

GENERAL NOTES:

- ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE CITY OF WEST LINN EXISTING STANDARDS, THE APWA (OREGON CHAPTER) STANDARD SPECIFICATION AND DRAWINGS (1990, WITH 1992 & 1996 AMENDMENTS), THE STATE OF OREGON PLUMBING CODE, THE OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ), THE OREGON DEPARTMENT OF HUMAN RESOURCES, AND AS APPROVED AND NOTED ON THESE DRAWINGS.
- CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS AND LICENSES BEFORE STARTING CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL ARRANGE FOR THE RELOCATION OF ANY IN CONFLICT WITH THE PROPOSED CONSTRUCTION.
- EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY AND MUST BE VERIFIED BY THE CONTRACTOR, ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
- ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND THE ACTUAL SITE CONDITIONS SHALL BE REPORTED TO THE ENGINEER AS SOON AS THEY BECOME APPARENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF ALL DAMAGE OR DESTRUCTION OF PROPERTY, MONUMENTATION OR CONSTRUCTION STAKES.
- THE ENGINEER HAS NOT BEEN RETAINED OR COMPENSATED TO PROVIDE DESIGN AND CONSTRUCTION REVIEW SERVICES RELATING TO THE CONTRACTOR'S SAFETY PRECAUTIONS OR TO MEANS, METHODS, TECHNIQUES, SEQUENCES FOR PROCEDURES REQUIRED FOR THE CONTRACTOR TO PERFORM HIS/HER WORK.
- ALL UTILITY TRENCHES WITHIN EXISTING OR PROPOSED RIGHT-OF-WAY'S SHALL BE BACKFILLED WITH 3/4"-0" GRANULAR BACKFILL PER CITY OF WEST LINN STANDARD SPECIFICATIONS SECTION 204.02.06 AND COMPACTED PER SECTION 204.03.13.
- CONTRACTOR SHALL PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN AND RECEIVE APPROVAL PRIOR TO WORKING WITHIN THE PUBLIC RIGHT-OF-WAY.
- EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CLACKAMAS COUNTY EROSION MANUAL.

STREET CONSTRUCTION AND PAVING:

- ALL WORK AND MATERIALS SHALL CONFORM WITH EXISTING CITY OF WEST LINN STANDARDS.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF TREE, STUMPS, ROOTS, BRUSH, AND OTHER ORGANIC MATERIAL IN THE WORK AREA AND WHERE INDICED ON THE PLANS. THESE MATERIALS SHALL BE DISPOSED OF OFF SITE IN SUCH A MANNER AS TO MEET LOCAL REGULATIONS.
- CONTRACTOR SHALL PROVIDE THE NECESSARY EROSION PROTECTION, TO INCLUDE GRADING, DITCHING, STRAW OR HAY BALES, AND SILT FENCING TO MINIMIZE EROSION ONTO ADJACENT PROPERTIES.
- THE STREET SECTION SHALL BE GRADED TO THE ELEVATIONS SHOWN ON THE DRAWINGS WITH THE NECESSARY ADJUSTMENTS TO ACCOMMODATE THE FINISH PAVEMENT AS SPECIFIED.
- MATERIAL IN SOFT SPOTS WITHIN THE PAVED AREAS SHALL BE REMOVED TO THE DEPTH REQUIRED TO PROVIDE A FIRM FOUNDATION AND SHALL BE REPLACED WITH PIT RUN CRUSHED ROCK (6" MAXIMUM) OVER FABRIC. THE SUB-GRADE SHALL BE "PROOF ROLLED", WITNESSED BY THE ENGINEER AND THE CITY PRIOR TO PLACEMENT OF THE BASE ROCK. COMPACTION TESTING SHALL CONFORM TO THE CITY OF WEST LINN STANDARD SPECIFICATIONS, SECTION 501.03.08. ASPHALT SHALL HAVE A MINIMUM DENSITY OF 92%. TESTING WILL BE BY AN INDEPENDENT LABORATORY WITH RESULTS TO THE CITY AND DESIGN ENGINEER. FINISH BASE ROCK SHALL BE "PROOF ROLLED" WITNESSED BY THE ENGINEER AND CITY PRIOR TO PLACEMENT OF THE ASPHALT.
- THE CONTRACTOR TO NOTIFY CITY OF WEST LINN AND ENGINEER, 24-HOURS PRIOR TO STARRING CONSTRUCTION OR WORK TO BE ACCEPTED BY THE CITY.
- ASPHALT CONCRETE PAVEMENT TO BE FROM A MIX DESIGN APPROVED BY THE OREGON DEPARTMENT OF TRANSPORTATION. CONTRACTOR TO PROVIDE DENSITY TESTING RESULTS FOR ASPHALTIC CONCRETE PLACED IN PUBLIC STREETS. SMOOTHNESS TESTING IS REQUIRED PER THE CITY OF WEST LINN STANDARD SPECIFICATION SECTION 209.03.04D.
- CONSTRUCT CURB AND GUTTER USING 3300 PSI CONCRETE MEETING THE SPECIFICATIONS OF W.L.S.C.S. DIVISION 205 (AFTER 28DAYS) WITH A MAXIMUM 1/2" AGGREGATE SIZE. A PROOF ROLL OF THE CURB LINES IS REQUIRED PRIOR TO PLACING CURBS. PLACE CONTRACTION JOINTS AT 15' MAXIMUM ON CENTERS. CONTACTOR SHALL STAMP LOCATION OF SEWER, STORM AND WATER CROSSINGS WITH AN (S), (ST), OR (W).

STORM SEWER:

- ALL WORK AND MATERIALS USED FOR PUBLIC IMPROVEMENT TO CONFORM TO THE REQUIREMENTS OF THE CITY OF WEST LINN PUBLIC WORKS STANDARDS.
- ALL WORK AND MATERIALS FOR PRIVATE STORM DRAINS TO MEET REQUIREMENTS OF THE STATE OF OREGON PLUMBING CODE.
- MATERIALS
  - POLYVINYLCHLORIDE PIPE (PVC) SHALL CONFORM TO THE REQUIREMENTS OF ASTM D 3034 SDR 35 (6 INCHES OR LESS)
  - RIBBED PVC PIPE TO CONFORM WITH ASTM F-794
  - DUCTILE IRON PIPE (DI) SHALL BE CLASS 150, CEMENT-MORTAR LINED PUSH-ON JOINT PIPE MEETING THE LATEST REVISIONS TO ANSI SPECIFICATIONS A 21.4/AWWA C-104.
- PIPE BEDDING AND TRENCH BACKFILL WITHIN PAVED AREAS TO BE 3/4"-0" CRUSHED ROCK, PIPE BEDDING AND BACKFILL TO EXTEND A MINIMUM OF 6" BELOW PIPE AND 9" ALONG SIDES AND 12" ABOVE.
- ALL MANHOLES OUTSIDE THE STREET RIGHT-OF-WAY SHALL HAVE TAMPER PROOF LIDS AND SHALL BE 12" ABOVE THE FINISHED GRADE IF NOT IN PAVED AREA.
- ALL STORM LINES SHALL BE MANDREL TESTED AND VIDEO ACCEPTANCE INSPECTION TO BE COMPLETED BY THE CONTRACTOR.
- ALL PIPE SHALL HAVE RUBBER GASKET JOINTS PER ASTM F477.
- ALL CONNECTIONS TO MANHOLES AND CATCH BASIN/INLETS SHALL BE PRECAST OR CORE DRILLED HOLES.
- INSTALL CONTINUOUS INSULATED COPPER TRACER WIRE AS REQUIRED BY THE UPC AND CITY STANDARDS.

SANITARY SEWER:

- ALL WORK AND MATERIALS TO CONFORM WITH THE CITY OF WEST LINN STANDARDS (1990-APWA OEGON CHAPTER STANDARD SPECIFICATIONS AND DRAWINGS WITH 1992 AND 1996 AMENDMENTS) AND THE DEQ FOR ALL PUBLIC SEWER LINES.
- ALL PRIVATE SERVICE CONNECTIONS SHALL BE A MINIMUM OF 4-INCH PVC AND INSTALLED AT A MINIMUM SLOPE OF 2 % UNLESS OTHERWISE NOTED.
- CONTRACTOR TO "POT HOLE" EXISTING SEWER A CONNECTION POINTS PRIOR TO ACTUAL CONSTRUCTION TO VERIFY INVERT ELEVATIONS.
- ALL PVC SANITARY SEWER PIPE SHALL CONFORM TO ASTM D-3034, SDR 35, AND SHALL BE GREEN IN COLOR, UNLESS SHOWN OTHERWISE ON THE DRAWINGS. PVC SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES. PVC SEWER PIPE SHALL BE DEFLECTION TESTED NO LESS THAN 30-DAYS AFTER THE TRENCH BACKFILL AND COMPACTION HAS BEEN COMPLETED. THE TEST SHALL BE CONDUCTED BY PULLING AN APPROVED SOLID POINTED MANDREL (95% OF INSIDE DIAMETER) THROUGH THE COMPLETED PIPE LINE.
- CONTACTOR SHALL CONDUCT A VIDEO INSPECTION UPON COMPLETION OF ALL SEWER CONSTRUCTION AND SUBMIT TO THE CITY OF WEST LINN.
- PIPE BEDDING AND BACKFILL SHALL CONFORM TO THE CITY OF WES LINN STANDARD DETAILS AND AS NOTED ON THE PLANS.
- TRENCHES WITHIN THE ROADWAY OR DRIVEWAYS SHALL BE BACKFILLED WITH GRANULAR MATERIALS, COMPACTION SHALL BE SUFFICIENT TO PREVENT SETTLEMENT. CONTRACTOR TO DETERMINE TYPE OF EQUIPMENT, METHOD, AND EFFORT REQUIRED TO ACHIEVE REQUIRED COMPACTION. SUBSEQUENT SETTLEMENT OF THE FINISH SURFACE WITHIN THE WARRANTY PERIOD SHALL BE CONSIDERED THE RESULT OF IMPROPER COMPACTION AND SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER. COMPACTION TESTING IS REQUIRED AND SHALL BE PER CITY OF WEST LINN STANDARD SPECIFICATIONS SECTION 204.03.13.
- ALL MANHOLES SHALL BE VACUUM TESTED AND ALL OUTSIDE THE STREET RIGHT-OF-WAY MANHOLES SHALL HAVE TAMPER PROOF LIDS, WITH RIMS 12 INCHES ABOVE FINISH GRADE IN UNPAVED AREAS.
- CONTRACTOR SHALL MAINTAIN AS-CONSTRUCTED DATA, INCLUDING STATION, LENGTH, AND DEPT OF SERVICE CONNECTION, AND ANY CHANGES MADE DURING CONSTRUCTION. THAT DATA SHALL BE SUBMITTED TO THE ENGINEER UPON COMPLETION OF CONSTRUCTION.
- INSTALL CONTINUOUS INSULATED COPPER TRACER WIRE AS REQUIRED BY THE UPC AND CITY STANDARDS

WATER SYSTEM:

- ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF WEST LINN STANDARDS AND SPECIFICATIONS AND THE OREGON STATE HEALTH DIVISION ADMINISTRATIVE RULES, CHAPTER 333.
- ALL PIPE TO HAVE A MINIMUM COVER OF 36-INCHES BELOW FINISH GRADES.
- WATER SERVICES SHALL BE COPPER TUBING TYPE "K" 1-INCH DIAMETER FOR ALL SERVICES
- WATER IMPROVEMENTS SHALL CONSIST OF THE INSTALLATION OF THREE (3) 1" SERVICES. CONTRACTOR SHALL PROVIDE THE EXCAVATION, AND BACKFILLING. THE CITY WILL PROVIDE THE TAPPING AND INSTALL THE SERVICES.

