

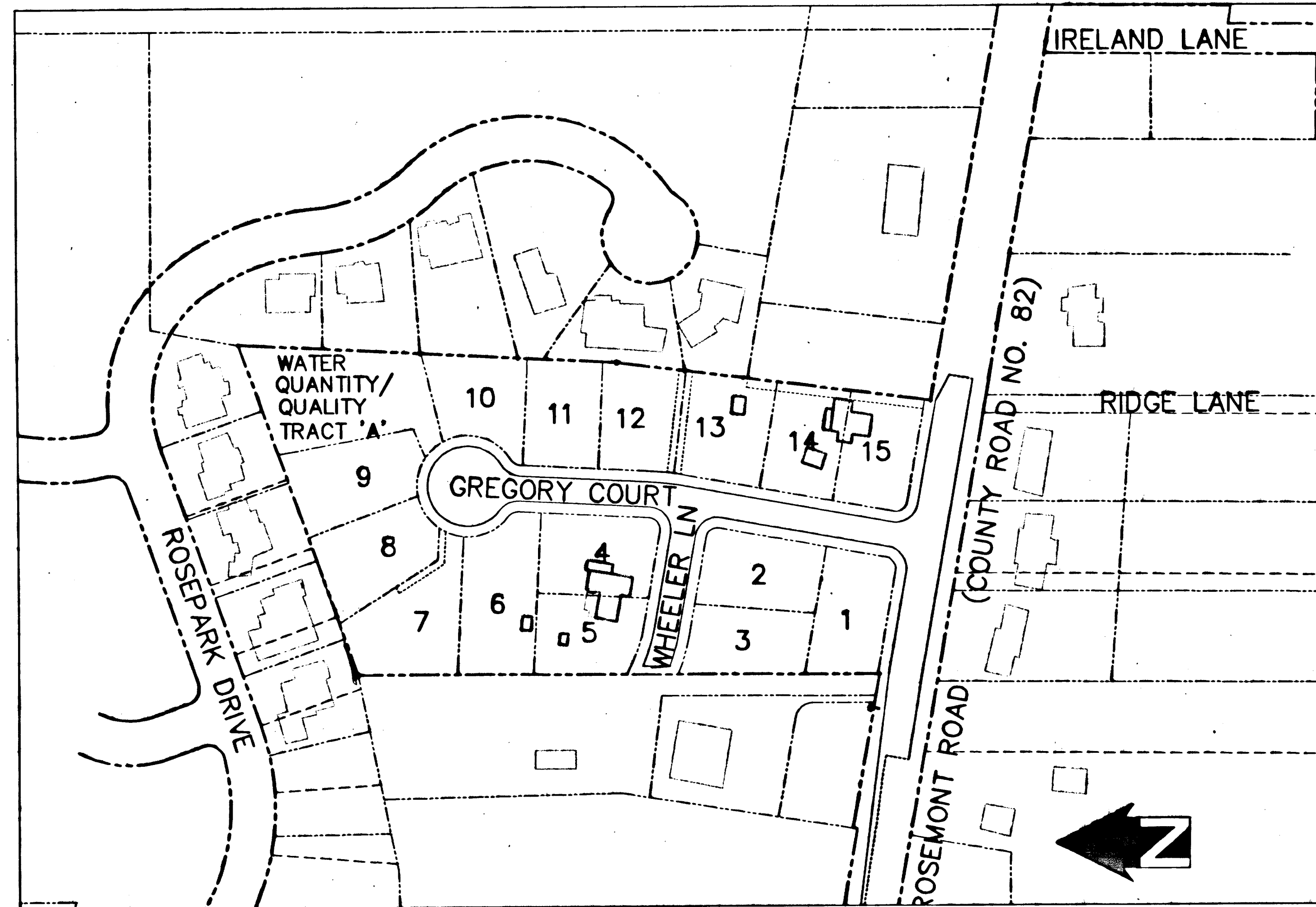
SITE, STREET AND UTILITY IMPROVEMENT PLANS GREGORY ESTATES

WEST LINN, OREGON

MAP 2S 1E 25BD, TAX LOT 700, 800, 801, 802, AND 803
CITY OF WEST LINN CASE FILE NO. SUB-03-01/MISC-03-15

SHEET LEGEND

NUMBER	DESCRIPTION
1	TITLE SHEET
2	NOTES & CONDITIONS OF APPROVAL
3	SITE PLAN
4	GRADING & EROSION CONTROL PLAN
5	STREET PLAN
6	STREET PROFILES
7	STREET PROFILES
8	STORM SEWER PLAN
9	STORM SEWER PROFILES
10	STORM SEWER PROFILES
11	SANITARY SEWER PLAN
12	SANITARY SEWER PROFILES
13	WATER PLAN
14	POND LANDSCAPING & DETAILS
15	DETAILS
16	DETAILS
17	DETAILS



SITE PLAN
SCALE: 1"=100'

PREPARED FOR:

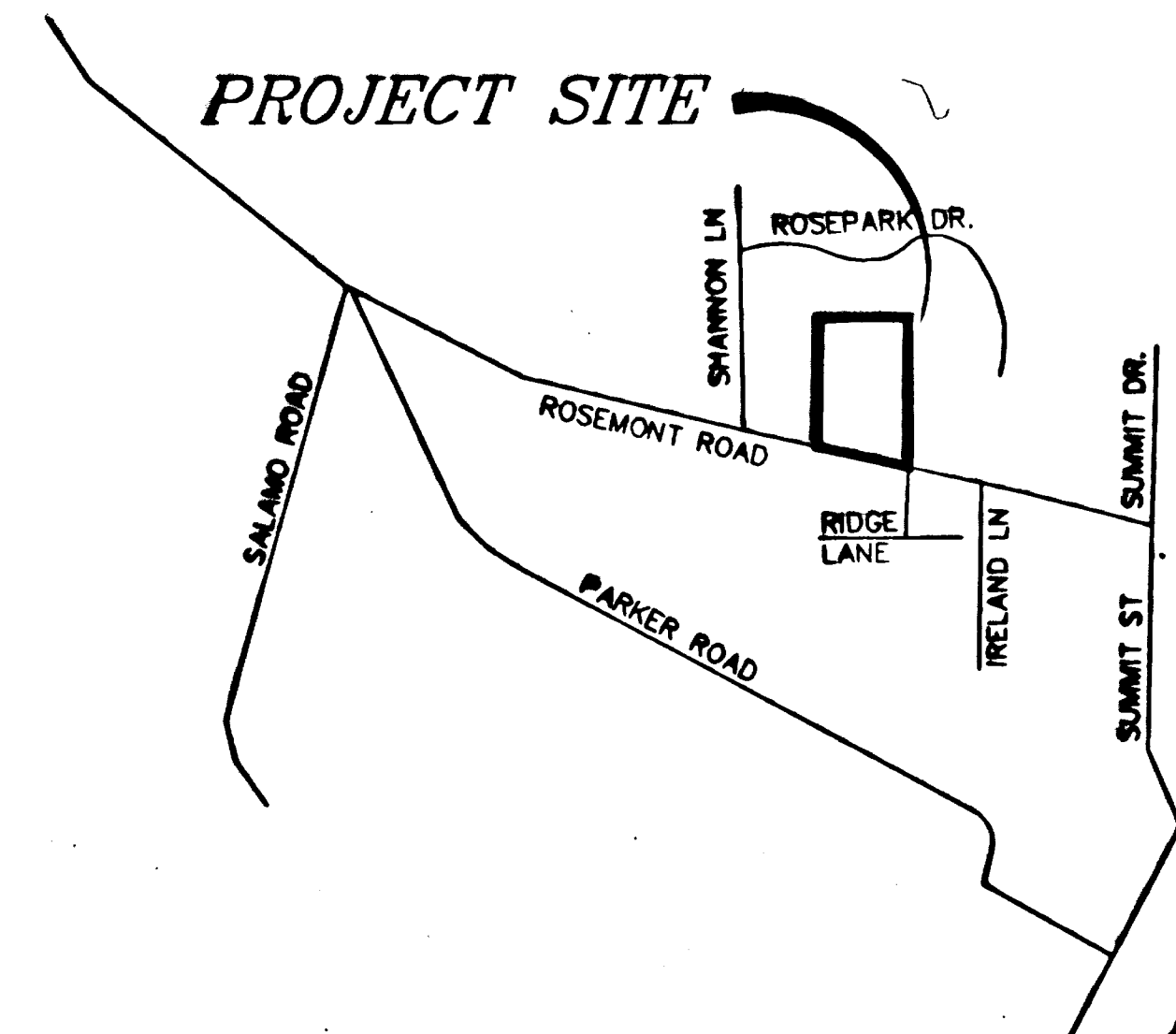
CENTURION HOMES
7128 SW GONZAGA STREET, SUITE 100
PORTLAND, OREGON 97223
PH: (503) 620-2047

PREPARED BY:

CES|NW

CESNW, INC.
15573 SW BANGY ROAD, SUITE 300
LAKE OSWEGO, OREGON 97035
PH: (503) 968-6655 FAX: (503) 968-2595

UTILITY COMPANIES/CONTACTS:
UTILITY ONE CALL LOCATE 503-246-6699
PGE 503-570-4406
QWEST 503-242-6064
NW NATURAL GAS 503-721-2449
COMCAST 503-605-6000
CITY OF WEST LINN 503-722-5500



VICINITY MAP
SCALE: 1"=1000'

SYMBOLS LEGEND

PROPOSED	EXISTING
SILT FENCING	
RESOURCE BUFFER	
CONTOUR (10')	
CONTOUR (2')	
R-O-W	
STREET CENTERLINE	
PROPERTY LINE	
EDGE OF GRAVEL	
EDGE OF PAVEMENT/CURB	
SANITARY SEWER	
STORM SEWER	
WATER MAIN	
SANITARY BUILDING LATERAL	
STORM BUILDING LATERAL	
WATER SERVICE	
OVERHEAD POWER LINES	
TELEPHONE LINES	
SANITARY MANHOLE	
STORM MANHOLE	
WATER VALVE	
FIRE HYDRANT	
WATER METER BOX	
CATCH BASIN	
STREET LIGHT	
BLOW OFF ASSEMBLY	
POWER POLE	

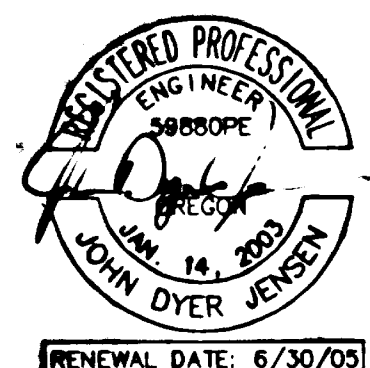
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John D. Jensen DATE: 12-16-04
JOHN D. JENSEN

BENCH MARK

ELEVATION IS BASED UPON CITY OF WEST LINN BENCHMARK NO.137: LOCATED AT PARKER AND SALAMO ROAD.

ELEVATION = 666.43 FT



GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF WEST LINN AND APWA STANDARD PLANS AND SPECIFICATIONS, AND THE 1994 EDITION OF THE CLACKAMAS COUNTY "EROSION PREVENTION & SEDIMENT CONTROL PLANS TECHNICAL GUIDANCE MANUAL".
2. PRIOR TO ANY CONSTRUCTION, CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES. WHEN ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. UTILITIES HAVE BEEN LOCATED FROM AVAILABLE RECORDS, AND MAY NOT BE AS SHOWN ON THESE PLANS. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HOURS PRIOR TO BEGINNING EXCAVATION.
3. THE CONTRACTOR SHALL PERFORM ALL THE WORK SHOWN ON THE DRAWINGS AND ALL INCIDENTAL WORK NECESSARY TO COMPLETE THE PROJECT IN AN ACCEPTABLE MANNER. ALL INCIDENTAL WORK SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE ITEMS OF WORK LISTED IN THE PROPOSAL. ANY ITEM NOT LISTED IN THE PROPOSAL IS CONSIDERED INCIDENTAL.
4. THE CONTRACTOR AND/OR SUB-CONTRACTORS SHALL HAVE A MINIMUM OF ONE (1) SET OF APPROVED CONSTRUCTION PLANS ON THE JOB AT ALL TIMES DURING CONSTRUCTION.
5. ALL MATERIAL SUPPLIER(S) SHALL, UPON REQUEST, SUBMIT TO THE ENGINEER PROOF OF MATERIAL(S) TESTED IN ACCORDANCE WITH THE SPECIFICATION. BY ACCEPTANCE OF THE CONTRACT WITH THE OWNER/DEVELOPER, THE CONTRACTOR CERTIFIES THAT ALL MATERIALS DELIVERED TO THE JOB SITE OR INCORPORATED INTO THE WORK WILL MEET OR EXCEED SPECIFICATIONS. ANY MATERIAL NOT CONFORMING SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.

STREETS AND STRUCTURAL FILLS

6. ALL TREES, BRUSH AND DEBRIS WITHIN LIMITS OF THE RIGHT-OF-WAY AND ON THE AREAS TO BE FILLED/GRADED SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR UNLESS OTHERWISE NOTED ON PLANS.
7. ALL AREAS OF CONSTRUCTION SHALL BE STRIPPED. STRIPPING SHALL CONSIST OF REMOVING THE TOPSOIL HUMUS. STRIPPING MATERIALS MAY BE PLACED ON LOTS OUTSIDE OF BUILDING PAD AREAS TO A MAXIMUM OF 6 INCHES IN DEPTH. NO STRIPING MATERIAL TO BE PLACED IN FILLS OR ON FILLS TO CONSTRUCT THE WATER QUALITY/QUANTITY POND. EXCESS STRIPPING MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR OFF-SITE.
8. ALL FILL SHALL BE ENGINEERED/STRUCTURAL FILL. ALL ENGINEERED FILL SHALL BE CONSTRUCTED WITH SELECT MATERIAL TO 95% OF MAXIMUM DRY DENSITY BY AASHTO T-180/ASTM D1557. FILL SHALL BE PLACED IN MAXIMUM 6" LIFTS LOOSE MEASURE AND COMPACTED TO THE REQUIRED DENSITY. ALL FILL MATERIAL IS SUBJECT TO THE APPROVAL OF THE GEOTECHNICAL ENGINEER.
9. FILLS SHALL NOT BE CONSTRUCTED ON NATURAL SLOPES STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL. ALL FILL SLOPES SHALL NOT EXCEED TWO HORIZONTAL TO ONE VERTICAL. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN 6" SHALL BE BURIED OR PLACED IN THE FILLS.
10. ROCK BASE, ASPHALTIC CONCRETE PAVEMENT, CURB AND SIDEWALK CONSTRUCTION SHALL BE AS SHOWN ON THE TYPICAL SECTIONS, SHEET 5, AND IN ACCORDANCE WITH THE ABOVE REFERENCED SPECIFICATIONS.
11. CONTRACTOR TO STAMP CURBS DURING CURB CONSTRUCTION WITH "W" TO DENOTE WATER SERVICE, "S" TO DENOTE SANITARY SEWER SERVICE LOCATIONS, AND "ST" TO DENOTE STORM SEWER SERVICE LOCATIONS.

