITH PORTIONS OF THE FACADE THAT HAVE BRICK HIGHER ON THE WALL OR FULL HEIGHT. THIS USE OF BRICK IS CONSISTENT WITH THE EXISTING USE OF BRICK/DURABLE BASE MATERIALS IN THE REGION.

CRITERIA B - 'SUPERIOR DESIGN, DETAIL, OR WORKMANSHIP':

LOCATED AT THE ENTRY TO THE COMMERCIAL DESIGN DISTRICT, THE PROPOSED BUILDING WILL SERVE AS A GATEWAY ELEMENT. AS SUCH, IT SHOULD EXHIBIT A LEVEL OF RICHNESS AND SOPHISTICATION THAT SETS THE TONE AS VISITORS ENTER THE DISTRICT. BRICK IS WIDELY RECOGNIZED AS A SUBSTANTIAL, RICH LOOKING, LONG LASTING MATERIAL. FURTHER, BRICK HAS A DURABILITY AGAINST THE ELEMENTS THAT ENSURES THAT IT MAINTAINS THOSE QUALITIES OVER TIME.

ON THE PROPOSED BUILDING, THE BRICK IS USED TO ANCHOR THE BUILDING TO THE SITE, CREATE A HUMAN SCALE COMPONENT TO THE WALL, AND PROVIDE A PLEASING MEANS OF DIVIDING THE FACADE INTO VERTICAL ELEMENTS. CRISP DETAILING AND CONSTRUCTION OF CORNERS, CAPS, AND SOLDIER COURSES WILL RESULT IN A SUPERIOR END PRODUCT AS IS APPROPRIATE FOR ITS LOCATION IN THE DISTRICT.

CHAPTER 58 WILLAMETTE FALLS DRIVE COMMERCIAL DESIGN DISTRICT

58.090 STANDARD C.10

BUILDING MATERIALS AND ORIENTATION. WOOD SHALL BE THE PRINCIPAL BUILDING MATERIAL. HORIZONTAL WOOD SIDING IN ONE-INCH BY EIGHT-INCH DIMENSIONS SHALL BE USED FOR SIDING. BRICK AND CERTAIN CONCRETE CONFIGURATIONS ARE PERMITTED ONLY BY A VARIANCE UNDER CDC 58.090.

58.100 VARIANCE PROCEDURES

IN THOSE CIRCUMSTANCES WHERE A DESIGN PROPOSAL CANNOT MEET THE STANDARDS, OR PROPOSES AN ALTERNATIVE TO THE STANDARD, THE HISTORIC REVIEW BOARD MAY GRANT A VARIANCE IN THOSE CASES WHERE ONE OF THE FOLLOWING CRITERIA IS MET:

- A. THE APPLICANT CAN DEMONSTRATE BY REVIEW OF HISTORICAL RECORDS OR PHOTOGRAPHS THAT THE ALTERNATIVE IS CORRECT AND APPROPRIATE TO ARCHITECTURE IN THE REGION, AND ESPECIALLY WEST LINN, IN 1880 – 1915.
- B. THE APPLICANT IS INCORPORATING EXCEPTIONAL 1880 – 1915 ARCHITECTURE INTO THE BUILDING WHICH OVERCOMPENSATES FOR AN OMISSION. THE EMPHASIS IS UPON SUPERIOR DESIGN, DETAIL, OR WORKMANSHIP.



1553 11th STREET

DURABLE CONCRETE BASE



LIL' COOPERSTOWN

BRICK BASE/WAINSCOT



THE CORNER

BRICK COLUMNS

REQUEST FOR VARIANCE FROM HISTORIC REVIEW STANDARDS

February 2016

Class II / Historic Review Submittal

SGA
SG ARCHITECTURE, LLC

WILLAMETTE FALLS

PROFESSIONAL BUILDING

Willamette Falls Drive & 11th Street West Linn, Oregon



P-1 GRAY MIST

Main Building / Window Trim / Cornices
'Benjamin Moore'



P-1a BRUSHED ALUMINUM (alternate color)

Main Building / Window Trim / Cornices
'Benjamin Moore'



P-2 SAGE MOUNTAIN

Main Building / Wood Pilaster Panels
'Benjamin Moore'



P-3 COTTAGE RED

Accent Trim - 'Benjamin Moore'



P-4 BLACK BEAUTY

Fabric & Metal Awnings - 'Pike Awnings'



W-1 STOREFRONT WINDOWS

Painted Wood or Vinyl Clad
'Anderson' / 'Pella' / 'Jeld-Wen'



S-1 SIDING (exterior all sides)

HardiePlank Cement Fiber Siding
'James Hardi' Products



B-1 BRICK Chestnut / Mission Texture

'Mutual Materials'

COLOR/ MATERIAL SCHEDULE

February 2016

Class II / Historic Review Submittal

Main Building Period Lights ("S1" Fixture)



P5615-20

One-light wall lantern has a double shade - opal glass surrounded by oval clear seeded glass. This vintage electric styling has Natural Brass tubing inside the clear seeded glass.

- One-light wall lantern has a double shade - opal glass surrounded by oval clear seeded glass.
- This vintage electric styling has natural brass tubing inside the clear seeded glass.
- This fixture adds warmth and style to your outdoors.

\$122.10

[BUY ONLINE](#) [FIND A DEALER](#)



Overview	Product Specifications
<h3>Features</h3> <p>Product SKU P5615-20</p> <p>Family ? Archives</p> <p>Category Outdoor</p> <p>Description One-light wall lantern has a double shade - opal glass surrounded by oval clear seeded glass. This vintage electric styling has Natural Brass tubing</p>	

Showcase Your Space
Tag Your Photos #progresslitg & Join Our Instagram Feed!

vintage electric styling has natural brass tubing inside the clear seeded glass.

Finish

Antique Bronze

Bulb Type ?

Uses Medium Base

Bulb Wattage ?

100

Bulb Quantity ?

1

Listed ?

Wet location listed

Mount Type ?

Wall

Style ?

Traditional/Casual

Features

- One-light wall lantern has a double shade - opal glass surrounded by oval clear seeded glass.
- This vintage electric styling has natural brass tubing inside the clear seeded glass.
- This fixture adds warmth and style to your outdoors.

Room Type ?

Outdoor Lighting and/or

Dimensions ?

Width/Diameter: 7-7/8"
Height: 15-3/8"



You Might Also Like



P2809-20 \$93.5
ARCHIVES BATH & VANITY



P2809-81 \$93.5
ARCHIVES BATH & VANITY



P5124-20 \$114.4
ARCHIVES PENDANTS

[+ Customer Service](#)

[+ Support](#)

[+ Company Information](#)

[+ Public Relations](#)



All contents Copyright ©2016 Progress Lighting

[Terms of Use](#)



WS4™

4' LED Wet Location Linear Luminaire ("S2" Fixture)

Covered Parking Light

Product Description

The versatile Cree WS Series wet location linear luminaire is suitable for indoor and outdoor applications. Constructed of one-piece molded, durable fiberglass-reinforced polyester and UV-stabilized, impact-resistant diffused acrylic shielding, the Cree WS Series is wet location listed and water-tight sealed for IP65 rating, which provides protection from external elements. The operating temperature range is -25°C - + 35°C (-13°F - + 95°F), allowing for cold to hot weather environment installations.

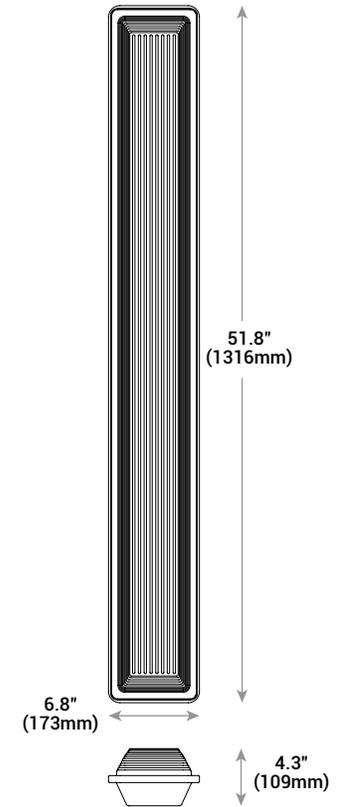
Performance Summary

- Initial Delivered Lumens:** 4700-6300 lumens
- Efficacy:** Up to 98 LPW
- CRI:** Minimum 80 CRI
- CCT:** 3500K, 4000K, 5000K, 5700K
- Input Voltage:** 120-277 VAC
- Limited Warranty*:** 10 years on luminaire
- Dimensions:** L 51.8" (1316mm) x W 6.8" (173mm) x H 4.3" (109mm)
- Weight:** 12 lbs. (5.4kg)
- Mounting:** Ceiling, wall, or suspended
- Dimming:** 0-10V dimming: 10% - 47L and 50L; 15% - 59L and 63L

* See www.cree.com/lighting/products/warranty for warranty terms

Accessories

Field-Installed	
Tamper Proof Kit WS4TPK - Includes 4 tamper proof screws and bit Tamper Proof Kit for Stainless Steel Latches WSSSL4TPK - Includes 4 tamper proof screws and bit	Mounting Bracket Kit WS4MBK - Includes 2 stainless steel surface mount brackets Cable Suspension Kit WS4CSK - Includes 2 stainless steel brackets and 2-5' (1.5m) aircraft cables



Ordering Information

Example: WS4-59L-35K-10V-FD

Product	Initial Delivered Lumens	CCT	Voltage	Control	Color/CRI	Options
WS4	47L 50W, 4700 lumens - 94 LPW 50L 51W, 5000 lumens - 98 LPW 59L 63W, 5900 lumens - 94 LPW 63L 64W, 6300 lumens - 98 LPW	35K 3500K - Available with 47L and 59L Initial Delivered Lumens only 40K 4000K - Available with 47L and 59L Initial Delivered Lumens only 50K 5000K - Available with 50L and 63L Initial Delivered Lumens only 57K 5700K - Available with 50L and 63L Initial Delivered Lumens only	Blank 120-277 Volt	10V 0-10V Dimming	FD CRI 80	SSL Stainless Steel Latches



Rev. Date: V3 06/05/2015



Product Specifications

CREE LED TECHNOLOGY

Cree's total systems approach to product development is a comprehensive engineering philosophy that combines the most advanced LED sources, driver technologies, optics and forms. The result is highly-reliable luminaire solutions for both indoor and outdoor applications that reduce energy use, extend lifetimes, and maximize illumination performance and quality.