EROSION CONTROL:

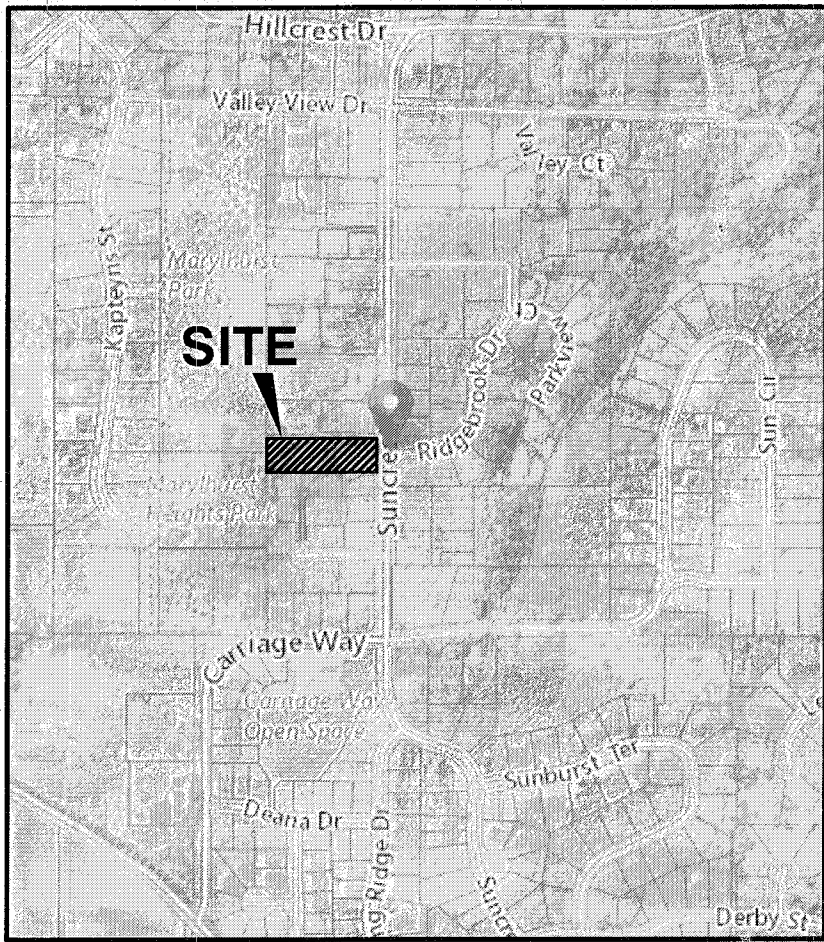
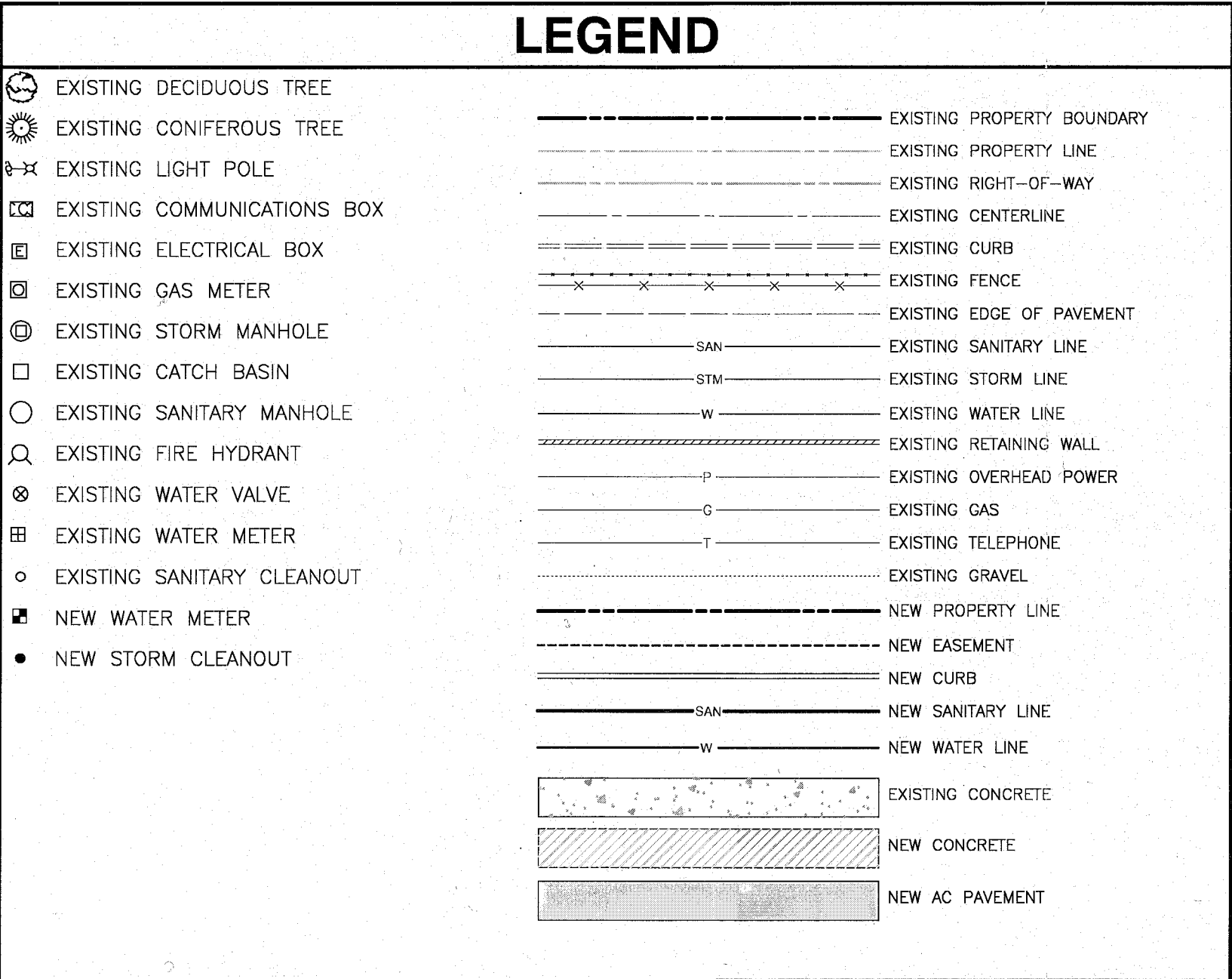
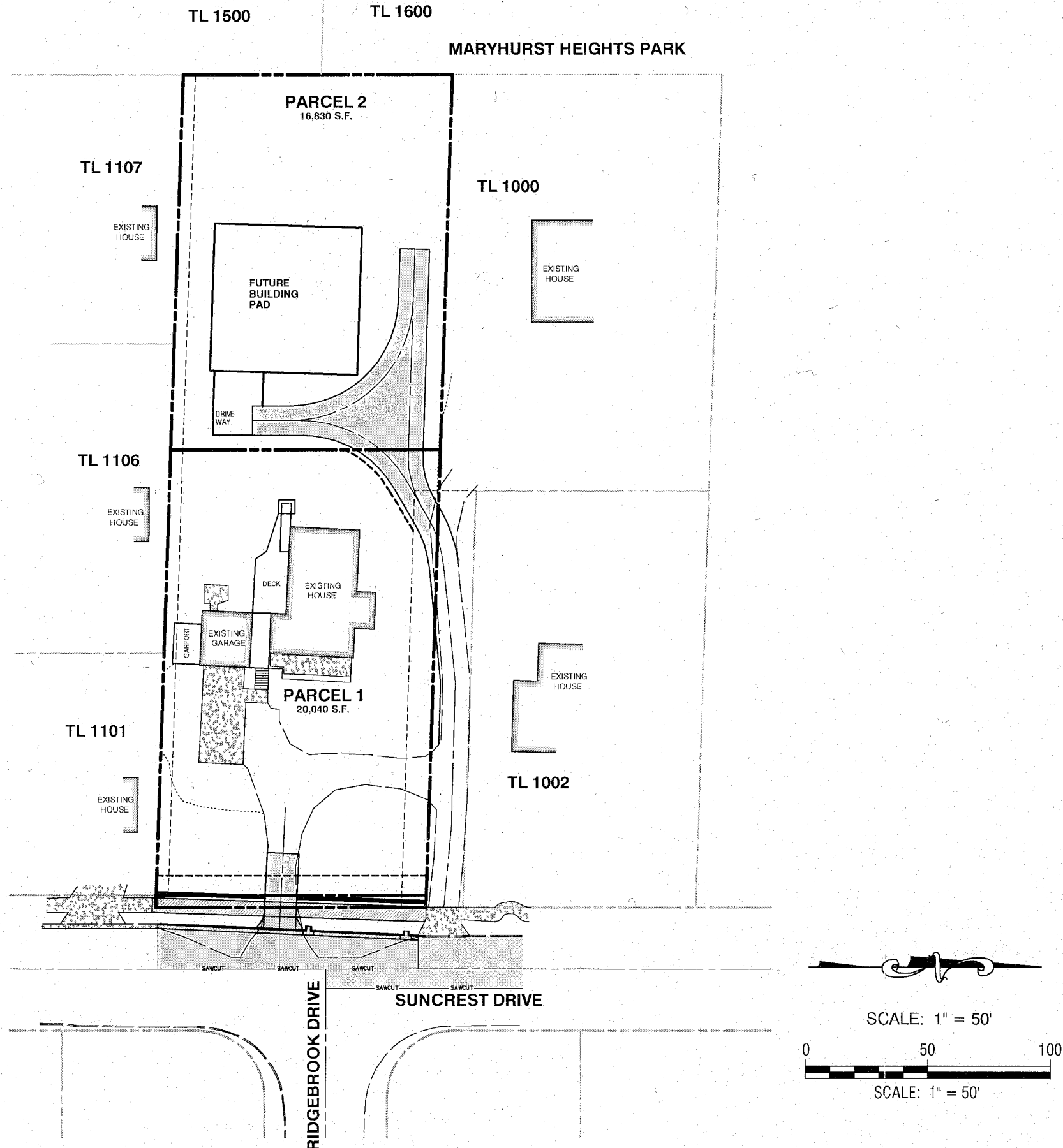
- ALL AREAS DISTURBED DURING CONSTRUCTION TO BE GRADED TO DRAIN AND COMPACTED TO A MINIM OF REQUIRED STANDARDS IMMEDIATELY AFTER INSTALLATION OF UTILITIES OR GRADING.
- SURFACE RESTORATION SHALL BE PER THE CITY OF WEST LINN STANDARD SPECIFICATIONS SECTION 206.
- RECOMMENDED SEED MIX: HOBBS AND HOPKINS COMPANION MIX, WITH APPLICATION RATE OF 100 POUNDS PER ACRE. ANNUAL RYEGRASS RECOMMENDED WHEN RAPID GERMINATION IS REQUIRED.
- FERTILIZER SHALL BE 12-16-8 WITH 50% OF THE NITROGEN DERIVED FROM UREA-FORMALDEHYDE , AND APPLIED AT A RATE OF 400 POUNDS PER ACRE.
- SEED AND MULCH AT A RATE OF 2000 LB/ACRE/ WITH HEAVY BONDING AGENT OR NETTING AND ANCHORS. MULCH SHALL BE WOOD CELLULOSE FIVER OR OTHER MATERIALS SUITABLE FOR HYDRO-MULCHING
- TEMPORARY/PERMANENT HYDRO-SEEDING OR ACCEPTABLE SEEDING AND MULCHING MUST BE PROVIDED WHEREVER PERENNIAL COVER CANNOT BE ESTABLISHED ON SITES WHICH WILL BE EXPOSED FOR 60-DAYS OF MORE.
- INLET PROTECTION, INSPECTION AND MAINTENANCE
  - BIO -FILTER BAGS OR SILT SACKS SHALL BE INSTALLED IN DOWNSTREAM CATCH BASINS
  - INLET PROTECTION WILL ALLOW FOR OVERFLOW IN SEVERE STORM EVENTS.
  - INSPECT ONCE PER WEEK ON ACTIVE SITES AND CLEAN AFTER EACH SIGNIFICANT STORM EVENT

CONDITIONS OF APPROVAL:

- SITE PLANS: WITH THE EXCEPTION OF MODIFICATIONS REQUIRED BY THESE CONDITIONS, THE PROJECT SHALL CONFORM TO THE TWO-LOT PARTITION TENTATIVE PLAN, (SHEET 1/4) DATED MARCH 2014.
- ENGINEERING STANDARDS: ALL PUBLIC IMPROVEMENTS AND FACILITIES ASSOCIATED WITH PUBLIC IMPROVEMENTS INCLUDING STREET IMPROVEMENTS, GRADING, ONSITE STORMWATER DESIGN, STREET LIGHTING, EASEMENTS, AND EASEMENT LOCATIONS ARE SUBJECT TO THE CITY ENGINEER'S REVIEW, MODIFICATION, AND APPROVAL. THESE MUST BE ENGINEERED, CONSTRUCTED, AND COMPLETED BY FINAL PLATING. THE APPLICANT SHALL DEDICATE FIVE(5) FEET OF ADDITIONAL ROW TO THE EXISTING WIDTH.
- UTILITY EASEMENTS, THE PROPOSED RECIPROCAL ACCESS EASEMENTS TO ALLOW ACCESS TO PARCEL 2 SHALL ALSO INCLUDE A UTILITY EASEMENT FOR THE PLACEMENT OF THE SANITARY SEWER AND WATER LINES BETWEEN PARCEL 2 AND SUNCREST DRIVE. ALL EXISTING AND PROPOSED ABOVE GROUND UTILITIES SHALL BE UNDERGROUND.
- SIGNIFICANT TREE CONSERVATION EASEMENT, THE APPLICANT'S PROPOSED "TREE PROTECTION AREA", SHOWN ON THE APPLICANT'S TENTATIVE PLAN MAP (SHEET 1/4), PLUS AN ADDITIONAL TREED AREA COMPRISING 1,237 SQUARE FEET TO BE APPROVED THE THE CITY ARBORIST, SHALL BE PROTECTED AS "TREE CONSERVATION EASEMENTS". THESE EASEMENTS SHALL NO APPEAR ON THE PLAT BUT SHALL BE RECORDED WITH THE COUNTY AS A SEPARATE DOCUMENT. REFERENCE TO THAT DOCUMENT SHALL BE INCLUDED ON THE FACE OF THE PLAT. THE EASEMENT DOCUMENT SHALL MAKE IT CLEAR THAT THE INTENT OF THE EASEMENTS IS TO PROTECT THE TREES AND IT MAY ALLOW DEVELOPMENT WITHIN ITS BOUNDARIES IF APPROVED BY THE CITY ARBORIST SO LONG AS THAT GOOD TREE AND ROOT HEALTH IS MAINTAINED.