UTILITIES

12. BEDDING AND PIPE ZONE BACKFILL REQUIREMENTS SHALL BE IN ACCORDANCE WITH TRENCH DETAILS AS SHOWN ON THE DETAIL SHEETS.
13. BACKFILL FOR THE PIPE BASE AND PIPE ZONE SHOULD BE COMPACTED TO AT LEAST 90% OF MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T-180/ASTM D1557. TRENCH BACKFILL IN BUILDING AND PAVED AREAS WILL BE CLASS 'B' 3/4"-0" CRUSHED ROCK COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T-180/ASTM D1557. TRENCH BACKFILL ABOVE THE PIPE ZONE IN NON-PAVED AREAS WILL BE CLASS 'A' NATIVE MATERIAL COMPACTED TO 90% OF MAXIMUM DRY DENSITY, AASHTO T-180/ASTM D1557.
14. STORM AND SANITARY SEWER SHALL BE OF THE SIZE NOTED ON THE PLANS. PVC STORM & SANITARY SEWER LINES SHALL CONFORM TO ASTM 3034, SDR 35 OR F794, WITH RUBBER GASKETS. PVC ULTRA -RIB STORM SEWER MAIN LINES SHALL BE MADE OF PVC AS DEFINED IN ASTM 1784. THE PVC ULTRA-RIB PIPE STIFFNESS SHALL CORRESPOND WITH THE SERIES AS DETERMINED IN ACCORDANCE WITH ASTM D2412, SERIES 46 AND 28 ARE ALLOWED. GASKETS FOR PVC ULTRA-RIB SHALL CONFORM WITH ASTM 477. SANITARY SEWERS SHALL BE AIR TESTED IN ACCORDANCE WITH CITY OF WEST LINN STANDARDS. SANITARY LINES SHALL BE PHYSICALLY DISCONNECTED FROM THE EXISTING CITY SYSTEM PRIOR TO TESTING AND ACCEPTANCE INTO SERVICE.
15. STORM AND SANITARY SEWER SERVICE LATERALS SHALL BE 4-INCH PVC AND SHALL BE INSTALLED AT 2 % MINIMUM SLOPE UNLESS OTHERWISE NOTED ON THE PLANS. MARK ALL LATERAL ENDS WITH 2"x4" MARKER THAT IS LABELED TO INDICATE DEPTH, PER DETAIL. ALL STORM AND SANITARY 2"x4" MARKERS SHALL BE 3' MIN. ABOVE THE FINAL GRADE AND SHALL BE PAINTED GREEN FOR SANITARY AND WHITE FOR STORM.
16. ALL SANITARY SEWER MANHOLES WILL BE VACUUM TESTED PER APWA STANDARDS. TEST PROCEDURES SHALL CONFORM TO THE CITY OF WEST LINN STANDARDS.
17. TELEVISION INSPECTION AND MANDREL DEFLECTION TESTING OF UNDERGROUND SANITARY AND STORM PIPING IS REQUIRED. CONTRACTOR SHALL OBTAIN TELEVISION INSPECTION SERVICES FROM A QUALIFIED INDEPENDENT COMPANY. THE CONTRACTOR SHALL SUPPLY BOTH COLOR VIDEO AND WRITTEN REPORTS PER THE REQUIREMENTS OF THE LOCAL AGENCY, STATE, AND ENGINEER. THE DETENTION POND IS SUBJECT TO HYDROSTATIC TESTING PRIOR TO ACCEPTANCE.

18. WATERLINE SHALL BE OF THE SIZE NOTED ON THE PLANS. DUCTILE IRON PIPE SHALL BE CLASS 52, CEMENT LINED CONFORMING TO ANSI A21.51, WITH PUSH-ON TYPE JOINTS. DUCTILE IRON FITTINGS SHALL BE MECHANICAL JOINT CONFORMING TO ANSI A-21.10 OR ANSI A21.53.
19. MINIMUM COVER OVER WATERLINES IS TO BE 36" AS MEASURED FROM FINISH GRADE TO TOP OF PIPE BELL. MINIMUM VERTICAL SEPARATION BETWEEN WATERLINE AND SANITARY SEWER AT A CROSSING IS 18 INCHES. SANITARY SEWER AT WATERLINE CROSSINGS WITH LESS THAN MINIMUM VERTICAL SEPARATION SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH WATERTIGHT JOINTS. IN SUCH CASES THE 18-FOOT LENGTH OF SANITARY SEWER SHALL BE CENTERED AT THE CROSSING.
20. ALL WATERLINE SERVICES SHALL BE 1-INCH AS NOTED ON PLANS. ALL CORPORATION STOPS, TEES, AND AGLE METER STOPS SHALL BE COMPRESSION FITTINGS. SEE CITY OF WEST LINN DETAIL.
21. ALL TEES, BENDS, ELBOWS, AND CHANGES IN DIRECTION OF MORE THAN 11 1/4 DEGREES SHALL BE SECURELY THRUST BLOCKED USING 3000 PSI CONCRETE POURED AGAINST UNDISTURBED GROUND, OR APPROVED ALTERNATE.
22. TESTING, FLUSHING, AND STERILIZATION OF ALL NEW WATERLINE IMPROVEMENTS SHALL BE APPROVED BY THE CITY OF WEST LINN PRIOR TO ANY PHYSICAL CONNECTION OF THE NEW WATERLINE TO THE EXISTING CITY WATERLINE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE CITY OF WEST LINN FOR ANY USE OF CITY WATER SYSTEM FOR TESTING, FLUSHING, AND STERILIZATION. PRESSURE TEST WILL BE CONDUCTED AT 180 PSI WITH NO LOSS FOR 1 HOUR. CHLORINATION AND BACTERIA SAMPLE WILL BE CONDUCTED AFTER PRESSURE TEST.

APPROVALS/MISC

23. SIGNIFICANT CHANGES TO THESE PLANS MUST BE APPROVED BY THE CITY AND DESIGN ENGINEER PRIOR TO IMPLEMENTATION.
24. CONTRACTOR TO ACQUIRE ALL REQUIRED PERMITS BEFORE WORKING IN PUBLIC RIGHT-OF-WAY.
25. ANY EXISTING WELLS THAT ARE TO BE ABANDONED, MUST BE ABANDONED PER OREGON WATER RESOURCES REGULATIONS. CONTACT RICHARD EDWARDS AND/OR BILL BERBER OF OREGON WATER RESOURCES 503-378-8455 EXT. 221.
26. NEITHER TOP SOIL STORAGE NOR CONSTRUCTION MATERIAL STORAGE SHALL BE LOCATED WITHIN THE DRIP LINE OF TREES DESIGNATED TO BE PRESERVED AND/OR PROTECTED.

CONDITIONS OF APPROVAL

1. TREE AND DRAINAGEWAY PRESERVATION:
- a. TREE AND DRAINAGEWAY EASEMENTS SHALL BE RECORDED ON THE PLAT AS SHOWN IN THE APPLICANT'S SUBMITTAL. THERE SHALL BE A 2:1 RATIO OF RE-PLANTING FOR TREES THAT ARE REMOVED. THE REPLACEMENT TREES SHALL BE IN ADDITION TO STREET TREES THAT ARE ALSO REQUIRED. REPLACEMNT TREES SHAL BE 2" CALIPER AT MINIMUM.
- b. SIX-FOOT CHAIN-LINK FENCING SHALL BE PLACED AT TREE EASEMENT BOUNDARIES PRIOR TO GRADING THE SITE.
- c. THE CITY ARBORIST SHALL INSPECT AND APPROVE ALL ON-SITE TREE AND DRAINAGEWAY PROTECTION MEASURES PRIOR TO THE START OF SITE WORK. IT IS THE APPLICANT'S RESPONSIBILITY TO CONTACT THE CITY ARBORIST AND ARRANGE FOR THIS APPROVAL TO TAKE PLACE. NO PERMITS FROM ENGINEERING, PLANNING, OR BUILDING DEPARTMENTS SHALL BE ISSUED WITHOUT APPROVAL FROM THE CITY ARBORIST REGARDING TREE PROTECTION MEASURES.
- d. ALL TREE AND DRAINAGEWAY PROTECTION MEASURES SHALL REMAIN IN PLACE AND FULLY FUNCTIONAL FOR THE ENTIRE TIME THAT SITE WORK AND CONSTRUCTION IS TAKING PLACE AND DURING CONSTRUCTINO OF THE INDIVIDUAL HOMES.
2. THE APPLICANT SHALL PROVIDE RIGHT-OF-WAY AND INSTALL STREET IMPROVEMENTS AS SUBMITTED IN APPLICANT'S PLANS.
3. THE ABOVE GROUND STORM WATER DETENTION AND TREATMENT METHOD AND FACILITY SHALL BE PER APPLICANT'S SUBMITTAL. A VEGETATION/LANDSCAPE PLAN FOR THE DETENTION POND SHALL BE SUBMITTED AND INSTALLED PER WEST LINN ENGINEERING STANDARDS.
4. ALL WATER METER LOCATIONS SHALL MEET CITY STANDARDS.
5. ALL PUBLIC IMPROVEMENTS SHALL MEET EXISTING CITY OF WEST LINN CONSTRUCTION STANDARDS.
6. ALL STREET LIGHTS SHALL BE DOWNWARD FOCUSED AND SHIELDED WITH NO GLOBE OR OMNI-DIRECTIONAL LIGHTING PERMITTED. STREET LIGHT FIXTURES AND LOCATION MUST BE APPROVED BY THE CITY ENGINEER. STREET LIGHTS ON ROSEMONT ROAD AND AT THE INTERSECTION OF ROSEMONT AND GREGORY COURT SHALL BE COBRA-HEAD LUMINAIRE WITH FLAT LENSES. ALL OTHER INTERIOR STREET LIGHTS SHALL BE SHOE-BOX TYPE WITH FLAT LENSES.
7. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE AND APPROVED PRIOR TO SITE PREPARATION OR GRADING.

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John D. Jensen
JOHN D. JENSEN

DATE: 12-16-09



RENEWAL DATE: 6/30/09

GREGORY ESTATES

CASE FILE NO. SUB-03-01/MISC-03-15

CENTURION HOMES
7128 SW GONZAGA STREET, SUITE 100
PORTLAND, OREGON 97223
503-620-2047

CES NW

15573 SW BANGY ROAD, STE 300
LAKE OSWEGO, OREGON 97035
503.968.6655 www.cesnw.com

REVISIONS
1. REVISED PER CITY COMMENTS JUL 4/12/04
2. "AS-BUILT" RECORD DRAWINGS JUL 12-2-04

18605901-02

PROJECT NO. 1860
DESIGNED BY: JDU
DATE: 1/28/04
DRAWN BY: JDU

NOTES

SHEET

2

OF

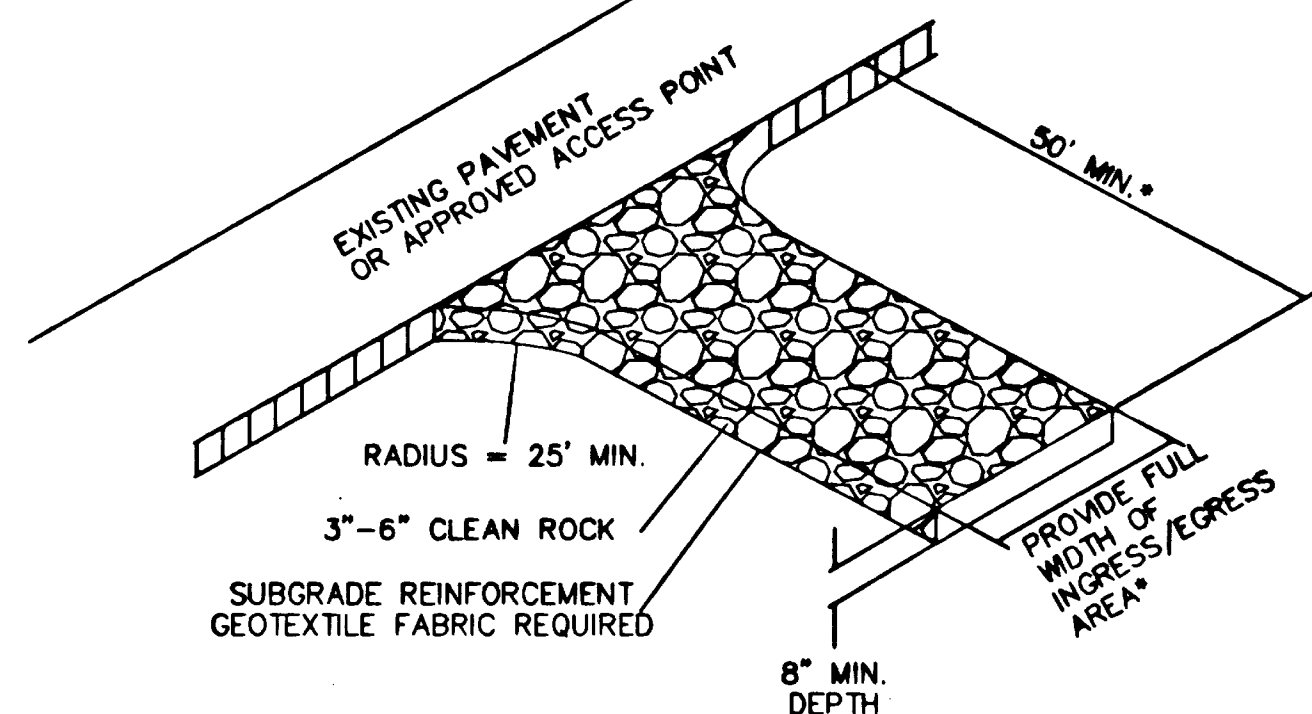
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EROSION CONTROL NOTES

- CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION/SEDIMENTATION CONTROL DURING CONSTRUCTION (ANY TIME OF YEAR) PER THE "EROSION PREVENTION AND SEDIMENTATION CONTROL PLANS TECHNICAL GUIDANCE MANUAL" (CLACKAMAS COUNTY DEPARTMENT OF UTILITIES, 1994). CONSTRUCTION PROJECTS BEGINNING PRIOR TO MAY 1 OR THOSE PROJECTS ANTICIPATING CONSTRUCTION ACTIVITY BETWEEN NOVEMBER 1 AND APRIL 30 WILL BE REQUIRED TO SUBMIT A PLAN ADDRESSING "WET WEATHER" MEASURES AS OUTLINED IN THE ECTGH. CONSTRUCTION ACTIVITY IS ASSUMED AS "ACTIVE" UNTIL ALL PERMANENT VEGETATION AND/OR EROSION PROTECTION IS ESTABLISHED.
- APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF ANY OTHER PROPOSED PROJECT DESIGN ELEMENT.
- OWNER OR DESIGNATED PERSON SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES, IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETE, AND APPROVED BY THE LOCAL JURISDICTION, AND VEGETATION/LANDSCAPING IS ESTABLISHED. THE DEVELOPER SHALL BE RESPONSIBLE FOR MAINTENANCE AFTER THE PROJECT IS APPROVED UNTIL LOTS ARE SOLD.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE MARKINGS SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- THE ESC FEATURES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT LEAVE THE SITE.
- THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
- AT NO TIME SHALL SEDIMENT BE ALLOWED TO ACCUMULATE MORE THAN 1/3 THE BARRIER HEIGHT. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING PROCESS SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSYSTEM SYSTEM.
- STABILIZED GRAVEL ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- STORM DRAIN INLETS, BASINS, AND AREA DRAINS SHALL BE PROTECTED UNTIL PAVEMENT SURFACES ARE COMPLETED AND/OR VEGETATION IS RE-ESTABLISHED.
- PAVEMENT SURFACES AND VEGETATION ARE TO BE PLACED AS RAPIDLY AS POSSIBLE.
- SEEDING SHALL BE PERFORMED NO LATER THAN SEPTEMBER 1ST FOR EACH PHASE OF CONSTRUCTION.
- THE DEVELOPER SHALL REMOVE ESC MEASURES WHEN VEGETATION IS FULLY ESTABLISHED.