CONSTRUCTION & MATERIALS

- Constructed of fiberglass reinforced polyester
- Polycarbonate latches
- Two 3/4" IP entry points are provided (one at each end of the housing) for continuous feed
- Top of housing has six embossments providing mounting flexibility to uneven surfaces

OPTICAL SYSTEM

- Cree LED Technology
- Frosted injection molded acrylic shielding
- Polyurethane gasketing is poured in place, providing a continuous, seamless seal
- Highly reflective reflector plate provides maximum efficiency

ELECTRICAL SYSTEM

- **Power Factor:** = 0.9 nominal
- **Input Power:** Stays constant over life
- **Input Voltage:** 120-277V, 50/60Hz
- **Operating Temperature Range:** -25°C - +35°C (-13°F - +95°F)
- **Total Harmonic Distortion:** < 20%
- **Source Current:** 0.15mA

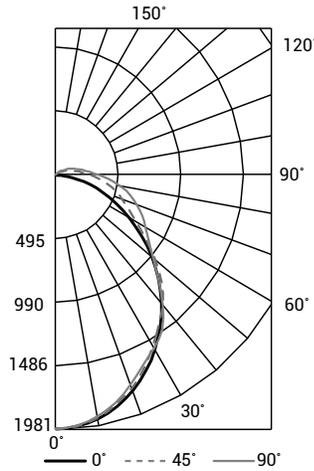
REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- IP65 rated
- DLC qualified for Linear Ambient – Direct category (3500K, 4000K, 5000K color temperatures; all lumen packages). Please refer to www.designlights.org/QPL for most current information
- DLC qualified for Low-Bay category (5700K color temperatures; all lumen packages). Please refer to www.designlights.org/QPL for most current information
- RoHS compliant. Consult factory for additional details

Photometry

WS4-59L-35K-10V-FD BASED ON DTC REPORT TEST #: 38552

Fixture photometry has been conducted by a NVLAP accredited testing laboratory in accordance with IESNA LM-79-08. IESNA LM-79-08 specifies the entire luminaire as the source resulting in a fixture efficiency of 100%



Coefficients Of Utilization				
RCC %:	80			
RW %:	70	50	30	0
RCR: 0	1.18	1.18	1.18	1.18
1	1.06	1.00	.95	.91
2	.96	.87	.79	.73
3	.87	.76	.67	.61
4	.80	.67	.58	.51
5	.73	.60	.51	.44
6	.68	.54	.45	.39
7	.63	.49	.40	.34
8	.59	.45	.36	.31
9	.55	.41	.33	.27
10	.51	.38	.30	.25

Effective Floor Cavity Reflectance: 20%

Average Luminance Table (cd/m ²)			
Vertical Angle	Horizontal Angle		
	0°	45°	90°
45°	1,152	1,163	1,170
55°	831	878	889
65°	530	586	731
75°	278	357	597
85°	86	192	425

Zonal Lumen Summary			
Zone	Lumens	% Lamp	Luminaire
0-30	1,482	N/A	24.9%
0-40	2,387	N/A	40.2%
0-60	4,075	N/A	68.6%
0-90	5,556	N/A	93.5%
0-180	5,941	N/A	100%

Reference www.cree.com/Lighting/Products/Indoor/Surface-Ambient/WS-Series for detailed photometric data

Recommended WS Series Lumen Maintenance Factors (LMF) ¹					
Ambient	Initial LMF	25K hr Projected ² LMF	50K hr Projected ² LMF	75K hr Projected ² LMF	100K hr Projected ² LMF
0°C (32°F)	1.07	1.01	0.93	0.86	0.79
5°C (41°F)	1.06	1.00	0.92	0.85	0.78
10°C (50°F)	1.04	0.98	0.91	0.83	0.77
15°C (59°F)	1.03	0.97	0.89	0.82	0.76
20°C (68°F)	1.01	0.96	0.88	0.81	0.75
25°C (77°F)	1.00	0.94	0.87	0.80	0.73
30°C (86°F)	0.99	0.93	0.85	0.79	0.72
35°C (95°F)	0.97	0.91	0.84	0.77	0.71

¹ Lumen maintenance values at 25°C are calculated per TM-21 based on LM-80 data and in-situ luminaire testing
² In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing ((DUT) i.e. the packaged LED chip)

IG Series

LED Parking Garage Luminaire

Covered Parking Ceiling ("S2" Fixture)

Product Description

Cree innovates again to reset the performance benchmark in parking garage applications with the IG Series featuring WaveMax™ Technology, our innovative optical waveguide platform. Available in 33 watt and 66 watt, two lumen packages are offered to satisfy IESNA RP20-14 Basic and IESNA Security Zone G-1-03 requirements for environments seeking higher light levels for improved safety and security. The streamlined design breaks away from dated traditional designs, blending form and function, to deliver superior low-glare illumination.

Applications: Parking garages

Performance Summary

Utilizes Cree WaveMax™ Technology
Initial Delivered Lumens: 3,910 or 7,500 lumens
Input Power: 33 or 66 watts
Efficacy: Up to 118 LPW
Optic: Type V Short Distribution
Made in the U.S.A. of U.S. and imported parts
CCT: 4000K (+/- 300K), 5700K (+/- 500K)
CRI: Minimum 80 CRI
Limited Warranty*: 10 years on luminaire

* See www.cree.com/lighting/products/warranty for warranty terms

Accessories

Field-Installed
Hand-Held Remote XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required

Ordering Information

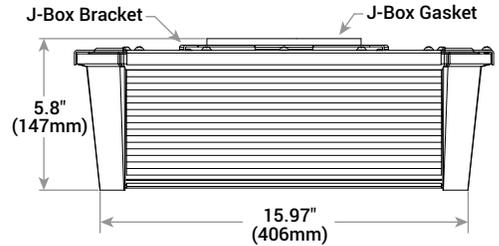
Fully assembled luminaire is composed of two components that must be ordered separately:
Example: **Mount:** IG-JBWH + **Luminaire:** IG-A-NM-5S-A-40K-UL-WH

Mount (Luminaire must be ordered separately)	
IG-	WH
IG-JB Junction Box IG-PD Pendant	Color Options: WH White

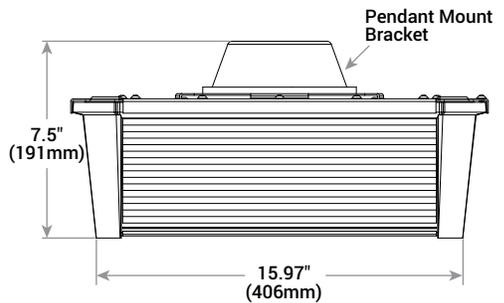
Luminaire (Mount must be ordered separately)							
IG	NM	5S				WH	
Product	Mounting	Optic	Input Power Designator	CCT	Voltage	Color	Options
IG	NM No Mount	5S Type V Short	A 33W, 3,910 lumens - 118 LPW J 66W, 7,500 lumens - 114 LPW	40K 4000K 57K 5700K	UL 120-277V 34 347V	WH White	PML Programmable Multi-Level - Refer to PML spec sheet for details



JB Mount



PD Mount



Weight

10 lbs. (4.5kg)



Product Specifications

CREE WAVEMAX™ TECHNOLOGY

Featuring up to 90% optical efficiency and precise control, Cree WaveMax™ Technology provides unmatched comfort and decreased LED source luminance by smoothly spreading brightness over a broader area. When integrated with luminous surfaces made of a polymer medium engineered with DiamondFacet™ optical elements, extremely high efficacy luminaires are the result – ultimately creating more visually comfortable and appealing environments while exceeding illumination performance.

CONSTRUCTION & MATERIALS

- Impact resistant white polycarbonate housing and acrylic lenses
- Corrosion resistant anodized aluminum top plate
- Low profile, lightweight design provides ease of installation
- Standard luminaire can mount to both pendant or J-box (specify mount in ordering table above)
- J-Box mounting bracket mounts directly over existing 4" (102mm) square, rectangular or octagonal junction boxes only
- Pendant mount includes 6" (152mm) wires out of luminaire and provides a splice location for mounting to 3/4" IP pendant (by others)
- **Weight:** 10 lbs. (4.5kg)

OPTICAL SYSTEM

- WaveMax™ Technology that improves optical control, optical efficiency, energy efficiency and the overall visual experience
- Acrylic Lenses with DiamondFacet™ Microlenses
- Unmatched low-glare comfort and decreased LED source luminance by smoothly spreading brightness over the optical lenses
- 6% Uplight

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- **Input Power:** Stays constant over life
- **Operating Temperature Range:** -40°C - + 40°C (-40°F - + 104°F)
- Integral 6kV surge suppression protection standard
- To address inrush current, slow blow fuse or type C/D breaker should be used

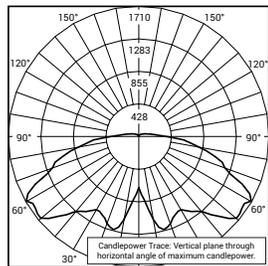
REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Suitable for operation in ambient not exceeding 40°C (104°F)
- Enclosure rated IP66 per IEC 60529
- 6kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A standards for conducted and radiated emissions
- Meets Buy American requirements within ARRA
- DLC qualified. Please refer to www.designlights.org/QPL for most current information

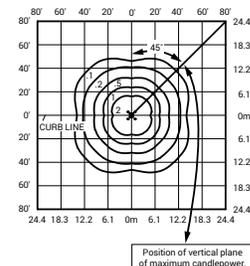
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: www.cree.com/Lighting/Products/Outdoor/Parking-Structure/IG-Series

5S



RESTL Test Report #: PL06962-001B
IG-**-5S-J-40K-UL
Initial Delivered Lumens: 7,276



IG-**-5S-J-40K-UL
Mounting Height: 15' (4.6m) A.F.G.
Initial Delivered Lumens: 7,500
Initial FC at grade

Electrical Data*							
Input Power Designator	System Watts 120-277V	System Watts 347V	Total Current				
			120V	208V	240V	277V	347V
A	33	35	0.29	0.17	0.15	0.13	0.11
J	66	69	0.57	0.33	0.28	0.25	0.20

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-347V +/-10%

Recommended IG Series Lumen Maintenance Factors (LMF) ¹						
Ambient	Input Power Designator	Initial LMF	25K hr Projected ² LMF	50K hr Projected ² LMF	75K hr Projected ² LMF	100K hr Calculated ³ LMF
5°C (41°F)	A	1.04	1.00	0.97	0.94	0.91
	J	1.04	0.99	0.95	0.91	0.88
10°C (50°F)	A	1.03	0.99	0.96	0.93	0.91
	J	1.03	0.98	0.94	0.90	0.87
15°C (59°F)	A	1.02	0.98	0.95	0.92	0.90
	J	1.02	0.97	0.93	0.89	0.86
20°C (68°F)	A	1.01	0.97	0.94	0.91	0.89
	J	1.01	0.96	0.92	0.88	0.85
25°C (77°F)	A	1.00	0.96	0.93	0.90	0.88
	J	1.00	0.95	0.91	0.87	0.84
30°C (86°F)	A	0.99	0.95	0.92	0.89	0.87
	J	0.99	0.94	0.90	0.86	0.83
35°C (95°F)	A	0.98	0.94	0.91	0.88	0.86
	J	0.98	0.93	0.89	0.85	0.82
40°C (104°F)	A	0.97	0.93	0.90	0.87	0.85
	J	0.97	0.92	0.88	0.84	0.81

¹ Lumen maintenance values at 25°C (77°F) are calculated per TM-21 based on LM-80 data and in-situ luminaire testing
² In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED chip
³ In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED chip

Type V Short Distribution				
Input Power Designator	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
A	3,910	B2 U3 G2	3,910	B2 U3 G2
J	7,500	B3 U3 G2	7,500	B3 U3 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES Bug (Backlight-Uplight-Glare) Rating visit: www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf



BULKHEADS

Wall or ceiling mount • Wet location listed



Specifications:

Description:

LED General purpose luminaire comprised of a die-cast aluminum frame and polycarbonate diffuser. Fixtures are impact resistant and can be mounted on wall or ceiling. 120V AC replaceable LED module, 1,211 lumens, 3000K color temperature and 90+ CRI.

Construction:

- Black (-31) (powdercoat)
- Aluminum construction Frosted polycarbonate diffuser
- LED Module is replaceable (part # 93053641)
- Flicker-free dimming to 10% brightness with most ELV type dimmers (See Dimming Notes)
- Title 24 compliant
- Unit covers a standard 4" hexagonal recessed outlet box
- Mounting strap for outlet box included
- Six inches of wire supplied

Performance:

Number of Modules	1
Input Power	17W
Input Voltage	120V
Input Frequency	60Hz
Lumens/LPW	1211/71.2 (LM-79) per module
CCT	3000K
CRI	90
Life	60,000 (L70/TM-21)
EMI/RFI	FCC Title 47, Part 15, Class B
Min. Start Temp	-30° C
Max. Operating Temp	30° C
Warranty	5 year warranty
Labels	cCSAus Wet location listed

P3650-3130K9

Images:



Dimensions:

Diameter: 9-1/2"
Height: 4-1/2"
H/CTR: 4-3/4"

Catalog number:

Base	Finish	Color Temp	CRI
P3650	31 - Black	30K - 3000K	9 - 90 CRI

P3650-3130K9

Dimming Notes:

P3650 is designed to be compatible with many Electronic Low Voltage (ELV-Reverse Phase) controls.

The following is a partial list of known compatible dimmer controls:

Electronic Low Voltage ELV Reverse Phase Controls

Lutron	Diva Series	(Part Number DVELV-300P)
Lutron	Nova T Series	(Part Number NTELV-300)
Lutron	Vierti Series	(Part Number VTELV-600)
Lutron		(Part Number MAELV-600)
Lutron		(Part Number SPELV-600)
Leviton		(Part Number AWRMG-EAW)
Leviton		(Part Number 6615-P)

Digital type dimmers are not recommended.

Dimming capabilities will vary depending on the dimmer control, load, and circuit installation.