# SUNCREST PARTITION

## CITY FILE MAP MP 14-02



VICINITY MAP  
NTS

DEVELOPER

Centurion Homes  
Phil Gentemann  
7128 SW Gonzaga No. 200  
Portland, Oregon 97223  
Ph. 503-620-2047

PLANNER/ENGINEER

Theta, LLC  
Bruce Goldson, P.E.  
P.O. Box 1345  
Lake Oswego, Oregon 97035  
Ph. 503-481-8822

SURVEYOR

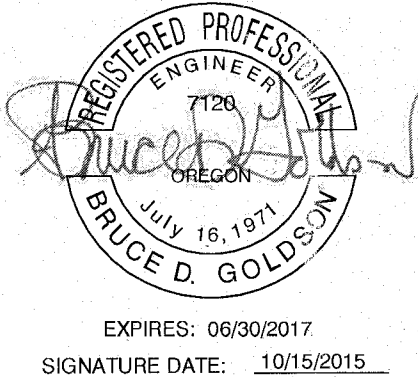
Centerline Concepts  
729 Molalla Avenue No. 1&2  
Oregon City, Oregon 97045  
Ph. 503-650-0188

ZONE: R-10  
AREA: 37,422 S.F.

DATUM:  
SANITARY MANHOLE AT  
SUNCREST AND RIDGEBROOK  
#30-16-1-2-13, EL. 679.78

SHEET INDEX

- COVER
- EXISTING CONDITIONS
- STREET PLAN
- STREET PROFILES
- UTILITIES PLAN AND DETAILS
- GRADING AND EROSION CONTROL PLAN
- TREE REMOVAL PLAN
- STANDARD DETAILS



# AS-BUILT COVER

2014-122

DESIGNED: BDG			
DRAWN: BJS			
SCALE: 1" = 30'	09/11/2015	2	AS-BUILT
DATE: June, 2014	08/14/2014	1	REVISED PER CITY REVIEW
FILE: Suncrest Civil1	DATE	NO.	REVISION

## Theta, LLC

ENGINEERING - SURVEYING - PLANNING

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Portland, Oregon 97223  
Ph. 503-620-2047

19613 Suncrest Drive  
West Linn, Oregon 97068  
T.2S. R.1E., Section 23, Lot 1001

SHEET:

1/8



TAX LOT 1001  
LOCATED IN THE N.W. 1/4 SECTION 23, T.2S., R.1E., W.M.,  
CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON  
MARCH 3, 2014 SCALE 1"=20'

**SURVEY NOTES:**

THE DATUM FOR THIS SURVEY IS BASED UPON THE RIM OF SANITARY MANHOLE NUMBER 30-18-11-2-13 AT THE INTERSECTION OF SUNCREST DRIVE AND RIDGEBROOK DRIVE. THE ELEVATION IS 679.78', CITY OF WEST LINN AS-BUILT.

A TRIMBLE S6-SERIES ROBOTIC INSTRUMENT WAS USED TO COMPLETE A CLOSED LOOP FIELD TRAVERSE.

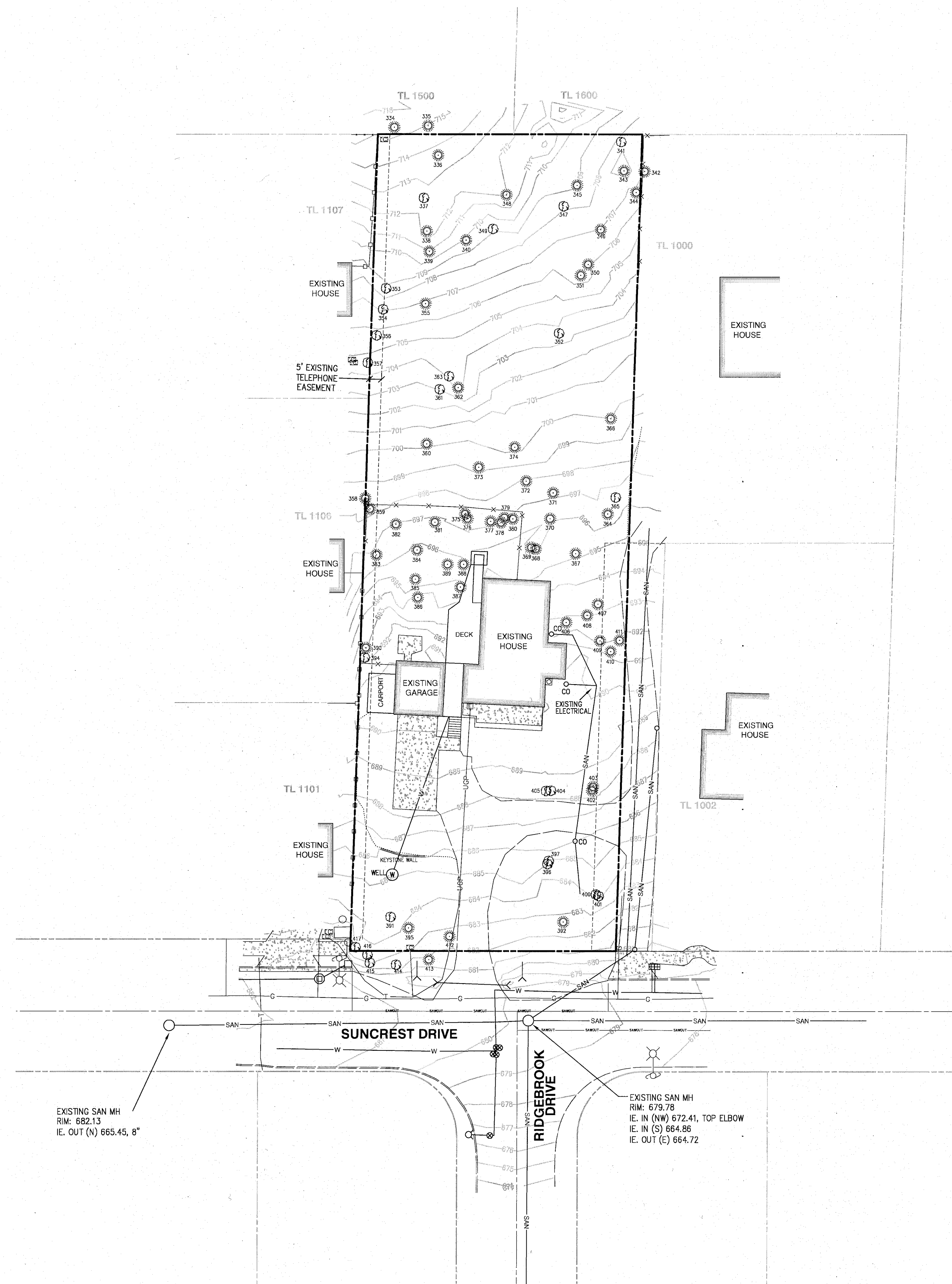
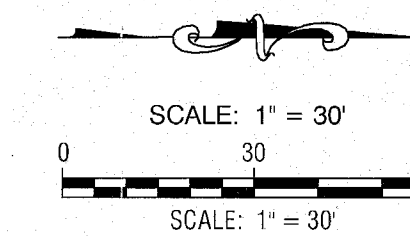
AREA OF SUBJECT PARCEL: 37,422 S.F. OR 0.86 ACRES

THE BASIS OF BEARINGS FOR THIS SURVEY IS PER MONUMENTS FOUND AND HELD PER PARTITION PLAT NUMBER 1996-001, RECORDS OF CLACKAMAS COUNTY.

THE PURPOSE OF THIS SURVEY IS TO RESOLVE AND DETERMINE THE PERIMETER BOUNDARY OF THE SUBJECT PROPERTY, TO SHOW ALL PERTINENT BOUNDARY ISSUES AND ENCROACHMENTS. NO PROPERTY CORNERS WERE SET IN THIS SURVEY.

NO WARRANTIES ARE MADE AS TO MATTERS OF UNWRITTEN TITLE, SUCH AS ADVERSE POSSESSION, ESTOPPEL, ACQUIESCENCE, ETC.

NO TITLE REPORT WAS SUPPLIED OR USED IN THE PREPARATION OF THIS MAP. THERE MAY EXIST EASEMENTS, CONDITIONS, OR RESTRICTIONS THAT COULD AFFECT THE TITLE OF THIS PROPERTY. NO ATTEMPT HAS BEEN MADE IN THIS SURVEY TO SHOW SUCH MATTERS THAT MAY AFFECT TITLE.



SIGNED ON:  
REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

OREGON  
NOVEMBER 30, 2007  
JAMES BURTON BROWN  
60379

VALID THROUGH DECEMBER 31, 2013

**CENTERLINE CONCEPTS**  
LAND SURVEYING, INC.  
729 MOLALLA AVE., SUITE 1 & 2  
OREGON CITY, OREGON 97045  
PHONE 503.650.0188 FAX 503.650.0189  
DRAWN BY:MPW CHECKED BY: JBB ACCOUNT # 150-  
M:\PROJECTS\