15. PLACE GRASS SEED MIX OVER BARREN SOIL AS FOLLOWS. APPLY 20-10-10 FERTILIZER IN ACCORDANCE WITH SUPPLIER'S RECOMMENDATIONS: (PLS=PURE LIVE SEED)

SEED	PLACEMENT/MIX
BLUE WILD-RYE (Elymus glaucus)	9 LBS. PLS/ACRE
NATIVE CALIFORNIA BROME (Bromus carinatus)	10 LBS. PLS/ACRE

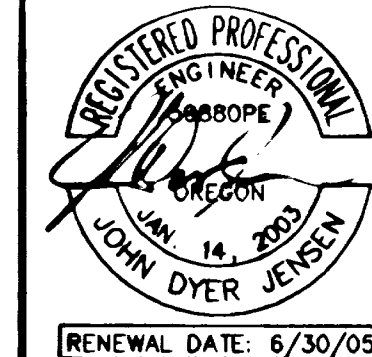
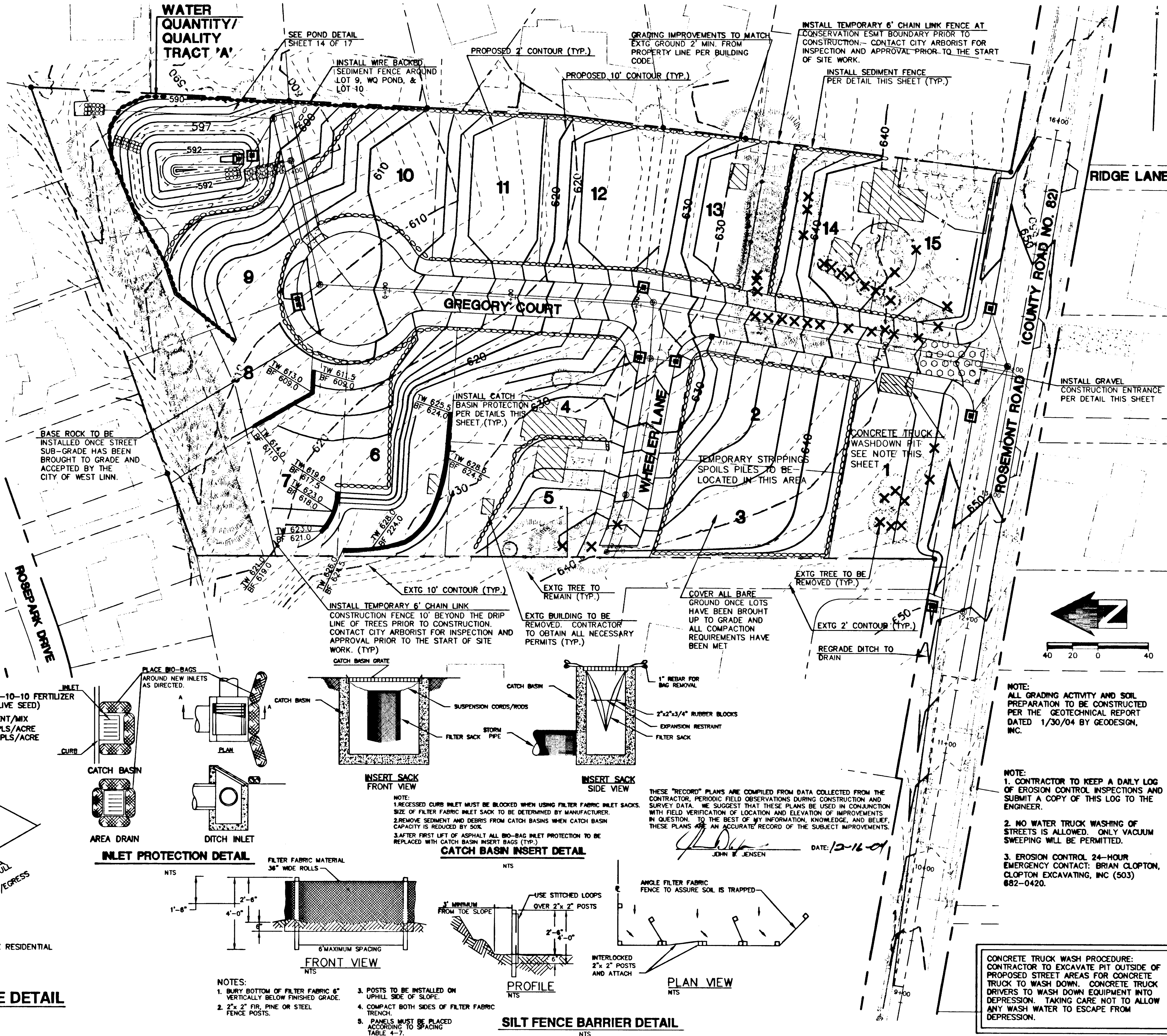


NOTES:

- *20' MIN. FOR SINGLE FAMILY AND DUPLEX RESIDENTIAL
- COMMERCIAL
- 50' LONG BY 20' WIDE
- 3-6" CLEAN ROCK
- INSTALL GEOTEXTILE FABRIC

GRAVEL CONSTRUCTION ENTRANCE DETAIL

WATER QUANTITY/QUALITY TRACT 'A'



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REVISIONS	DATE	BY	DESCRIPTION
1. REVISED PER CITY COMMENTS	JUL 12/04	JU	
2. REVISED PER CITY COMMENTS	JUL 5/05/04	JU	
3. REVISED PER DEQ REQUIREMENTS	JUL 5/7/04	JU	
4. REVISED PER DEQ REQUIREMENTS	JUL 5/10/04	JU	
5. REMOVED RETAINING WALL LOT 15	JUL 5/23/04	JU	
6. AS-BUILT RECORD DRAWINGS	JUL 12-2-04	JU	

GRADING & EROSION CONTROL PLAN

SHEET

4

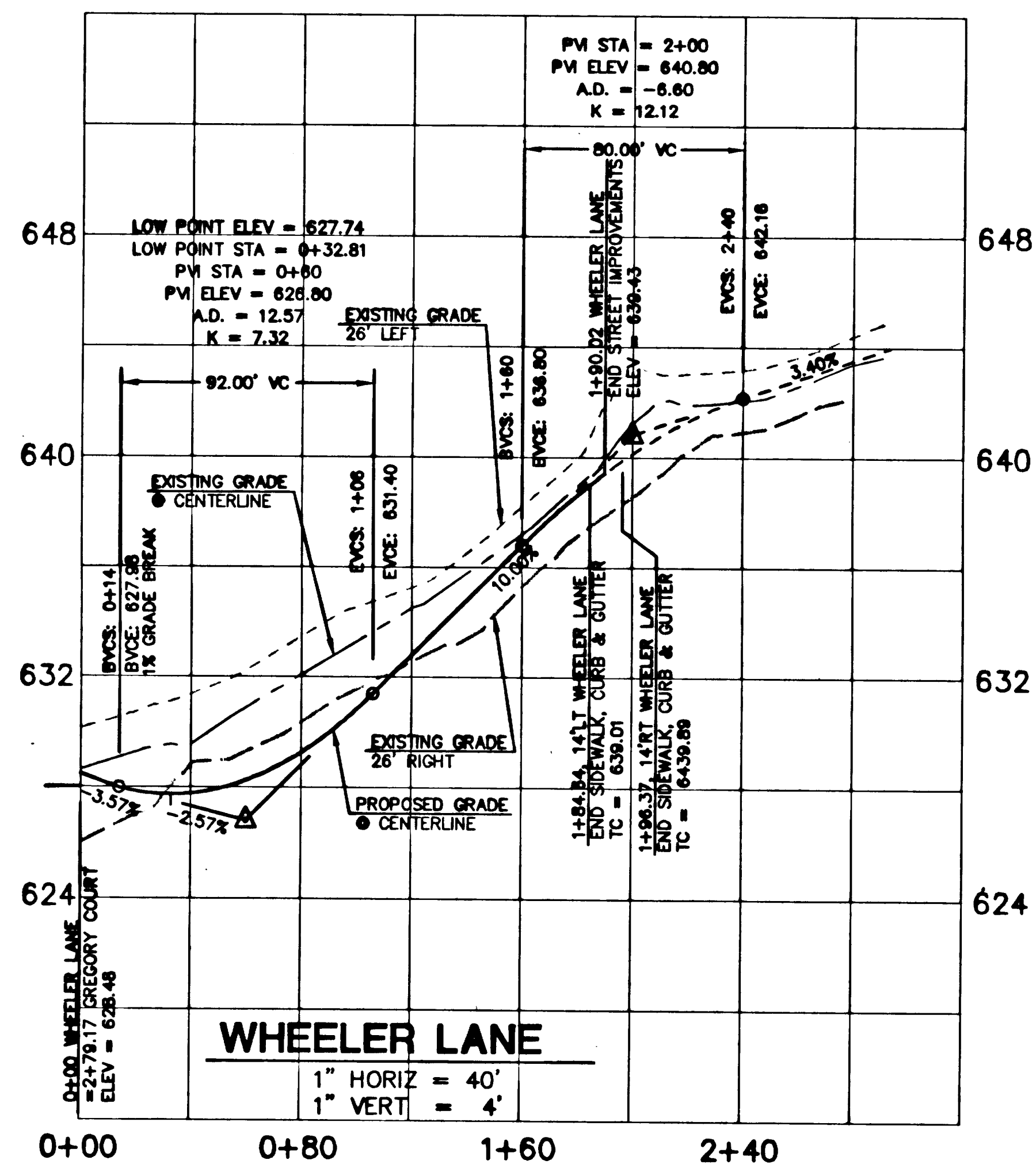
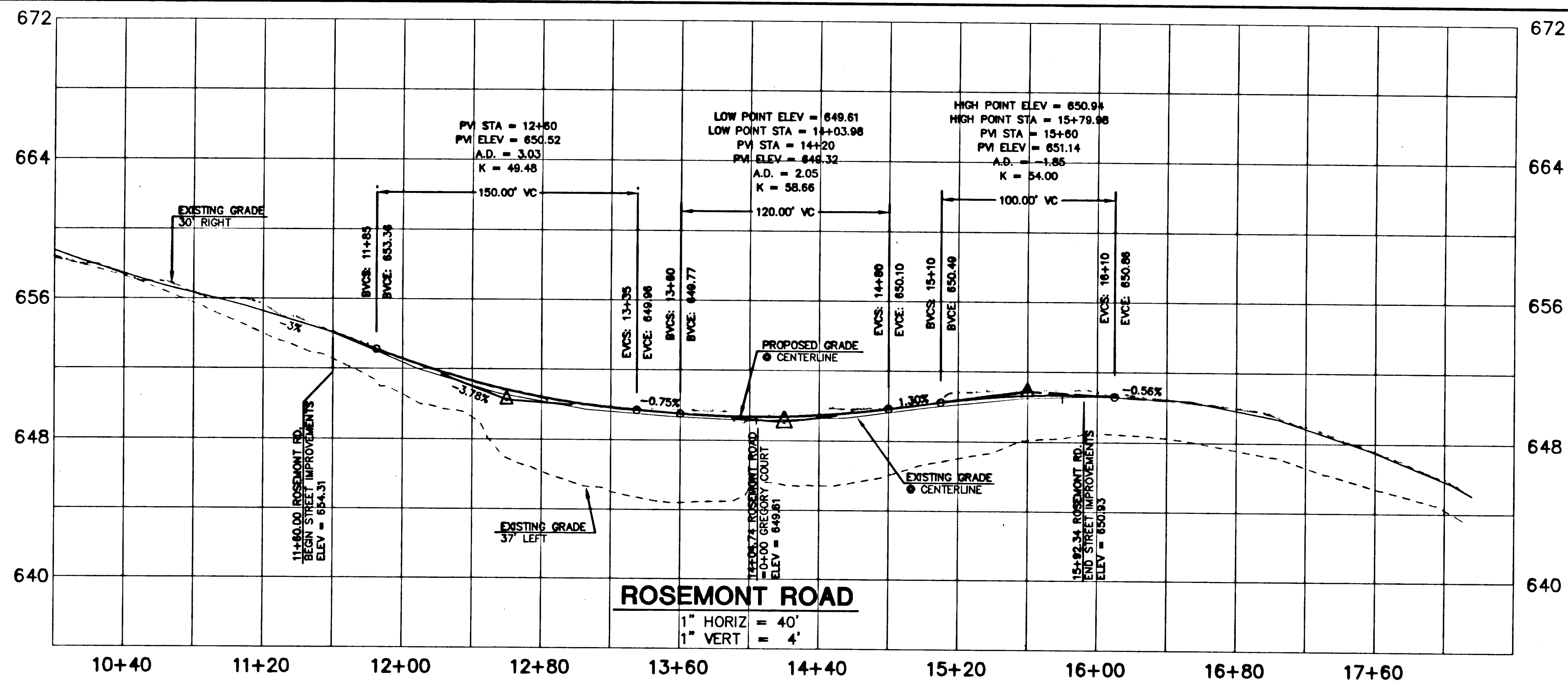
OF

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NOTE:
ALL GRADING ACTIVITY AND SOIL PREPARATION TO BE CONSTRUCTED PER THE GEOTECHNICAL REPORT DATED 1/30/04 BY GEODESIGN, INC.

NOTE:
1. CONTRACTOR TO KEEP A DAILY LOG OF EROSION CONTROL INSPECTIONS AND SUBMIT A COPY OF THIS LOG TO THE ENGINEER.
2. NO WATER TRUCK WASHING OF STREETS IS ALLOWED. ONLY VACUUM SWEEPING WILL BE PERMITTED.
3. EROSION CONTROL 24-HOUR EMERGENCY CONTACT: BRIAN CLOPTON, CLOPTON EXCAVATING, INC (503) 882-0420.

CONCRETE TRUCK WASH PROCEDURE:
CONTRACTOR TO EXCAVATE PIT OUTSIDE OF PROPOSED STREET AREAS FOR CONCRETE TRUCK TO WASH DOWN. CONCRETE TRUCK DRIVERS TO WASH DOWN EQUIPMENT INTO DEPRESSION. TAKING CARE NOT TO ALLOW ANY WASH WATER TO ESCAPE FROM DEPRESSION.