Always refer to dimmer manufacturer instructions or a controls specialist for specific requirements.

Dimmer control brand names where identified above are trade names or registered trademarks of each respective company.



WILLAMETTE FALLS

MIXED-USE BUILDING
WILLAMETTE FALLS DR. & 11TH ST.
WEST LINN, OREGON

ICON CONSTRUCTION & DEVELOPMENT

1980 WILLAMETTE FALLS DR., SUITE 200
WEST LINN, OREGON 97068

WILLAMETTE FALLS PROFESSIONAL MIXED-USE BUILDING
1969 WILLAMETTE FALLS DRIVE, WEST LINN

SITE ANALYSIS

PROJECT DESCRIPTION
A TWO STORY MIXED USE BUILDING AT THE CORNER OF WILLAMETTE FALLS DRIVE AND 11TH STREET, WEST LINN, OR. POSSIBLE USES INCLUDE RETAIL, RESTAURANT, OFFICE, OR HOTEL.

CODES
2014 OREGON STRUCTURAL SPECIALTY CODE
2014 OREGON MECHANICAL SPECIALTY CODE
2014 OREGON PLUMBING SPECIALTY CODE
2014 OREGON ENERGY EFFICIENCY SPECIALTY CODE COVER

ZONING
JURISDICTION: CITY OF WEST LINN
CODE: COMMUNITY DEVELOPMENT CODE
ZONE: GC (GENERAL COMMERCIAL - CDC CHAPTER 19)
ZONE OVERLAYS: WILLAMETTE COMMERCIAL HISTORIC OVERLAY ZONE

UTILITIES
WATER/SEWER: WEST LINN PUBLIC WORKS - 503-656-6081 (OPERATIONS)
TRASH: WEST LINN REFUSE - 503-557-3900
ELECTRIC: PORTLAND GENERAL ELECTRIC - 800-542-8818
GAS: NW NATURAL - 800-422-4012

LEGAL DESCRIPTION
LOTS 1,2, & 3, BLOCK 10, CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON
TAX LOT: 31EQ2BA04100 / PARCEL: 00749168

RESTRICTIONS/EASEMENTS
NONE

ADJACENT ZONES
MU (NORTH & EAST), R-5 MEDIUM DENSITY RESIDENTIAL (SOUTH), GC (WEST)

PERMITTED USES (19.030, ANTICIPATED USES)
BUSINESS USES, RESTAURANT, RETAIL, HOTEL, PROFESSIONAL/MEDICAL SERVICES.

DIMENSIONAL REQUIREMENTS (19.070)
MINIMUM FRONT LOT LINE WIDTH: 35' REQ. / 150' PROPOSED
AVERAGE MINIMUM FRONT LOT LINE WIDTH: 50' REQ. / 150' PROPOSED
AVERAGE MINIMUM LOT DEPTH: 90' REQ. / 100' PROPOSED
BUILDING HEIGHT (CDC): 2 STORIES/35' MAX. / 2 STORIES/35' PROPOSED
GROUND LEVEL MINIMUM HEIGHT: 10' REQ. / 28' PROPOSED
SETBACKS: FRONT - 0' MIN. / 0' MAX., SIDE - 0' MIN. / 0' MAX., REAR 20' MIN. / 20' MAX.
LOT COVERAGE: 100% MAX.

SITE LANDSCAPING
NONE REQUIRED.

CODE REVIEW

POSSIBLE OCCUPANCY GROUPS
A-2: RESTAURANT
B: BUSINESS
M: RETAIL
R-1: HOTEL
S-2: PARKING GARAGE

CONSTRUCTION TYPE
PROPOSED CONSTRUCTION TYPE - GROUND & SECOND FLOORS:
V-B SPRINKLERED (WOOD FRAME CONSTRUCTION).
PROJECTED CONSTRUCTION TYPE - GARAGE:
TYPE 1 OR 2 (CONCRETE OR MASONRY CONSTRUCTION).

ALLOWABLE AREAS BY OCCUPANCY GROUP
(INCLUDES INCREASES FOR SPRINKLER AND SEPARATIONS)*:
A-2: RESTAURANT - 6000 + [6000 X 2 (SPRINKLER)] + [6000 X .17 (SEPARATION)] = 19,020 S.F.
B: BUSINESS - 9000 + [9000 X 2 (SPRINKLER)] + [9000 X .17 (SEPARATION)] = 28,530 S.F.
M: RETAIL - 9000 + [9000 X 2 (SPRINKLER)] + [9000 X .17 (SEPARATION)] = 28,530 S.F.
R-1: HOTEL - 7000 + [7000 X 2 (SPRINKLER)] + [7000 X .17 (SEPARATION)] = 22,190S.F.
S-2: GARAGE - 13,500 + [13,500 X 2 (SPRINKLER)] + [13,500 X .17 (SEPARATION)] = 42,795 S.F.
*SUBJECT TO THE 'SUM OF THE RATIOS' LIMITATION: THE COMBINED AREAS OF EACH OCCUPANCY DIVIDED BY THE OVERALL BUILDING AREA MUST RESULT IN A RATIO OF LESS THAN 1.0.

ALLOWABLE BUILDING HEIGHT ABOVE GRADE
BY CONSTRUCTION TYPE: 40'
BY ZONE: 35' (THE HEIGHT LIMITATION IN THE ZONE GOVERNS)

OCCUPANCY SEPARATIONS (VERTICAL AND HORIZONTAL)
A-2: RESTAURANT / B: BUSINESS, M: RETAIL, OR R-1: HOTEL = 1-HOUR
R-1: HOTEL / B: BUSINESS, M: RETAIL, OR A-2: RESTAURANT = 1-HOUR
S-2: GARAGE / B: BUSINESS & M: RETAIL = 1-HOUR

FIRE RESISTIVE REQUIREMENTS
PRIMARY STRUCTURAL FRAME: NONE
BEARING & NON-BEARING WALLS (EXTERIOR, NORTH/EAST/SOUTH): NONE
BEARING & NON-BEARING WALLS (EXTERIOR, WEST):
2 HOUR AT GROUND FLOOR RETAIL / 1 HOUR AT 2ND FLOOR
BEARING & NON-BEARING WALLS (INTERIOR): NONE
FLOOR & ROOF CONSTRUCTION: NONE
SHAFT ENCLOSURES (STAIRS & ELEVATOR): 1-HOUR
PARAPETS: PER OSSC SECTION 705.11

OPENINGS IN RATED WALLS (BASED UPON SEPARATION FROM PROPERTY LINE)
0' TO LESS THAN 3': NOT PERMITTED
3' TO LESS THAN 5': 15% OF WALL AREA PER STORY
5' TO LESS THAN 10': 25% OF WALL AREA PER STORY
10' TO LESS THAN 15': 45% OF WALL AREA PER STORY
15' TO LESS THAN 20': 75% OF WALL AREA PER STORY
20'+: UNLIMITED

EXITING
ELEVATOR: REQUIRED
STAIRS: TWO STAIRS WILL BE REQUIRED. AT LEAST ONE STAIR MUST BE ENCLOSED ON THE UPPER FLOORS, BOTH MUST BE ENCLOSED AT THE GARAGE LEVEL.
ALL REQUIRED EXITS MUST MEET ACCESSIBILITY STANDARDS PER CHAPTERS 10 & 11.

DIRECTORY

OWNER
ICON CONSTRUCTION & DEVELOPMENT
1980 WILLAMETTE FALLS DRIVE, Suite 200
WEST LINN, OREGON 97068
CONTACT: MARK HANDRIS, 503-657-0406, mark@iconconstruction.net
DARREN GUSDORF, 503-657-0406, darren@iconconstruction.net

ARCHITECT
SG ARCHITECTURE, LLC.
10940 SW BARNES RD. #364
PORTLAND, OREGON 97225
CONTACT: SCOT SUTTON, 503-347-4685, ssutton@sg-arch.net
KEVIN GODWIN, 503-201-0725, kgodwin@sg-arch.net

CIVIL
THETA, LLC
PO BOX 1345
WEST LINN, OREGON 97035
CONTACT: BRUCE GOLDSOHN, 503-481-8822, theaeng@comcast.net

SURVEYING
CENTERLINE CONCEPTS LAND SURVEYING, INC.
729 MOLLALLA AVE, SUITE 1 & 2
OREGON CITY, OREGON 97045
503-650-0188

BUILDING DATA:

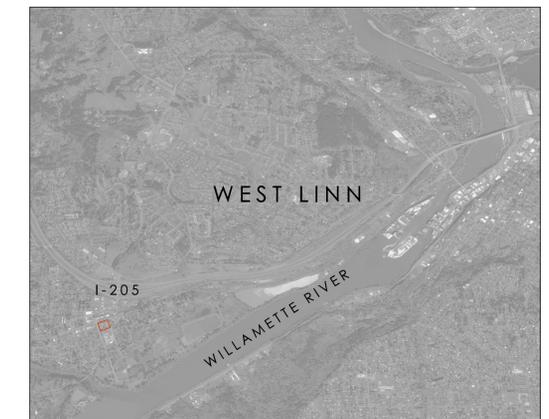
1ST FLOOR LEVEL (STREET LEVEL)	9,950 SF
2ND LEVEL FLOOR	14,560 SF
TOTAL BUILDING AREA	24,510 SF (LEASABLE)
GARAGE LEVEL	14,415 SF
BUILDING TOTAL AREA	38,925 SF

TOTAL PARKING PROVIDE (ON-SITE)	
UNDERGROUND	29 SPACES
STREET LEVEL COVERED	13 SPACES
TOTAL PARKING PROVIDED	42 SPACES

SHEET INDEX

ARCHITECTURAL	
A0.0	COVERSHEET, CODE PLANS
EX	EXISTING CONDITION PLAN (SURVEY)
A2.0	BASEMENT PARKING LEVEL PLAN
A2.1	GROUND FLOOR PLAN (STREET LEVEL)
A2.2a	SECOND FLOOR PLAN - OFFICE LAYOUT
A2.2b	SECOND FLOOR PLAN - HOTEL LAYOUT
A3.1	EXTERIOR ELEVATIONS (COLOR)
	LIGHTING PLAN - PHOTOMETRIC

VICINITY MAP



CLASS II & HISTORIC DESIGN REVIEW SUBMITTAL DRAWINGS

PROJECT NUMBER: 15-104
ISSUE DATE: FEBRUARY, 2016
DRAWN BY:

REVISIONS:
Class II Application Re-Submit per City Letter Dated 3-9-2016



COVER SHEET AND GENERAL NOTES

SHEET NUMBER:

A0.0

WILLAMETTE FALLS

MIXED-USE BUILDING
WILLAMETTE FALLS DR. & 11TH ST.,
WEST LINN, OREGON

**ICON CONSTRUCTION &
DEVELOPMENT**

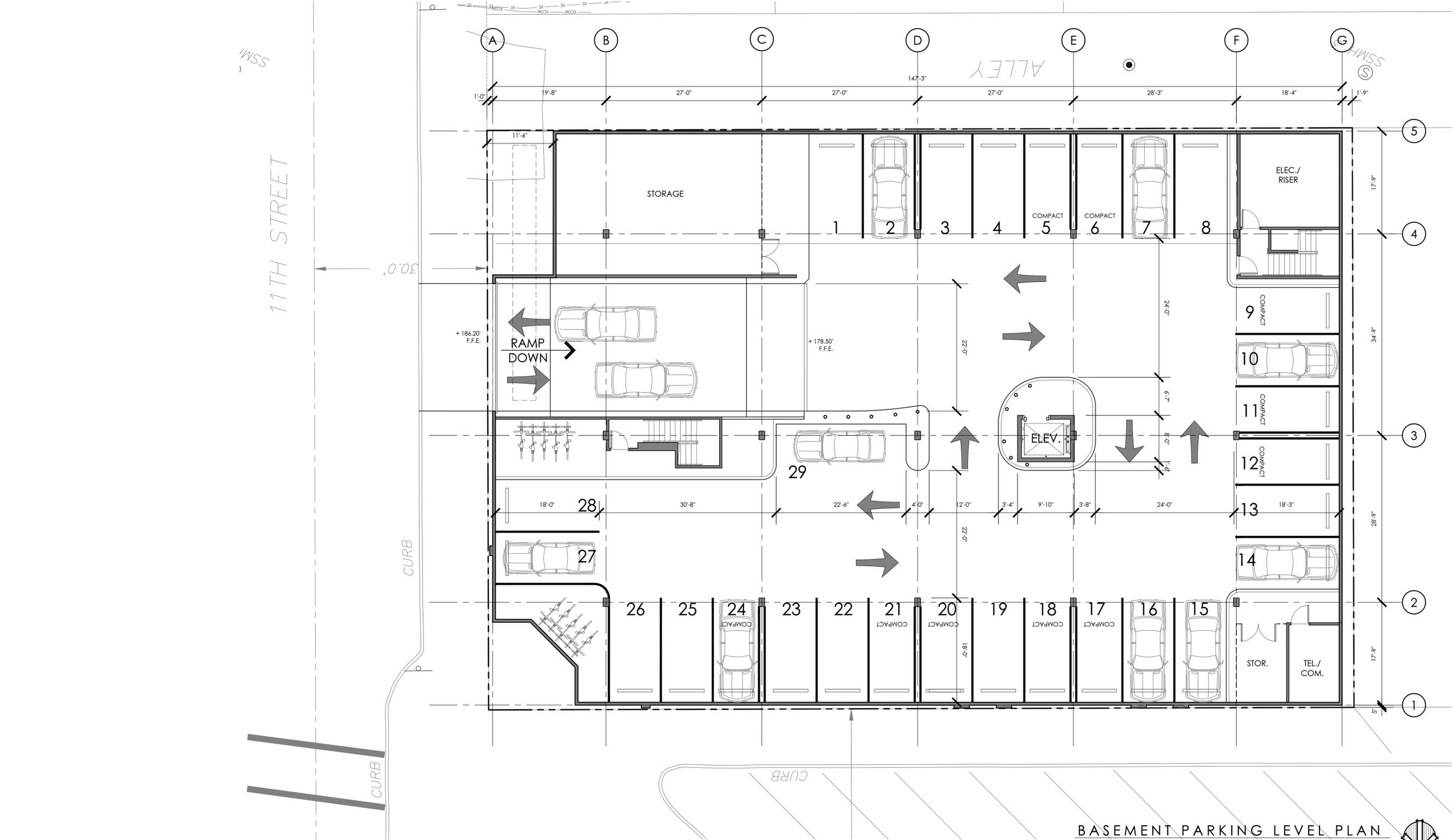
1980 WILLAMETTE FALLS DR., SUITE 200
WEST LINN, OREGON 97068

**CLASS II & HISTORIC
DESIGN REVIEW
SUBMITTAL DRAWINGS**

PROJECT NUMBER: 15-104
ISSUE DATE: FEBRUARY, 2016
DRAWN BY:

REVISIONS:

SHEET NUMBER:



BASEMENT PARKING LEVEL PLAN



11TH STREET

ALLEY

CURB

CURB

WILLAMETTE FALLS

MIXED-USE BUILDING
WILLAMETTE FALLS DR. & 11TH ST.,
WEST LINN, OREGON

ICON CONSTRUCTION & DEVELOPMENT

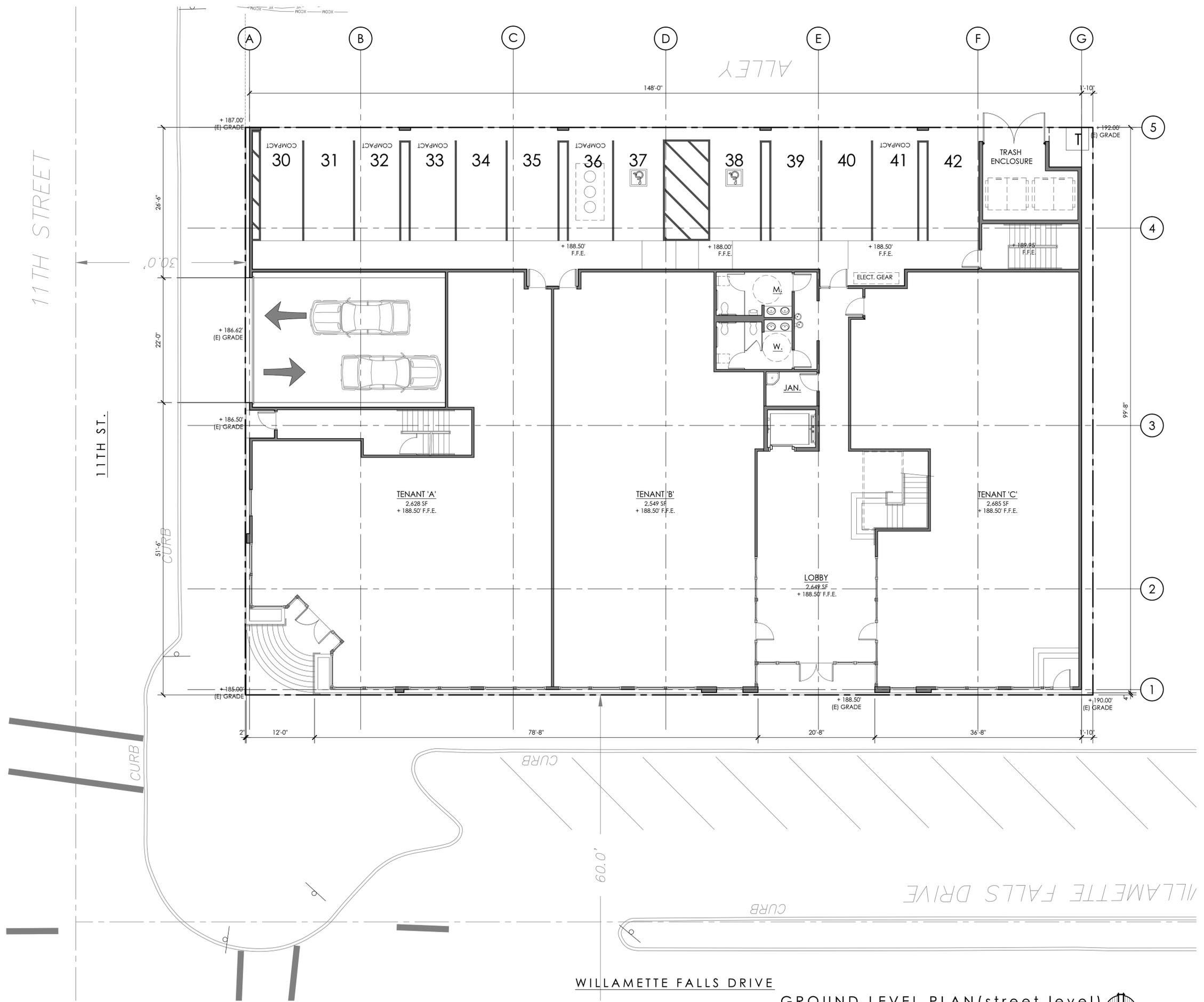
1980 WILLAMETTE FALLS DR., SUITE 200
WEST LINN, OREGON 97068

**CLASS II & HISTORIC
DESIGN REVIEW
SUBMITTAL DRAWINGS**

PROJECT NUMBER: 15-104
ISSUE DATE: FEBRUARY, 2016
DRAWN BY:

REVISIONS:

SHEET NUMBER:



GROUND LEVEL PLAN (street level)

**WILLAMETTE
FALLS**

MIXED-USE BUILDING
WILLAMETTE FALLS DR. & 11th ST.
WEST LINN, OREGON

ICON CONSTRUCTION &
DEVELOPMENT

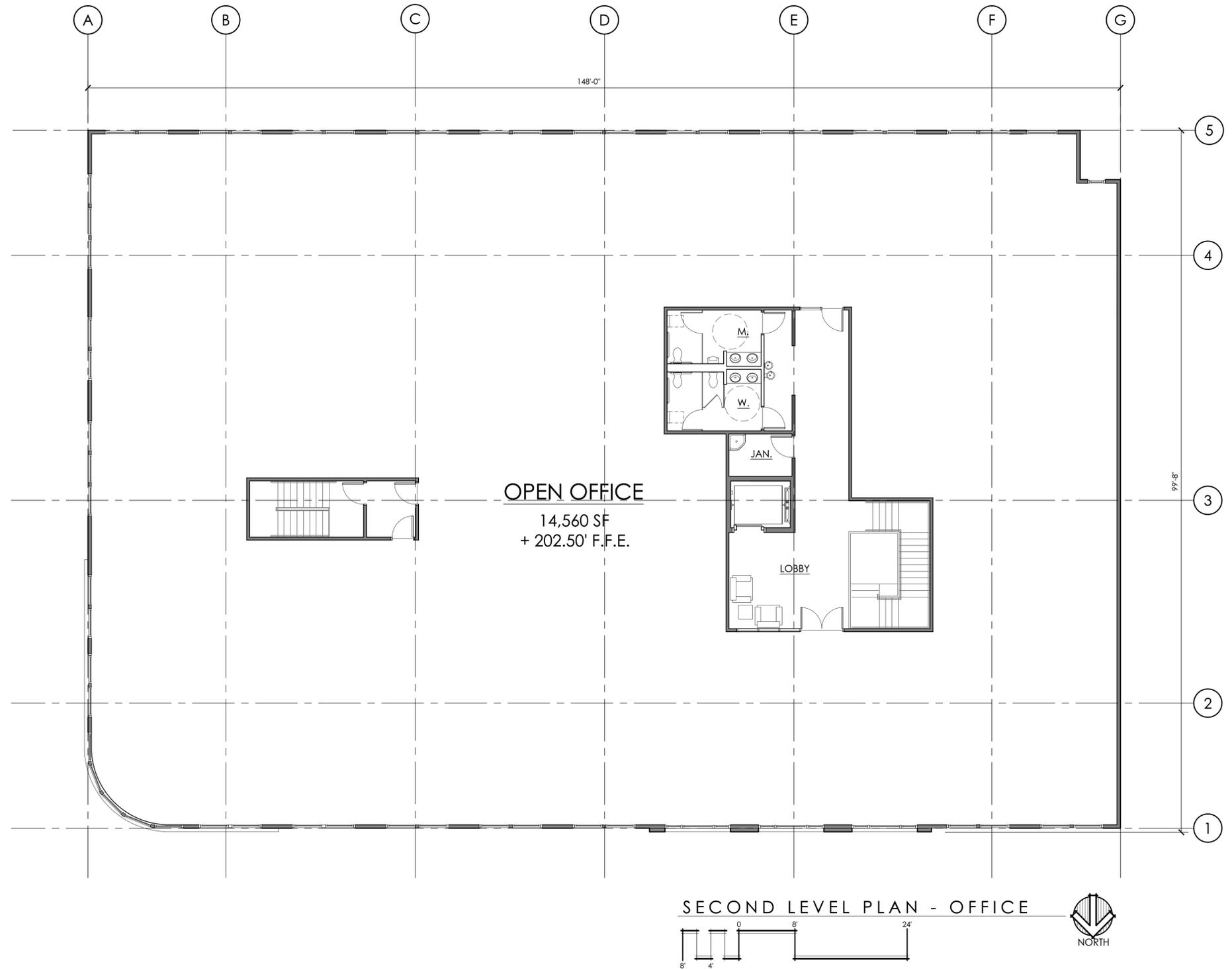
1980 WILLAMETTE FALLS DR., SUITE 200
WEST LINN, OREGON 97068

**CLASS II & HISTORIC
DESIGN REVIEW
SUBMITTAL DRAWINGS**

PROJECT NUMBER: 15-104
ISSUE DATE: FEBRUARY, 2016
DRAWN BY:

REVISIONS:

SHEET NUMBER:



**WILLAMETTE
FALLS**

MIXED-USE BUILDING
WILLAMETTE FALLS DR. & 11th ST.,
WEST LINN, OREGON

ICON CONSTRUCTION &
DEVELOPMENT

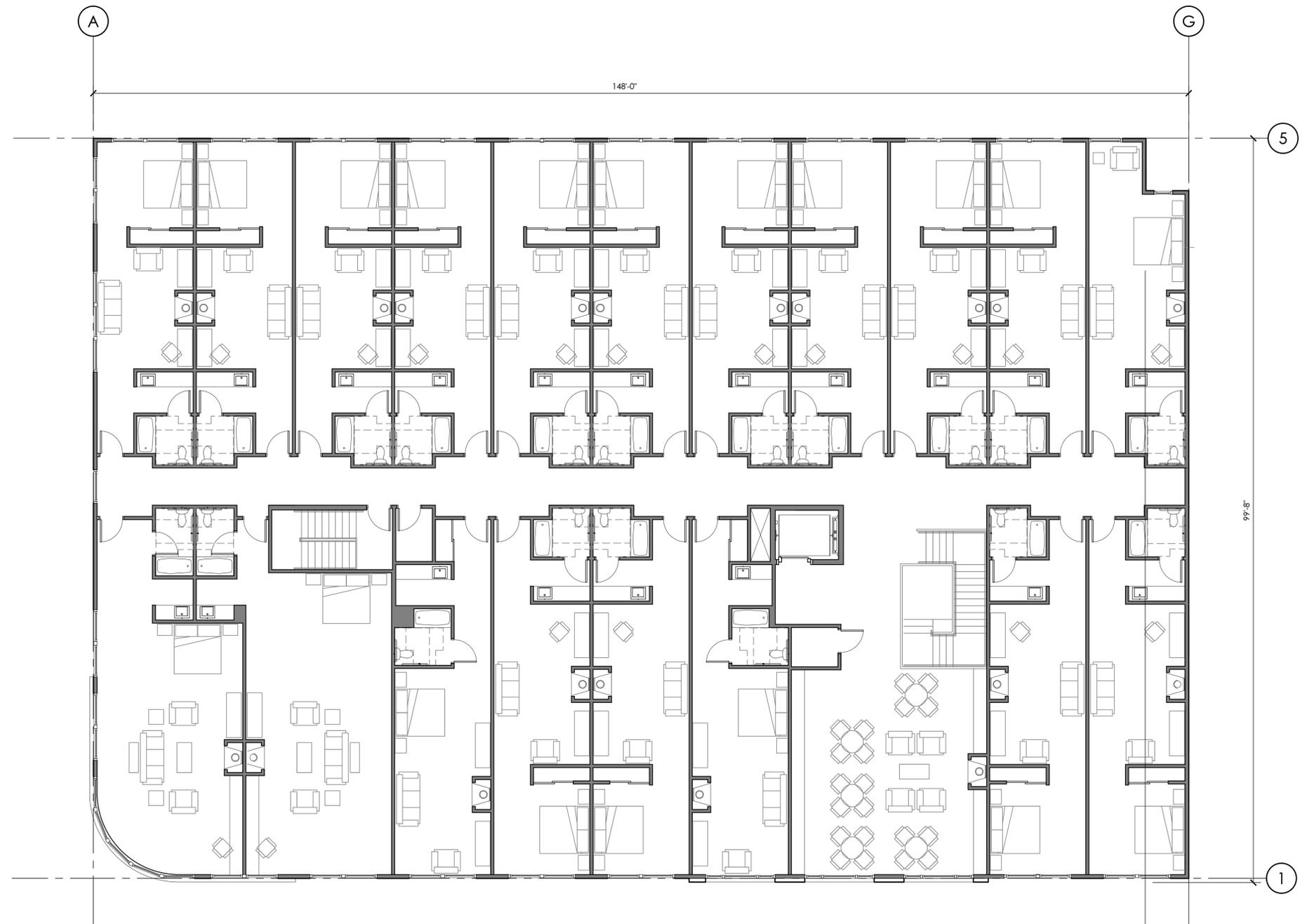
1980 WILLAMETTE FALLS DR., SUITE 200
WEST LINN, OREGON 97068

CLASS II & HISTORIC
DESIGN REVIEW
SUBMITTAL DRAWINGS

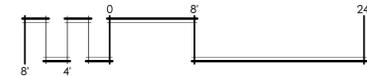
PROJECT NUMBER: 15-104
ISSUE DATE: FEBRUARY, 2016
DRAWN BY:

REVISIONS:

SHEET NUMBER:



SECOND LEVEL PLAN - HOTEL





COLOR / MATERIAL SCHEDULE

- P-1 GRAY MIST**
Main Building / Window Trim / Cornices
'Benjamin Moore'
- P-1a BRUSHED ALUMINUM (alternate color)**
Main Building / Window Trim / Cornices
'Benjamin Moore'
- P-2 SAGE MOUNTAIN**
Main Building / Wood Pilaster Panels
'Benjamin Moore'
- P-3 COTTAGE RED**
Accent Trim - 'Benjamin Moore'
- P-4 BLACK BEAUTY**
Fabric & Metal Awnings - 'Pike Awnings'
- W-1 STOREFRONT WINDOWS**
Painted Wood or Vinyl Clad
'Anderson' / 'Pella' / 'Jeld-Wen'
- S-1 SIDING (exterior all sides)**
HardiePlank Cement Fiber Siding
'James Hardi' Products
- B-1 BRICK Chestnut / Mission Texture**
'Mutual Materials'



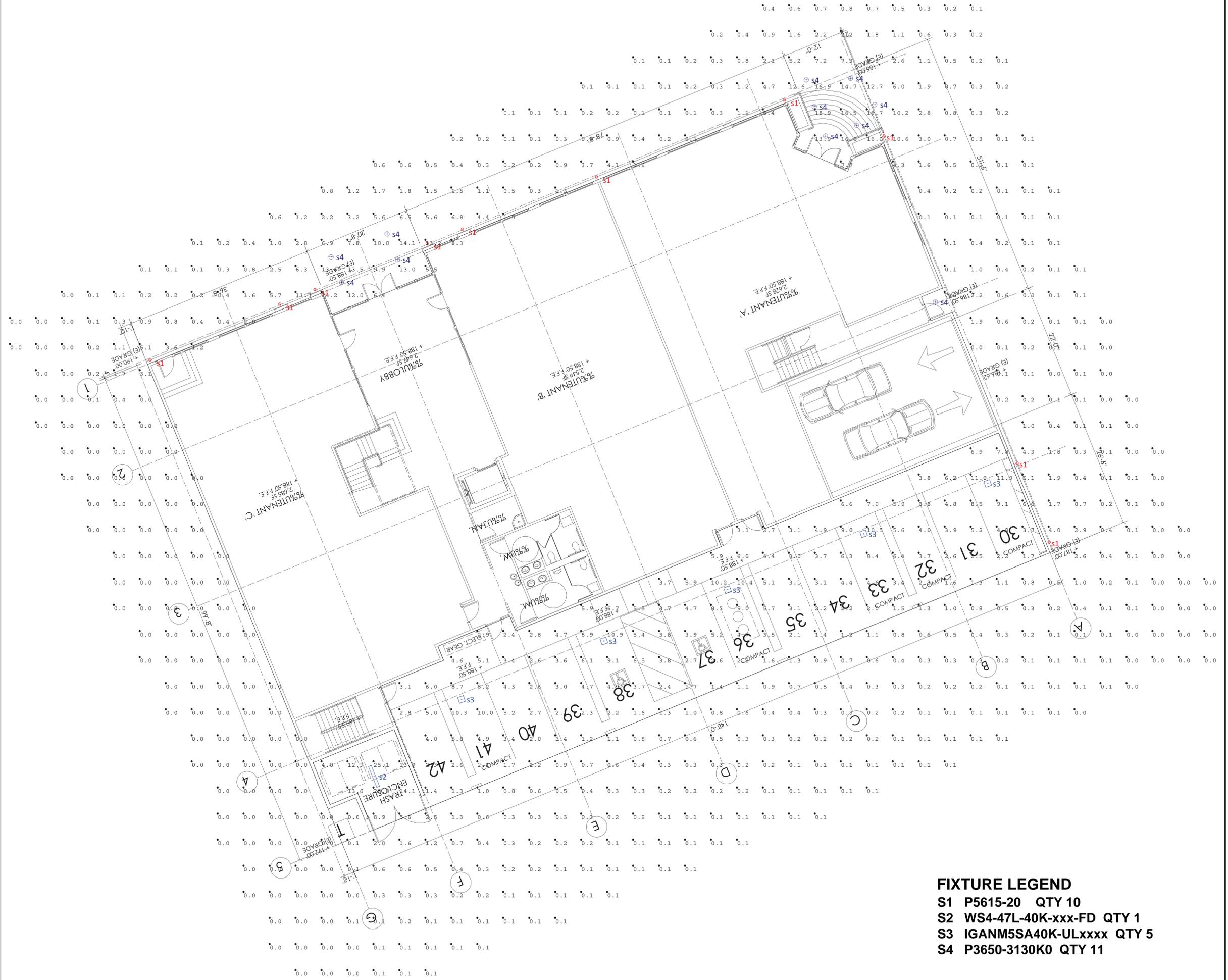
EAST ELEVATION



SOUTH ELEVATION

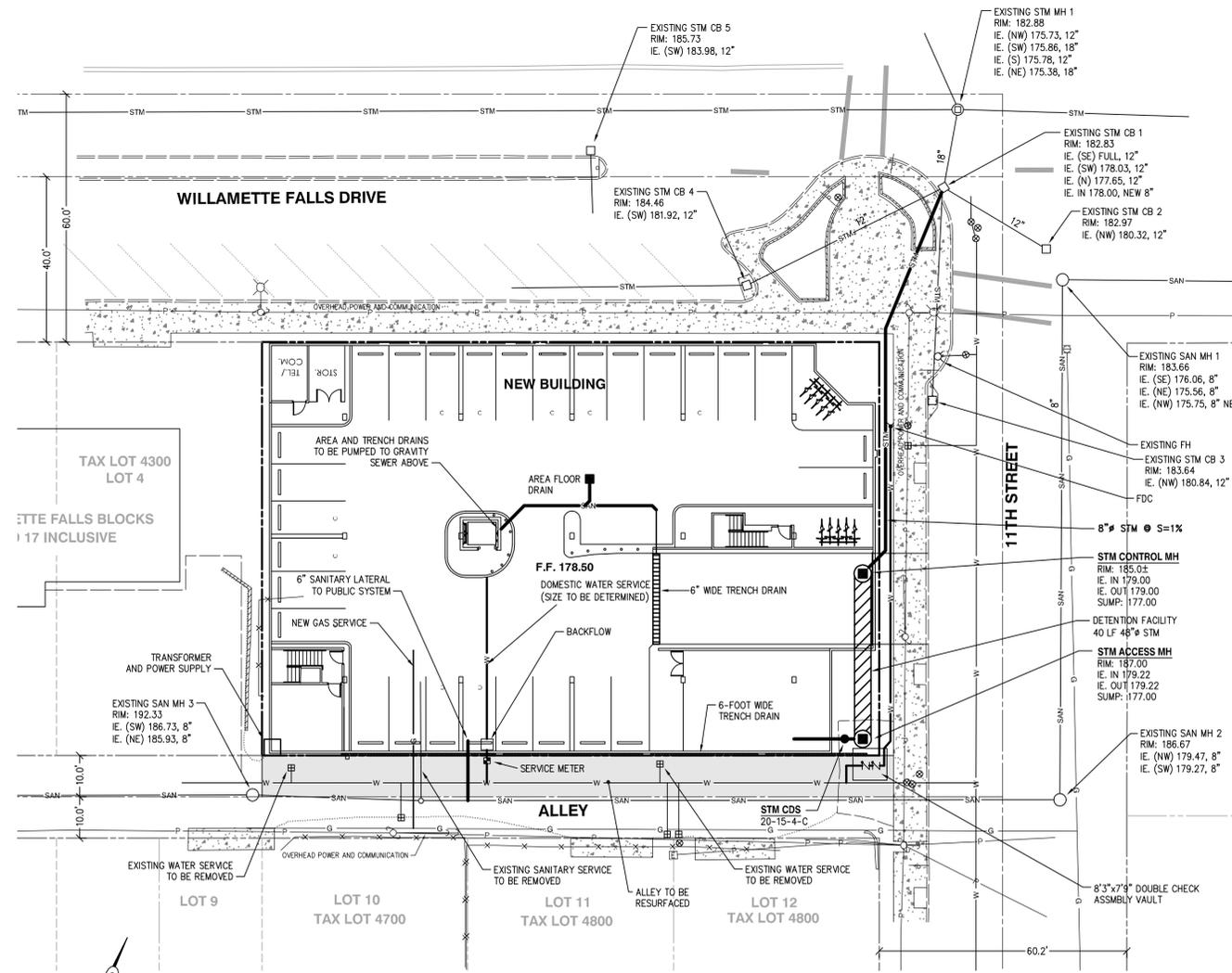
#	Date	Comments
1		Notes Regarding Deliverable