**AS-BUILT** EXISTING CONDITIONS

19613 Suncrest Drive  
West Linn, Oregon 97068  
T.2S. R.1E., Section 23, Lot 1001

SHEET:  
2/8

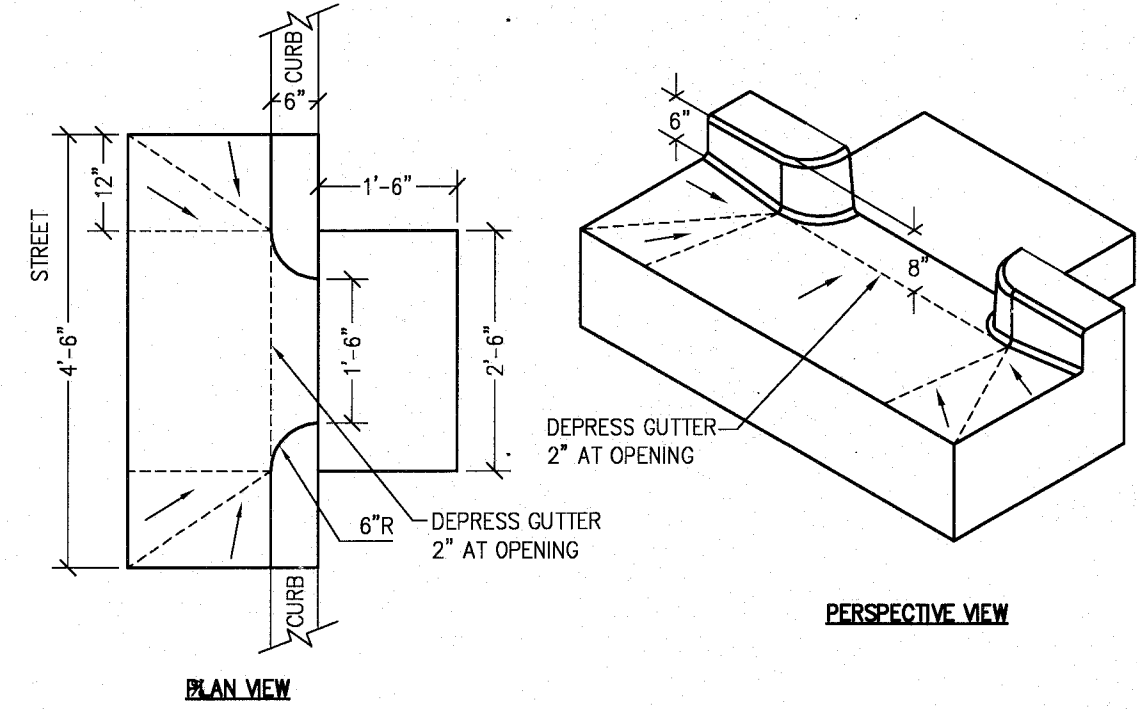
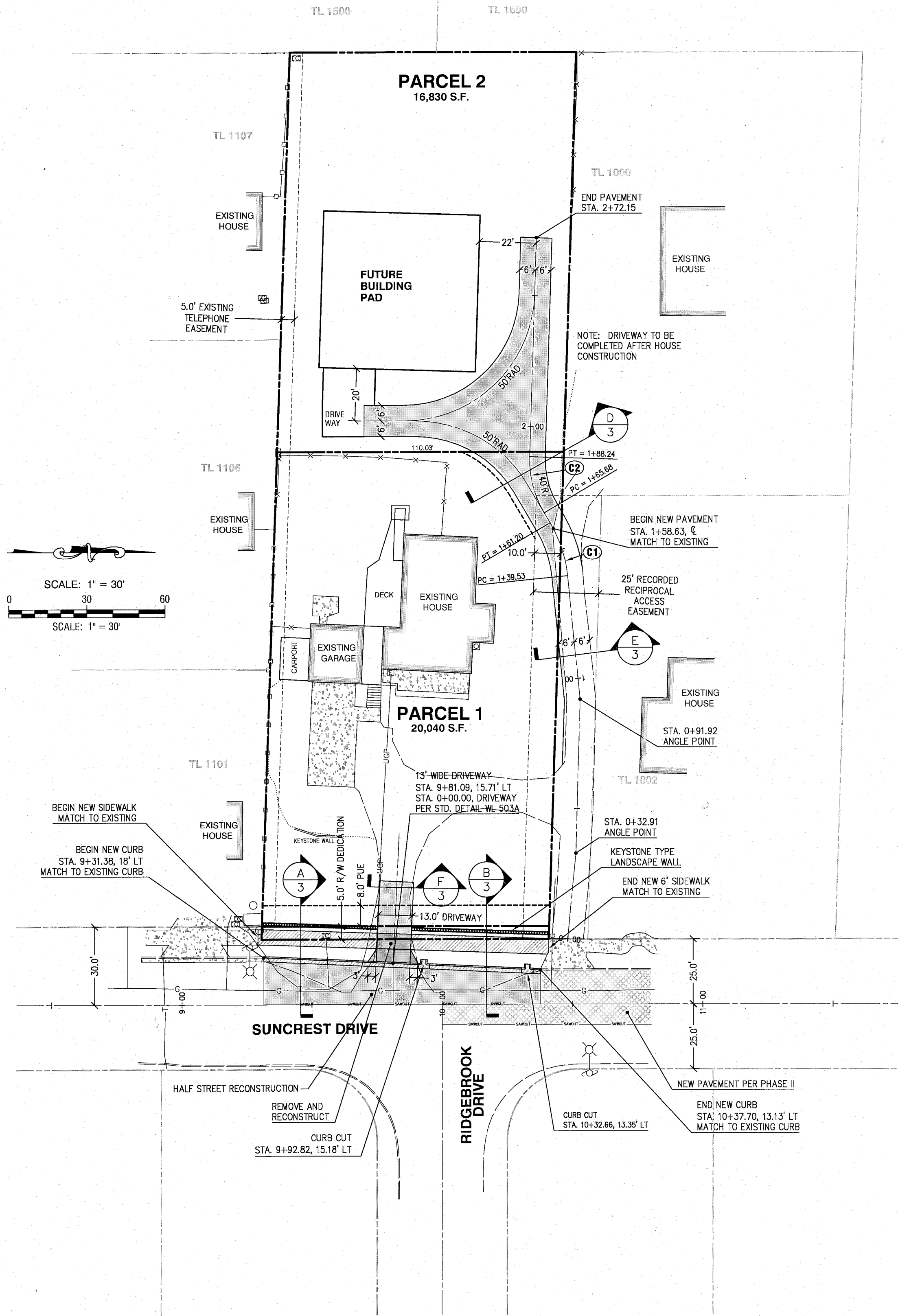
2014-122

DESIGNED: BDG			
DRAWN: BJS			
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DATE: June, 2014	08/14/2014	1	REVISED PER CITY REVIEW
FILE: Suncrest Civil1	DATE	NO.	REVISION

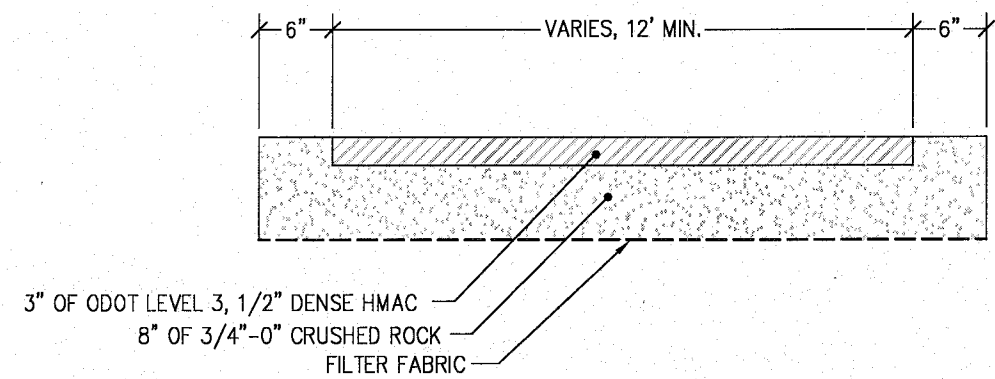
**Theta, llc**  
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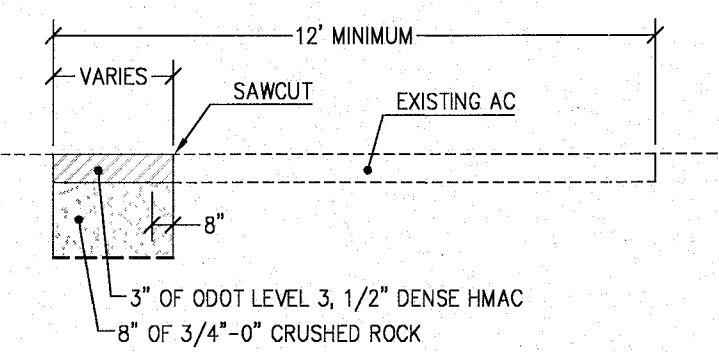
CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	50.00	21.67	11.01	21.50	S71°48'03"W	24°49'48"
C2	40.00	22.56	11.59	22.26	N75°32'42"E	32°19'07"



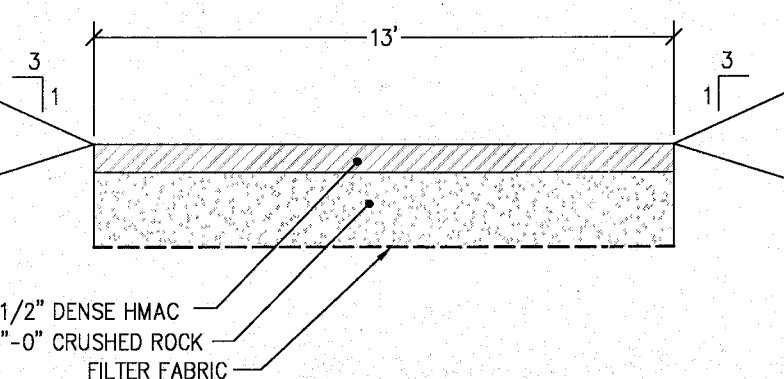
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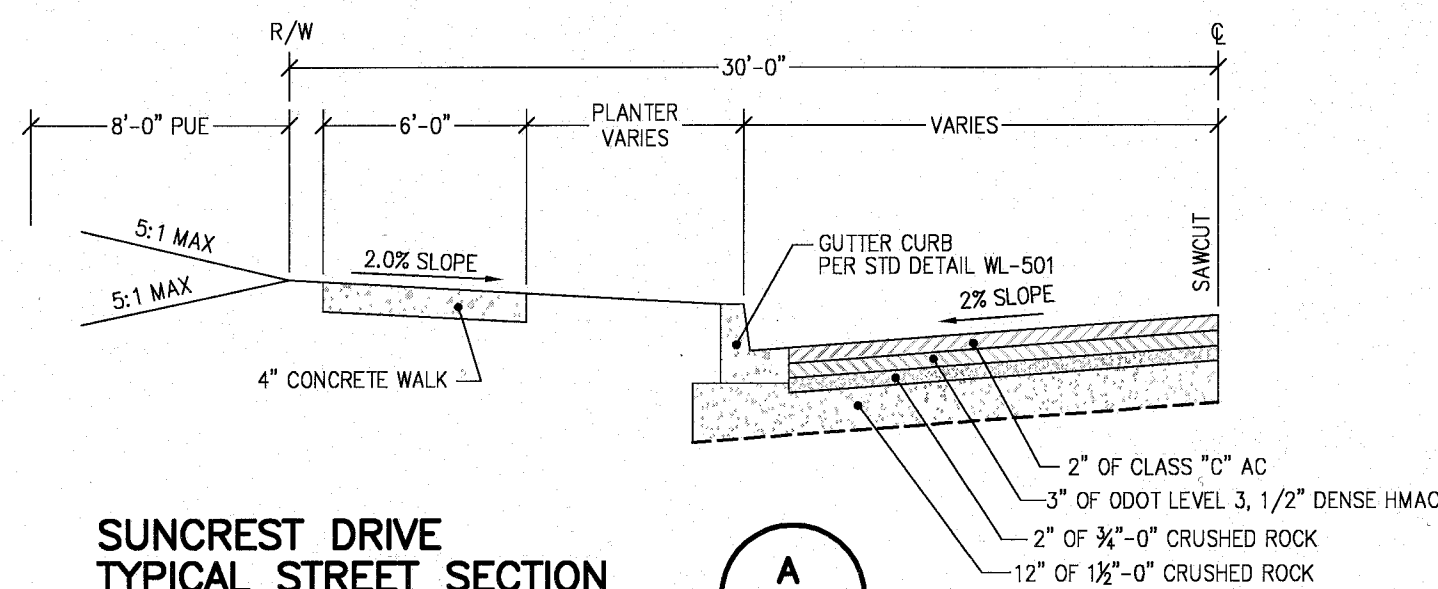
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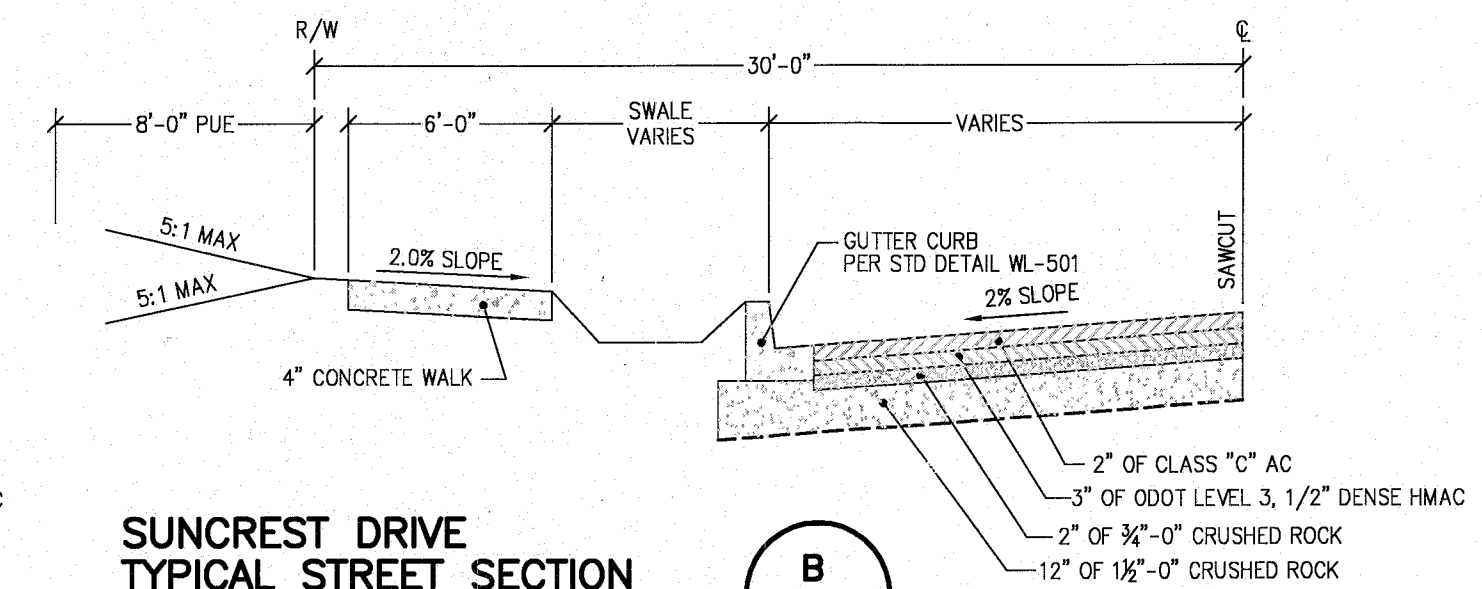
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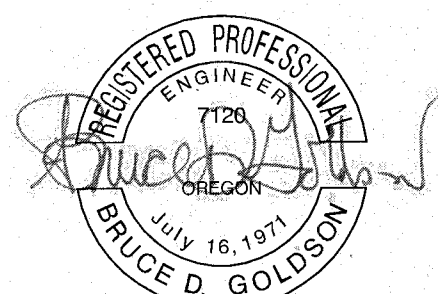
**PARCEL 1 PRIVATE DRIVE SECTION**  
SCALE: NTS