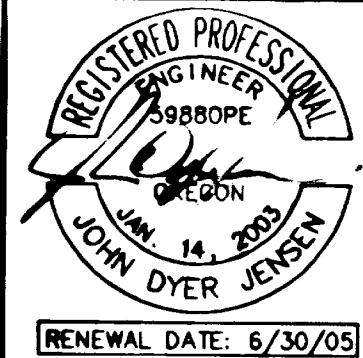


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PLANS ARE AN ACCURATE RE

JOHN D. JENSEN

DATE: 12-16-09



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REVISIONS

1.	REVISED PER CITY COMMENTS	JDJ 4/12/04
2.	REVISED PER CITY COMMENTS	JDJ 5/6/04
3.	"AS-BUILT" RECORD DRAWINGS	JDJ 12-2-04

PROJECT NO.:	1880	DATE:	1/14/04
DESIGNED BY:	JUJ	DRAWN BY:	JUJ

STREET PROFILES

SHEET

6

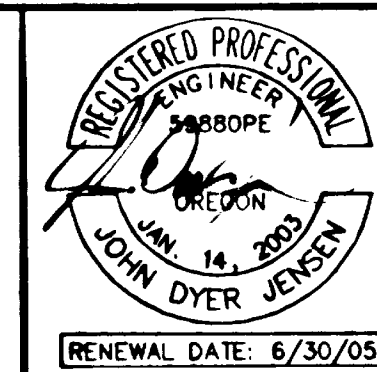
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REVISIONS:
1. REVISED PER CITY COMMENTS JUL 17/12/04
2. "AS-BUILT" RECORD DRAWINGS JUL 12-2-04

PROJECT NO.:
DESIGNED BY:
DATE: 1/12/04
DRAWN BY: JOU

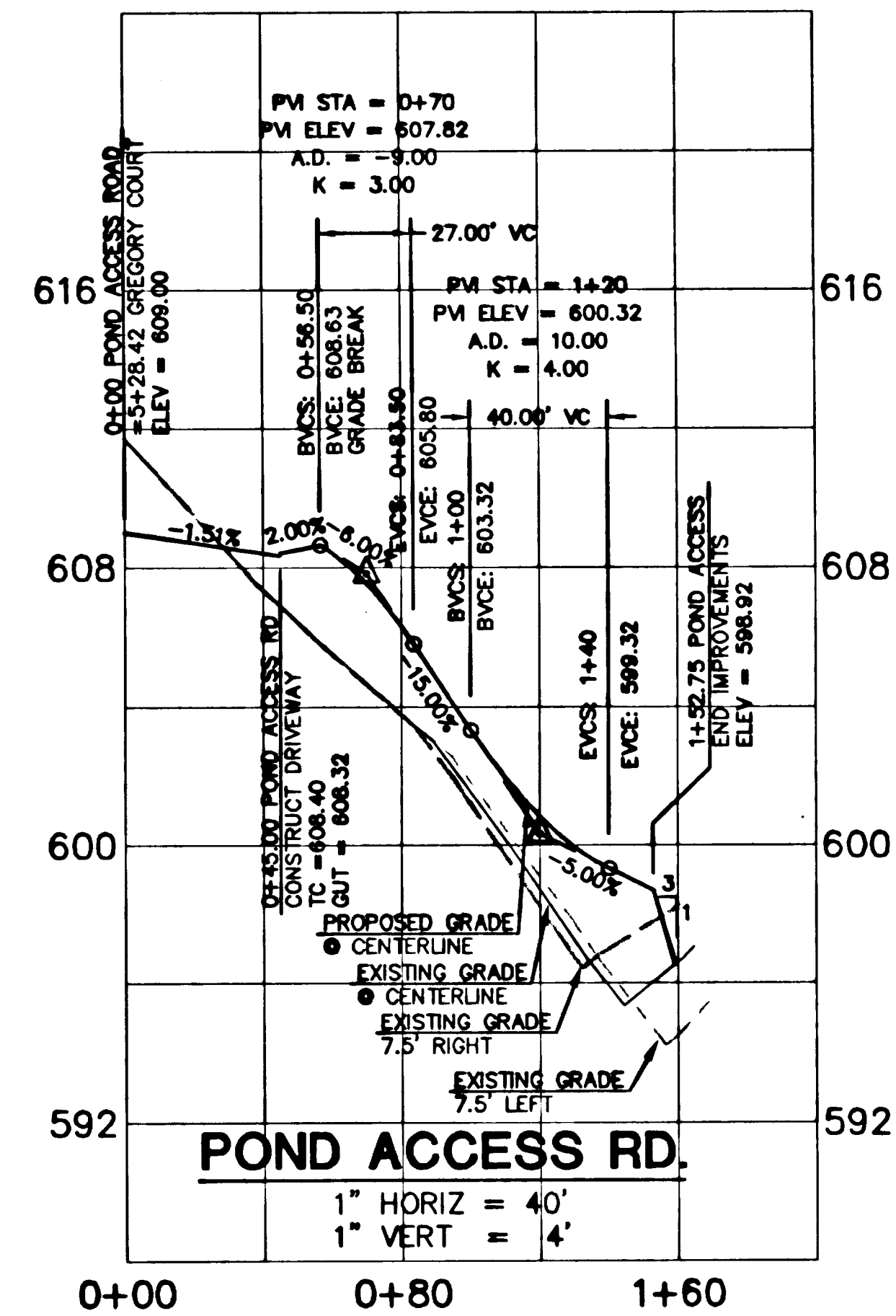
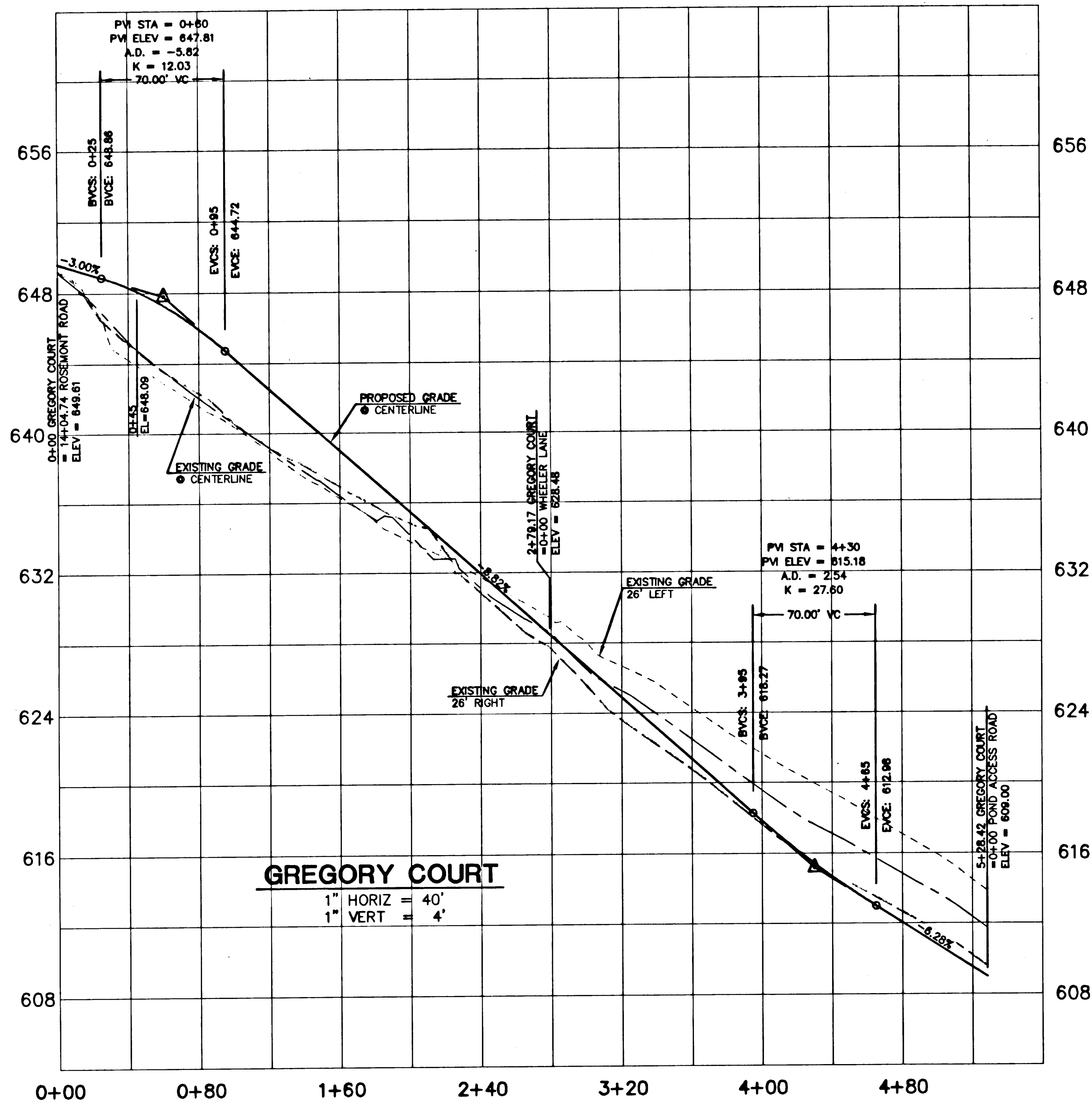
STREET
PROFILES

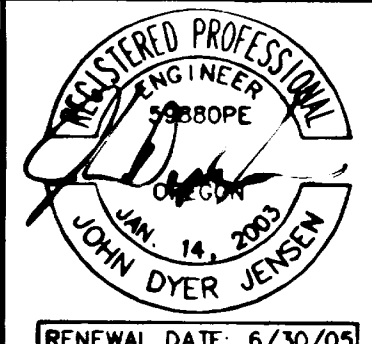
SHEET

7

OF

17





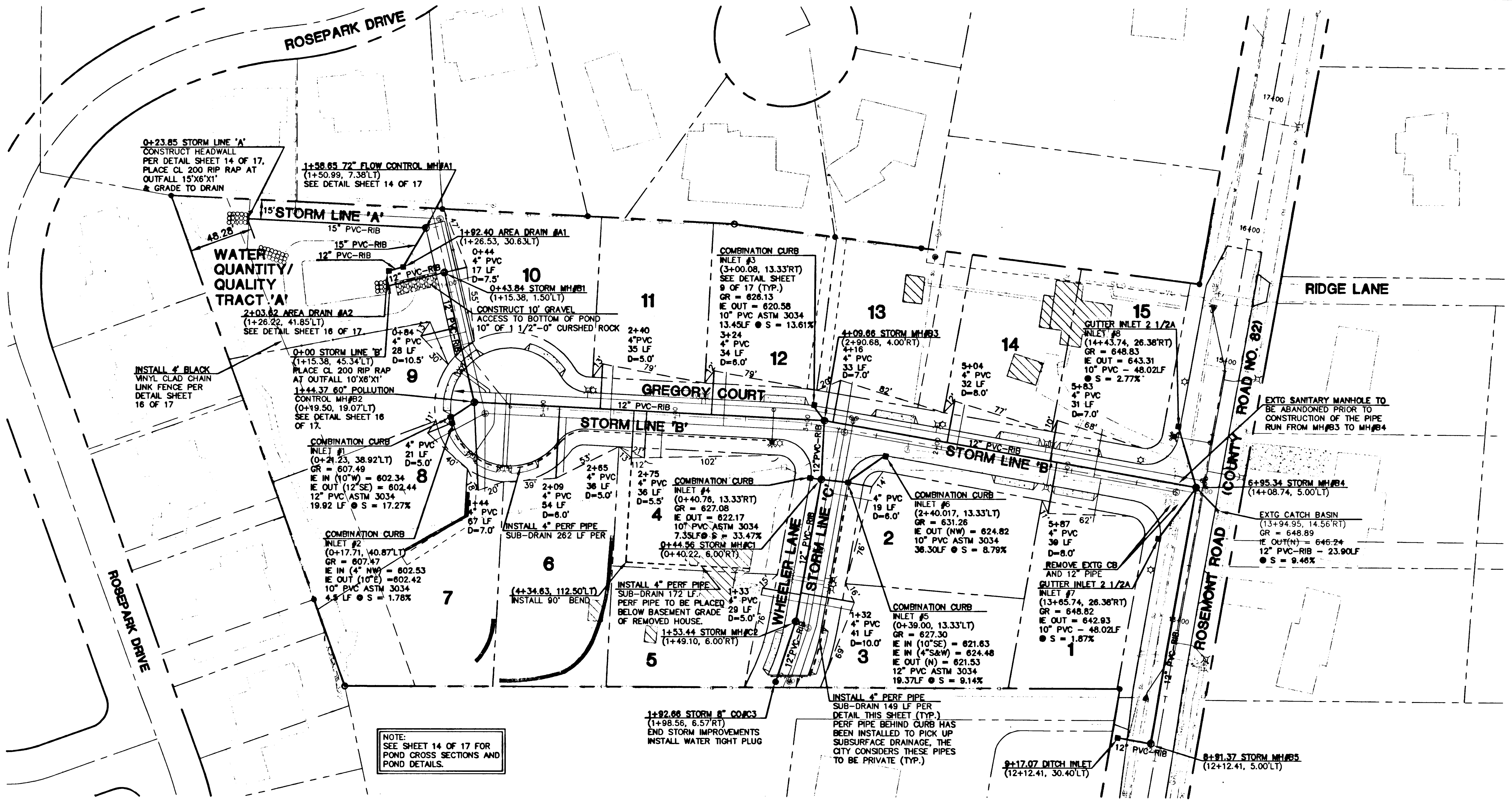
GREGORY ESTATES
CASE FILE NO. SUB-03-01/MISC-03-15
CENTURION HOMES
7128 SW GONZAGA STREET, SUITE 100
PORTLAND, OREGON 97223
503-656-8411

CES NW

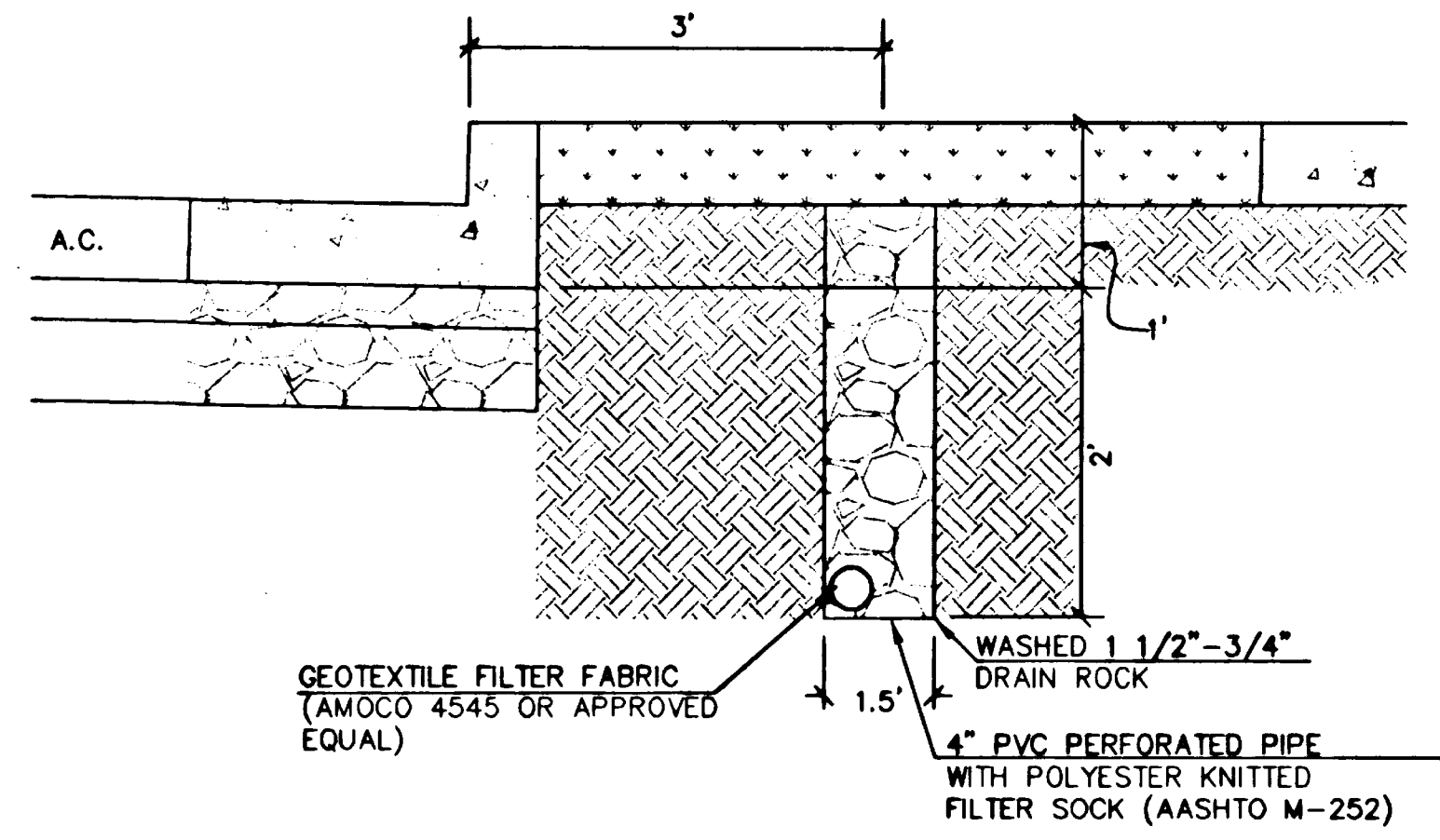
REVISIONS	DATE	BY
1. REVISED PER CITY COMMENTS. JUL 4/13/04		
2. REVISED PER CITY COMMENTS. JUL 5/8/04		
3. REVISED PER CITY COMMENTS. JUL 8/19/04		
4. REVISED PER CITY COMMENTS. JUL 8/31/04		
5. "AS-BUILT" RECORD DRAWINGS. JUL 12-02-04		