Drawn By: ANDREW KIDD
 The Lighting Project / www.tlpnw.com
 Date: 3/22/2016

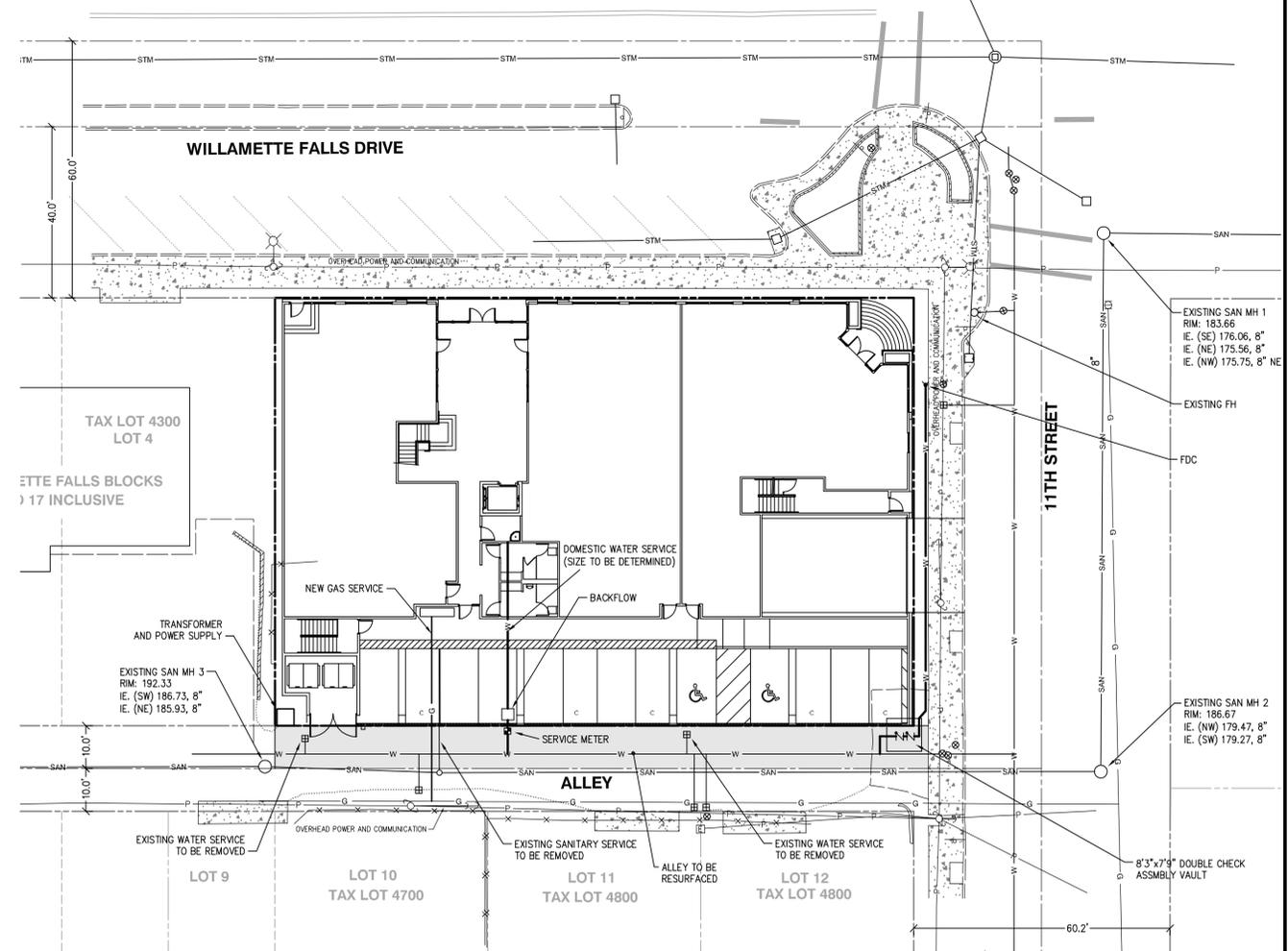
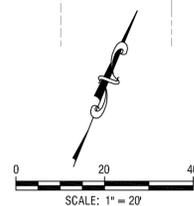


FIXTURE LEGEND

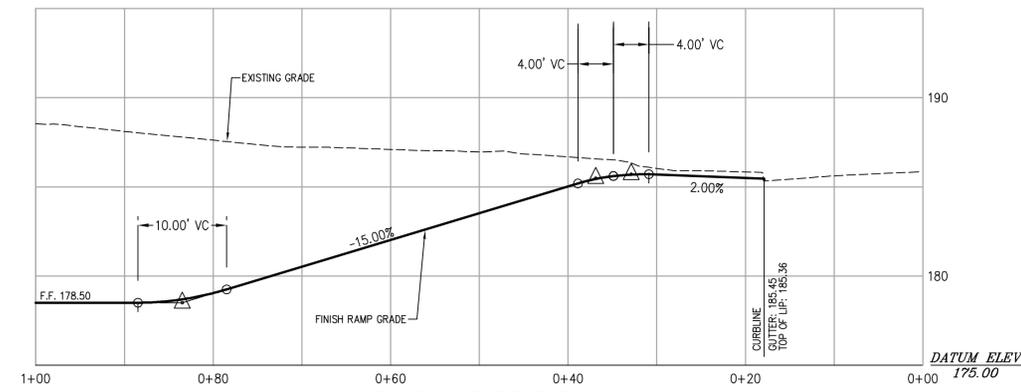
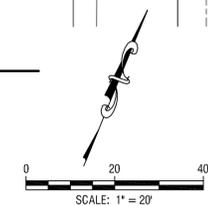
S1	P5615-20	QTY 10
S2	WS4-47L-40K-xxx-FD	QTY 1
S3	IGANM5SA40K-ULxxxx	QTY 5
S4	P3650-3130K0	QTY 11



GARAGE LEVEL
SCALE: 1" = 20'



LOBBY LEVEL
SCALE: 1" = 20'



GARAGE RAMP PROFILE
1" = 10' HORIZONTAL
SCALE: 1" = 5' VERTICAL

1
3



EXPIRES: 06/30/2017
SIGNATURE DATE: 03/24/2016

2015-129I				
DESIGNED:	BDG			
DRAWN:	BJS			
SCALE:	1" = 20'			
DATE:	January, 2016	03/24/2016	1	REVISED PER WEST LINN LETTER, MARCH 9TH, 2016
FILE:	Willamette Design Review1	DATE	NO.	REVISION

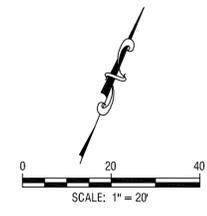
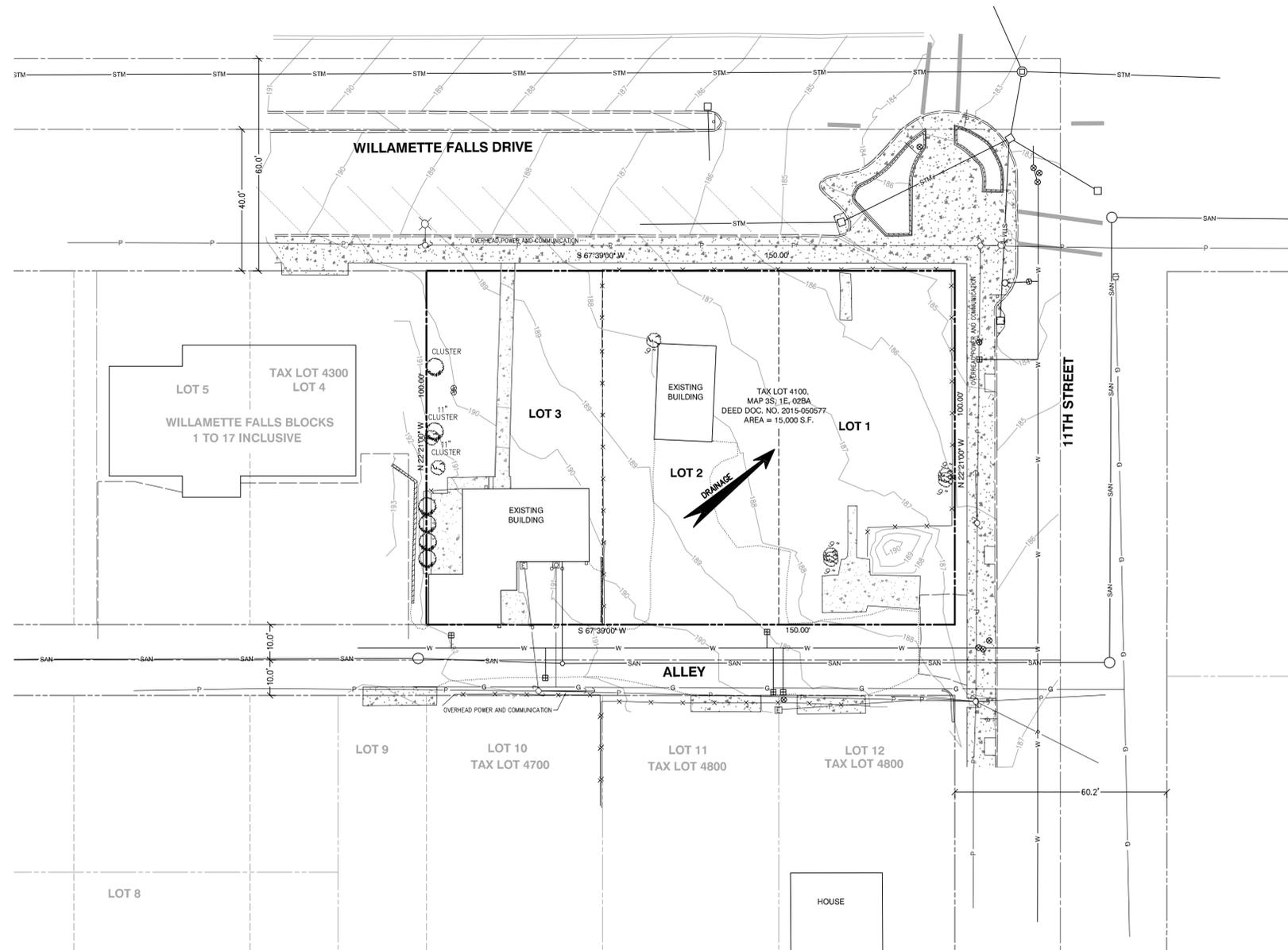
Theta, llc
ENGINEERING - SURVEYING - PLANNING
PO Box 1345
Lake Oswego, Oregon 97035
503/481-8822
email: thetaeng@comcast.net

Icon Construction & Development, LLC
1980 Willamette Falls Drive, Suite 200
West Linn, Oregon 97068
PH: (503) 657-0406

DESIGN REVIEW - SITE AND UTILITY PLAN

Tax Lot 4100
T.3S., R.1E., Section 2
West Linn, Oregon

SHEET:
3/4



RESOURCE AREAS:

- A NO WETLAND PRESENT
- B NOT IN RIPARIAN CORRIDOR
- C NO STREAMS OR INTERMITTENT WATER WAYS
- D NO HABITAT CONSERVATION AREA
- E NO ROCK OUTCROPPINGS

NATURAL HAZARD AREAS:

- A NOT IN FLOOD PLAIN
- B NOT IN WATER RESOURCE AREAS
- C NOT IN LANDSLIDE AREA
- D NOT IN LANDSLIDE VULNERABLE ANALYSIS AREA

GROSS AREA = 15,000 SQ.FT.