**SUNCREST DRIVE TYPICAL STREET SECTION**  
SCALE: NTS



**SUNCREST DRIVE TYPICAL STREET SECTION**  
SCALE: NTS



EXPIRES: 06/30/2017  
SIGNATURE DATE: 10/15/2015

**AS-BUILT STREET PLAN**

19613 Suncrest Drive  
West Linn, Oregon 97068  
T.2S. R.1E., Section 23, Lot 1001

SHEET:  
3/8

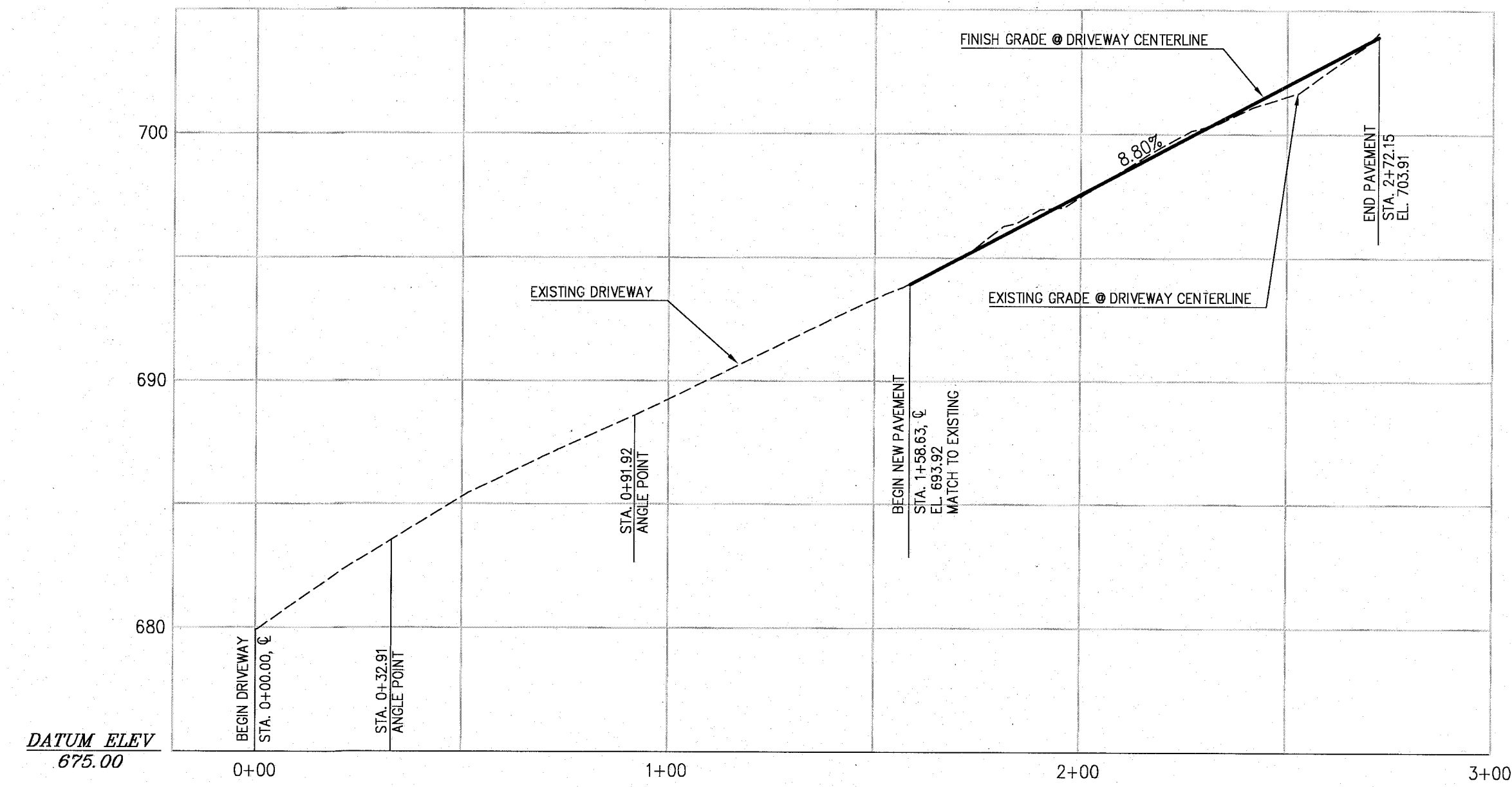
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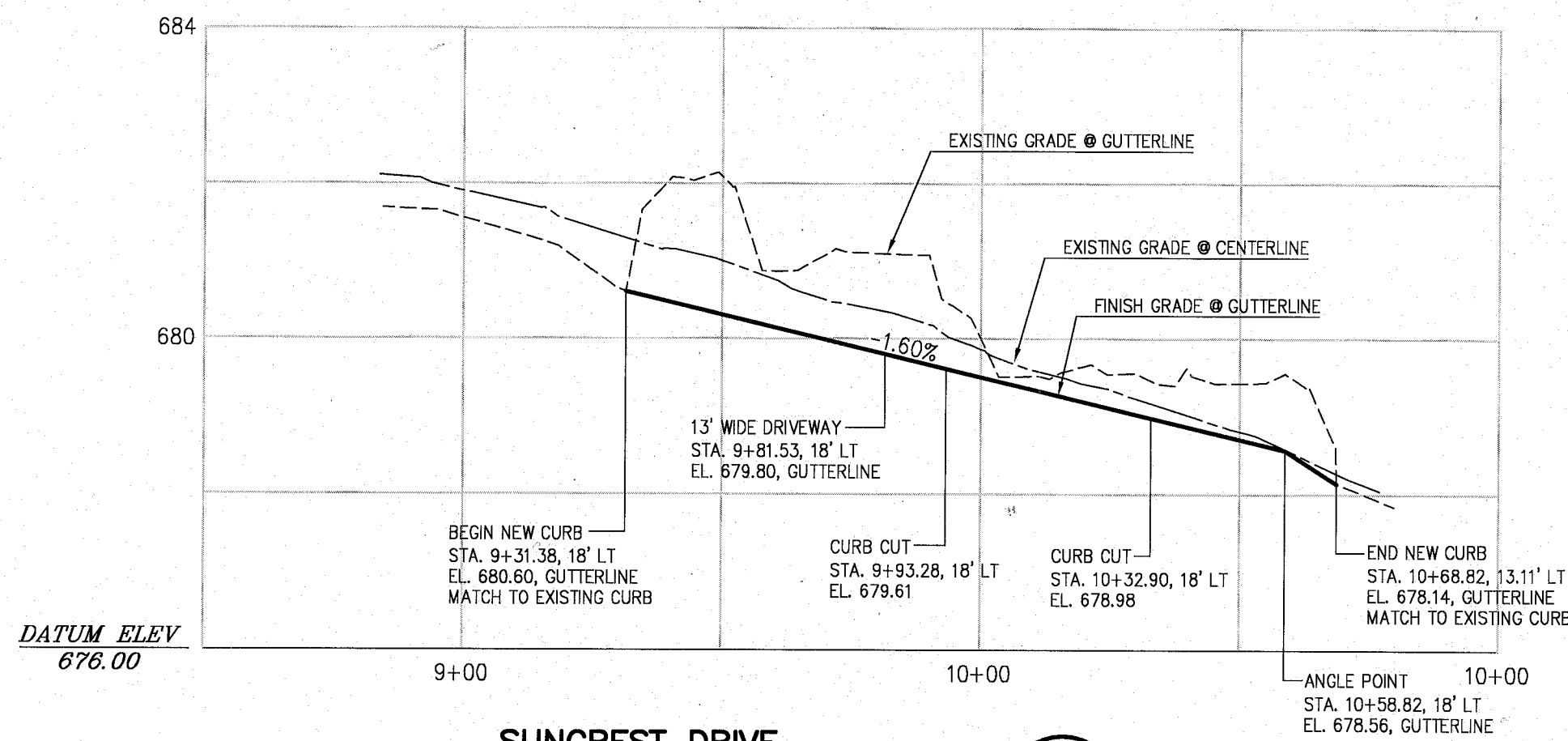
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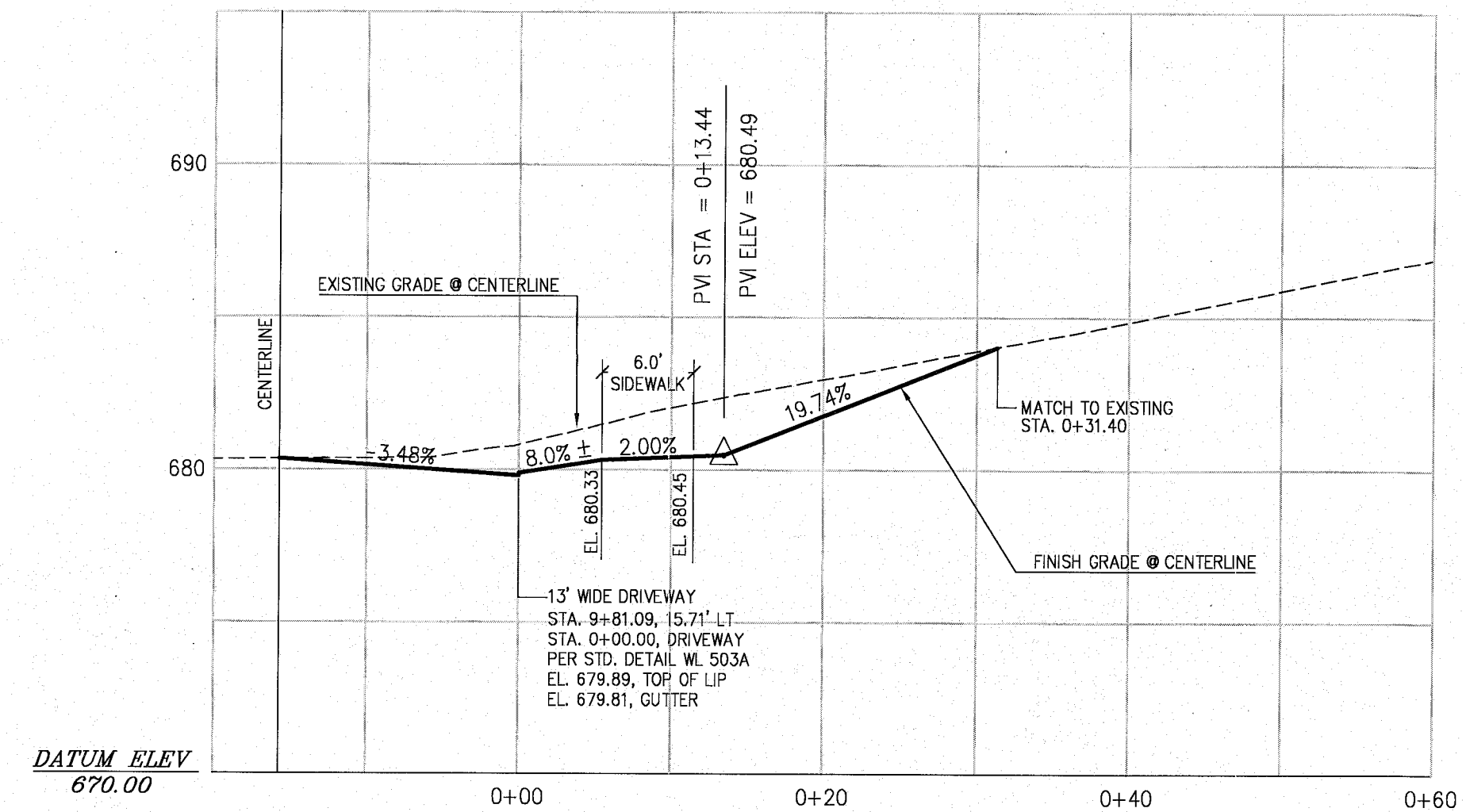




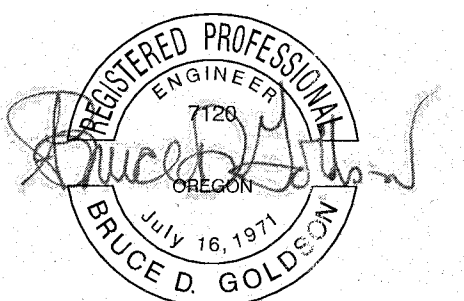
**PRIVATE DRIVEWAY CENTERLINE PROFILE**  
 SCALE: 1" = 30' HORIZONTAL  
 1" = 5' VERTICAL