STORM SEWER PLAN

SHEET
8
OF
17

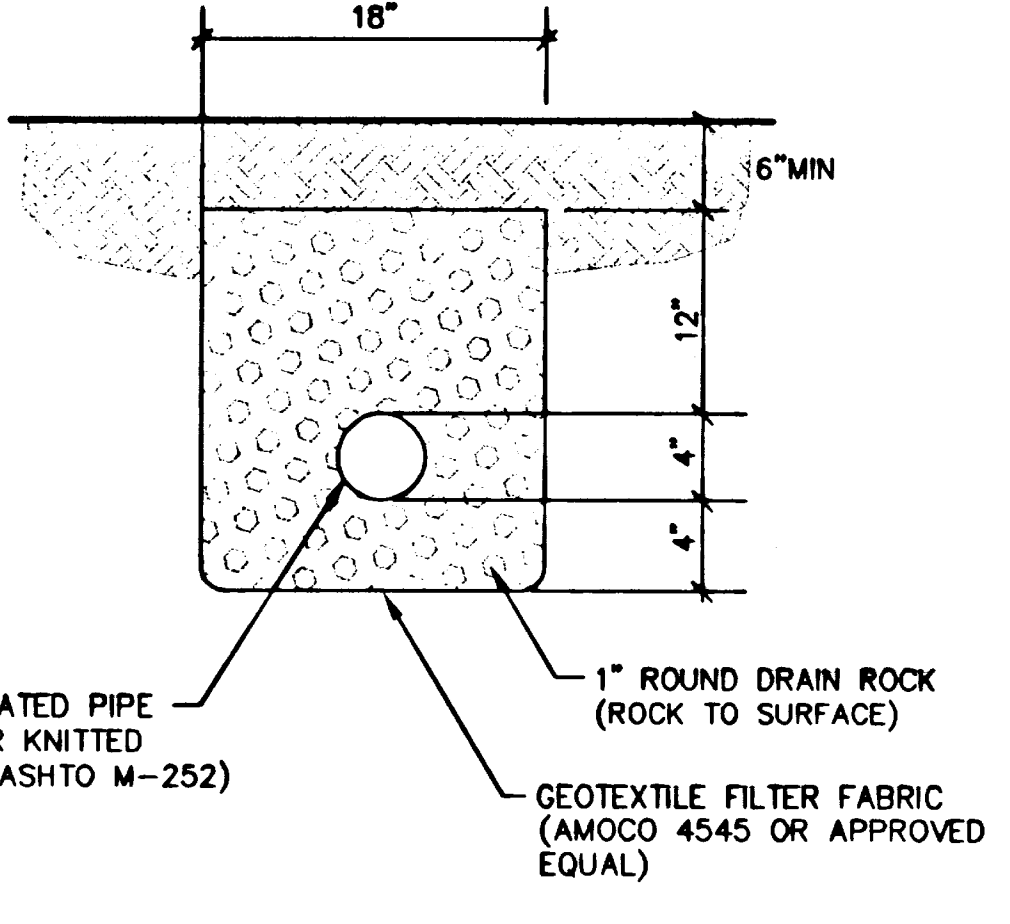


NOTE:
SEE SHEET 14 OF 17 FOR
POND CROSS SECTIONS AND
POND DETAILS.



STREET SUB-DRAIN

NTS

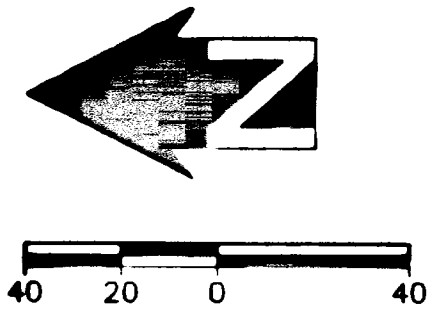


POND AND LOT SUB-DRAIN

NTS

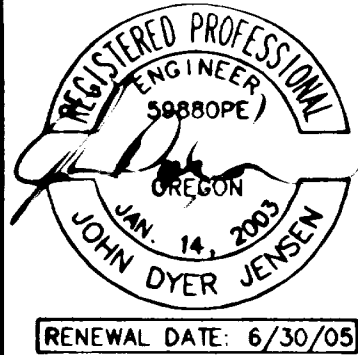
THESE "RECORD" PLANS ARE COMPILED FROM DATA COLLECTED FROM THE CONTRACTOR, PERIODIC FIELD OBSERVATIONS DURING CONSTRUCTION AND SURVEY DATA. WE SUGGEST THAT THESE PLANS BE USED IN CONJUNCTION WITH FIELD VERIFICATION OF LOCATION AND ELEVATION OF IMPROVEMENTS IN QUESTION. TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF, THESE PLANS ARE AN ACCURATE RECORD OF THE SUBJECT IMPROVEMENTS.

John Dyer Jensen
JOHN D. JENSEN
DATE: 12-16-04



THESE "RECORD" PLANS ARE COMPILED FROM DATA COLLECTED FROM THE CONTRACTOR, PERIODIC FIELD OBSERVATIONS DURING CONSTRUCTION AND SURVEY DATA. WE SUGGEST THAT THESE PLANS BE USED IN CONJUNCTION WITH FIELD VERIFICATION OF LOCATION AND ELEVATION OF IMPROVEMENTS IN QUESTION. TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF, THESE PLANS ARE AN ACCURATE RECORD OF THE SUBJECT IMPROVEMENTS.

John Dyer Jensen
JOHN D. JENSEN DATE: 12-16-01



GREGORY ESTATES

CASE FILE NO. SUB-03-01/MISC-03-15

CENTURION HOMES
7128 SW CONZAGA STREET, SUITE 100
PORTLAND, OREGON 97223
503-620-2047

CES NW

15573 SW BANGY ROAD, STE 300
LAKE OSWEGO, OREGON 97035
503.968.6655 www.cesnw.com

REVISIONS
1. REVISED PER CITY COMMENTS JULY 4/19/04
2. "AS-BUILT" RECORD DRAWINGS JULY 12-9-04

PROJECT NO. 1/16/04
DESIGNED BY: JDU
DATE: 1/16/04
DRAWN BY: JDU

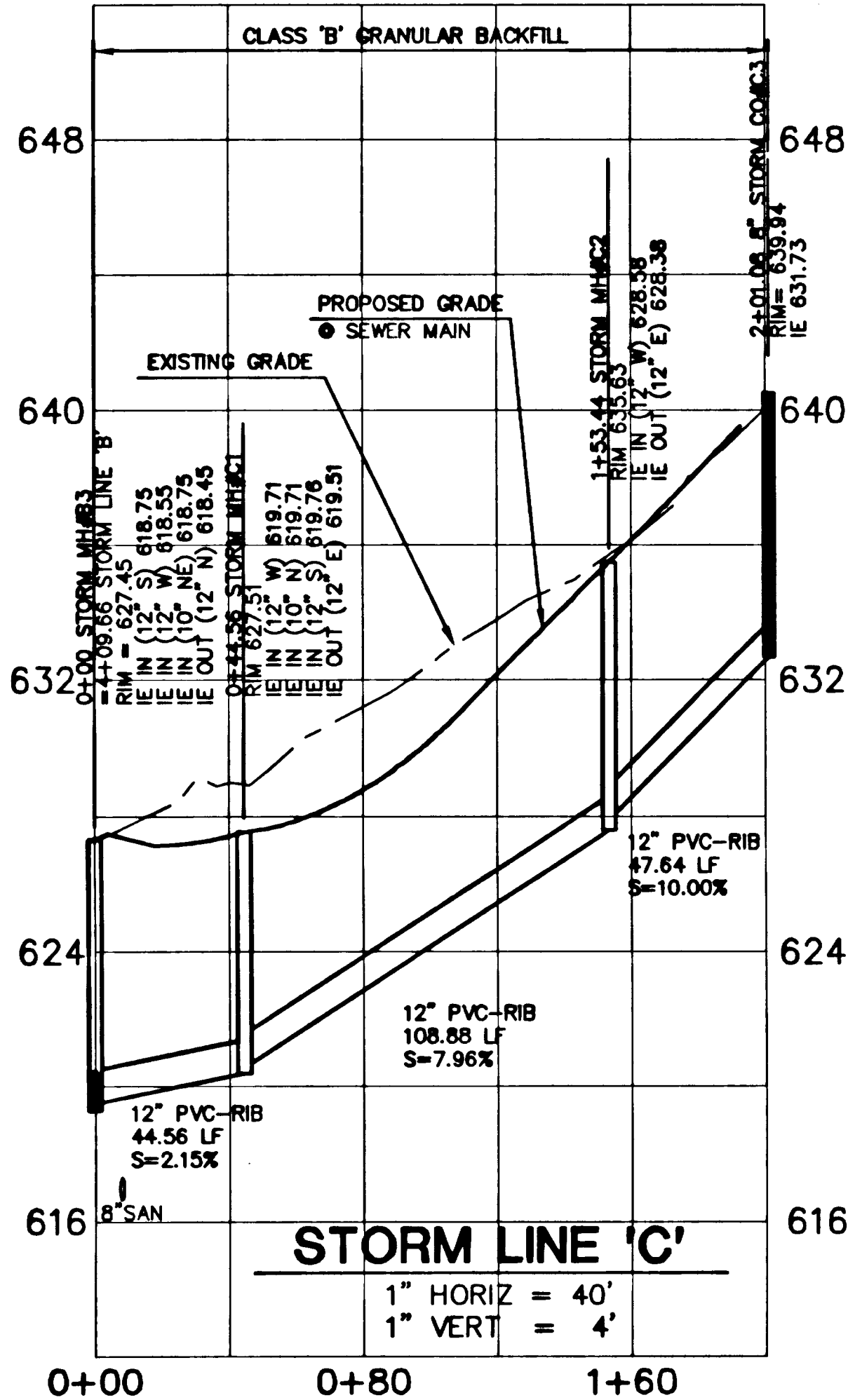
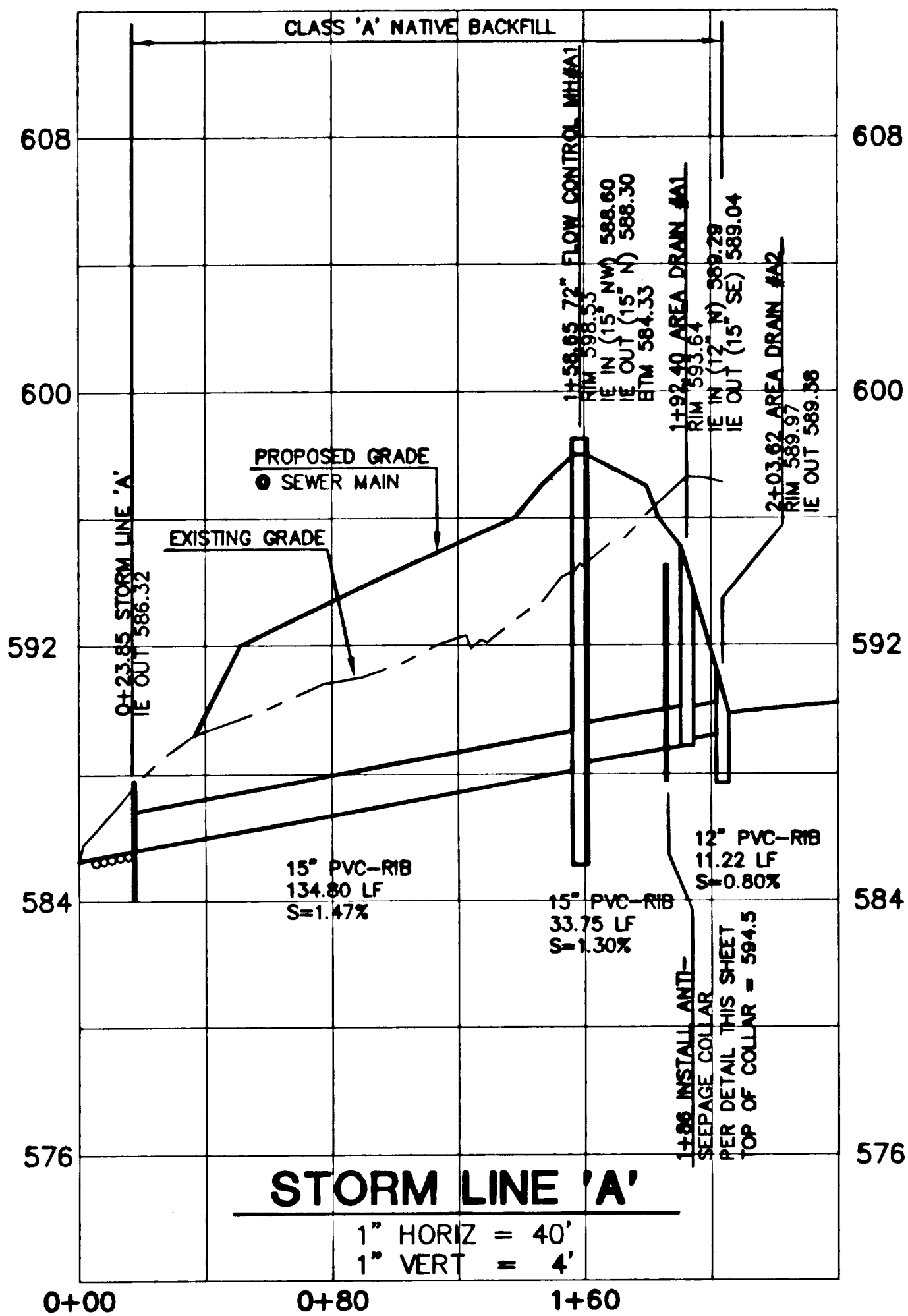
STORM SEWER
PROFILES