SLOPE ANALYSIS

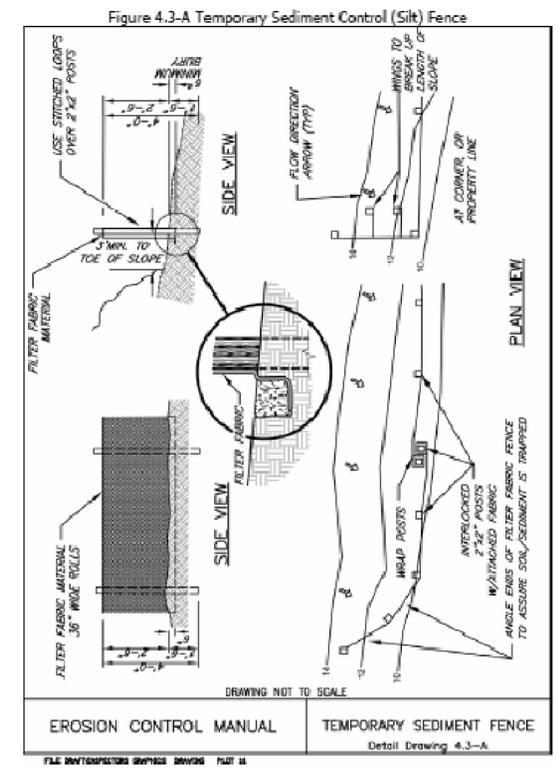
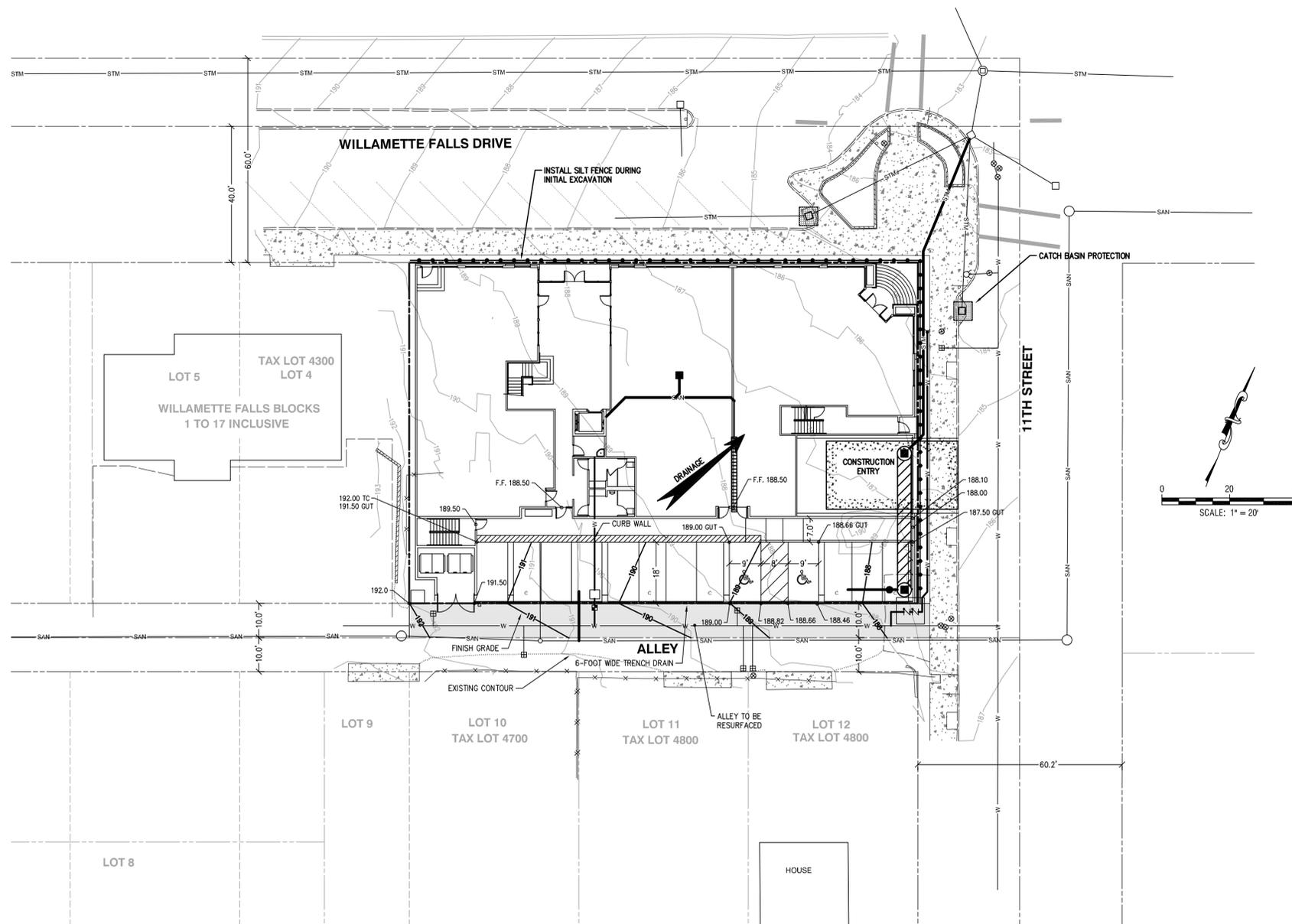
- TYPE I: (UNDER 15%) = 15,000 SQ.FT.
- TYPE II: (15% TO 25%) = 0.00 SQ.FT.
- TYPE III: (25% TO 35%) = 0.00 SQ.FT.
- TYPE IV: (OVER 35%) = 0.00 SQ.FT.



EXPIRES: 06/30/2017
SIGNATURE DATE: 03/24/2016

DESIGN REVIEW - SITE ANALYSIS

<p>2015-129I</p>						<p>Icon Construction & Development, LLC 1980 Willamette Falls Drive, Suite 200 West Linn, Oregon 97068 PH: (503) 657-0406</p>		<p>Tax Lot 4100 T.3S., R.1E., Section 2 West Linn, Oregon</p>		<p>SHEET: 2/4</p>
DESIGNED:	BDG			ENGINEERING - SURVEYING - PLANNING						
DRAWN:	BJS			PO Box 1345	503/481-8822					
SCALE:	1" = 20'			Lake Oswego, Oregon 97035	email: thetaeng@comcast.net					
DATE:	January, 2016	03/24/2016	1	REVISOR						
FILE:	Willamette Design Review1	DATE	NO.	REVISION						



2015-129I				
DESIGNED:	BDG			
DRAWN:	BJS			
SCALE:	1" = 20'			
DATE:	January, 2016	03/24/2016	1	REVISED PER WEST LINN LETTER, MARCH 9TH, 2016
FILE:	Willamette Design Review1	DATE	NO.	REVISION

Theta, llc
ENGINEERING - SURVEYING - PLANNING
PO Box 1345 503/481-8822
Lake Oswego, Oregon 97035 email: thetaeng@comcast.net

Icon Construction & Development, LLC
1980 Willamette Falls Drive, Suite 200
West Linn, Oregon 97068
PH: (503) 657-0406

DESIGN REVIEW - GRADING AND EROSION CONTROL PLAN

Tax Lot 4100
T.3S., R.1E., Section 2
West Linn, Oregon

SHEET:
4/4



EXPIRES: 06/30/2017
SIGNATURE DATE: 03/24/2016

C:\Users\Wlenn\Documents\Design\Review1\Drawings\2015-129I\101830.dwg



TRANSMITTAL

TO:

Darren Wyss
Associate Planner

CITY OF WEST LINN

22500 Salamo Rd.
West Linn, Oregon 97068
dwyss@westlinnoregon.gov
Phone (503) 722-5512

SGA PROJECT

1963 Willamette Falls Drive | SGA Project No. 15-104

VIA

Delivery US Mail Overnight Mail Fax Email

INCLUDED ITEMS

- 1 Copy Copy of Affidavit of Sign Posting
- 1 Copy Affidavit: Mailing to Neighbors
- 1 Copy Certified Mail Receipts (Officer Letter)
- 1 Copy Letter to Neighborhood Association Officers
- 1 Copy Neighborhood Meeting Notes from 04-25-2016 Meeting
- 1 Copy Letter to Neighbors within 500' radius
- 1 Copy Mailing Address Labels
- 1 Copy Maps of Neighborhood Mailing
- 1 Copy Site Sign
- 1 Copy Audio Recording of Meeting

END OF TRANSMITTED ITEMS

26 April, 2016



SUTTON|GODWIN|ARCHITECTURE

April 4, 2016

NEIGHBORHOOD MEETING NOTICE

Ms. Gail Holmes

President - Willamette Neighborhood Association (WNA)
C/O City of West Linn
22500 Salamo Road
West Linn, Oregon

REF: 1963 Willamette Falls Drive

Lots 1, 2 & 3 Block 10
West Linn, Oregon

Ms. Holmes-

SG Architecture, LLC is representing the applicant regarding the property located at 1993 Willamette Falls Drive in the Willamette Neighborhood Association. In the coming months the applicant will be processing the Land Use Application that will be submitted to the City of West Linn. Prior to applying for the necessary Land Use and Historic Review approvals we like to discuss the project in more detail with the Neighborhood Association, surrounding property owners and residents.

Please arrange for our meeting to be on:

Monday - April 25, 2016 @ 7:00 PM
West Linn Police station "Community Room"
Located at 1800 8th Ave
West Linn, OR 97068

PUBLIC

You are encouraged to contact the Willamette Neighborhood Association with any questions you wish to relay to the applicant. **WNA President, Gail Holmes** may be contacted at willamette@westlinoregon.gov or at 503-318-7317. Please note that this will be an informal meeting on preliminary plans. These plans may be modified before the application is submitted to the City.

We look forward to discussing this project with you. If you have questions, but will be unable to attend, please feel free to call me at 503-201-0725.

Sincerely,
SG Architecture, LLC

10940 SW Barnes Rd #364
Portland, OR 97225
503.201.0725

Kevin M. Godwin – Partner

CC by Certified Mail: Elizabeth Rocchia-Treasurer

7015 0640 0007 2073 3960

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark
Here

Postage

\$
Total Postage and Fees

Sent To

ELIZABETH ROCCHIA
Street and Apt. No., or PO Box No.

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7015 0640 0007 2073 3953

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postmark
Here

Postage

\$
Total Postage and Fees

Sent To

GAIL HOLMES
Street and Apt. No., or PO Box No.

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Mail Receipt:

THIS IS NOT A SHIPPING LABEL. PLEASE SAVE FOR YOUR RECORDS.

TRANSACTION DATE:
MON 4 APR 2016

EXPECTED DELIVERY DATE:

N/A
KEVIN GODWIN
10940 SW BARNES RD
#364

PORTLAND OR 97225
(503) 201-0725
MAIL FROM:

MAIL TO:
WILLAMETTE NEIGHBORHOOD ASSOCIATION
MS ELIZABETH ROCCHIA - TREASURER
801 WENDY CT
WEST LINN OR 97068-4059
RESIDENTIAL

MAIL INFORMATION:
USPS FIRST CLASS MAIL
0 LBS 2.0 OZ TOTAL WEIGHT
0 LBS 2.0 OZ EACH PIECE
11.50X6.13X0.25
1 PIECE
CERTIFIED MAIL
RETURN RECEIPT

TRACKING & REFERENCE
SHIPMENT ID: MMWAD92ET586W
ORDER/ITEM #: BS
REF#: - -
CERT MAIL #: 70150640000720733960

DESCRIPTION:
--

MAILED THROUGH:
THE UPS STORE #3379
PORTLAND, OR 97225-5368
(503) 646-9999

POSTAGE CHARGES
FIRST CLASS MAIL 11.60
PIECES X 1
TOTAL \$11.60

COMPLETE ONLINE TRACKING: ENTER THIS ADDRESS IN YOUR WEB BROWSER TO TRACK:
[HTTP://THEUPSSTORE.COM](http://THEUPSSTORE.COM) (SELECT TRACKING, ENTER SHIPMENT ID #) SHIPMENT
 QUESTIONS? CONTACT SHIPPED THROUGH ABOVE.

SHIPMENT ID: MMWAD92ET586W



Powered by iShip(r)
04/04/2016 04:06 PM Pacific Time N

The UPS Store®

SEE NOTICE ON REVERSE regarding UPS Terms, and notice of limitation of liability. Where allowed by law, shipper authorizes UPS to act as forwarding agent for export control and customs purposes. If exported from the US, shipper certifies that the commodities, technology or software were exported from the US in accordance with the Export Administration Regulations. Diversion contrary to law is prohibited. RRD R 0116

Mail Receipt:

THIS IS NOT A SHIPPING LABEL. PLEASE SAVE FOR YOUR RECORDS.