**SUNCREST DRIVE GUTTERLINE PROFILE**  
 SCALE: 1" = 30' HORIZONTAL  
 1" = 2' VERTICAL



**PARCEL 1 DRIVEWAY PROFILE**  
 SCALE: 1" = 10' HORIZONTAL  
 1" = 5' VERTICAL



EXPIRES: 06/30/2017  
 SIGNATURE DATE: 10/15/2015

**AS-BUILT**

**STREET PROFILES**

**19613 Suncrest Drive  
 West Linn, Oregon 97068  
 T.2S. R.1E., Section 23, Lot 1001**

SHEET:  
**4/8**

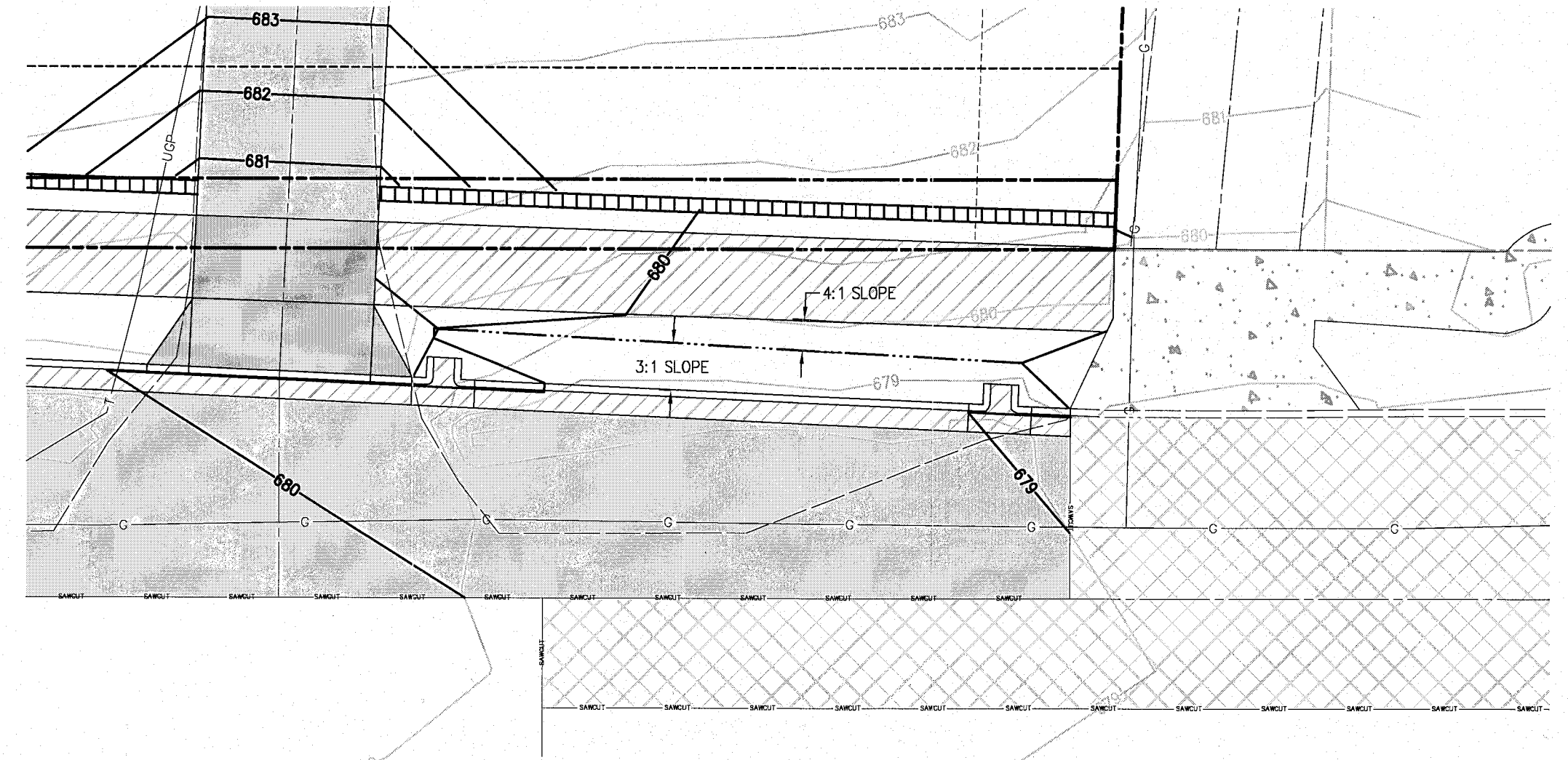
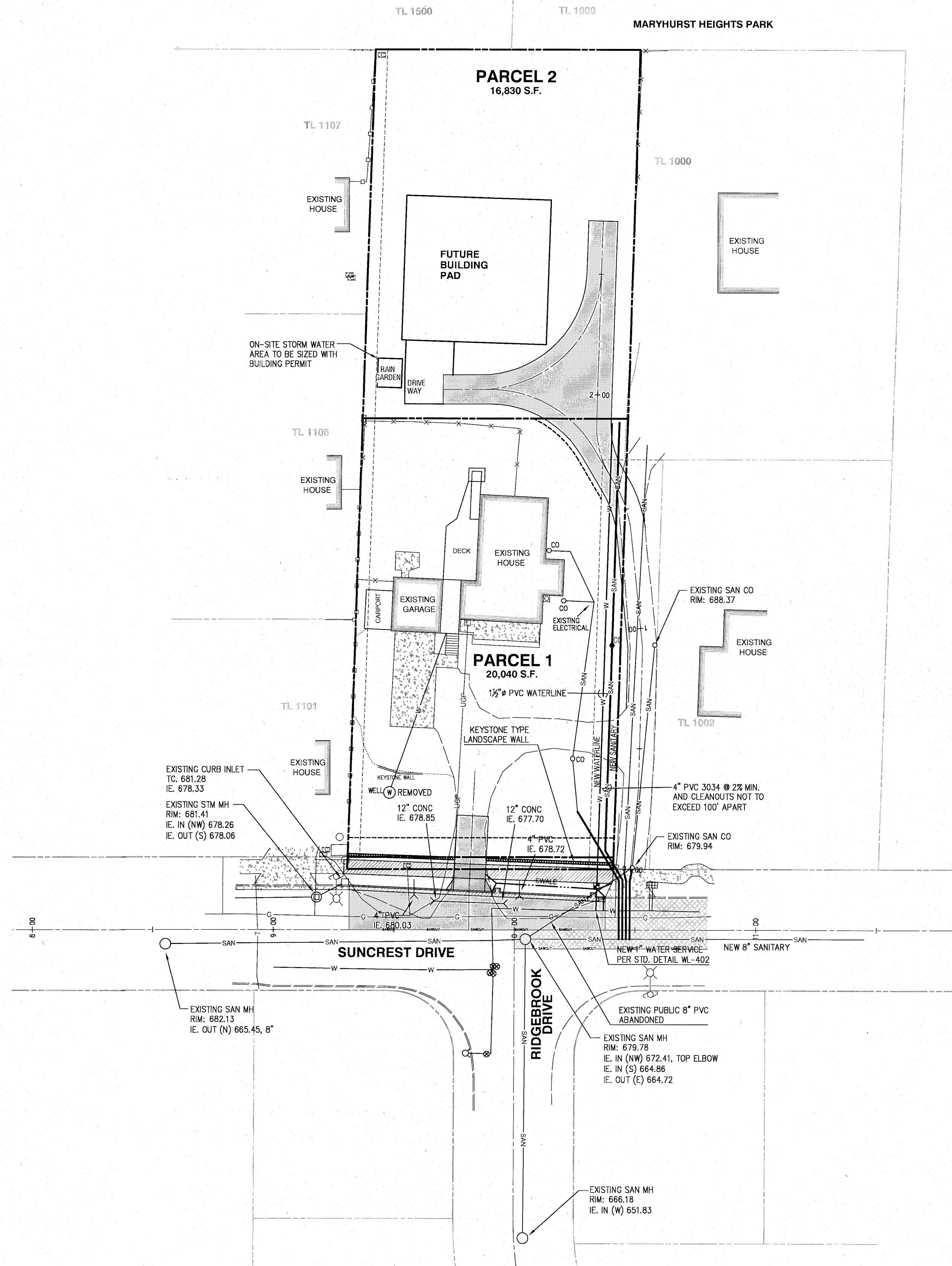
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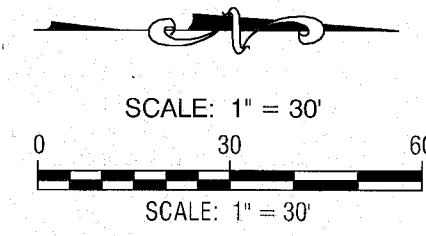
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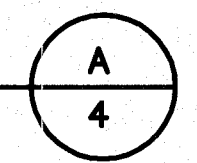
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R-10



SWALE  
SCALE: 1" = 10'



NOTES:

- GROWING MEDIUM 18" OF CITY OF PORTLAND MIX.
- LANDSCAPE MATERIALS:
  - DEOCHAMPHSIA CESPOTPSA (TUFTED HAIR GRASS)
  - BROMUS CARINATUS (CALIFORNIA BROME GRASS)
  - BROMUS VULGARIS (COLUMBIA BROME)
  - ARCTOSTAPHYLOS UVA-URSI (KINNICKINICK) @ TOP OF SLOPES
- 4" POTS AT 18" CENTERS

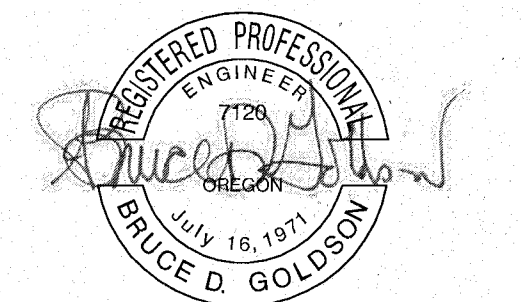
2014-122

DESIGNED: BDG			
DRAWN: BJS			
SCALE: 1" = 30'	09/11/2015	2	AS-BUILT
DATE: June, 2014	08/14/2014	1	REVISED PER CITY REVIEW
FILE: Suncrest Civil	DATE	NO.	REVISION

**Theta, LLC**  
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19613 Suncrest Drive  
West Linn, Oregon 97068  
T.2S. R.1E., Section 23, Lot 1001



EXPIRES: 06/30/2017  
SIGNATURE DATE: 10/15/2015

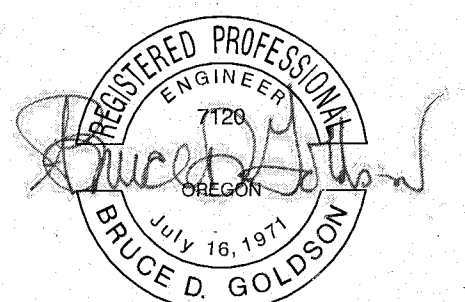
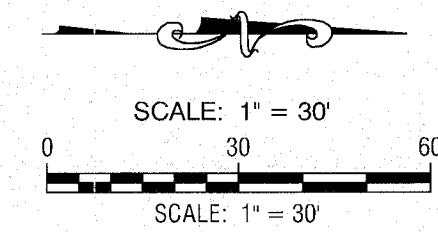
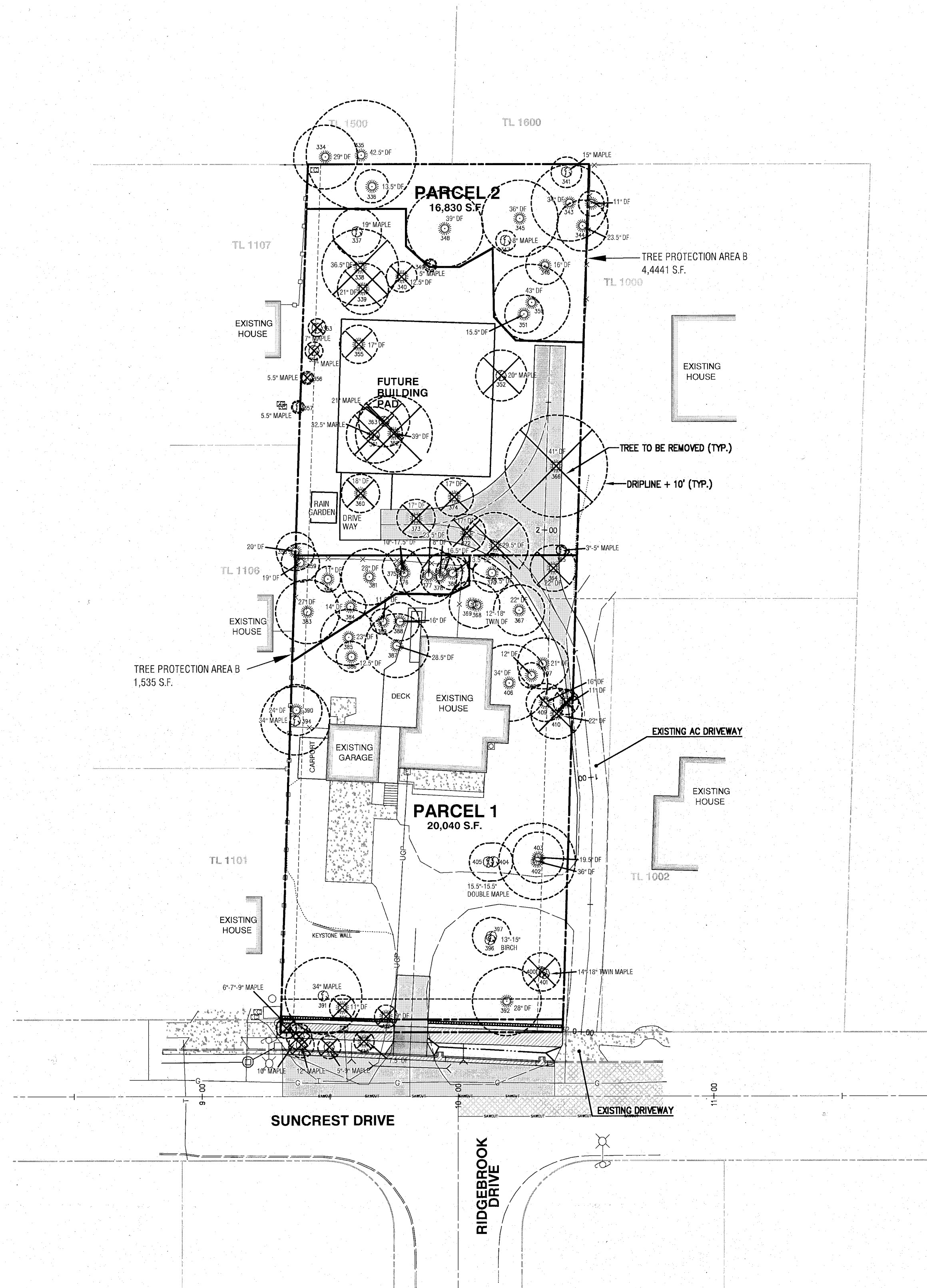
**AS-BUILT** UTILITY PLAN