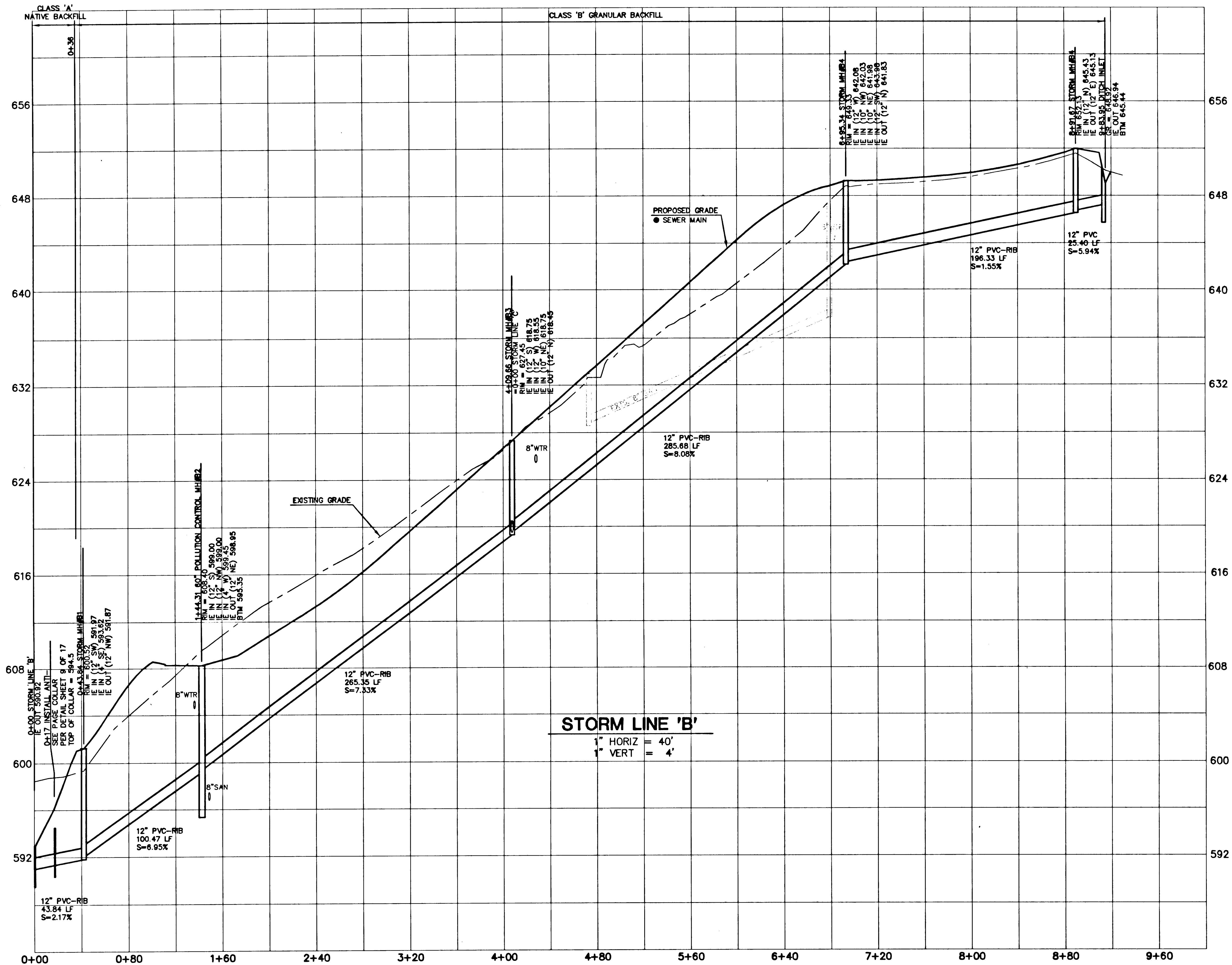
SHEET

9

OF

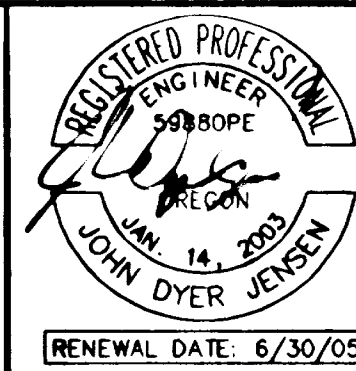
17





THESE "RECORD" PLANS ARE COMPILED FROM DATA COLLECTED FROM THE CONTRACTOR, PERIODIC FIELD OBSERVATIONS DURING CONSTRUCTION AND SURVEYING. THESE PLANS ARE NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE VERIFICATION OF LOCATION AND ELEVATION OF IMPROVEMENTS WITH FIELD VERIFICATION OF LOCATION AND ELEVATION OF IMPROVEMENTS. IN QUESTION, TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF, THESE PLANS ARE AN ACCURATE RECORD OF THE SUBJECT IMPROVEMENTS.

DATE: 12-16-04



GREGORY ESTATES

CASE FILE NO. SUB-03-01/MISC-03-15

CENTURION HOMES
7128 SW GONZAGA STREET, SUITE 100
PORTLAND, OREGON 97223
503-620-2047

CES NW

1573 SW BANGY ROAD, STE 300
LAKE OSWEGO, OREGON 97035
503.508.6635 www.cesnw.com

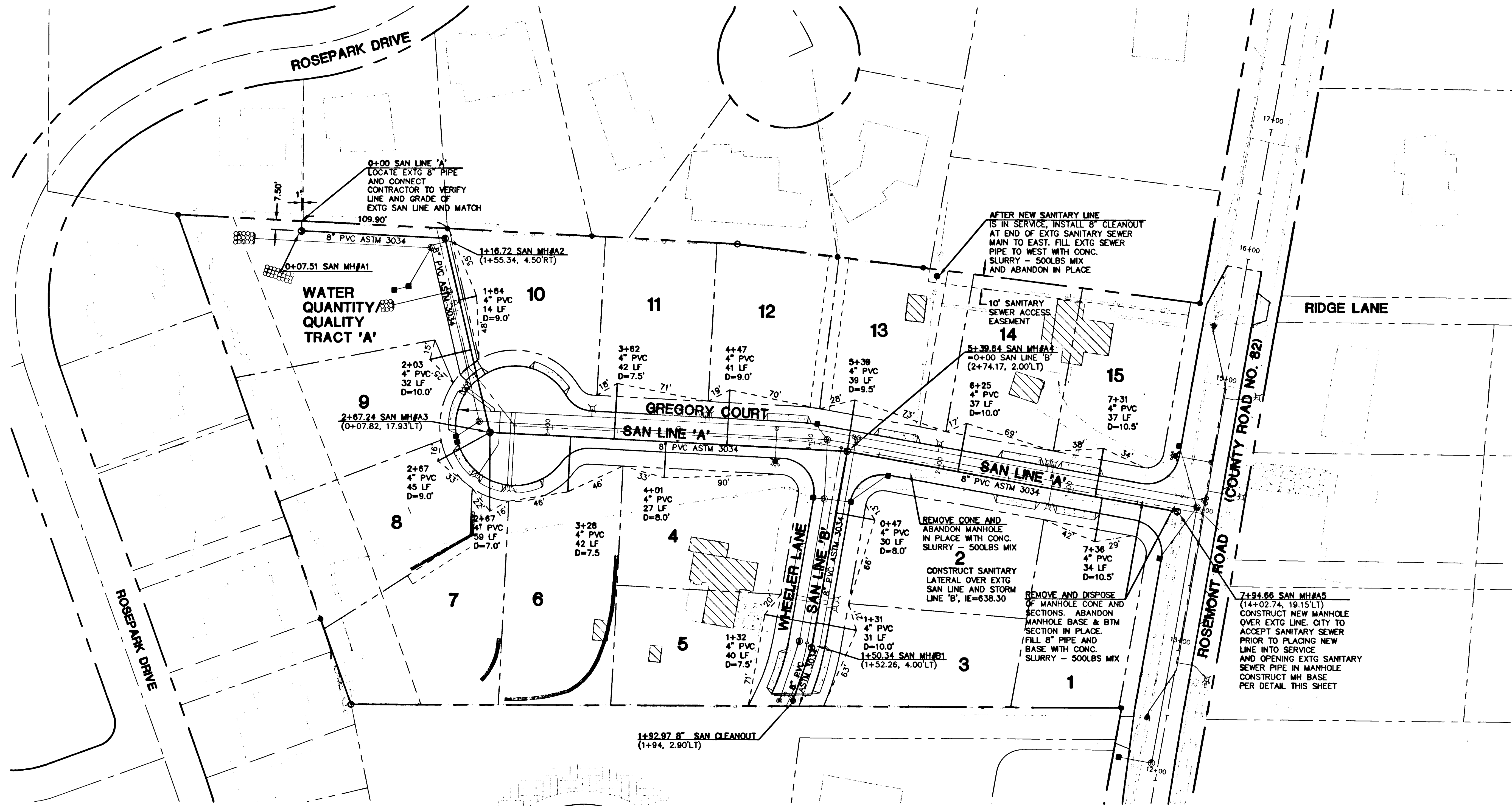
REVISIONS
1. REVISED PER CITY COMMENTS JUL 4/13/04
2. "AS-BUILT" RECORD DRAWING JUL 12-2-04

PROJECT NO. 1860
DESIGNED BY: JDA
DATE: 1/16/04
DRAWN BY: JDA

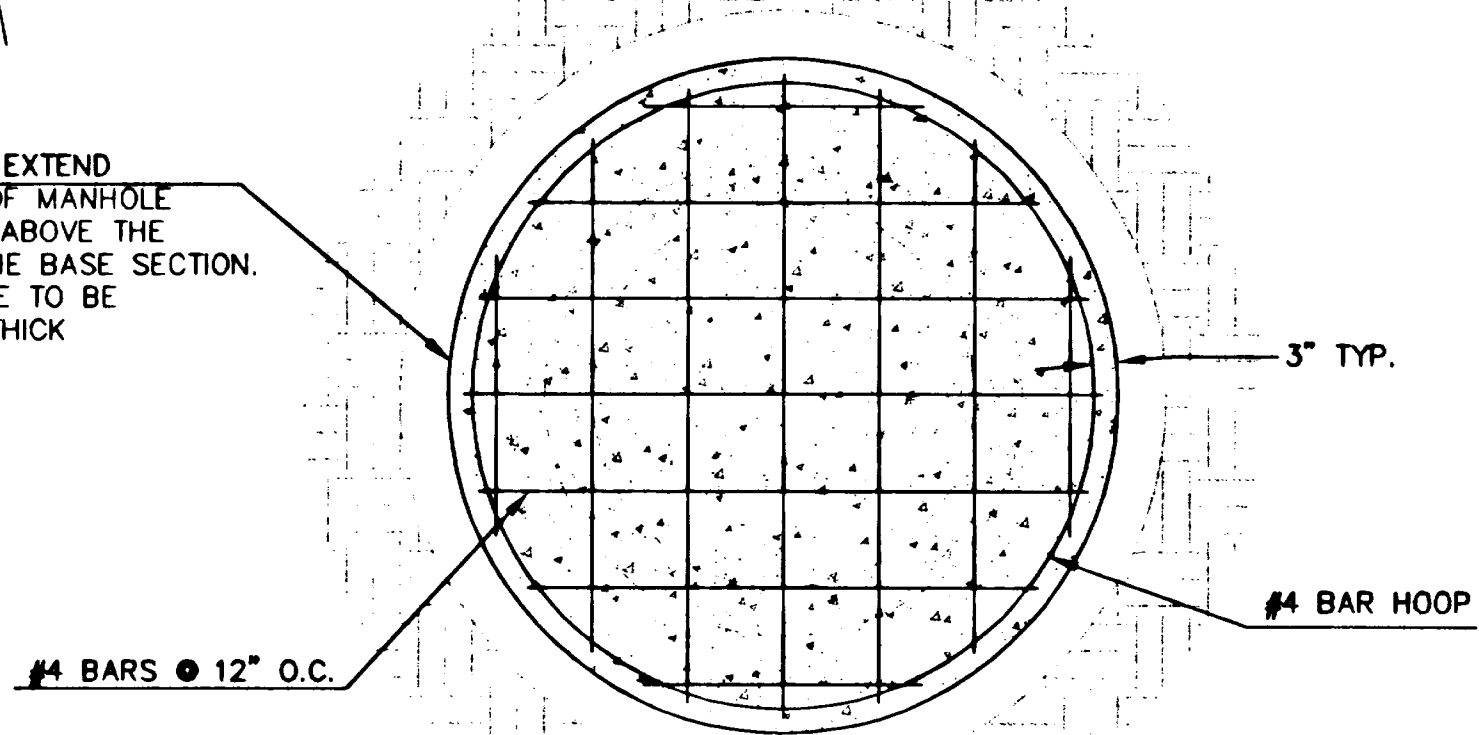
STORM SEWER
PROFILES

10

OF
17



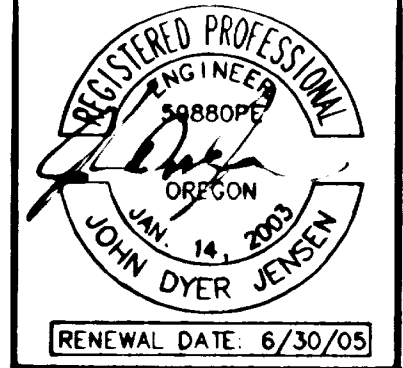
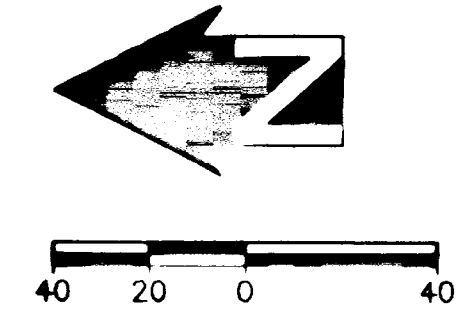
CONCRETE TO EXTEND
12" OUTSIDE OF MANHOLE
WALL AND 6" ABOVE THE
BOTTOM OF THE BASE SECTION.
MANHOLE BASE TO BE
MINIMUM 12" THICK



**SANITARY MANHOLE #A5
POURED IN PLACE MANHOLE BASE**
N.T.S.

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CONTRACTOR, PERIODIC FIELD OBSERVATIONS DURING CONSTRUCTION AND
SURVEY DATA. WE SUGGEST THAT THESE PLANS BE USED IN CONJUNCTION
WITH FIELD VERIFICATION OF LOCATION AND ELEVATION OF IMPROVEMENTS
IN QUESTION. TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF,
THESE PLANS ARE AN ACCURATE RECORD OF THE SUBJECT IMPROVEMENTS.

John D. Jensen
JOHN D. JENSEN
DATE: 12-16-04



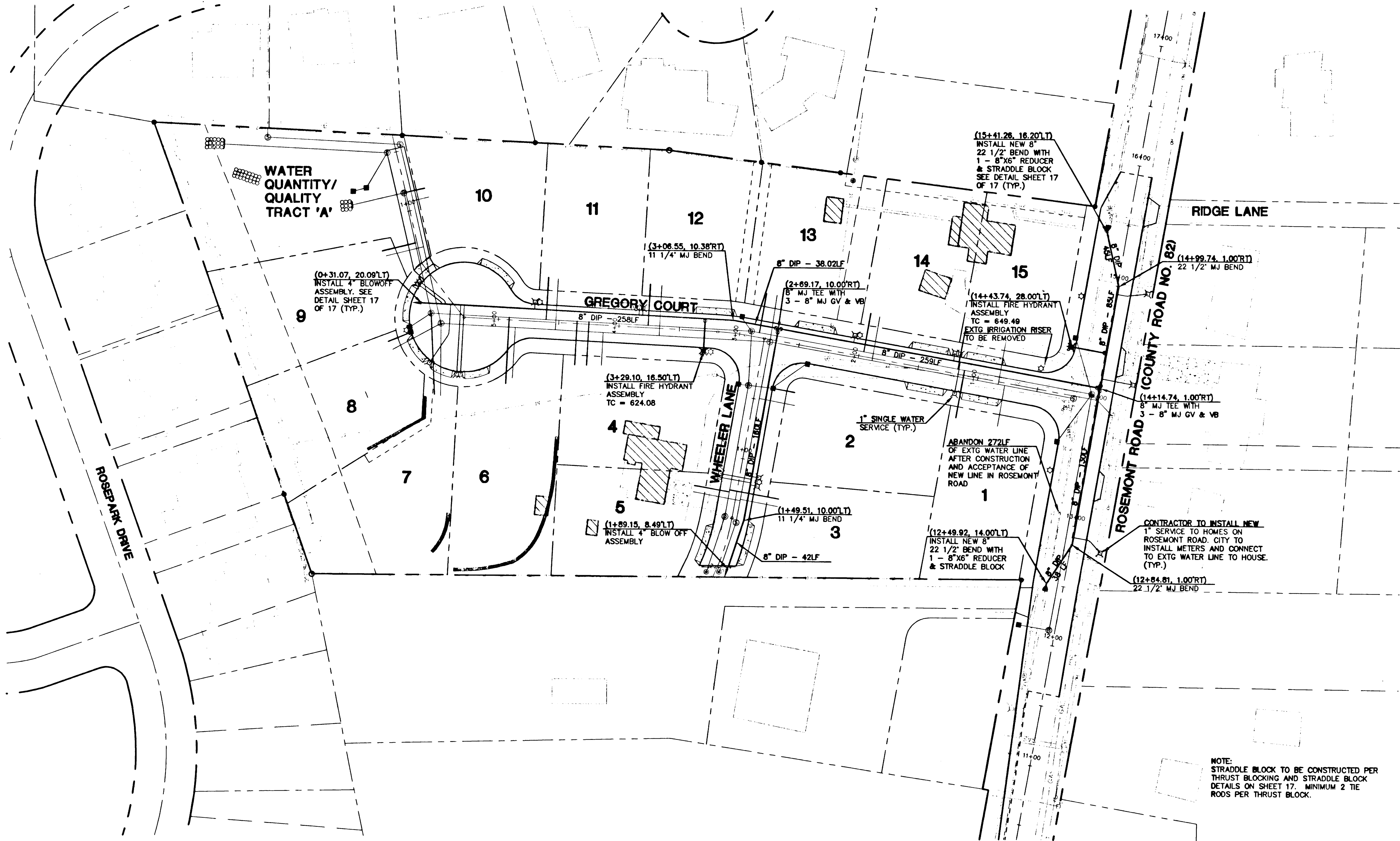
GREGORY ESTATES
CASE FILE NO. SUB-03-01/MISC-03-15
CENTURION HOMES
7125 SW GONZAGA STREET, SUITE 100
PORTLAND, OREGON 97223
503-620-2047