TRANSACTION DATE:
MON 4 APR 2016

EXPECTED DELIVERY DATE:

N/A
KEVIN GODWIN
10940 SW BARNES RD
#364

PORTLAND OR 97225
(503) 201-0725
MAIL FROM:

MAIL TO:
WILLAMETTE NEIGHBORHOOD ASSOCIATION
MS. GAIL HOLMES - PRESIDENT
801 WENDY CT
WEST LINN OR 97068-4059
RESIDENTIAL

MAIL INFORMATION:
USPS FIRST CLASS MAIL
0 LBS 2.0 OZ TOTAL WEIGHT
0 LBS 2.0 OZ EACH PIECE
11.50X6.13X0.25
1 PIECE
CERTIFIED MAIL
RETURN RECEIPT

TRACKING & REFERENCE
SHIPMENT ID: MMWAD9236GKHM
ORDER/ITEM #: BS
REF#: - -
CERT MAIL #: 70150640000720733953

DESCRIPTION:
--

MAILED THROUGH:
THE UPS STORE #3379
PORTLAND, OR 97225-5368
(503) 646-9999

POSTAGE CHARGES
FIRST CLASS MAIL 11.60
PIECES X 1
TOTAL \$11.60

COMPLETE ONLINE TRACKING: ENTER THIS ADDRESS IN YOUR WEB BROWSER TO TRACK:
[HTTP://THEUPSSTORE.COM](http://THEUPSSTORE.COM) (SELECT TRACKING, ENTER SHIPMENT ID #) SHIPMENT
 QUESTIONS? CONTACT SHIPPED THROUGH ABOVE.

SHIPMENT ID: MMWAD9236GKHM



Powered by iShip(r)
04/04/2016 04:06 PM Pacific Time N

The UPS Store®

SEE NOTICE ON REVERSE regarding UPS Terms, and notice of limitation of liability. Where allowed by law, shipper authorizes UPS to act as forwarding agent for export control and customs purposes. If exported from the US, shipper certifies that the commodities, technology or software were exported from the US in accordance with the Export Administration Regulations. Diversion contrary to law is prohibited. RRD R 0116

Neighborhood Meeting
Affidavit of Posting Notice

City of West Linn)

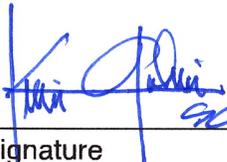
SS

City of West Linn)

I, Kevin Godwin, being duly sworn, state that I represent the party initiating interest in a proposed two-story building development affecting the land at 1963 Willamette Falls Drive in West Linn, Oregon, and that pursuant to Community Development Code Section 99, did on April 5th, 2016, personally post notice indicating that the site may be proposed for a two story building development.

Two signs were posted, one at the fence facing Willamette Falls Drive and 11th Street, and one in the parking area median facing Willamette Falls Drive.

This 1st day of April, 2016.


Signature
Kevin Godwin
SCT ARCHITECTURE, LLC.

Subscribed and sworn to, or affirmed, before me this 26th day of April, 2016.



Notary for the state of Oregon

County of Washington

My Commission Expires: March 02, 2019



**NOTICE OF
NEIGHBORHOOD MEETING**

**REGARDING A NEW TWO-STORY
BUILDING PROPOSED FOR
1963 WILLAMETTE FALLS DRIVE**

**YOU ARE INVITED TO ATTEND A
NEIGHBORHOOD MEETING ON**

**MONDAY,
APRIL 25TH, 2016
7:00 PM**

at the

West Linn Police Station
"Community Room"
1800 8th Ave, West Linn

FOR ADDITIONAL INFORMATION CONTACT THE
APPLICANT FOR THIS PROJECT:

Kevin Godwin - SG Architecture, LLC
10940 SW Barnes Rd #364, Portland OR 97225
503-201-0725 kgodwin@sg-arch.net

Neighborhood Meeting
Affidavit of Mailing

City of West Linn)

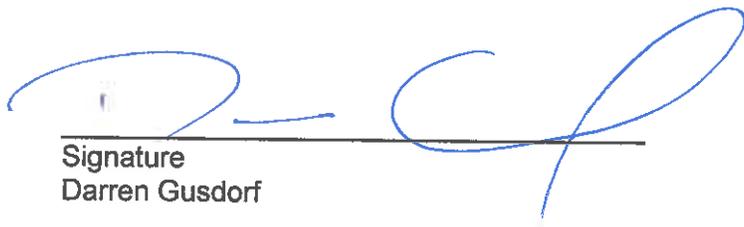
SS

City of West Linn)

I, Darren Gusdorf, being duly sworn, state that I represent the party initiating interest in a proposed two-story building development affecting the land at 1963 Willamette Falls Drive in West Linn, Oregon, and that pursuant to Community Development Code Section 99, did on April 5th, 2016, cause to have mailed, to each of the persons on the attached list, a notice of meeting to discuss the proposed development of the aforementioned property.

I further state that said notices were enclosed in plainly addressed envelopes to said persons and were deposited on the date indicated above in the United States Post Office with postage prepaid thereon.

This 13th day of April, 2016.



Signature
Darren Gusdorf

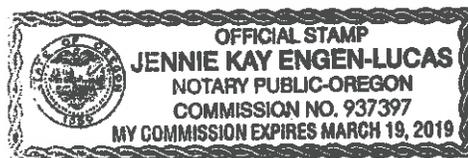
Subscribed and sworn to, or affirmed, before me this 13th day of April, 2016.

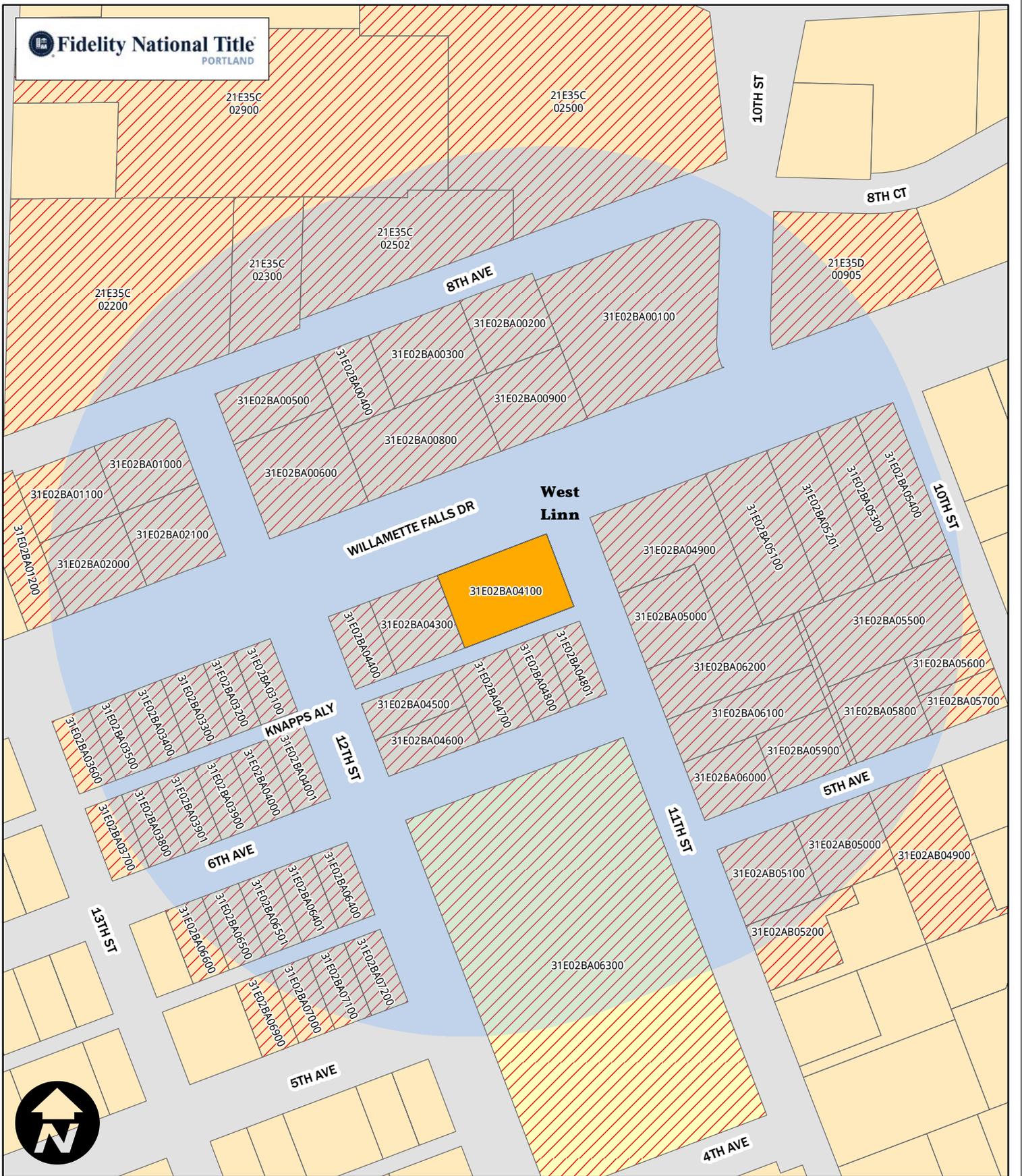


Notary for the state of Oregon

County of Clackamas

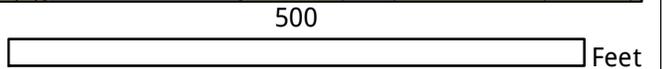
My Commission Expires: 3/19/2019





Public Notification Search

- Subject
- Notification
- Radius
- School Lands
- Taxlots
- Incorporated city



Prepared by: Fidelity National Title
 Data: CoreLogic, Metro RLIS
 Date: 4/1/2016
 This information is reliable, but not guaranteed. It is not a survey.



MEETING NOTES

West Linn Neighborhood Association

April 25th, 2016 | 7:00 PM

ATTENDEES:

Gail Holmes, President & Elizabeth Rocchia, Treasurer
Willamette Neighborhood Association
WillametteNA@westlinnoregon.gov

Scot Sutton, Partner & Kevin Godwin, Partner
SG Architecture, LLC

Twenty-Seven Additional Neighbors (See Attached Sign-In Sheet)

PURPOSE:

Review of the proposed two-story mixed-use building to be located at 1963 Willamette Falls Drive.

PRESENTATION:

Kevin Godwin & Scot Sutton presented plans and elevations of the proposed project. After the presentation, they addressed questions from the neighbors.

NEIGHBOR QUESTIONS / COMMENTS:

What is the project schedule / has the project been submitted for planning review?

- A. The project has been submitted for planning review. Anticipate Historic Review Committee review in May, and approval by Planning Commission in June. Construction start projected for summer 2016, with completion anticipated in early 2017.**

The neighbors expressed a desire for period lighting fixtures, and landscaping to the extent possible.

- A. Period lighting fixtures are planned as required in the zone. Landscaping opportunities are limited due to building location on the lot line, but large pot planting, along with built-in planters in at the corner of 11th & WFD are planned.**

What will happen with the utility lines?

- A. We are working with PGE to meet the City's requirement to relocate the lines underground.**

What is the parking count? Will the underground parking be public access? What about security?

- A. While no on-site parking is required by Code, 42 parking stalls are proposed. All of the on-site stalls will be privately owned by the project developer, for the use of visitors to and employees of businesses in the building. The underground lot will be gated during non-business hours, lighted 24 hours, and will have alarms as required by Code for cars entering the street.**

What are the proposed uses for the building?

A. Possible uses for both floors include any of those permitted by the Code. Current intended ground floor uses include retail, restaurant, or service business. Current intended second floor uses include office or boutique hotel.

Have any tenants been identified?

A. No tenants have been identified at this time.

What are the anticipated improvements along Knapp's Alley? How will drainage be addressed?

A. Proposed improvements include re-surfacing the North (project) side of the alley. All stormwater generated along the project half of the alley frontage, as well as on the project site itself, will be directed to the storm drain system per City requirements.

The meeting adjourned at 7:50 PM.

END OF MEETING NOTES