SHEET:

5/8







EXPIRES: 06/30/2017  
SIGNATURE DATE: 10/15/2015

# AS-BUILT TREE REMOVAL PLAN

2014-122

DESIGNED: BDG			
DRAWN: BJS			
SCALE: 1" = 30'	09/11/2015	2	AS-BUILT
DATE: June, 2014	08/14/2014	1	REVISED PER CITY REVIEW
FILE: Suncrest Civil1	DATE	NO.	REVISION

**Theta, llc**

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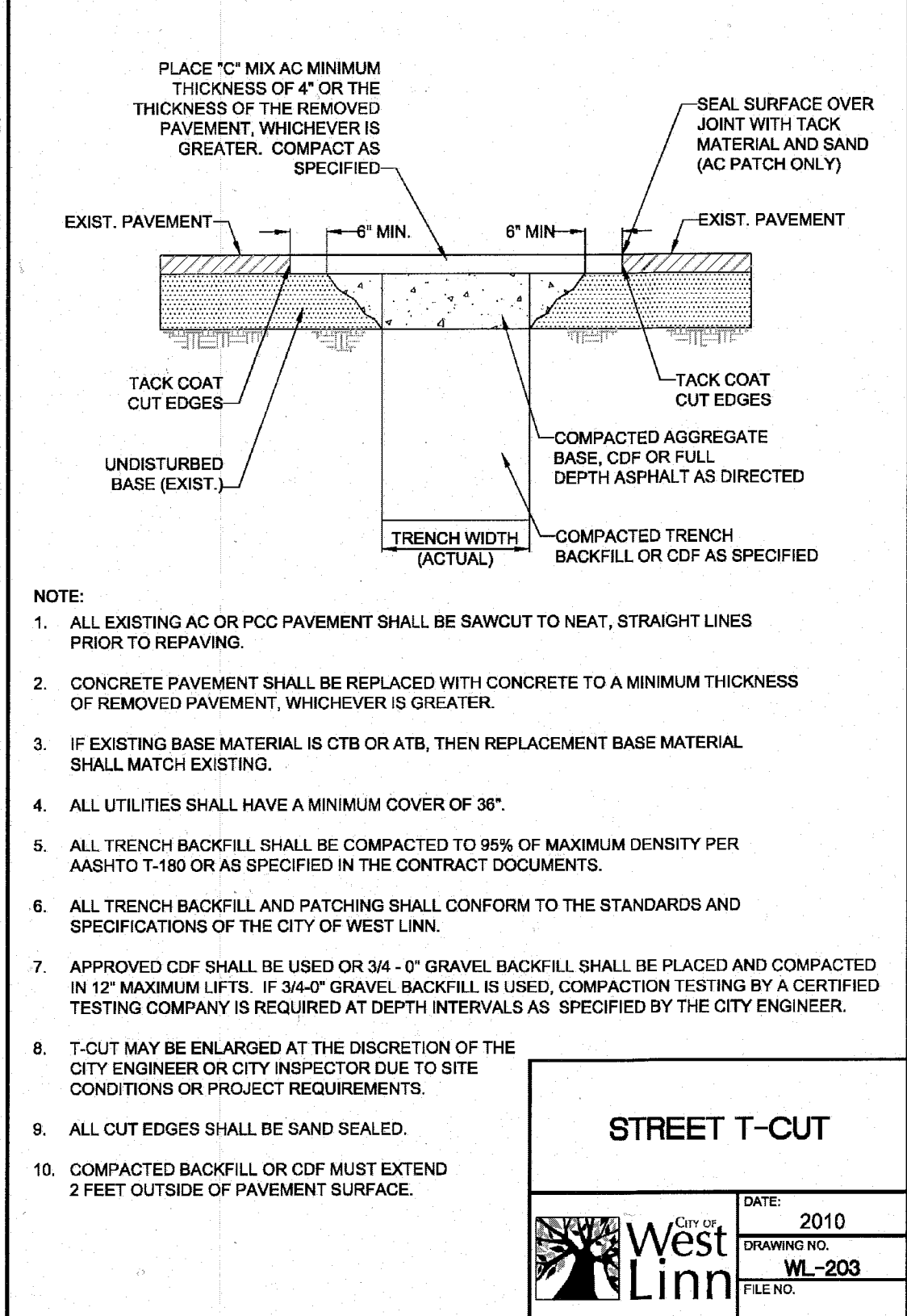
19613 Suncrest Drive  
West Linn, Oregon 97068  
T.2S. R.1E., Section 23, Lot 1001

SHEET:

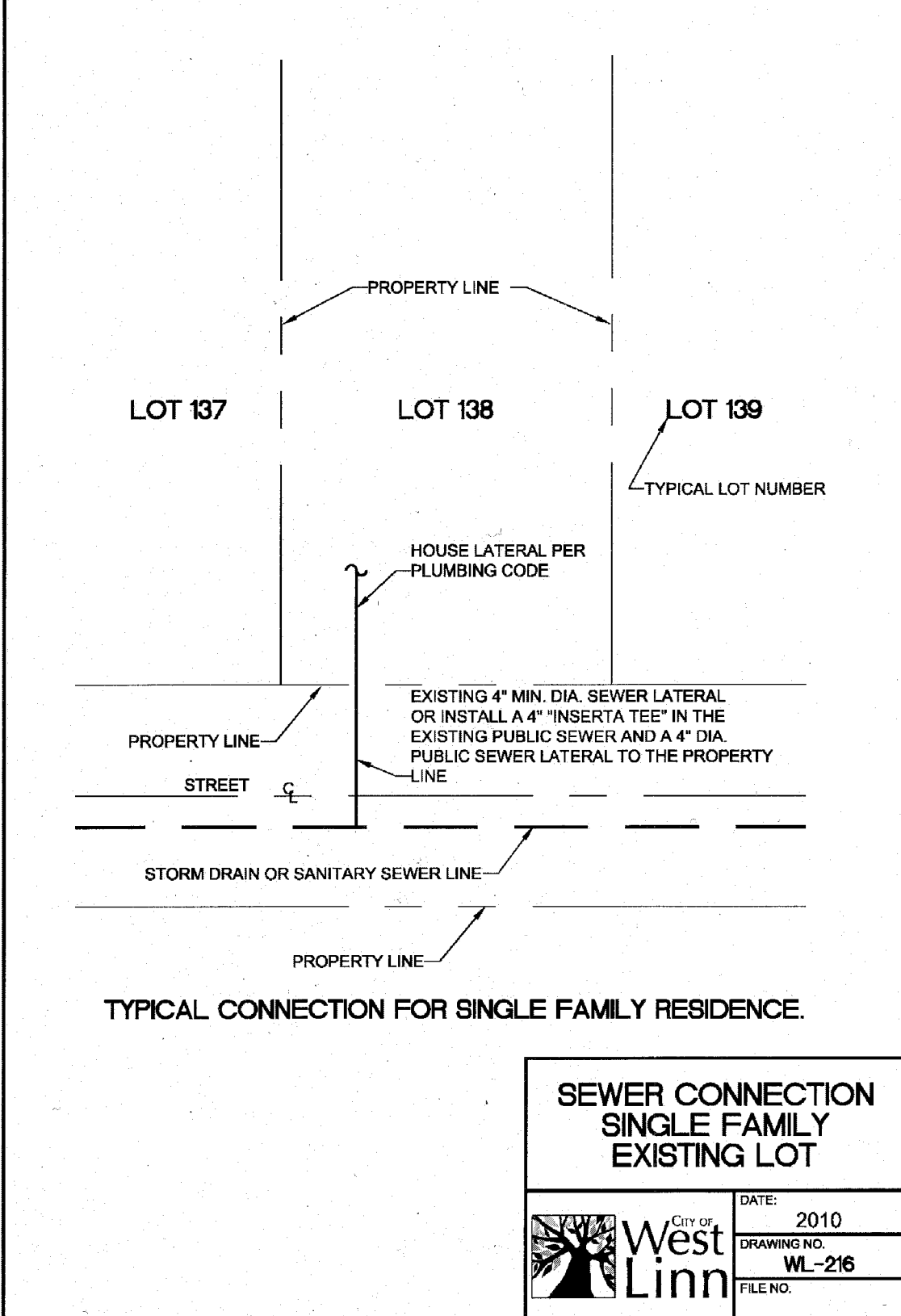
7/8



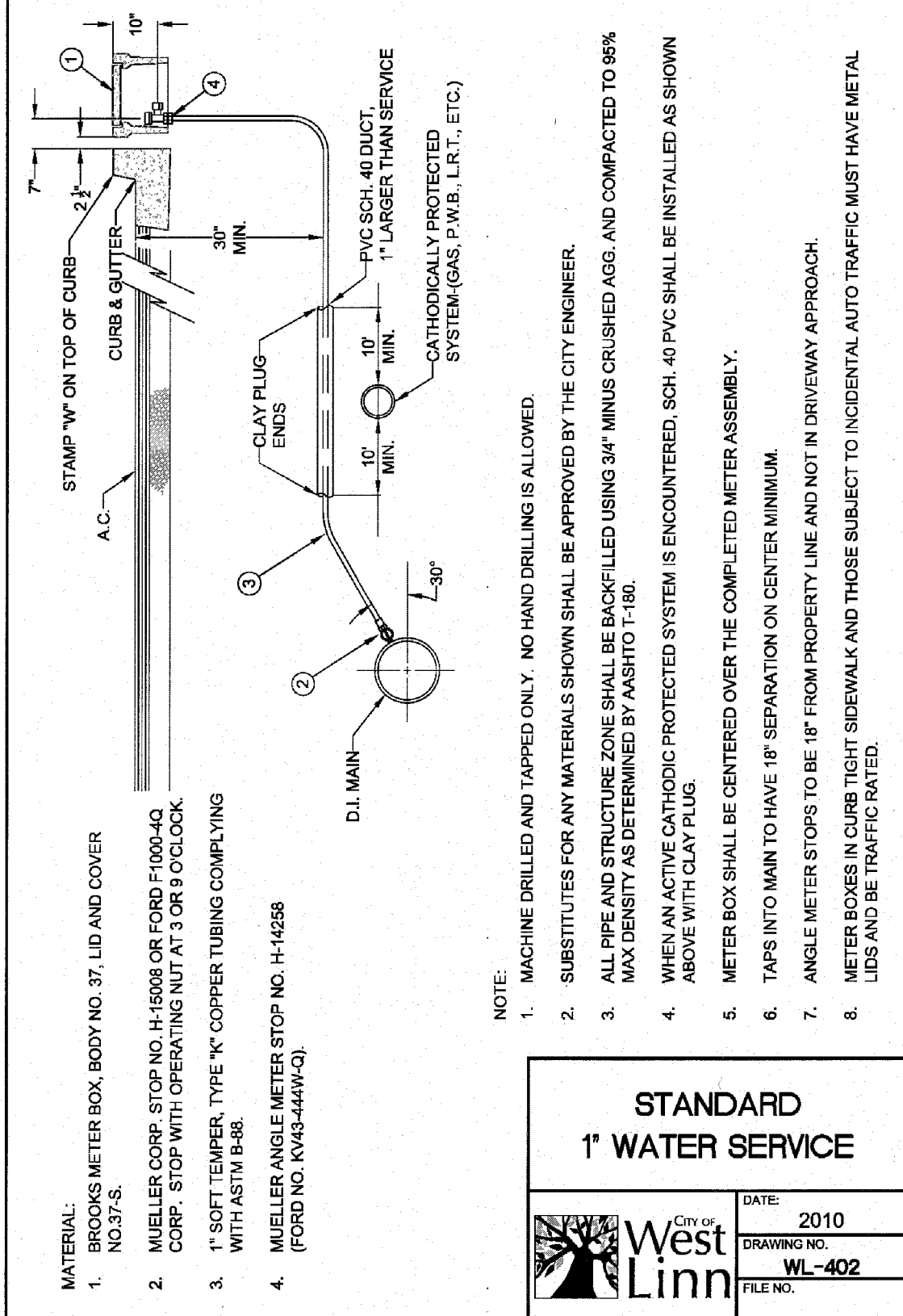
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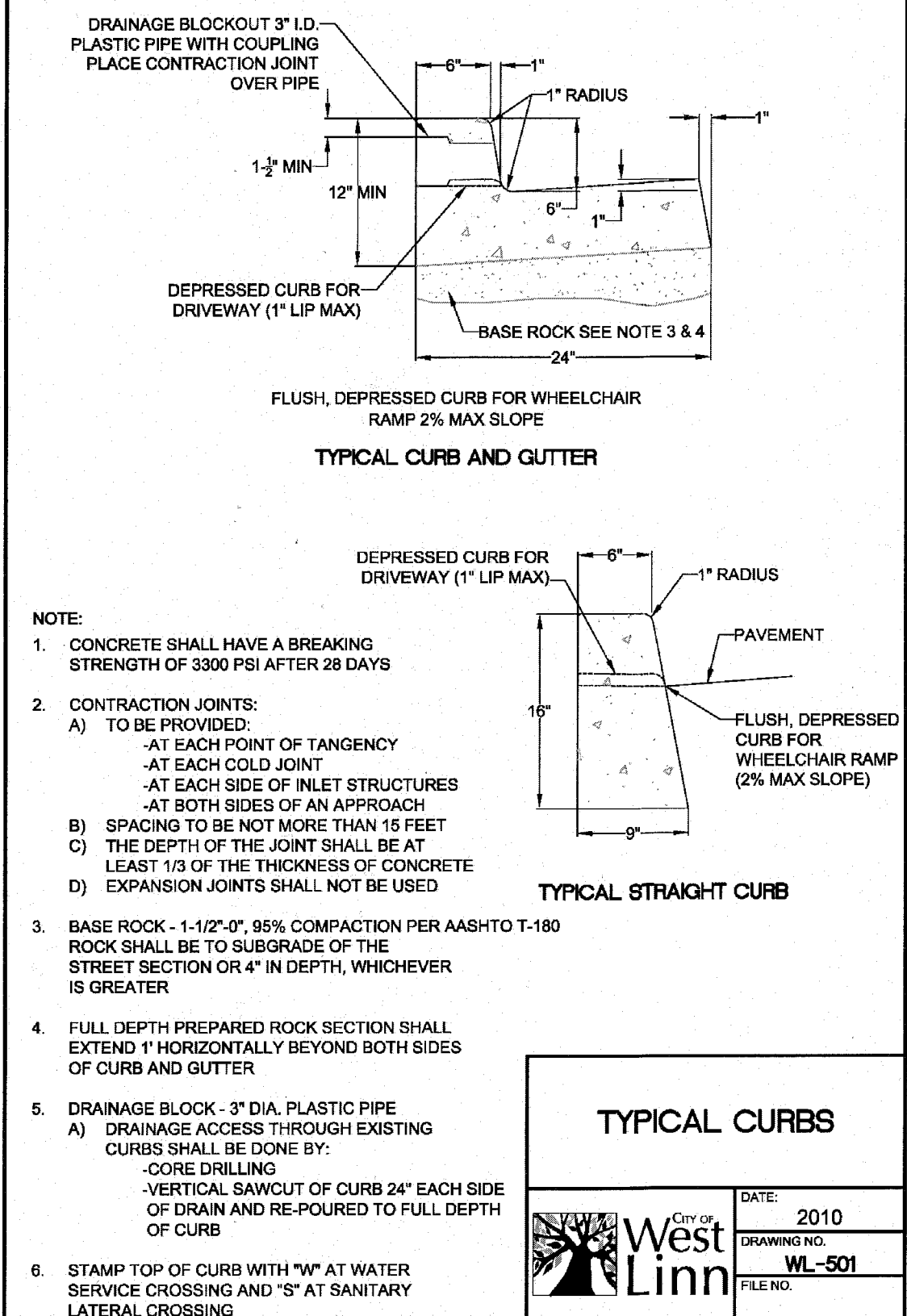
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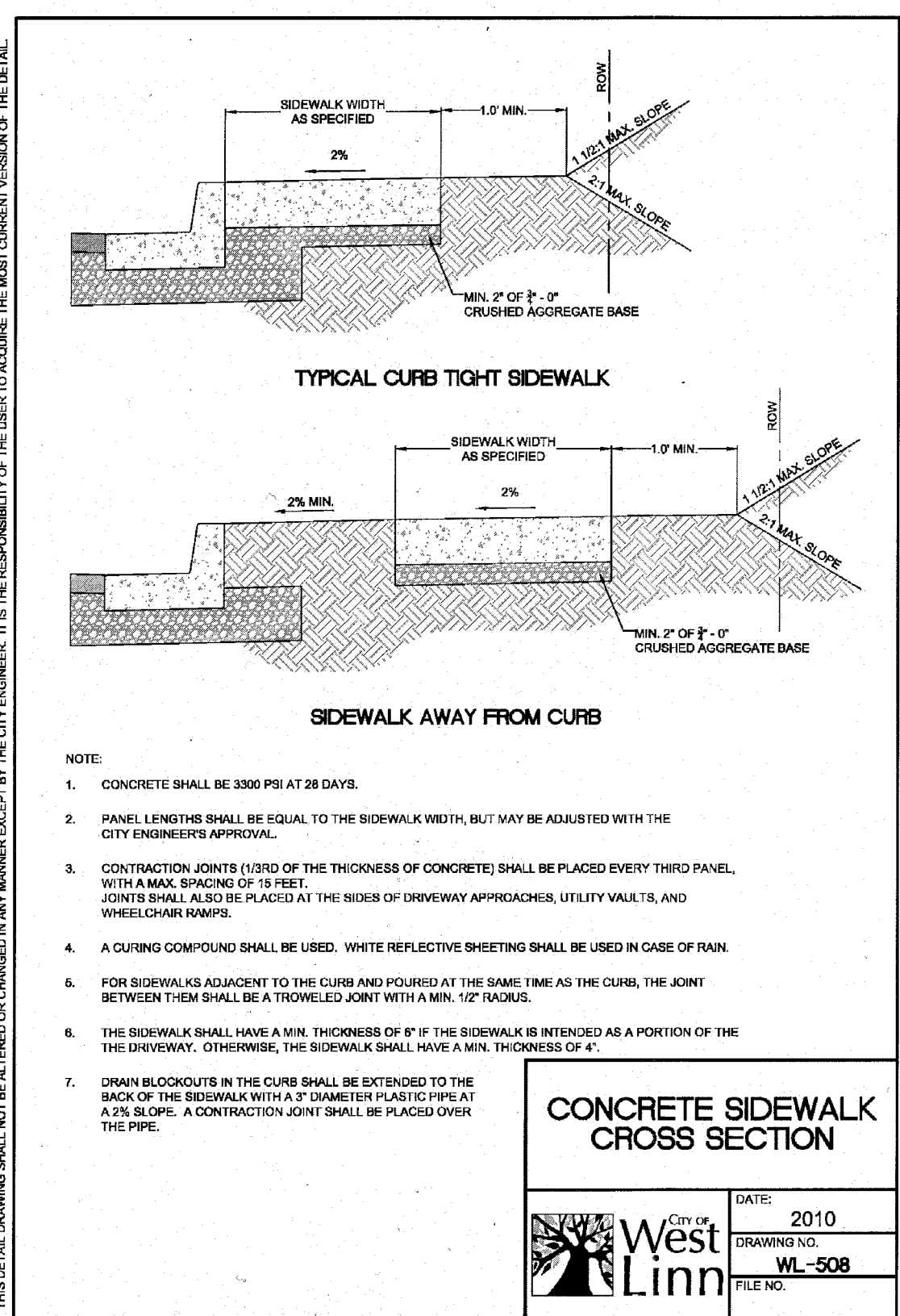
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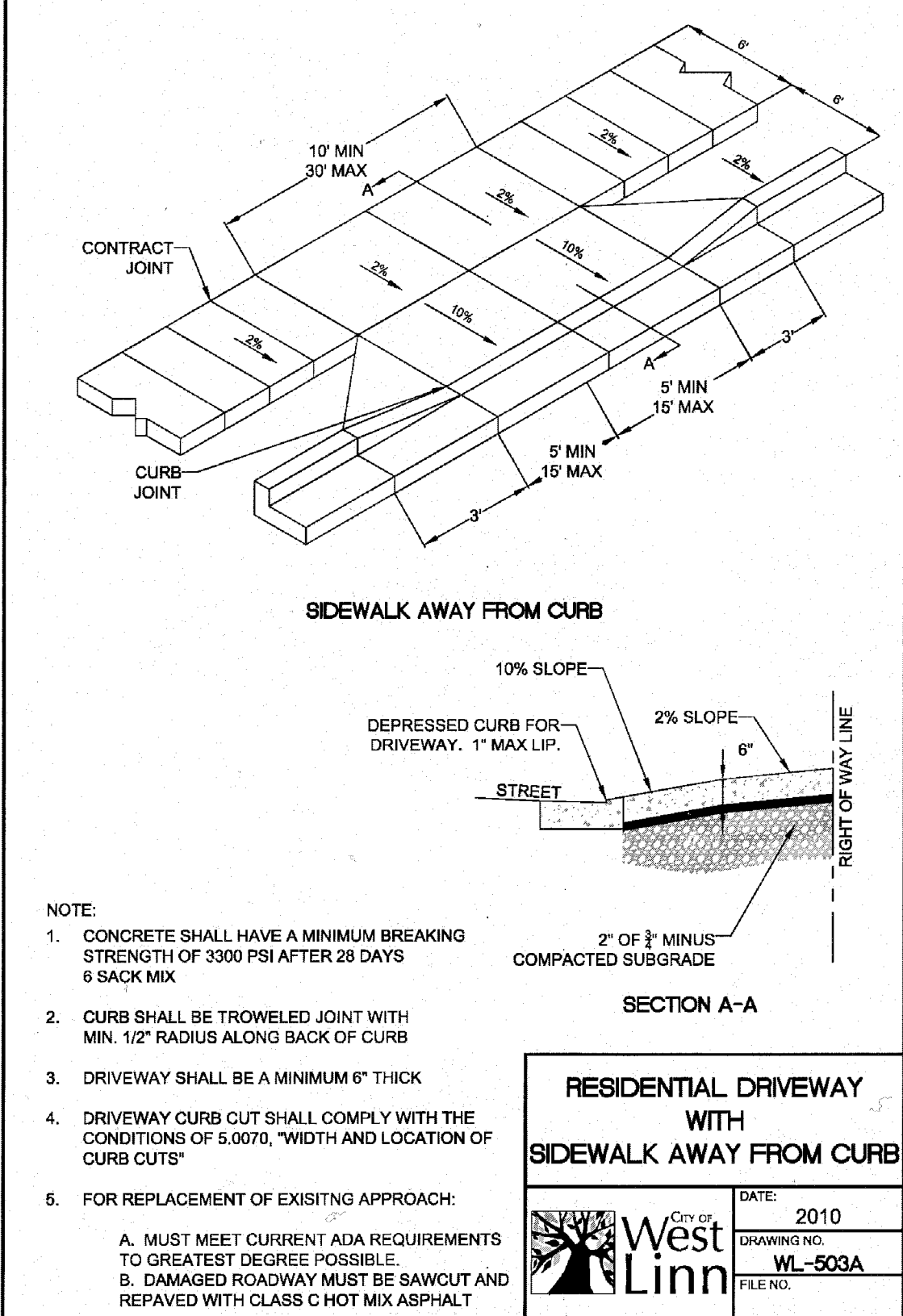
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# AS-BUILT STANDARD DETAILS

DESIGNED: BDG			
DRAWN: BJS			
SCALE: NTS	09/11/2015	2	AS-BUILT
DATE: June, 2014			
FILE: Suncrest Details	DATE	NO.	REVISION

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19613 Suncrest Drive West Linn, Oregon 97068 T.2S. R.1E., Section 23, Lot 1001	SHEET: 8/8
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