CES NW
15573 SW BANCY ROAD, STR. 300
LAKE OSWEGO, OREGON 97035
503.968.6655 www.cesnw.com

REVISIONS	
1.	REVISED PER CITY COMMENTS JDU 4/13/04
2.	REVISED PER CITY COMMENTS JDU 5/5/04
3.	"AS-BUILT" RECORD DRAWINGS JDU 12-02-04

PROJECT NO. 1780
DESIGNED BY JDU
DATE 1/23/04
DRAWN BY JDU
**SANITARY SEWER
PLAN**

SHEET
11
OF
17



REGISTERED PROFESSIONAL
ENGINEER
59680PE
OREGON
JAN 14, 2003
JOHN DYER JENSEN
RENEWAL DATE: 6/30/09

GREGORY ESTATES
CASE FILE NO. SUB-03-01/MISC-03-15
CENTURION HOMES
7128 SW GONZAGA STREET, SUITE 100
PORTLAND, OREGON 97223
503-620-2047

CES NW
15573 SW BANGY ROAD, STE 300
LAKE OSWEGO, OREGON 97035
503.968.6655 www.cesnw.com

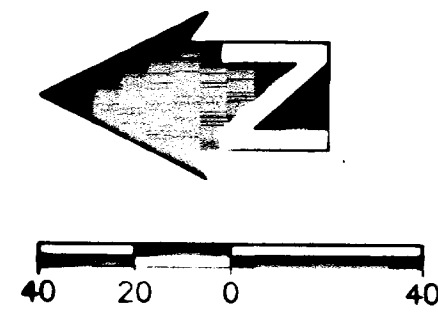
REVISIONS	1/23/04	JO
1. REVISED PER CITY COMMENTS. JO 4/19/04		
2. "AS-BUILT" RECORD DRAWINGS. JO 12-2-04		
THROSH12.DWG		

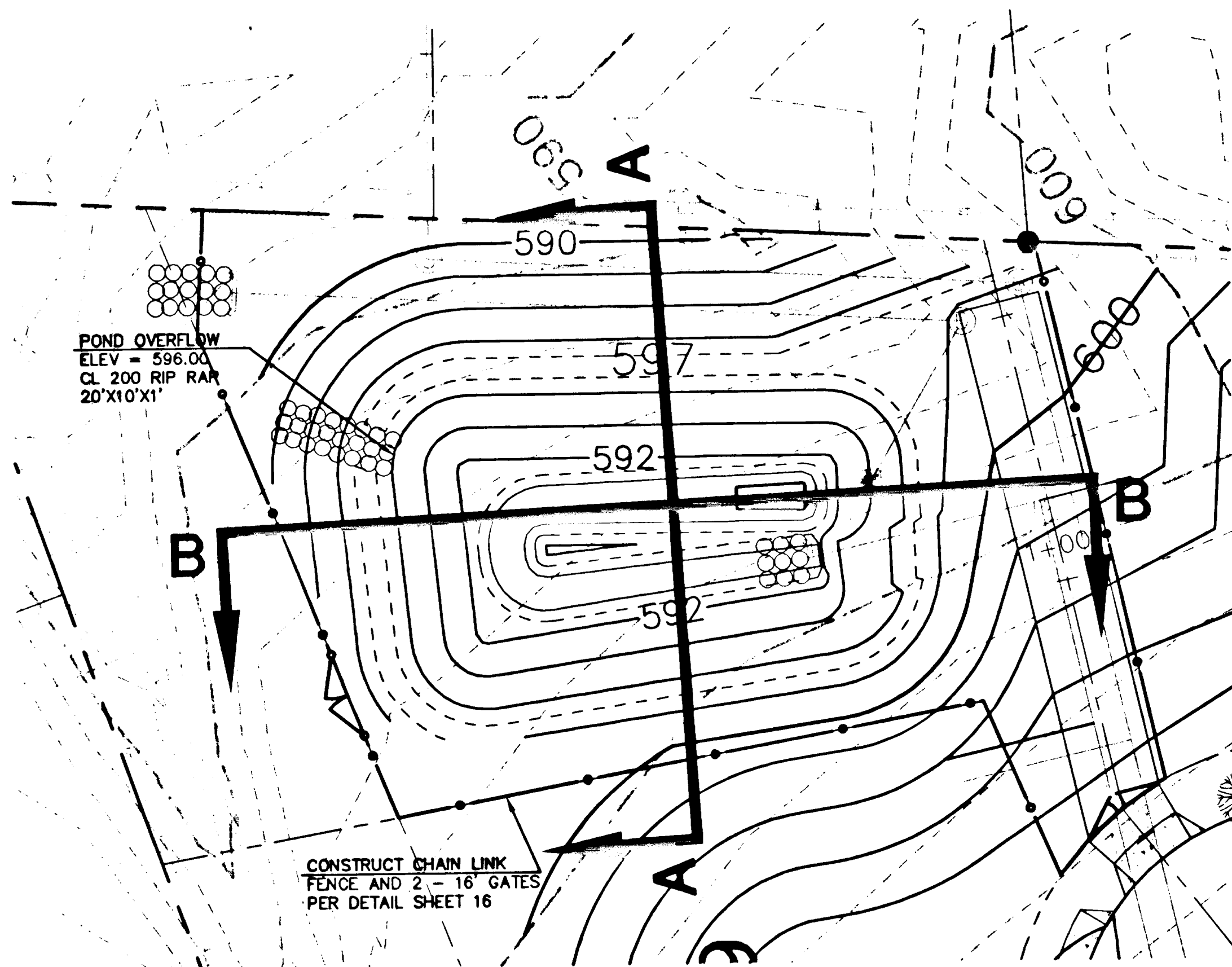
PROJECT NO.	1060	DATE	1/23/04	JO
DESIGNED BY	JO	DRAWN BY	JO	

WATER PLAN
SHEET
13
OF
17

THESE "RECORD" PLANS ARE COMPILED FROM DATA COLLECTED FROM THE CONTRACTOR. PERIODIC FIELD OBSERVATIONS DURING CONSTRUCTION AND SURVEY DATA. WE SUGGEST THAT THESE PLANS BE USED IN CONJUNCTION WITH FIELD VERIFICATION OF LOCATION AND ELEVATION OF IMPROVEMENTS IN QUESTION. TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF, THESE PLANS ARE AN ACCURATE RECORD OF THE SUBJECT IMPROVEMENTS.

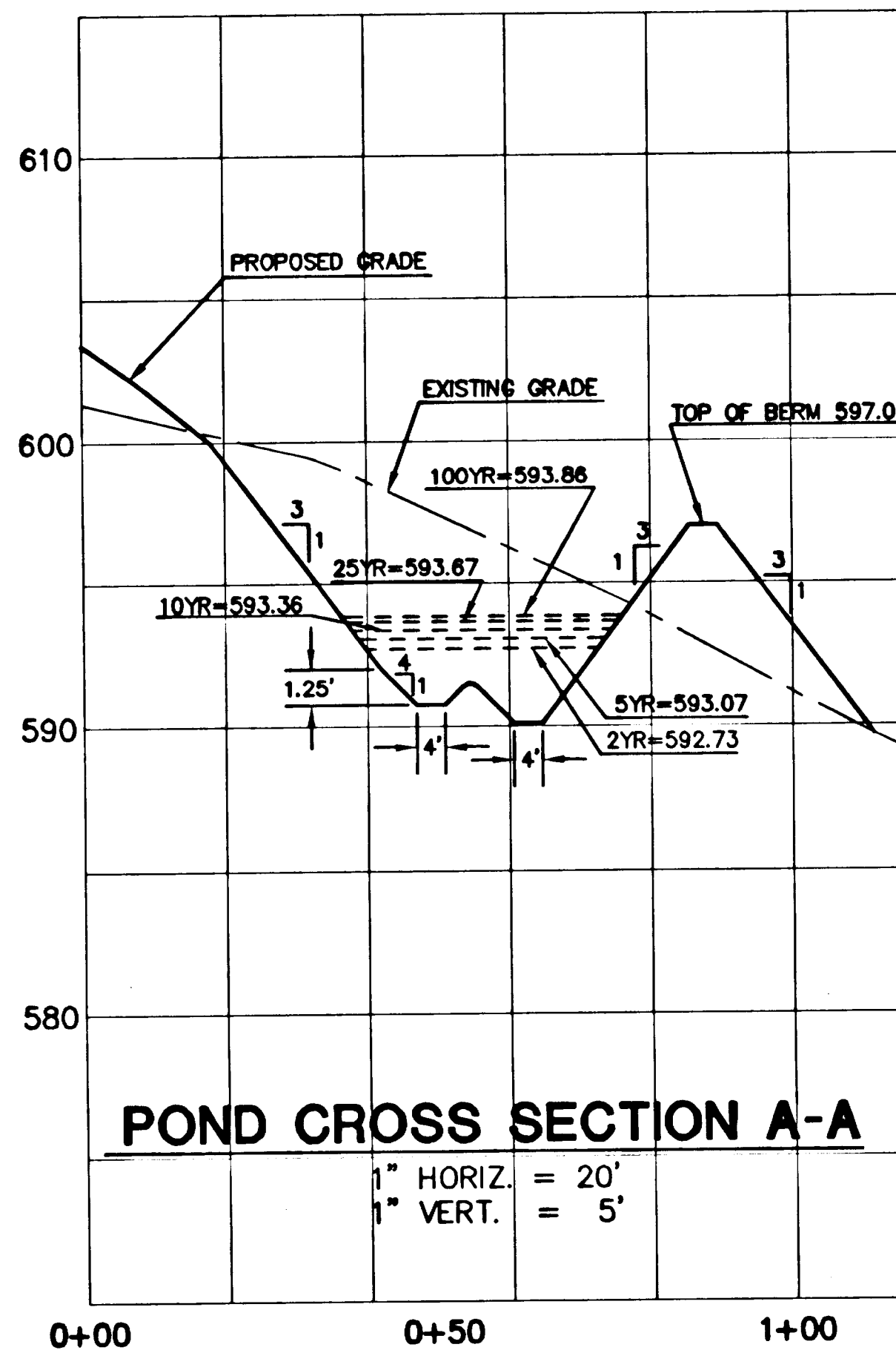
404
JOHN B. JENSEN
DATE: 12-16-09





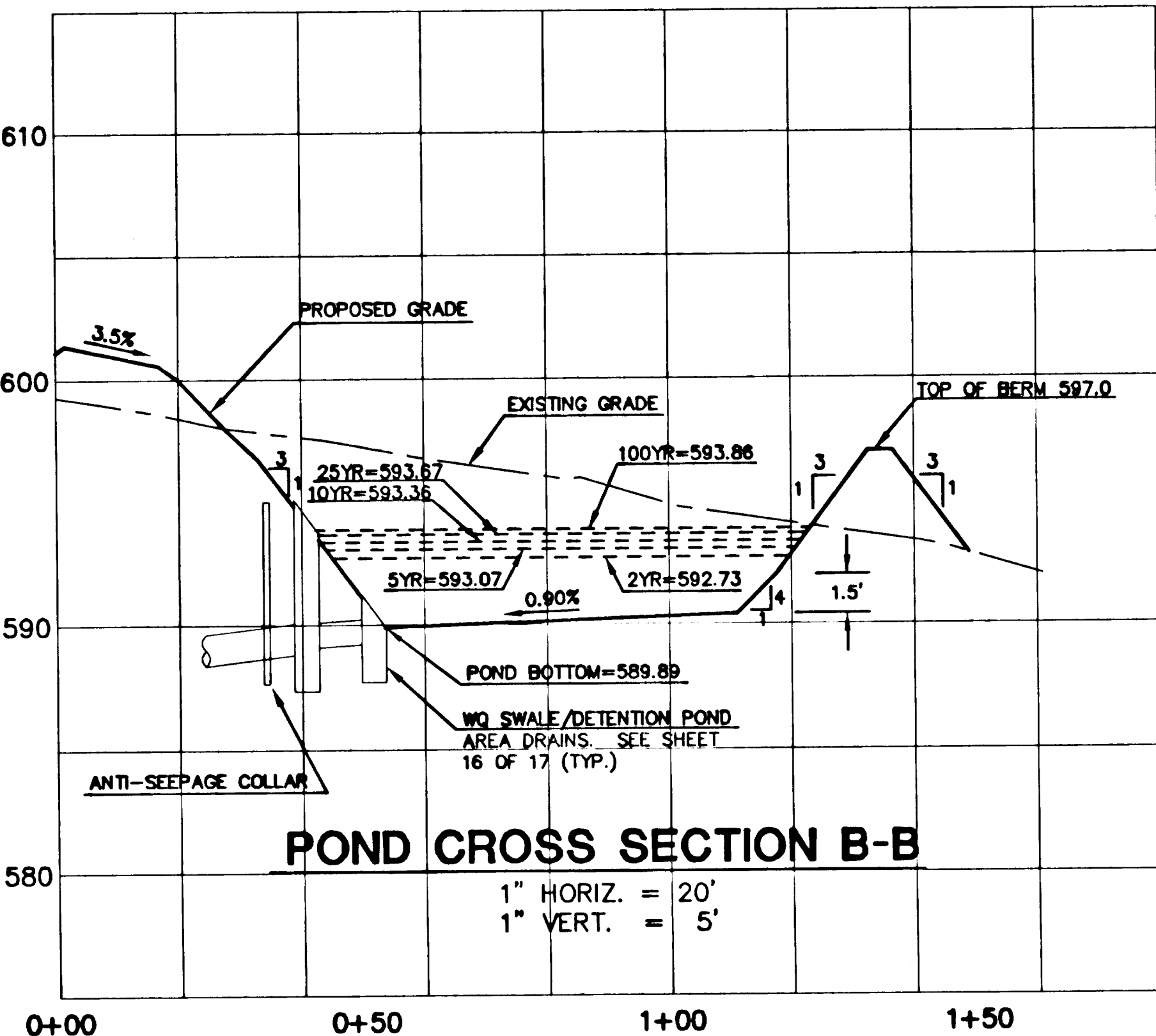
POND GRADING PLAN

SCALE: 1"=20'



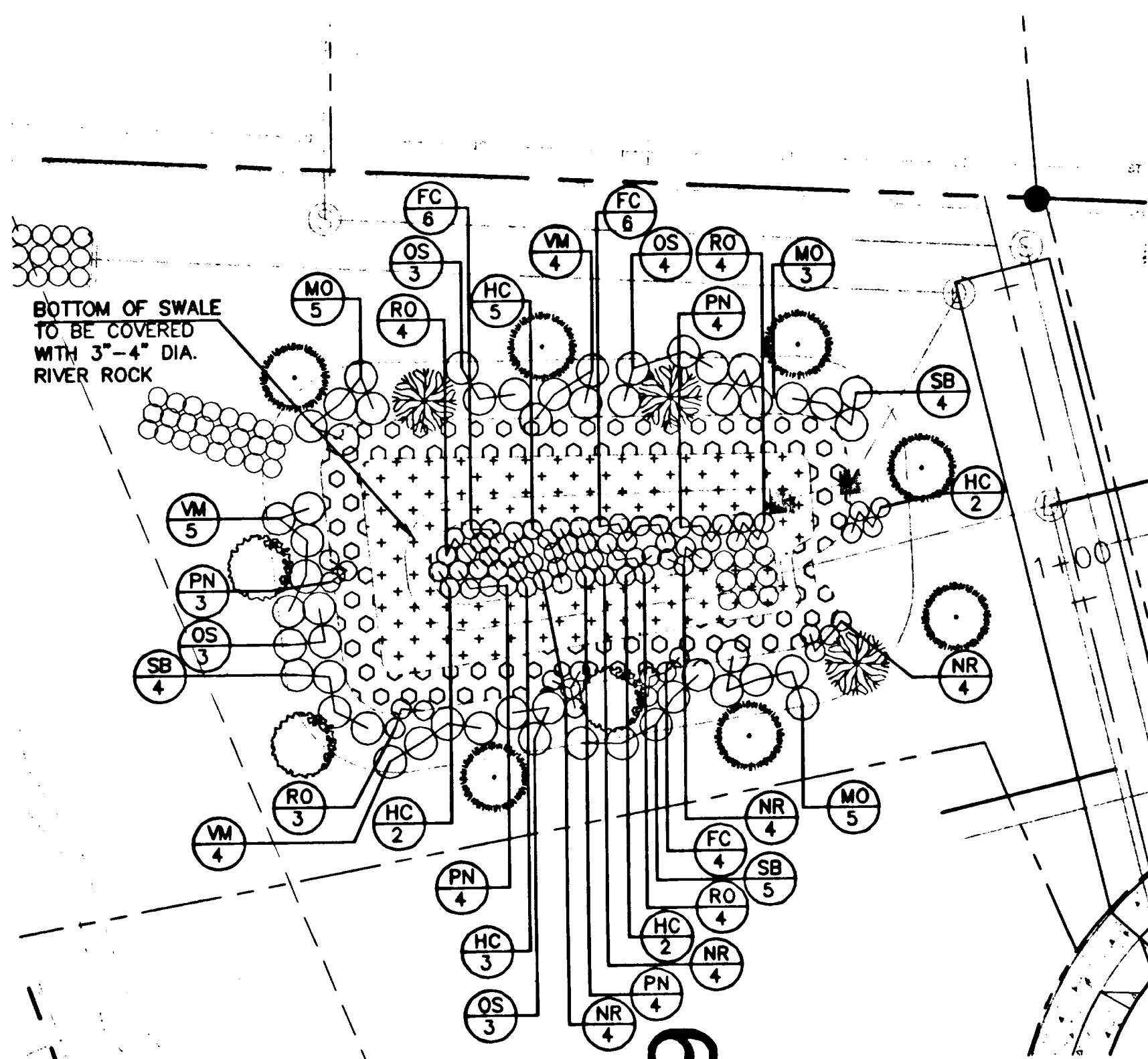
POND CROSS SECTION A-A

1" HORIZ. = 20'
1" VERT. = 5'



POND CROSS SECTION B-B

1" HORIZ. = 20'
1" VERT. = 5'



POND LANDSCAPING PLAN

SCALE: 1"=20'

NOTE: POND LANDSCAPING NOT INCLUDED AS PART OF THESE RECORD DRAWINGS.

LANDSCAPING LEGEND

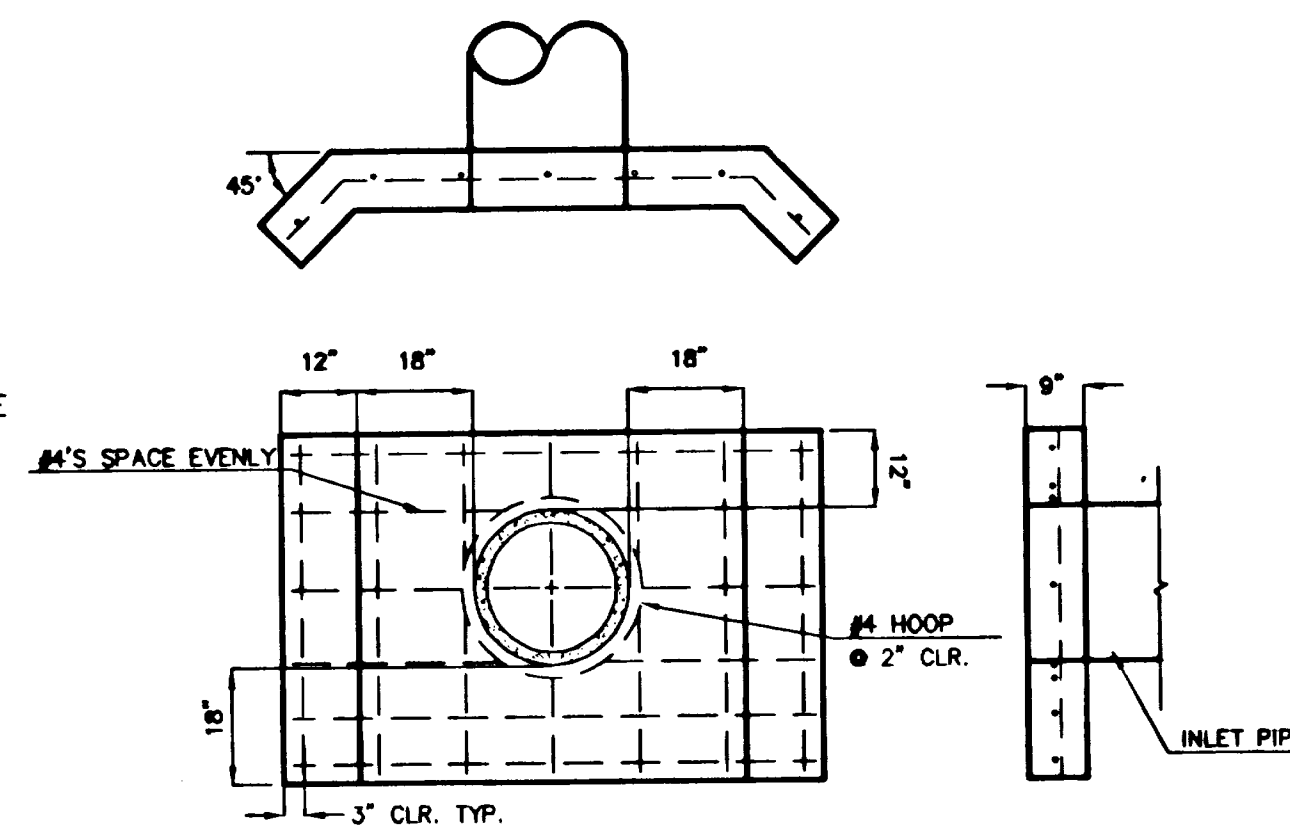
- GRAND FIR - ABIES GRANDIS
MIN HEIGHT 6 FEET - 7 TOTAL
- OREGON WHITE OAK - QUERCUS GARRYANA
MIN. CALIPER 1 1/2" AT 6 INCHES ABOVE BASE - 3 TOTAL
- WESTERN FLOWERING DOGWOOD - PACIFIC DOGWOOD
CORNUS NUTTALLII. MIN. CALIPER 1 1/2" AT 6 INCHES ABOVE BASE - 3 TOTAL
- COLUMBIA SEDGE - CAREX APERTA, PLUGS @ 12" O.C.
JUNCUS TENUIIS - SLENDER RUSH, PLUGS @ 12" O.C.
JUNCUS PATENS, SPREADING RUSH, 1 G.C. @ 1'-2" O.C.
NOTE: PLANT RUSHES AND SEDGES IN GROUPS OF FIVE TO SEVEN PLANTS @ 30" O.C.
- PRO-TIME #710 OR EQUIVALENT
- XX - PLANT ABBREVIATION
- NUMBER TO BE PLANTED
- RO - RED-OSIER DOGWOOD, CORNUS SERICEA 15 TOTAL
2 gc OR EQUIVALENT
- PN - PACIFIC NINEBARK, PHYSOCARPIS CAPITATUS 15 TOTAL
2 gc OR EQUIVALENT
- NR - NOOTKA ROSE, ROSA NUTKANA 16 TOTAL
2 gc OR EQUIVALENT
- HC - Highbush CRANBERRY, VIBURNUM EDULE 16 TOTAL
2 gc OR EQUIVALENT
- FC - RED FLOWERING CURRANT, RIBES SANGUINEUM 16 TOTAL
2 gc OR EQUIVALENT
- MO - MOCK ORANGE, PHILADELPHIS LEWESII 13 TOTAL, 3 gc OR EQUIVALENT
- VM - VINE MAPLE, ACER CIRCINATUM 13 TOTAL, 3 gc OR EQUIVALENT
- OS - OCEAN SPRAY, HOLODISCUS DISCOLOR, 13 TOTAL, 3 gc OR EQUIVALENT
- SB - SERVICE BERRY, AMELANCHIER ALNIFOLIA 13 TOTAL, 3 gc OR EQUIVALENT

NOTE: SEED TAGS FRO GRASS IN POND AREA SHALL BE SUBMITTED TO THE INSPECTOR TO VERIFY SEED.

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JOHN D. JENSEN

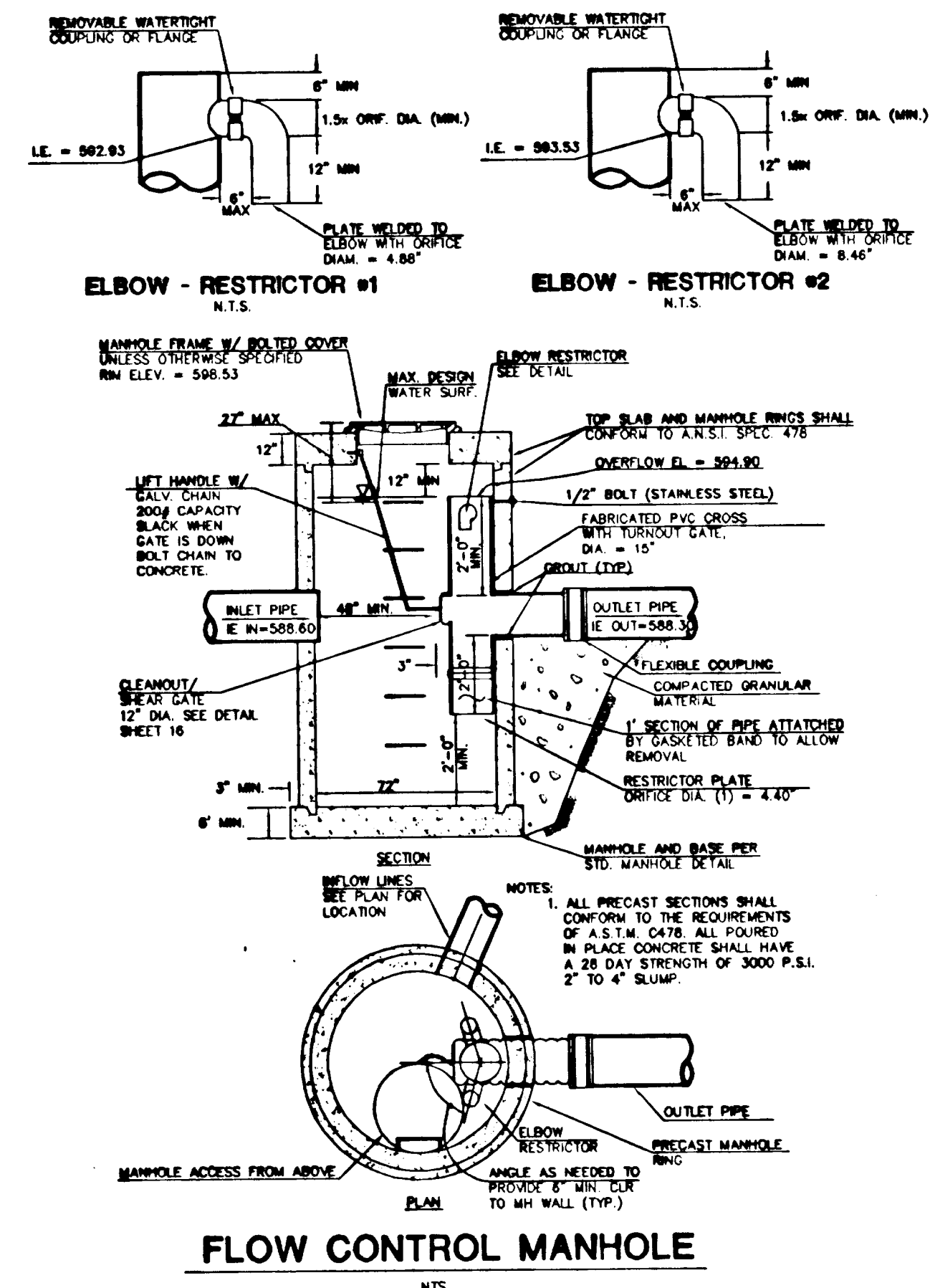
DATE: 12-16-04



CONCRETE HEADWALL

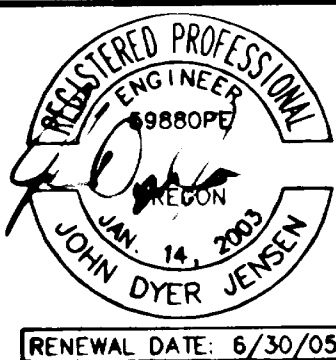
NTS

- NOTES:
1. CONCRETE TO BE 3,000 psi (28 DAYW ULTIMATE STRENGTH, SLUMP OF 2" TO 5" AND 1 1/2" MINUS AGGREGATE.)
 2. ALL REINFORCING STEEL $f_y = 60,000$ psi.
 3. FILL AROUND ENDWALLS TO 6" BELOW TOP OF WALL.
 4. BASE OF OUTFALL SHALL BE POURED AGAINST UNDISTURBED SOIL.



FLOW CONTROL MANHOLE

NTS



GREGORY ESTATES

CASE FILE NO. SUB-03-01/MISC-03-15

CENTURION HOMES
7128 SW GONZAGA STREET, SUITE 100
PORTLAND, OREGON 97223
503-620-2047

CES NW

15573 SW BANGY ROAD, STE. 300
LAKE OSWEGO, OREGON 97035
503.968.6655 www.cesnw.com

REVISIONS
1. "AS-BUILT" RECORD DRAWINGS 01.12-2-04

PROJECT NO. 1880
DATE 1/27/04
DESIGNED BY: DJ
DRAWN BY: DJ

SHEET

WQ POND DETAILS
& LANDSCAPING PLAN

14

OF 17